

NOTES:

- CAUTION: SHOULD ANY DEVELOPMENT OR CONSTRUCTION BE PLANNED ON OR NEAR THE BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE.
- AREA AND DIMENSIONS HAVE BEEN SURVEYED FROM PLANS MADE AVAILABLE AT LAND REGISTRY SERVICES.
- ORIGIN OF LEVELS ON A.H.D. IS TAKEN FROM P.M. 1128 RL 74.362 A.H.D.
- TREE SPREADS ARE DIAGRAMMATIC ONLY AND ARE NOT SYMMETRICAL.
- UNDERGROUND (NON VISIBLE) SERVICE LINES HAVE BEEN SHOWN FROM TOTAL BEFORE YOU DO SERVICE AUTHORITY RECORDS & ARE DIAGRAMMATIC ONLY IN REGARD TO THEIR POSITION & WIDTH UNLESS STATED OTHERWISE.
- SPOT LEVELS ARE ACCURATE.
- BEARINGS SHOWN ARE ON MAGNETIC MERIDIAN.

INVESTIGATION OF TOTAL BEFORE YOU DO SERVICE AUTHORITY RECORDS & ARE DIAGRAMMATIC ONLY IN REGARD TO THEIR POSITION & WIDTH UNLESS STATED OTHERWISE.



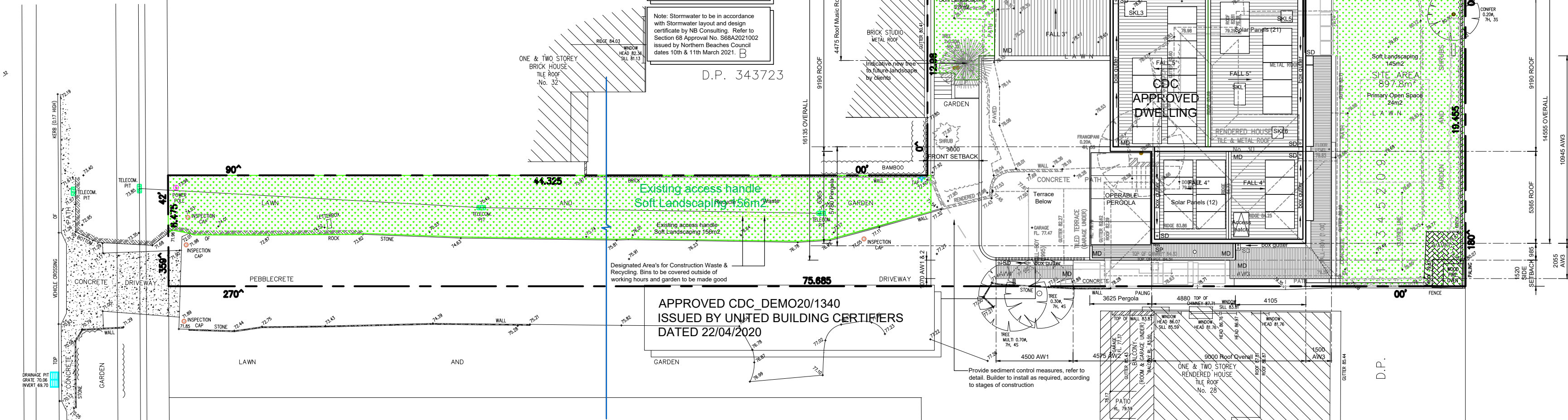
Buildcert Certification Pty Ltd - RBC8
Accredited Certifier & Principal Certifying Authority

APPROVED

CERTIFICATE No: CDC0141472-B DATE: 19/08/2021

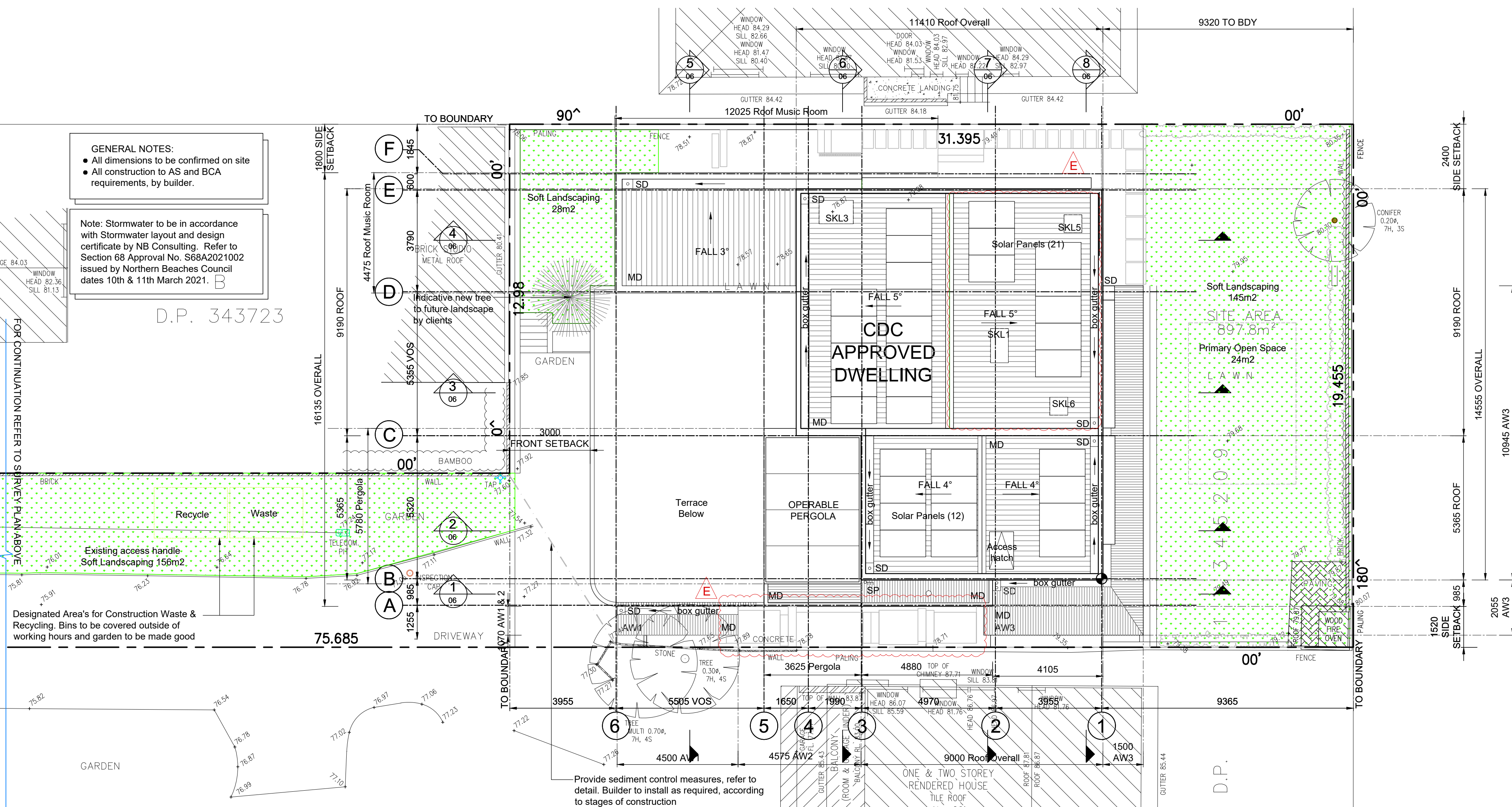
Buildcert.

BENCH MARK P.M. 1128
STEEL PIN IN ROAD
RL 74.362 A.H.D.



SURVEY / DEMOLITION PLAN

1:200



ROOF/SITE PLAN

1:100

SEPP (Exempt and Complying Development Codes 2008)

Division 3 Development standards for dwelling houses and attached development

Clause	CDC Permissible	Proposed
3.8 Maximum building height	8.5m	8.5m
3.9 max. gross floor area >740m2-900m2 Total Site 897.8m2 25% x 768.8m2 + 150m2	342.2m2	
First Floor		128m2
Ground Floor		162m2
Basement Floor (51 less 11 1x car parking space)		43m2
		333m2 TOTAL
3.10 (4) Side Setbacks	1.5m (0m-4.5m height) >4.5m-8.5m height - varied	1.52m 2.3-2.49m
3.10 (10) Rear Setbacks	3m (0m-4.5m height) 8m (4.5m-8.5m height)	9.3m 9.3m
3.10 (15) Front Setbacks for battle-axe	3m	3.9m
3.11(2) Exception to setbacks (450mm) awnings eaves privacy screens rainwater tanks 1.8m high		450mm
3.13 Minimum Landscape area (1)>600m2-900m2 30% x 768.8m2 (3b) 50% min. landscaped area in front building line (3c) 50% min. landscaped area behind front building line	230.64m2 115m2 115m2	301m2 156m2 145m2
3.30 Earthworks (1) Excavation must not exceed 2m from 1.5m boundary (2) Fill must not exceed 1m (5) Fill higher than 150mm max. 50% landscaped area	115sqm	112m2

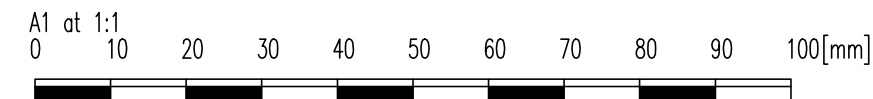
LEGEND:

Denotes Existing to be Demolished	BAL(No)	BALUSTRADE
Timber	SC	SCREEN
Tile	B	BATTEN
Concrete	TC	TIMBER CLADDING
Carpet	DP	DOWNPIPE
Proposed Landscape Area	SP	SPLITTER
Existing Ground	AW(No)	AWNING
Proposed Fill	RL	RELATIVE LEVEL
New 90mm STUD WALL	FLL	FINISHED FLOOR LEVEL
New BRICK WALL	FCL	FINISHED CEILING LEVEL
New BLOCK/DINCEL WALL	AC	AIR CONDITIONING
	S	SINK
	STV	STOVE
	FR	FRIDGE
	JN(No)	JOINERY
	R(No)	ROBE
	W/M	AIR CONDITIONING
	D	DRYER
	SH	SHOWER
	BT	BATH TUB
	UPH	UNDER FLOOR HEATING
	COS	CONFIRM ON SITE
	SA	SMOKE ALARM
	⊙	FLOOR WASTE

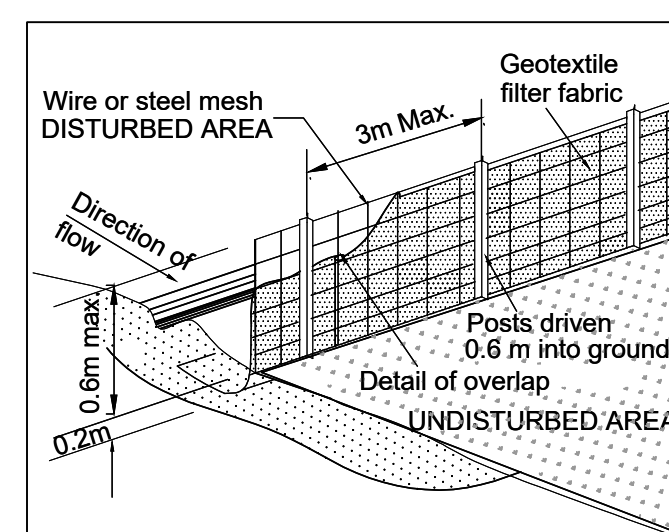
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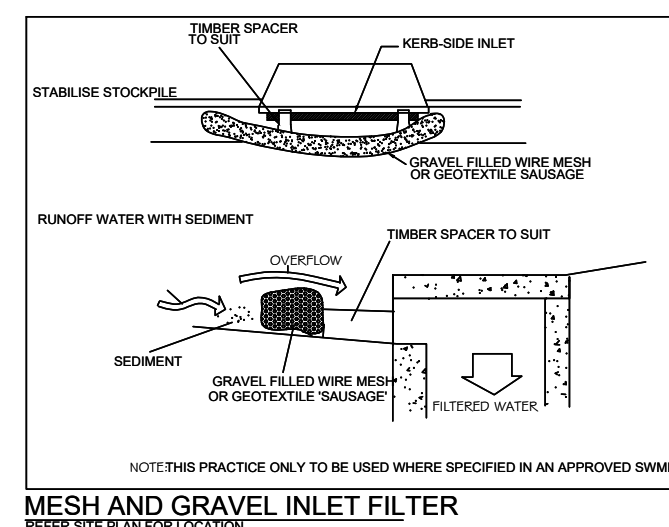
SEDIMENT CONTROL FENCE



REFER SITE PLAN FOR LOCATION

CONSTRUCTION NOTES

- CONSTRUCT SEDIMENT CONTROL FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE
- DRIVE 1.5m LONG STAR PICKETS INTO GROUND, 2.5m APART.
- DIG A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
- FIX SELF SUPPORTING GEOTEXTILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXTILE MANUFACTURER.
- JOIN SECTIONS OF FABRIC AT SUPPORTS WITH 150mm OVERLAP
- BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.



No.	Revision	Date
E	Issue for CDC Modification	06.08.21
D	Issue for Consultant Info	14.07.21
C	Issue for CDC - W18 Amendment	08.04.21
B	Issue for CDC	11.03.21
A	Issue for CDC	12.02.21

Project
New Two Storey Dwelling
30 Beatrice Street, Clontarf NSW 2093
Lot 1 DP 345209

Client
Mr George Elias
2 Monash Crescent, Clontarf NSW 2093

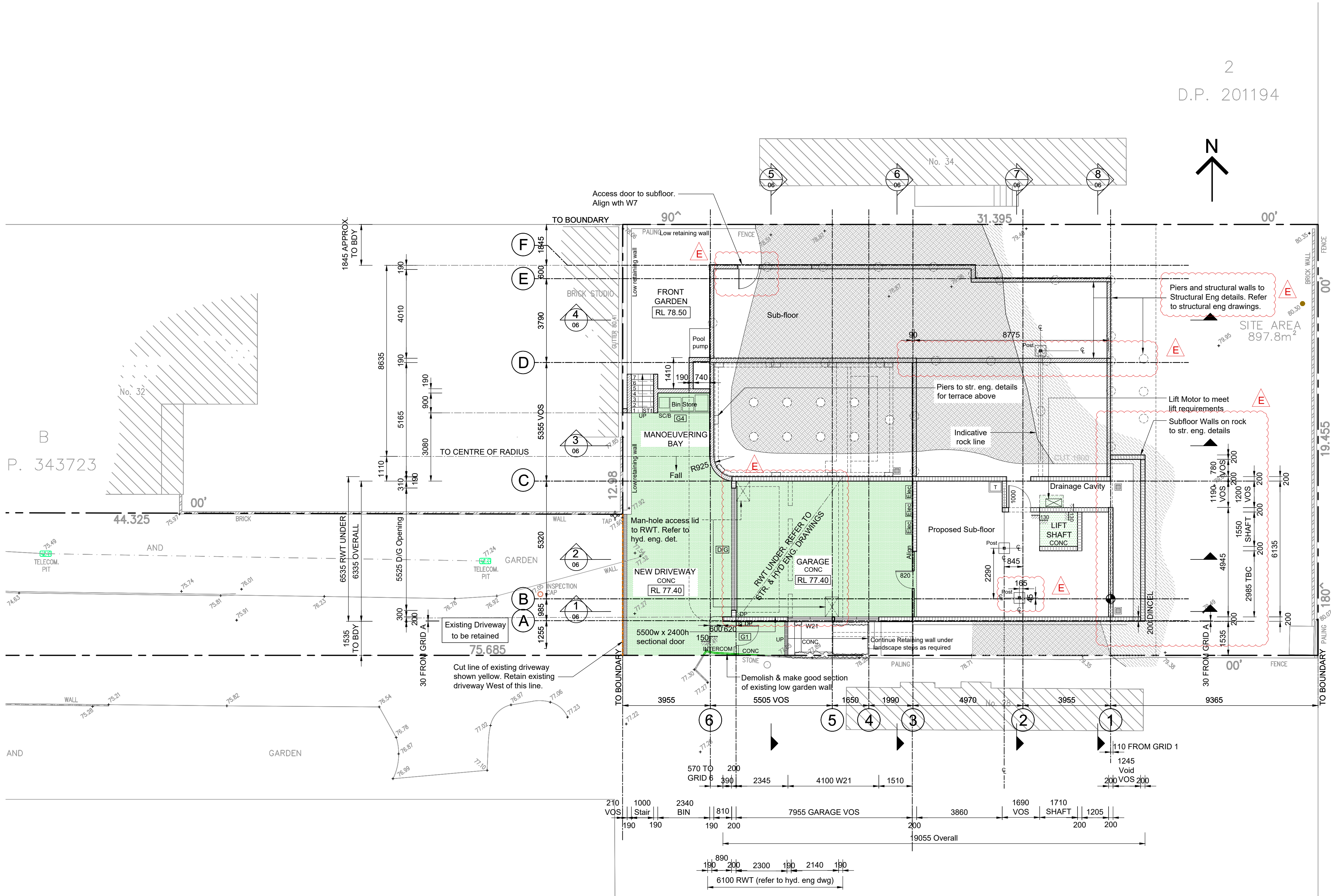
Drawn:

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Email: info@bdds.com.au
BDDS BUILDING DESIGN & DRAFTING SERVICES
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Tel: (02) 9880 2183
Fax: (02) 9880 2182
bda BUILDING DESIGN ASSOCIATION
Membership No. 1857-15
MIA
Membership No. 616222

Surveyor:
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Suite 2, 14 Starkey Street, PO Box. 330, Forestville, NSW 2087
p. 94516757
e. survey@beeleth.com.au

Drawing Title
ROOF/SITE PLAN & DEMOLITION PLAN

Drawn N.Lee	Checked OMT	Scale AS NOTED A1	Date August 2021
Project No 1920-071	Drawing No CDC-01	No. of drawings 1 of 7	Issue E



BASEMENT FLOOR PLAN

1:100

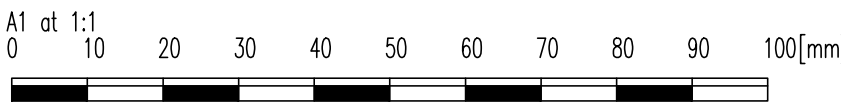
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	Tile	B	BATTEN
	Concrete	TC	TIMBER CLADDING
	Carpet	DP	DOWNPIPE
	Proposed Landscape Area	SP	SPLITTER
	Existing Ground	AW(No)	AWNING
	Proposed Fill	RL	RELATIVE LEVEL
	NEW 90mm STUD WALL	FFL	FINISHED FLOOR LEVEL
	NEW BRICK WALL	FCL	FINISHED CEILING LEVEL
	NEW BLOCK/DINZEL WALL	AC	AIR CONDITIONING
	TIMBER FLOOR	S	SINK
	CERAMIC TILE FLOOR	STV	STOVE
	CARPET FLOOR	FR	FRIDGE
	PEBBLECRETE	JN(No)	JOINERY
	CONCRETE FLOOR	R(No)	ROBE
	NEW DOORS	W/M	AIR CONDITIONING
	NEW WINDOWS	D	DRYER
	FIXED GLASS	SH	SHOWER
	FIXED DOOR	BT	BATH TUB
	SLIDING DOOR	UFH	UNDER FLOOR HEATING
	SKYLIGHT	COS	CONFIRM ON SITE
	DOOR GARAGE	SA	SMOKE ALARM
	GATE	⊗	FLOOR WASTE

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Drawn:

BDDS
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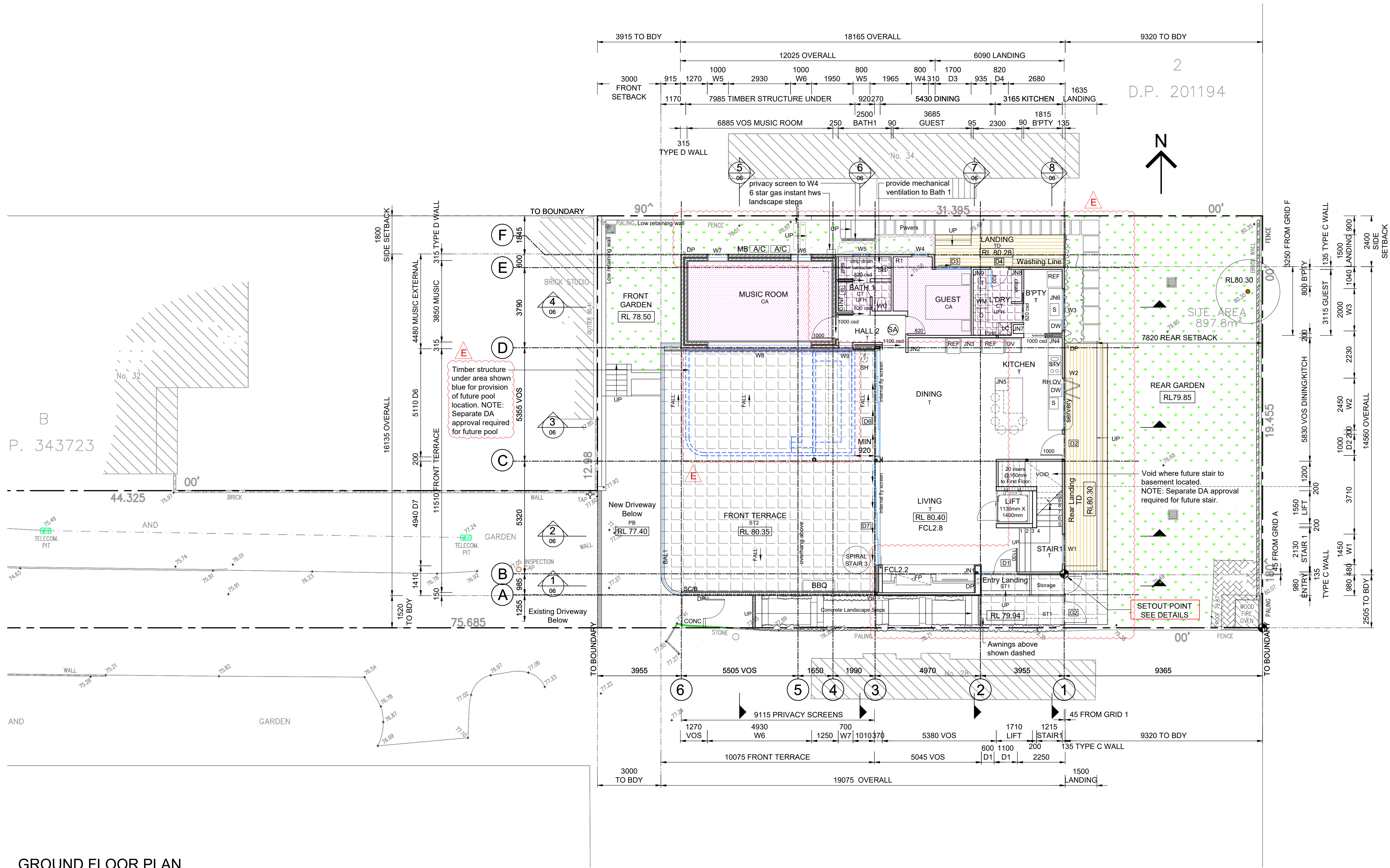
bda
BUILDING DESIGNERS ASSOCIATION AUSTRALIA
Membership No: 1857-15

NSA
NSW STATE ASSOCIATION
Membership No: 912322

Surveyor:
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e. survey@beeeth.com.au

Drawing Title
BASEMENT FLOOR PLAN

Drawn N.Lee	Checked OMT	Scale AS NOTED A1	Date August 2021
Project No 1920-071	Drawing No CDC-02	No. of drawings 2 of 7	Issue E



GROUND FLOOR PLAN
1:100

LEGEND:

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	Tile	B	BATTEN
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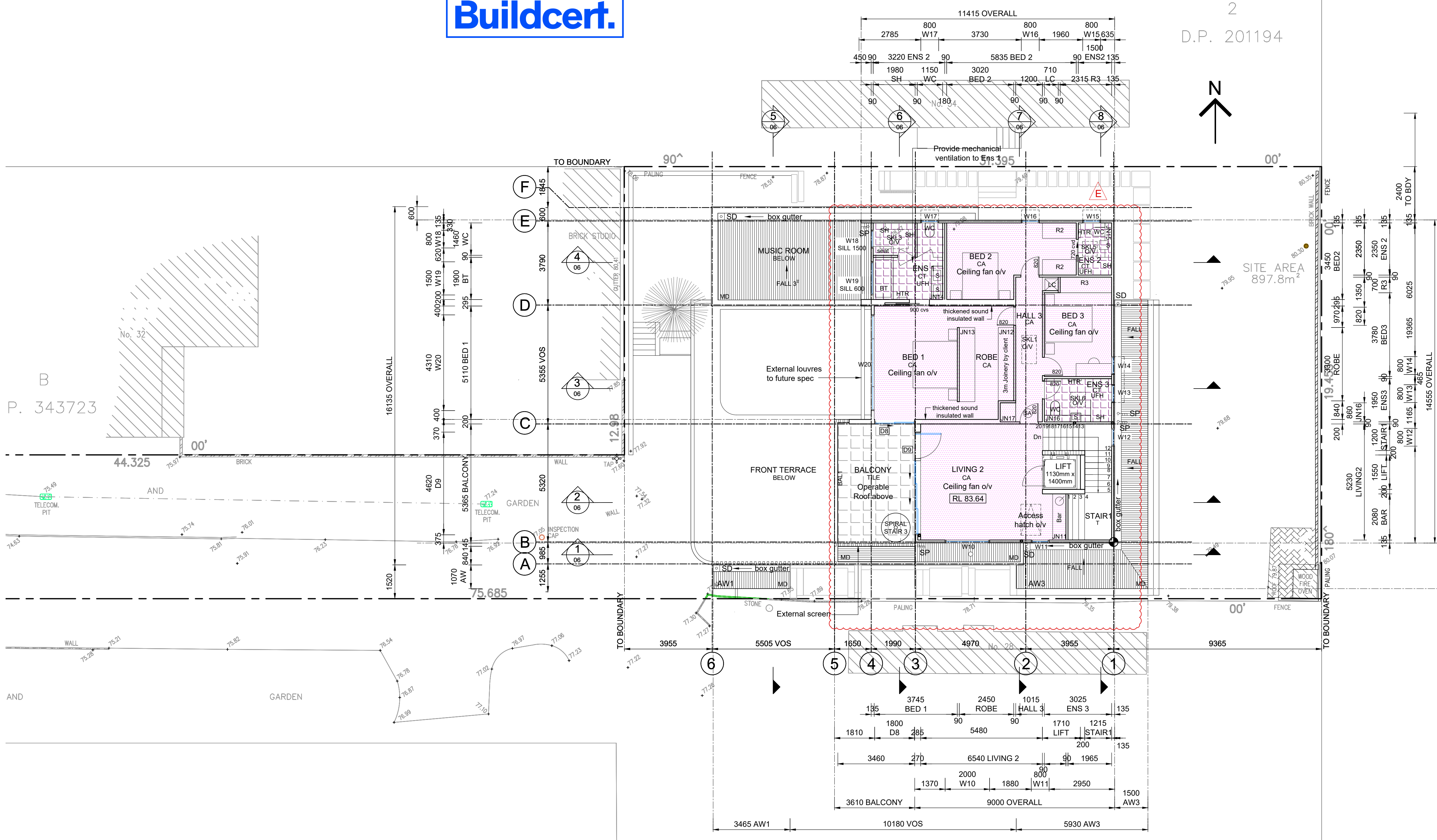
bda
BUILDING DESIGNERS AUSTRALIA
Membership No: 1857-15

NSW
MEMBERSHIP No: 912522

Surveyor:
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e. survey@beeleth.com.au

Drawing Title
GROUND FLOOR PLAN

Drawn N.Lee	Checked OMT	Scale AS NOTED A1	Date August 2021
Project No 1920-071	Drawing No CDC-03	No. of drawings 3 of 7	Issue E



FIRST FLOOR PLAN

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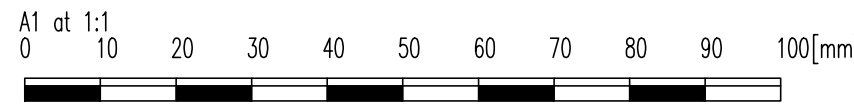
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CT	STV	STOVE
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CA	JN(No)	JOINERY
PB	R(No)	ROBE
CONC	W/M	AIR CONDITIONING
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FG	BT	BATH TUB
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SD	COS	CONFIRM ON SITE
SKL(No)	SA	SMOKE ALARM
D/G	®	FLOOR WASTE
G(No)		

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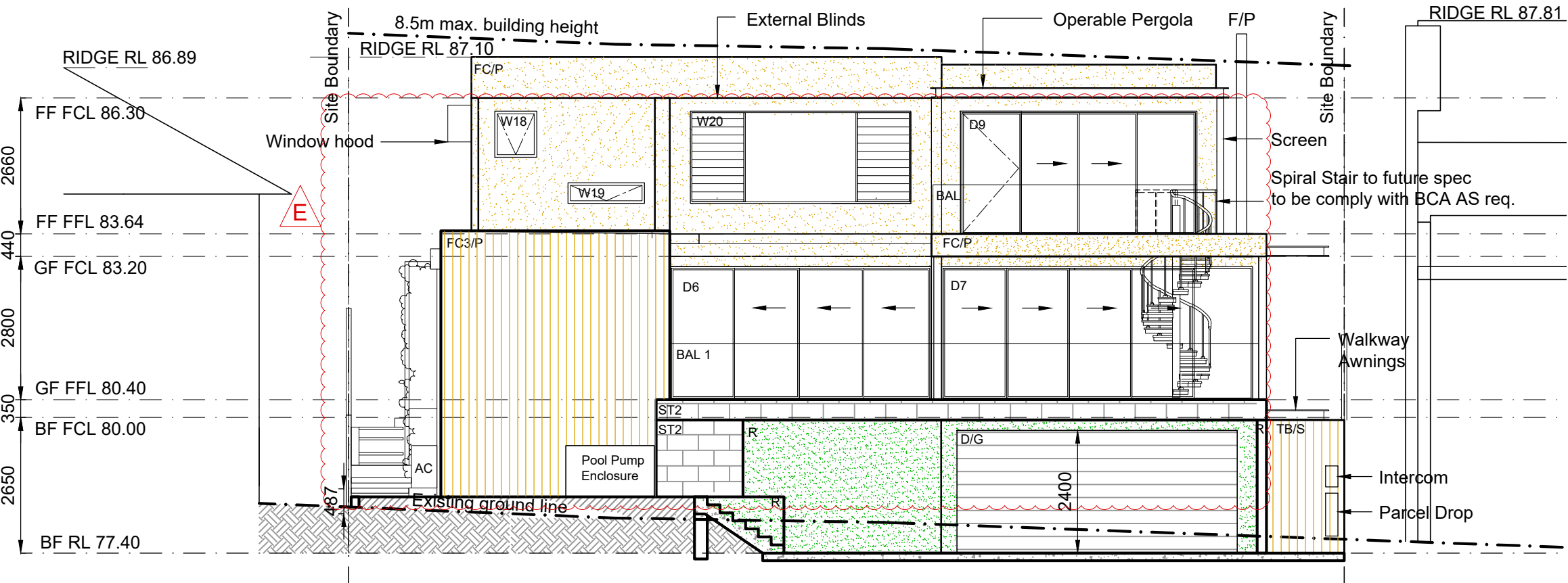
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Drawing Title
FIRST FLOOR PLAN

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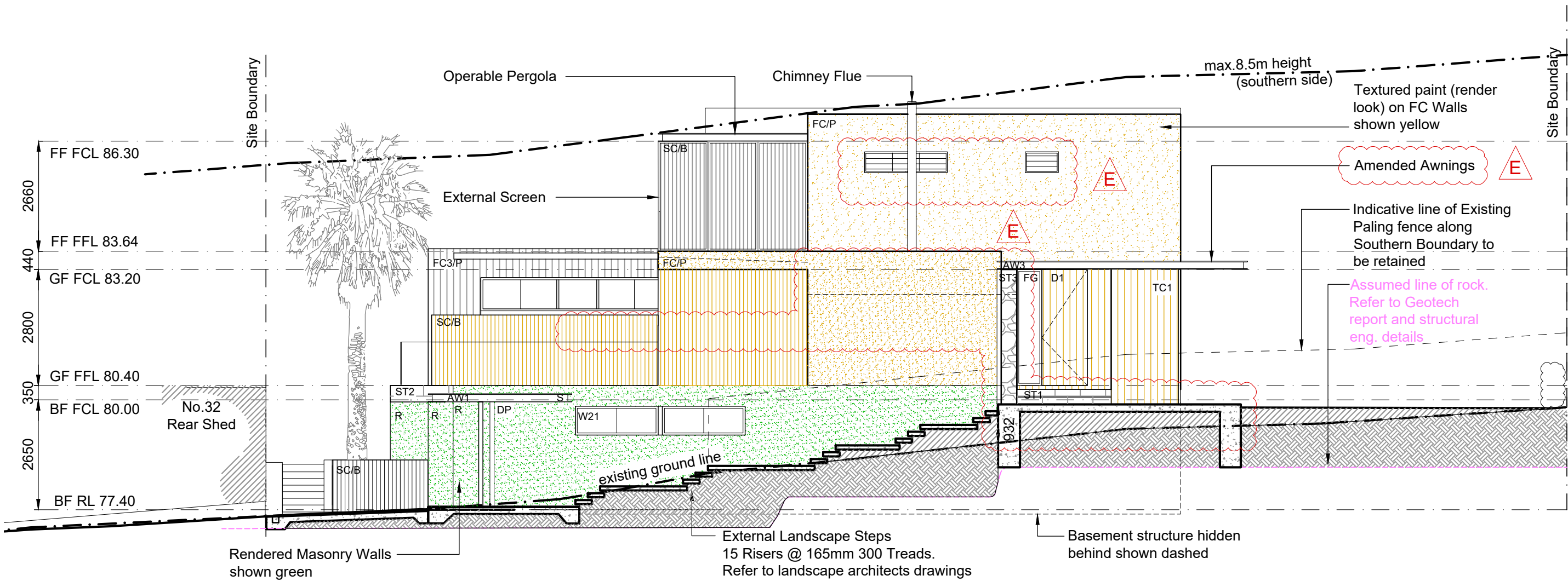
WEST ELEVATION

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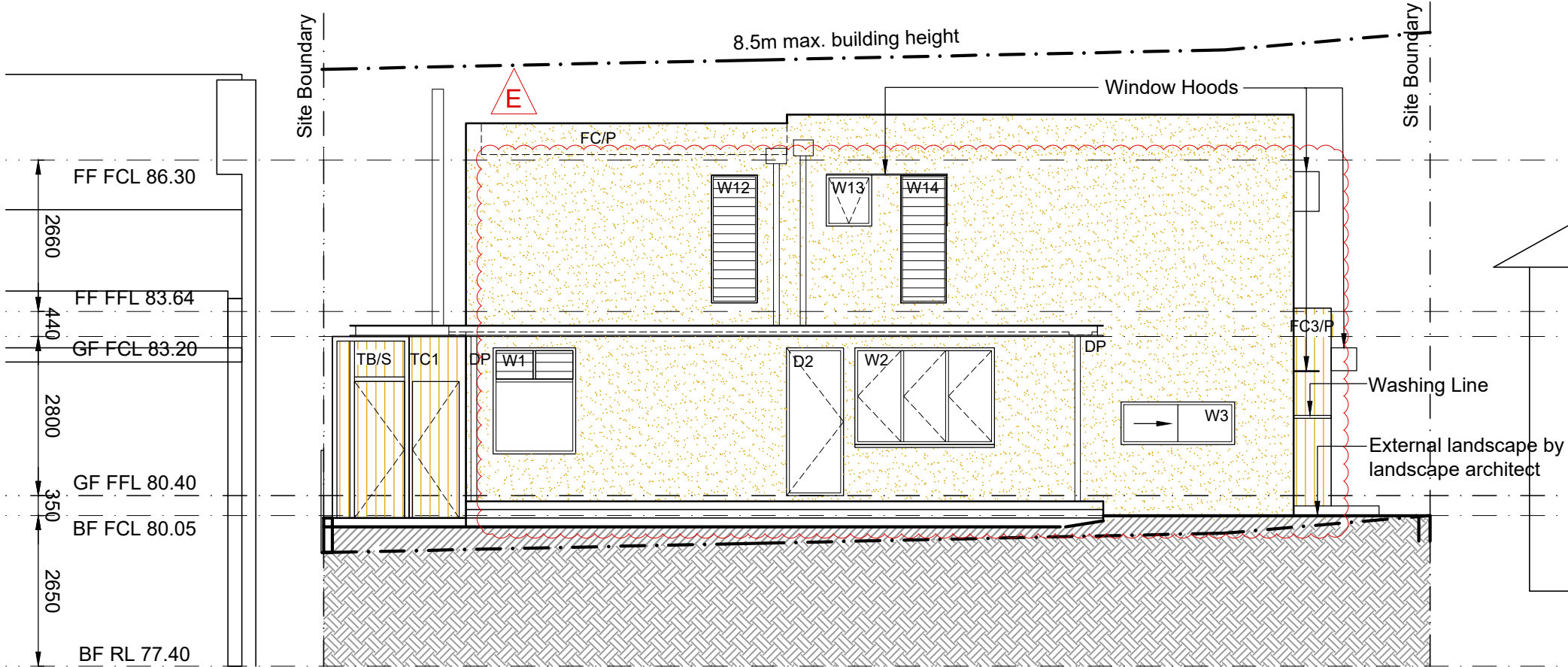
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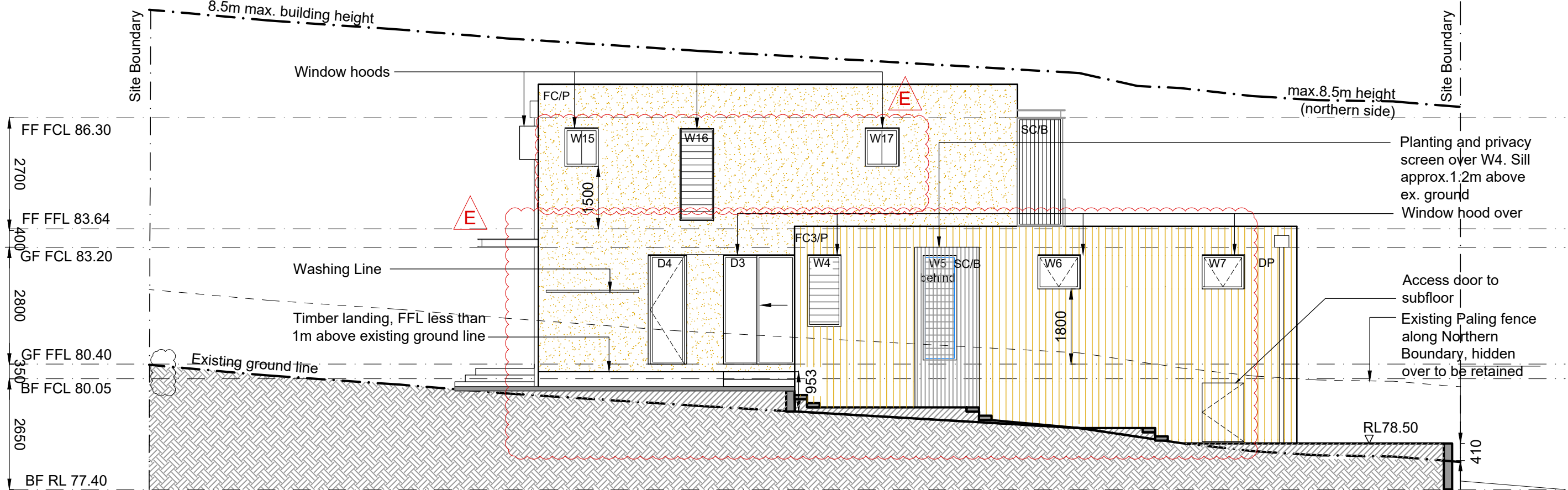
SOUTH ELEVATION

1:100



EAST ELEVATION

1:100



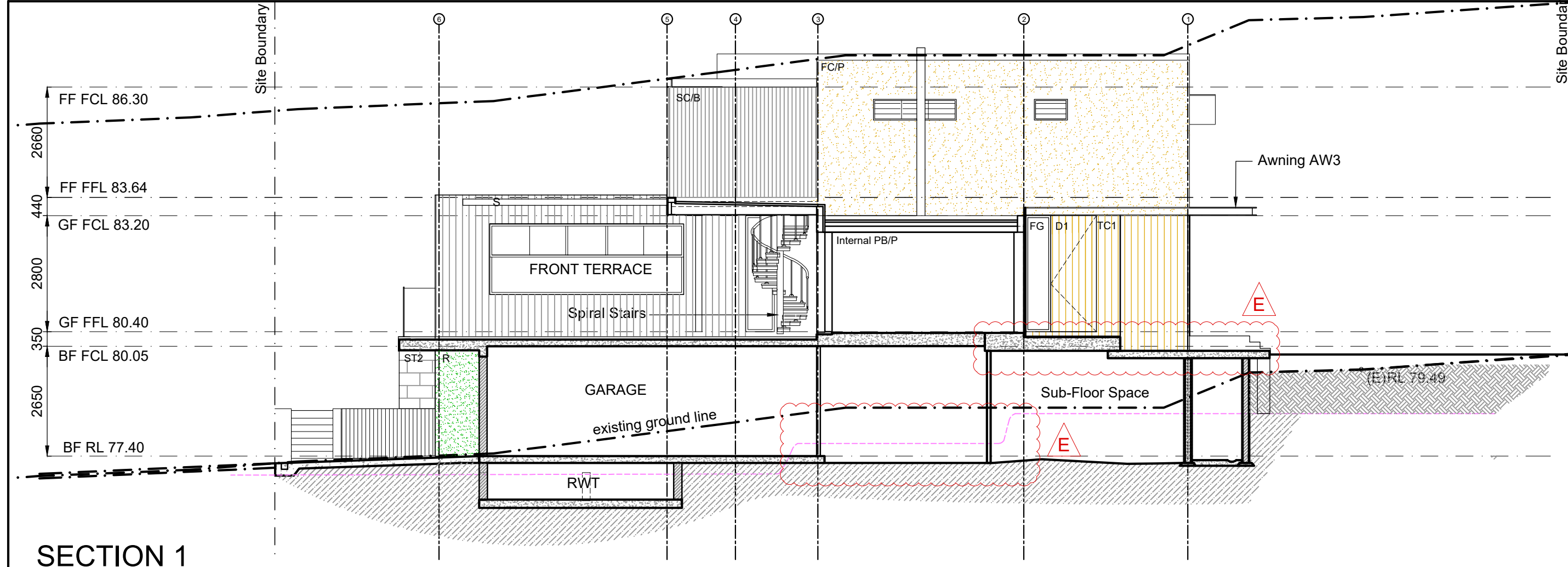
NORTH ELEVATION

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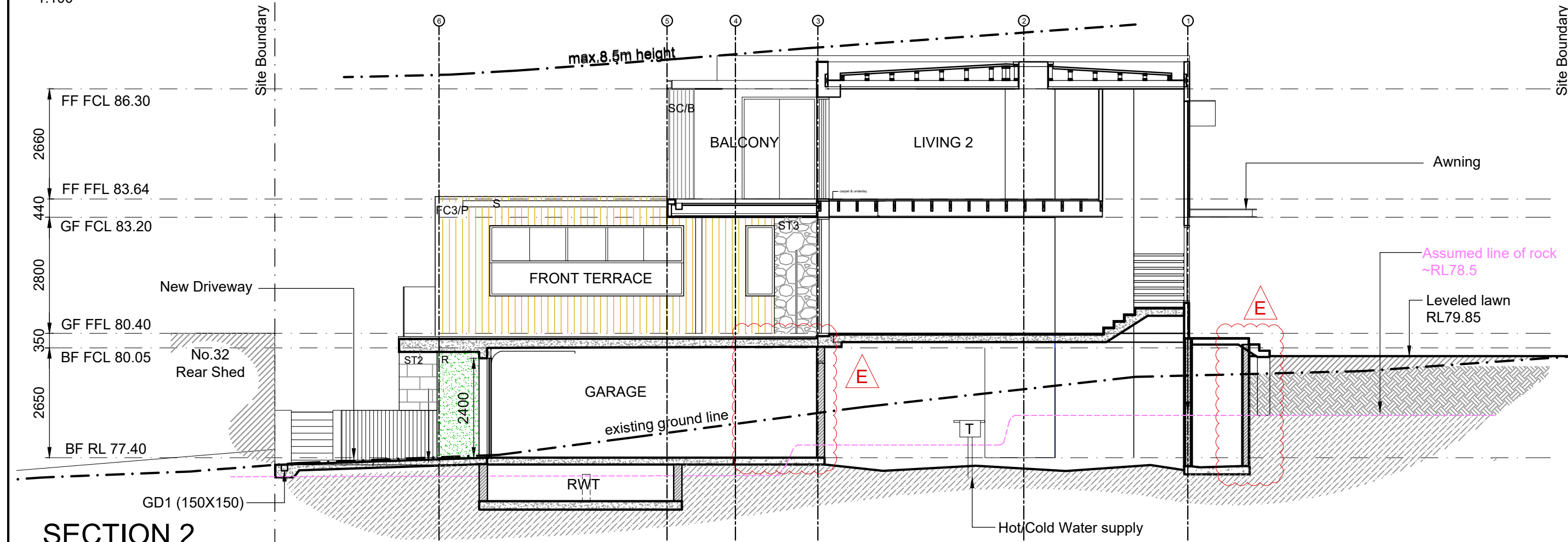
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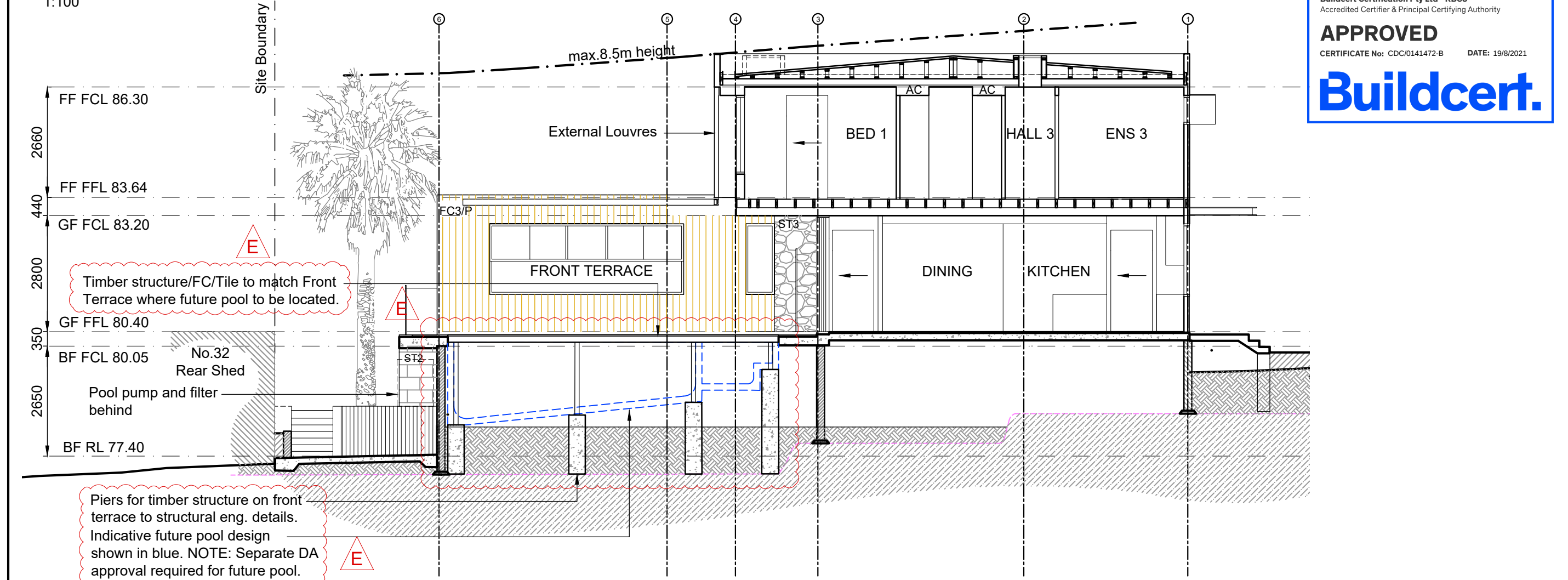
SECTION 1

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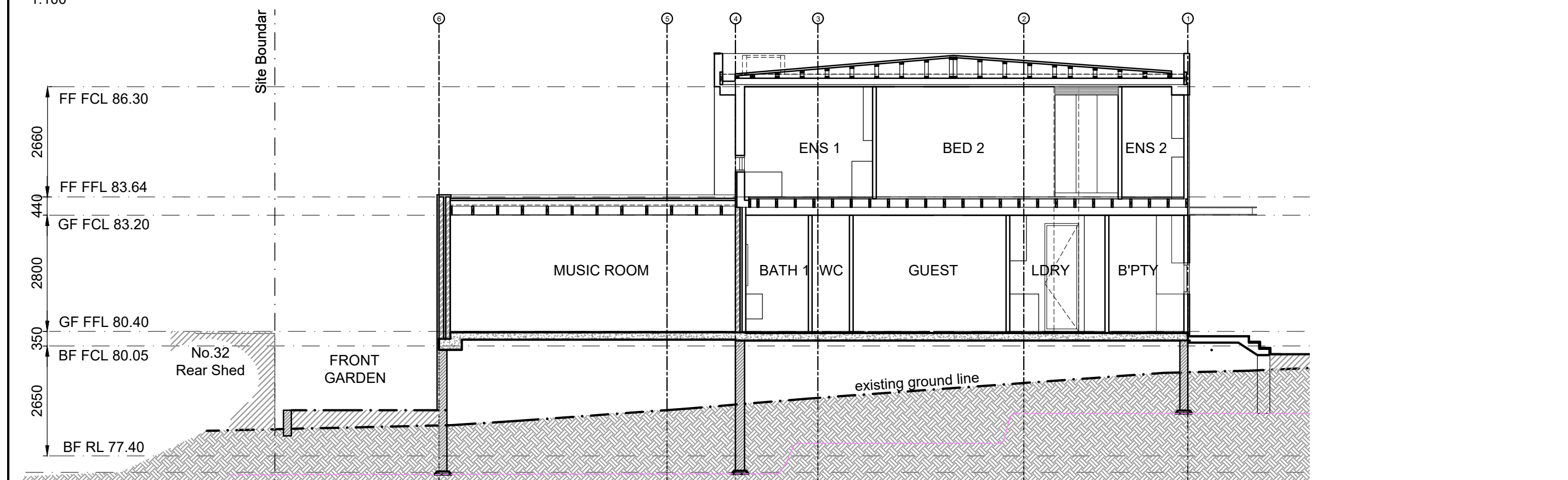
SECTION 2

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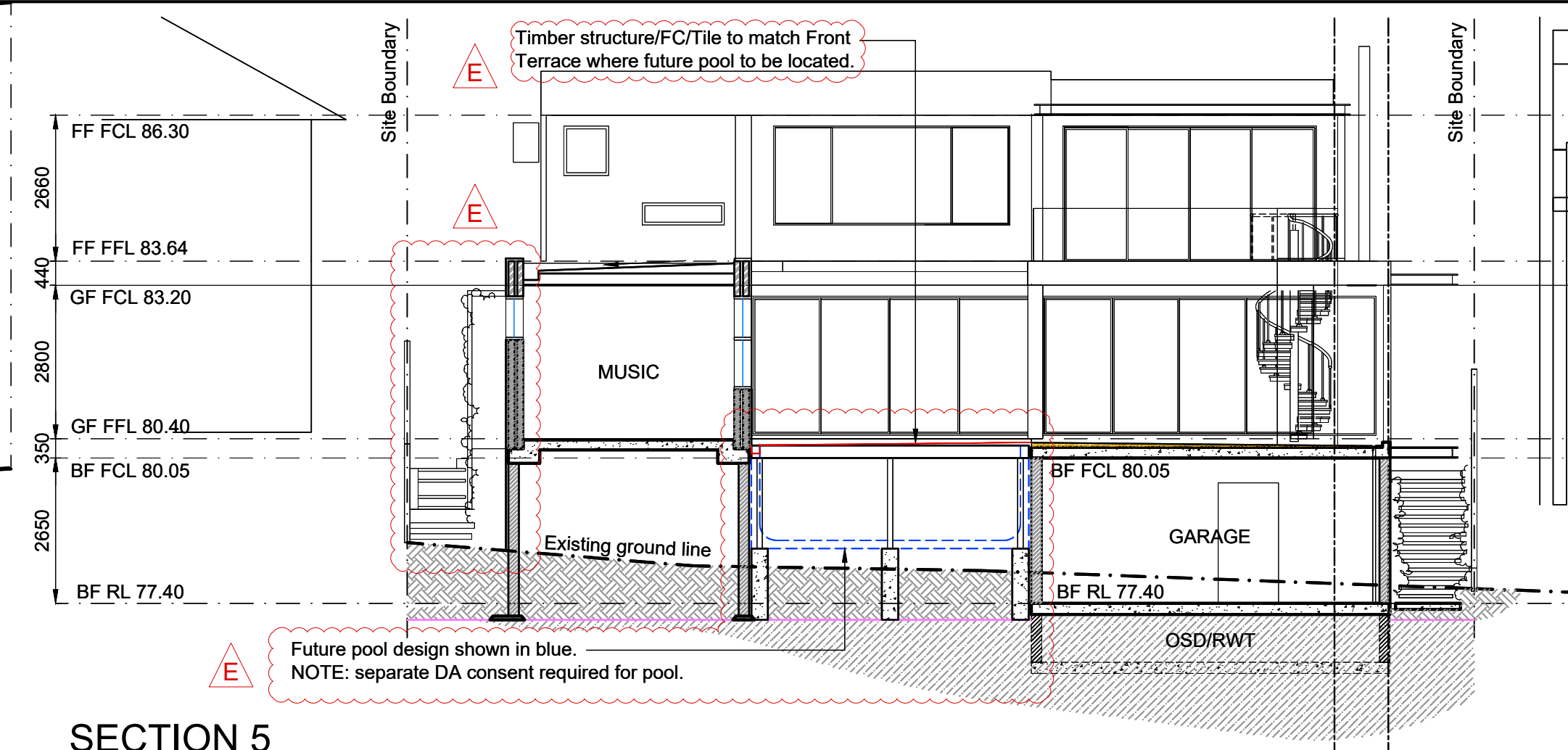
SECTION 3

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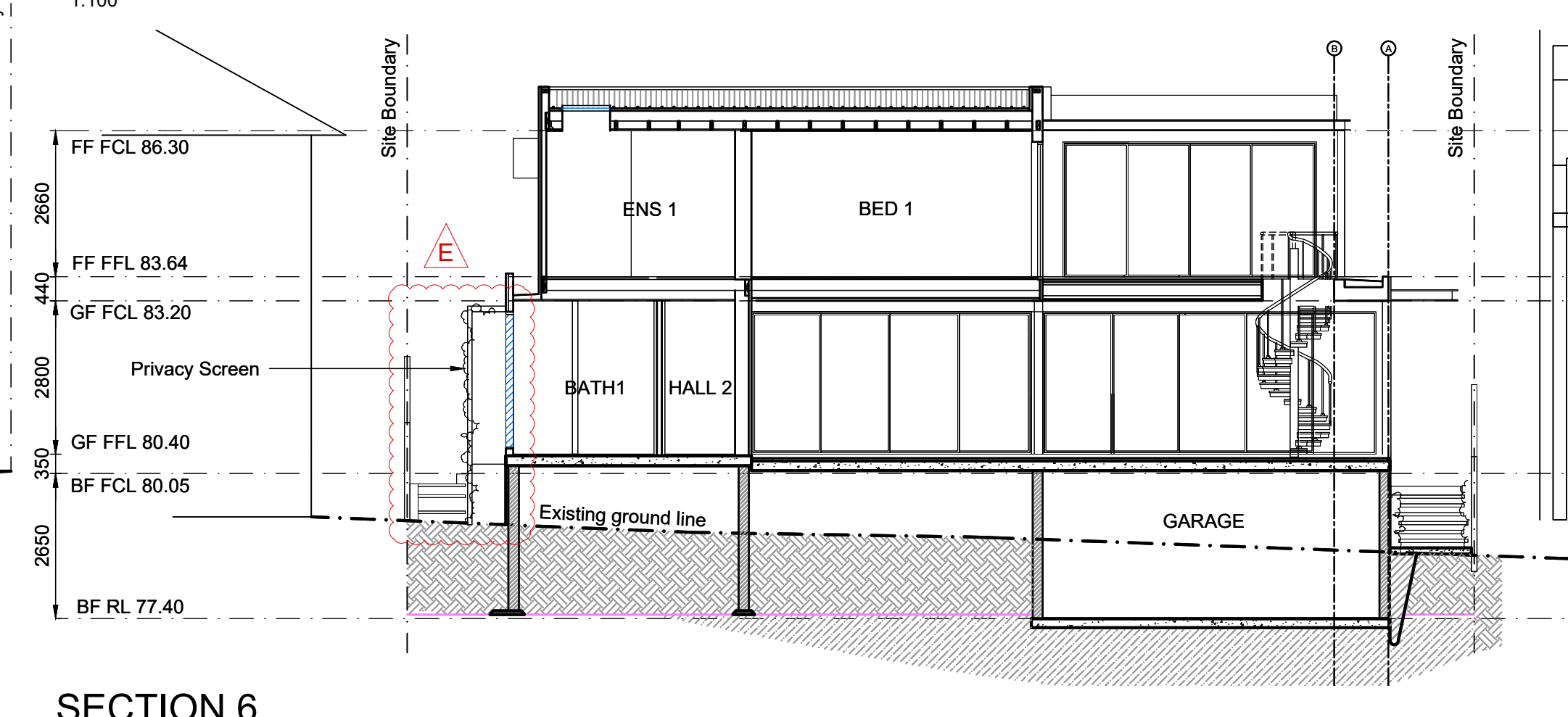
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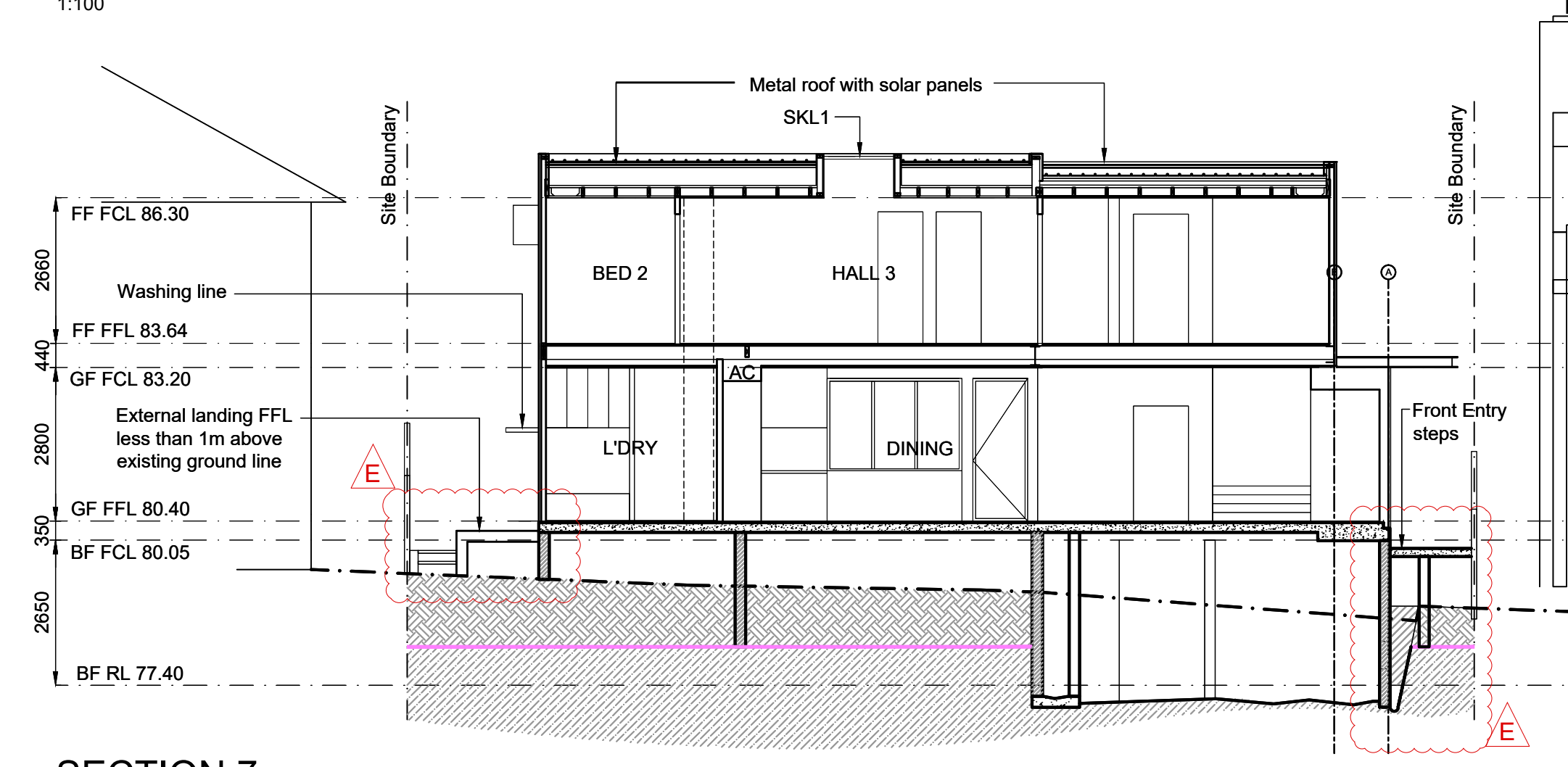
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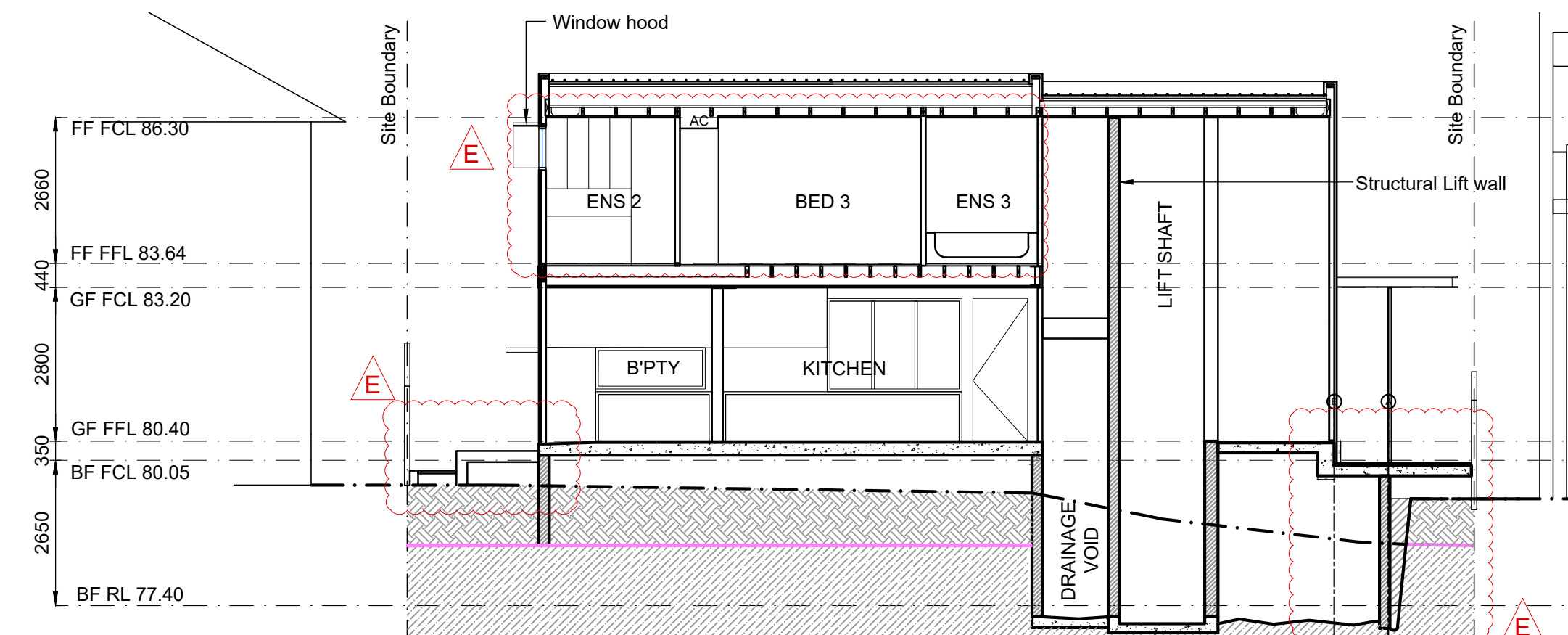
SECTION 6

1:100



SECTION 7

1:100



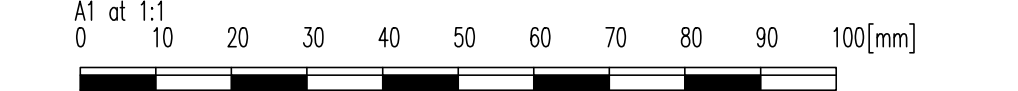
SECTION 8

1:100

LEGEND:		
	Denotes Existing to be Demolished	
	Timber	
	Tile	
	Concrete	
	Carpet	
	Proposed Landscape Area	
	Existing Ground	
	Proposed Fill	
	NEW 90mm STUD WALL	
	NEW BRICK WALL	
T	NEW BLOCK/DINTEL WALL	
CT	TIMBER FLOOR	
TILE	CERAMIC TILE FLOOR	
CA	EXTERNAL TILE FLOOR	
PB	CARPET FLOOR	
CONC	PEBBLECRETE	
D(No)	CONCRETE FLOOR	
W(No)	NEW DOORS	
FG	NEW WINDOWS	
FD	FIXED GLASS	
SD	FIXED DOOR	
SKL(No)	SLIDING DOOR	
D/G	SKYLIGHT	
G(No)	DOOR GARAGE	
	GATE	
BAL(No)	BALUSTRADE	
SC	SCREEN	
B	BATTEN	
TC	TIMBER CLADDING	
DP	DOWNPIPE	
SP	SPITTER	
AW(No)	AWNING	
RL	RELATIVE LEVEL	
FFL	FINISHED FLOOR LEVEL	
FCL	FINISHED CEILING LEVEL	
AC	AIR CONDITIONING	
S	SINK	
STV	STOVE	
FR	FRIDGE	
JN(No)	JOINTERY	
R(No)	ROBE	
W/M	AIR CONDITIONING	
D	DRYER	
SH	SHOWER	
BT	BATH TUB	
UFH	UNDER FLOOR HEATING	
COS	CONIFER ON SITE	
SA	SMOKE ALARM	
®	FLOOR WASTE	

NOTE: THESE ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEER DRAWINGS S01-S06 REV F & S07-S09 REV B, BY NB CONSULTING DATED 04.08.21.

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No.	Revision	Date
E	Issue for CDC Modification	06.08.21
D	Issue for Consultant Info	14.07.21
C	Issue for CDC - W18 Amendment	08.04.21
B	Issue for CDC	11.03.21
A	Issue for CDC	12.02.21

Project
New Two Storey Dwelling
30 Beatrice Street, Clontarf NSW 2093
Lot 1 DP 345209

Client
Mr George Elias
2 Monash Crescent, Clontarf NSW 2093

Drawn:

BDDS BUILDING DESIGN & DRAFTING SERVICES
Suite 3, 265-269 Pennant Hills Rd
Thornleigh NSW 2120
Email: info@bdds.com.au

AGN 13 089 825 828
Tel: (02) 9882 2163
Fax: (02) 9882 2180

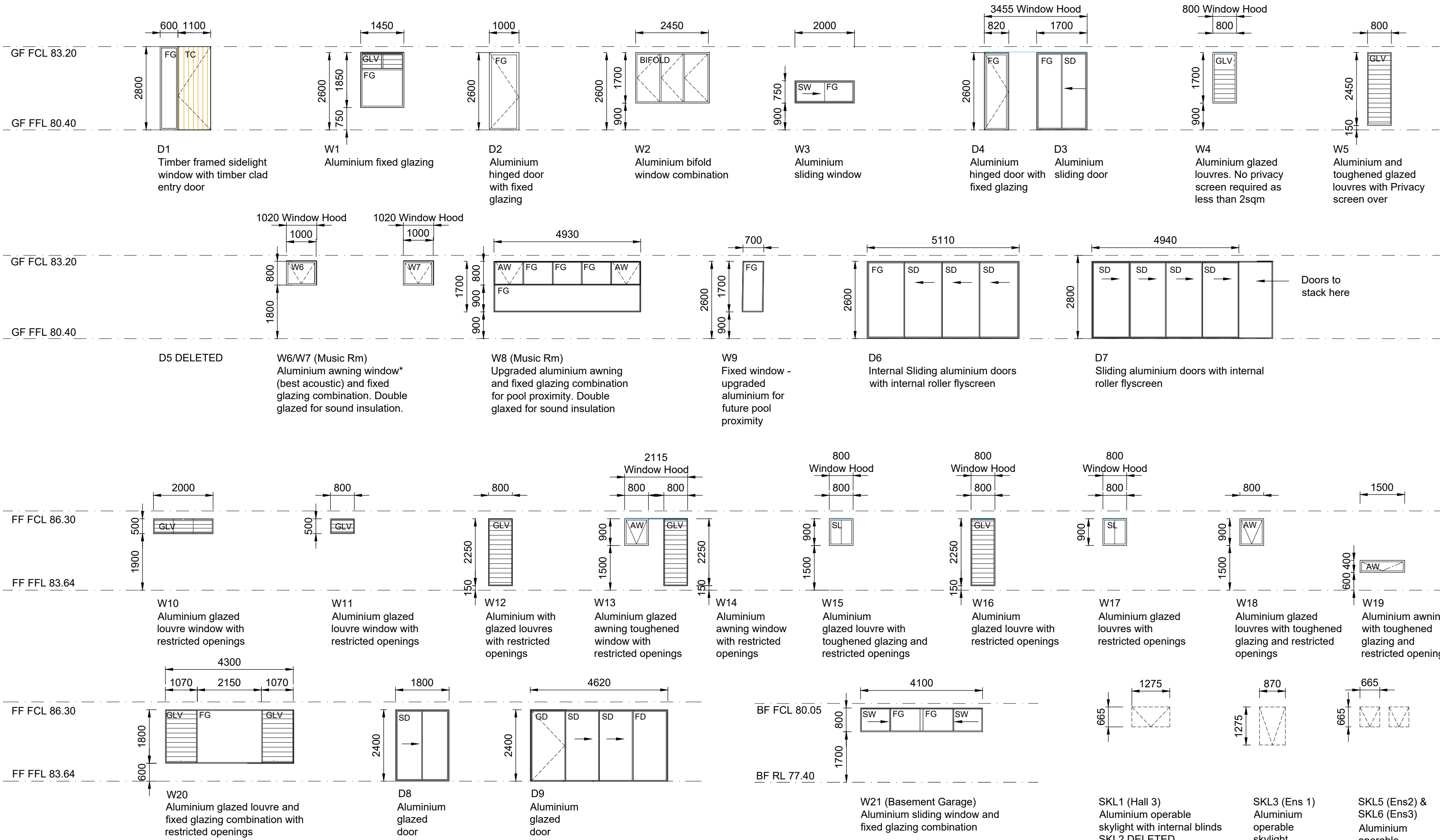
bda BUILDING DESIGN ASSOCIATION
Membership No. 1857-15

Membership No. 616232

Surveyor:
Bee & Lethbridge Pty Ltd
Suite 2, 14 Starkey Street, PO Box. 330, Forestville, NSW 2087
p. 94516757
e. survey@beeleth.com.au

Drawing Title
1:100 SECTIONS

Drawn N.Lee	Checked OMT	Scale AS NOTED A1	Date August 2021
Project No 1920-071	Drawing No CDC-06	No. of drawings 6 of 7	Issue E



Notes:

1. Refer to BASIX Certificate #: 1158402S-08 & Natthers Certificate #.0005681218-06
2. Provide Flyscreen and Security locks for all windows and glazed doors to owners specification
3. All new doors and windows dimensions to be confirmed by Builder on site PRIOR to purchase and installation.
4. Sizes of doors and windows not to exceed sizes in the window schedule/Basix schedule.
5. Specific Glazing requirements are to be in accordance with the approved BASIX Certificate.
6. All windows are to be powder coated Aluminium, white, except where otherwise specified.

Door and Window Schedule

1:100



WINDOW & GLAZED DOOR GLAZING REQUIREMENTS

Window No.	Size WxH	Window Type	Comments
W1	1450x1850	Aluminium Fixed & Louvres	Standard
W2	2450x1700	Aluminium Bifold	Standard
W3	2000x750	Aluminium Sliding	Standard
W4	800x1700	Aluminium Glazed louvres	Standard
W5	800x2450	Aluminium Glazed louvres	Toughened
W6	1000x800	Aluminium Awning	Double glazed
W7	1000x800	Aluminium Awning	Double glazed
W8	4930x1700	Aluminium/steel Fixed/Awning	Double glazed
W9	700x1700	Aluminium Fixed	Standard
W10	2000x500	Aluminium Glazed louvres	Standard
W11	800x500	Aluminium Glazed louvres	Standard
W12	800x2250	Aluminium Glazed louvres	Standard
W13	800x900	Aluminium Awning	Toughened
W14	800x2250	Aluminium Glazed louvres	Standard
W15	800x900	Aluminium Sliding	Toughened
W16	800x2250	Aluminium Glazed louvres	Standard
W17	800x900	Aluminium Sliding	Toughened
W18	800x900	Aluminium Awning	Toughened
W19	1500x400	Aluminium Awning	Toughened
W20	4300x1800	Aluminium Fixed/Glazed louvres	Standard
W21	4100x800	Aluminium Sliding	Standard

SKYLIGHT DOOR GLAZING REQUIREMENTS

SKL1	1275x665	Aluminium VCM/VCS Operable	Double Glazed
SKL2	DELETED		
SKL3	870x1275	Aluminium VCM/VCS Operable	Double Glazed
SKL4	DELETED		
SKL5/6	665x665	Aluminium VCM/VCS Operable	Double Glazed

DOOR SCHEDULE

Door No.	Size wxh	Door Type	Comments
D1	1100x2800	Timber with	Timber Clad with
	600x2800	sidelight window	Fixed glass sidelight
D2	1000x2600	Aluminium Glazed	Fixed glass
D3	1700x2600	Aluminium Sliding	Standard Flyscreen
D4	820x2600	Aluminium Glazed	Fixed glass
D5	DELETED		
D6	5110x2600	Aluminium Sliding (Internal)	Double glazed Retractable flyscreen
D7	4940x2600	Aluminium Sliding	Double glazed Retractable flyscreen
D8	1800x2400	Aluminium Sliding	Standard
D9	4620x2400	Aluminium Sliding	Double Glazed

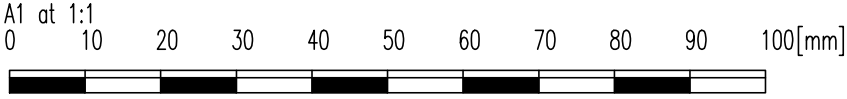
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	NEW BRICK WALL	FCL	FINISHED FLOOR LEVEL
	NEW BLOCK/DINCEL WALL	AC	AIR CONDITIONING
	TIMBER FLOOR	S	SINK
	CERAMIC TILE FLOOR	STV	STOVE
	EXTERNAL TILE FLOOR	FR	FRIDGE
	CARPET FLOOR	JN(No)	JOINERY
	PEBBLECRETE	R(No)	ROBE
	CONCRETE FLOOR	W/M	AIR CONDITIONING DRYER
	NEW DOORS	SH	SHOWER
	NEW WINDOWS	BT	BATH TUB
	FIXED GLASS	UFH	UNDER FLOOR HEATING
	FIXED DOOR	COS	CONFIRM ON SITE
	SLIDING DOOR	SA	SMOKE ALARM
	SKYLIGHT	⊗	FLOOR WASTE
	DOOR GARAGE		
	GATE		

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Drawn:

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Phone: 02 9960 2100 Fax: 02 9960 2100 Email: info@bdds.com.au
AS/N 13 039 800 900
Thornleigh NSW 2120
Tel: (02) 9960 2103 Fax: (02) 9960 2100
bdds BUILDING DESIGN & DRAFTING SERVICES
Membership No: 1657-15
HIA
Membership No: 618232

Surveyor:
Bee & Lethbridge Pty Ltd
Suite 2, 14 Starkey Street, PO Box. 330, Forestville, NSW 2087
p. 94516757
e. survey@beeleth.com.au

Drawing Title
DOOR & WINDOW SCHEDULE, BASIX

Drawn N.Lee	Checked OMT	Scale AS NOTED A1	Date August 2021
Project No 1920-071	Drawing No CDC-07	No. of drawings 7 of 7	Issue E