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10 (LOT 14) LOCKWOOD AVE FRENCHS FOREST, 2086



	A	PRELIMINARY PLANS		
	B	PRELIMINARY PLANS		
	C	ISSUED FOR D.A	S.V	17.04.25



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PROJECT
DUAL OCCUPANCY DEVELOPMENT

CLIENT
FAMILY BATROUNIAN

LOT / DP No
225454

SITE ADDRESS
10 (LOT 14) LOCKWOOD AVE

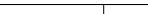
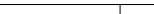
SUBURB
FRENCHS FOREST, 2086

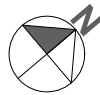
COUNCIL
NORTHERN BEACHES

DRAWING STATUS:
ISSUED FOR D.A

DRAWING TITLE:
COVER PAGE & DRAWING INDEX

DESIGNED: S.V	DRAWN BY: M.Z
CHECKED: S.V	
SCALE: @A3	DATE: 1/05/2025
PROJECT No. PN24060	25 - 938
DRAWING No: 01 / 24	

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SCALE: @A3	DATE: 1/05/2025															
PROJECT No.	PN24060															
	25 - 938															
DRAWING No: 03 / 24																
B	PRELIMINARY PLANS															
C	ISSUED FOR D.A	S.V	17.04.25													



SSM 9138
RL: 160.040(AHD)

LOCKWOOD AVENUE

PROPOSED NEW CONCRETE DRIVEWAY CROSSOVER AND PEDESTRIAN ACCESS TO COUNCIL STANDARDS AND SPECIFICATIONS

BM NAIL IN TOP OF KERB
RL: 160.16(AHD)

SITE PLAN
1:200

LEGEND

EASEMENT A: CROSS EASEMENT 0.00 WIDE
EASEMENT B: CROSS EASEMENT 0.00 WIDE
EASEMENT C: CROSS EASEMENT 0.00 WIDE
EASEMENT SS: SANITARY SEWER EASEMENT 0.00 WIDE

1.2m HIGH BOUNDARY FENCE:
- ANY FENCE LOCATED ALONG THE BOUNDARY OF, OR WITHIN THE SETBACK AREA TO, A PRIMARY OR SECONDARY ROAD

1.8m HIGH BOUNDARY FENCE:
- NOT BE HIGHER THAN 1.8m ABOVE GROUND LEVEL
- NOT BE OF MASONRY CONSTRUCTION TO A HEIGHT THAT IS MORE THAN 1.2m ABOVE GROUND LEVEL.

CONCRETE VEHICLE CROSSING TO MATCH DRIVEWAY

NON SLIP HARDSTAND / CONCRETE DRIVEWAY AND PATH AS REQUIRED

FLOOR SLAB FOOTPRINT

RETAINING WALL AS REQUIRED

'H' CLASS SLAB SUBJECT TO BOREHOLE REPORT

ANY RETAINING WALLS REQUIRED TO BE COMPLETED BY OWNERS TO MANUFACTURES SPECIFICATIONS. STORMWATER DRAINAGE TO EASEMENT

TREE
0.1 Ø TRUNK DIAMETER
1 S TREE SPREAD
1 H TREE HEIGHT



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B	PRELIMINARY PLANS		
C	ISSUED FOR D.A	S.V	17.04.25



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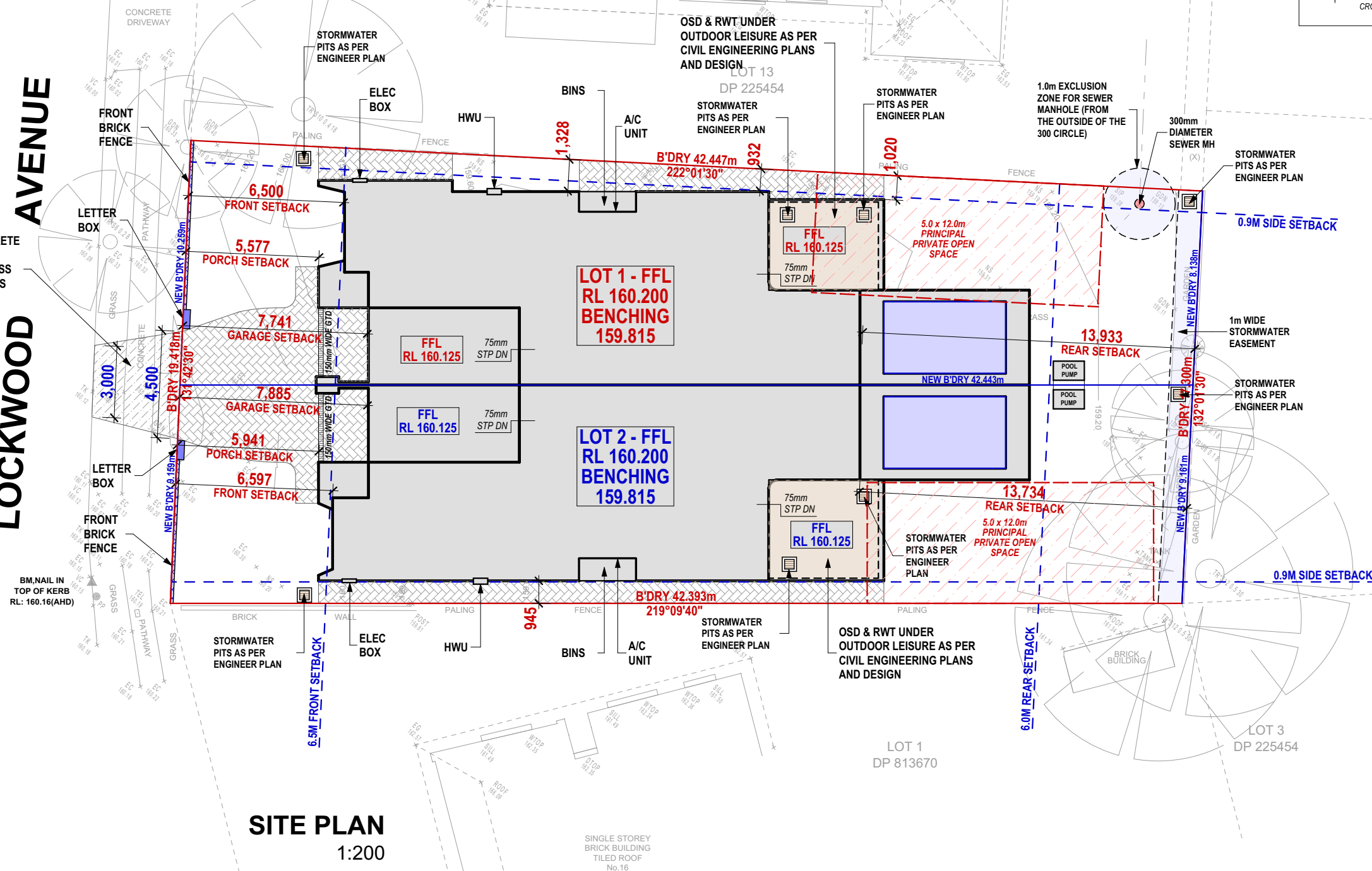
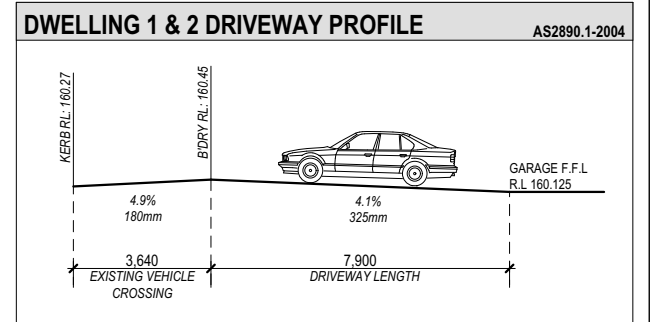
PROJECT
DUAL OCCUPANCY DEVELOPMENT
CLIENT
FAMILY BATROUNIAN
LOT / DP No
225454

SITE ADDRESS
10 (LOT 14) LOCKWOOD AVE
SUBURB
FRENCHES FOREST, 2086
COUNCIL
NORTHERN BEACHES

DRAWING STATUS:
ISSUED FOR D.A
DRAWING TITLE:
SITE PLAN

DESIGNED: S.V
CHECKED: S.V
SCALE: @A3
PROJECT No.
DRAWING No: 04 / 24

DRAWN BY: M.Z
DATE: 1/05/2025
PN24060
25 - 938





SSM 9138
RL: 160.040(AHD)

LOCKWOOD AVENUE

BM.NAIL IN
TOP OF KERB
RL: 160.16(AHD)

DEMOLITION PLAN 1:200

EXISTING CONCRETE DRIVEWAY,
CROSSOVER AND PEDESTRIAN ACCESS TO
BE REMOVED AND RE-INSTATED TO
COUNCIL STANDARDS AND SPECIFICATIONS

LOT 1

LOT 2

SINGLE STOREY
BRICK BUILDING
TILED ROOF
No.16

LOT 13
DP 225454

LOT 5
DP 225454

LOT 1
DP 813670

LOT 3
DP 2254

LEGEND

TO REMAIN

TO BE
REMOVED

TREE TO
REMAIN

TREE TO BE
REMOVED



DEMOLITION WORK IS TO BE
CARRIED OUT AS 2601-2001

DEMOLITION - NOTES

- Cut existing floor slabs for new excavations, for footings and services. Refer also to structural and services drawings and documentation for extent of demolition works.
- Disconnect all services prior to demolition. Refer to consultant drawings and documentation.
- Refer to engineer's drawings for extent of underpinning of existing footings and walls, removal of existing beams, columns, concrete slabs and sequence of removal, temporary propping of walls, beams, columns, concrete slabs and brickwork.
- Demolition work to be coordinated with the new building work shown on architectural documentation and documentation of other consultants.
- Demolish all existing roofs.
- Remove all fixtures, fittings, and finishes including tiled walls and floors and clean all surfaces in preparation of receiving new finishes as per schedules or specification.
- Remove all pipework, equipment and services not specifically documented to be retained, including metal ductwork, sprinkler pipework, gutters, downpipes, electrical fixtures & fittings, redundant plant equipment, and redundant signage.
- Remove all suspended ceilings and plasterboard ceilings including disconnecting and removing all electrical services, equipment, and light fittings etc.
- Remove all partitioning, and other lightweight walls, to all floors including any built-in fixtures and fittings.
- Disconnect existing sanitary fixtures and demolish on all levels. Remove all fittings and fixtures and all wall & floor tiles
- Note: the builder shall set out all work on site, including the establishment of all levels, the marking of all walls and the locations of all riser ducts. Prior to the commencement of shop drawings or construction. This shall include a study of, and allowance for, all existing conditions including existing services within and around the site. All shop drawings shall be prepared based on site confirmation of existing conditions. Should any variations occur in the documentation which will affect the work, the builder shall notify the architect immediately.
- This drawing broadly sets out demolition work. The builder shall carry out all demolition necessary to complete the works.
- The builder shall allow to make good edges/sides of all demolished masonry walls and windows to clear and straight edge to allow for future finishes.
- Remove all floor coverings and adhesives associated with floor coverings. Allow for new finishes to be applied.
- Remove all windows, security mesh and screens
- Remove all internal and external doors.
- Remove all mechanical ductwork & equipment which extends to perimeter of building.
- Refer to landscape architects drawing for extent of removal of existing retaining walls and existing vegetation.
- Remove all existing planter boxes and make good to finished floor surface to allow for future finishes.
- Where stairs are to be demolished ensure entire stair is demolished including balustrades and underside of soffit where it meets the slab above.
- All levels noted on drawings are indicative only. Minor variations in levels are to be allowed for.

A	PRELIMINARY PLANS			
B	PRELIMINARY PLANS			
C	ISSUED FOR D.A	S.V	17.04.25	



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PROJECT
DUAL OCCUPANCY DEVELOPMENT

CLIENT
FAMILY BATROUNIAN

LOT / DP No
225454

SITE ADDRESS
10 (LOT 14) LOCKWOOD AVE

SUBURB
FRENCHS FOREST, 2086

COUNCIL
NORTHERN BEACHES

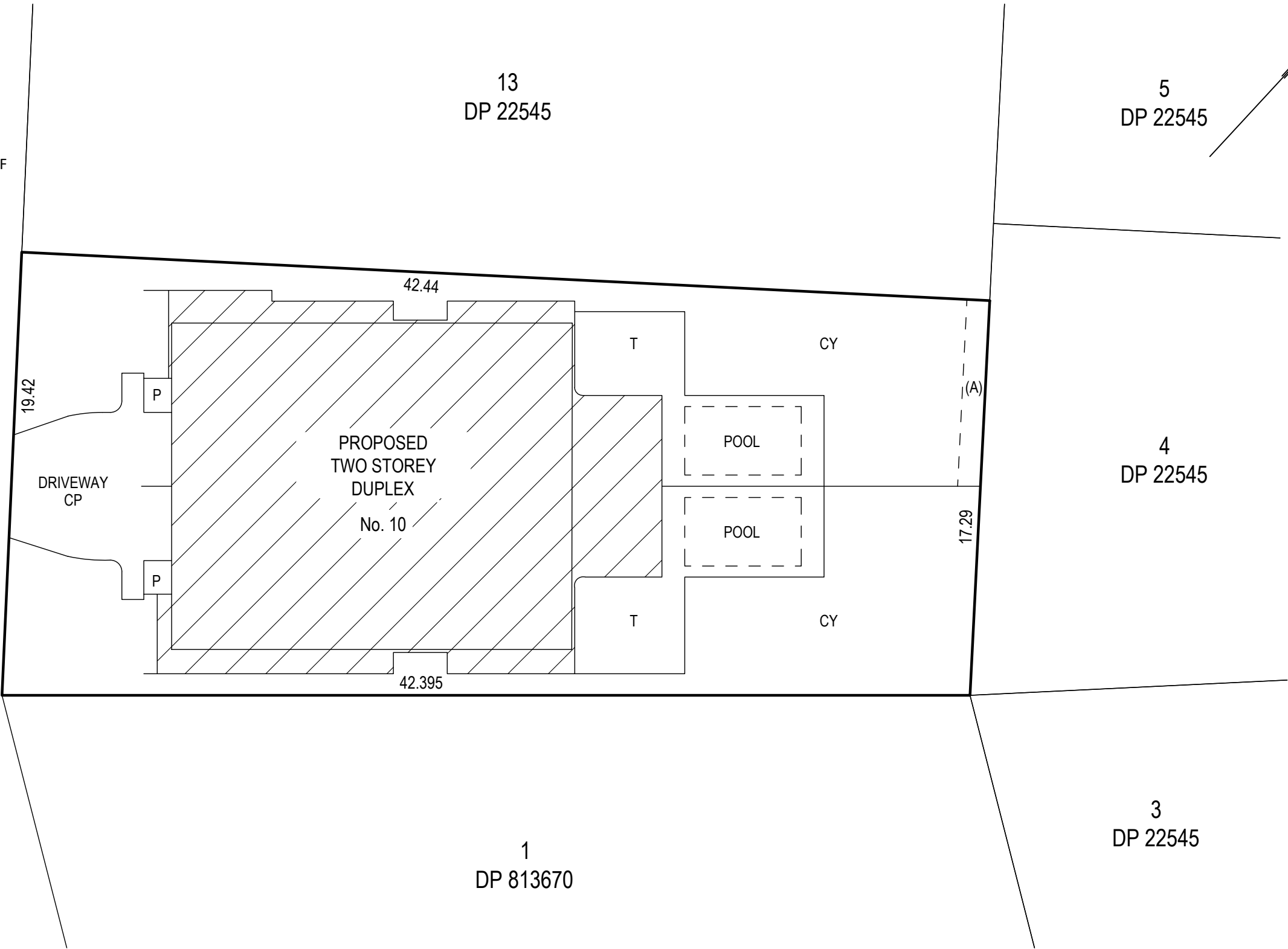
DRAWING STATUS:
ISSUED FOR D.A

DRAWING TITLE:
DEMOLITION PLAN

DESIGNED: S.V	DRAWN BY: M.Z
CHECKED: S.V	
SCALE: @A3	DATE: 1/05/2025
PROJECT No.	PN24060
	25 - 938
DRAWING No: 06 / 24	

- PLANS HAVE BEEN PREPARED FROM ARCHITECTURAL PLANS AS SUPPLIED:
 - GROUND LEVEL FLOOR PLAN: PN-24060_C001_9569.DWG
 - FLOOR PLAN: PN-24060_C001_9569.DWG
- AREAS ARE SUBJECT TO CONSTRUCTION VARIATIONS.
- INDIVIDUAL PART AREAS ARE SHOWN AND VINCULUMS ARE USED TO INDICATE COMPONENTS OF UNITS ONLY.
- DIMENSIONS OF LAND SUBJECT TO REGISTRATION OF PLAN OF CONSOLIDATION/REDEFINITION.

LOCKWOOD STREET

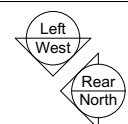
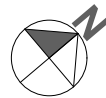


CP COMMON PROPERTY
CY COURTYARD
P PORCH
T TERRACE

(A) - PROPOSED EASEMENT FOR DRAINAGE 1 WIDE

LOCATION PLAN


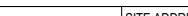
	A	PRELIMINARY PLANS			<div><div><div>bd</div><div>daa</div></div><div>ACCREDITED BUILDING DESIGNER</div></div>	<div><div><div><div><div></div></div><div>COPYRIGHT © THIS DRAWING IS COPYRIGHT AND THE PROPERTY OF ANTISIN PTY LTD. IT MUST NOT BE RETAINED, COPIED OR USED WITHOUT THE AUTHORITY OF ANTISIN PTY LTD.</div></div><div><div>DISCLAIMER</div><div>THIS DRAWING AND ITS CONTENTS ARE ELECTRONICALLY GENERATED AND ARE CONFIDENTIAL AND MAY ONLY BE USED FOR THE PURPOSE FOR WHICH THEY WERE INTENDED. ANTISIN PTY LTD. WILL NOT ACCEPT RESPONSIBILITY FOR ANY CONSEQUENCES ARISING FROM THE USE OF THE DRAWING FOR OTHER THAN ITS INTENDED PURPOSE OR WHERE THE DRAWING HAS BEEN ALTERED, AMENDED OR CHANGED EITHER MANUALLY OR ELECTRONICALLY BY ANY THIRD PARTY.</div></div></div></div>	<div><div><div><div></div><div>VD&D</div><div>DESIGN • PROJECT MANAGEMENT</div></div><div>ANTISIN PTY LTD ATF VIJICA FAMILY TRUST T/A VIJICA DESIGN & DRAFTING ABN: 64 212 868 652 A: Suite 2.09, 11-13 Solent Circuit, Norwest 2153 M: (+61) 401 886 580 E: sinisa@vdnd.com.au W: www.vdnd.com.au</div></div></div>	<div><div>PROJECT DUAL OCCUPANCY DEVELOPMENT</div><div>CLIENT FAMILY BATROUNIAN</div><div>LOT / DP No 225454</div></div>	<div><div>SITE ADDRESS 10 (LOT 14) LOCKWOOD AVE</div><div>SUBURB FRENCHS FOREST, 2086</div><div>COUNCIL NORTHERN BEACHES</div></div>	DRAWING STATUS: ISSUED FOR D.A	DESIGNED: S.V	DRAWN BY: M.Z
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	C	ISSUED FOR D.A	S.V	17.04.25						SCALE: @A3	DATE: 1/05/2025	
										PROJECT No. PN24060 25 - 938		
						DRAWING TITLE: SUBDIVISION PLAN						
						DRAWING No: 07 / 24						

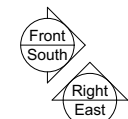
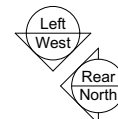


- SELECTED POOL FENCING MIN 1200H
- ALL POOL AND BOUNDARY FENCING TO COMPLY WITH THE SWIMMING POOLS ACT 1992 AND SWIMMING POOLS REGULATION 2008
- IN ADDITION TO AS1926.1-2012 - SWIMMING POOL SAFETY POOL WATER SHOULD BE DISCHARGE TO THE SEWER POOL PUMP SHALL BE HOUSED IN A SOUNDPROOF BARRIER



NOTE:
- 40mm SET-DOWN TO ALL WET-AREAS

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B	PRELIMINARY PLANS									CHECKED: S.V	
C	ISSUED FOR D.A	S.V	17.04.25							SCALE: @A3	DATE: 1/05/2025
					PROJECT No.	PN24060					
					DRAWING No: 08 / 24	25 - 808					



NOTE:
- 40mm SET-DOWN TO ALL WET-AREAS

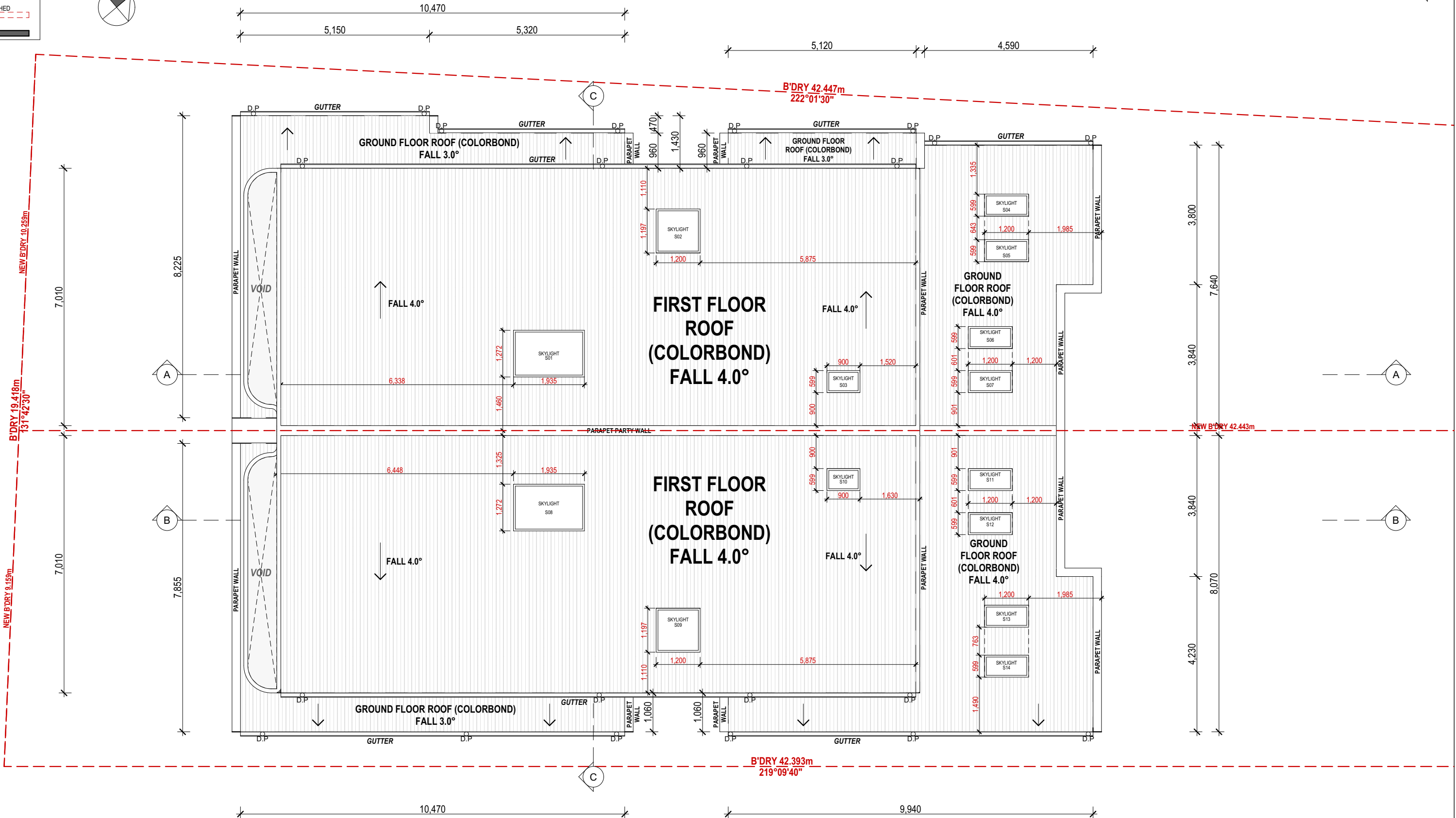
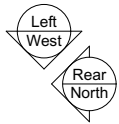
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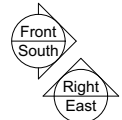
NEW DEVELOPMENT

DEMOLISHED

EXISTING



ROOF PLAN
1:100



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PROJECT
DUAL OCCUPANCY DEVELOPMENT
CLIENT
FAMILY BATROUNIAN
LOT / DP No
225454

SITE ADDRESS
10 (LOT 14) LOCKWOOD AVE
SUBURB
FRENCHS FOREST, 2086
COUNCIL
NORTHERN BEACHES

DRAWING STATUS:
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DRAWING TITLE:
ROOF PLAN

DESIGNED: S.V
CHECKED: S.V
SCALE: @A3
PROJECT No. PN24060
DRAWING No: 10 / 24

DRAWN BY: M.Z
DATE: 1/05/2025
25 - 938

Surface Legend

Surface	Name
	White Render
	Brick
	Cladding

Window Glazing Legend

Glazing	Name
	Clear
	OBS Glazing

Window Legend

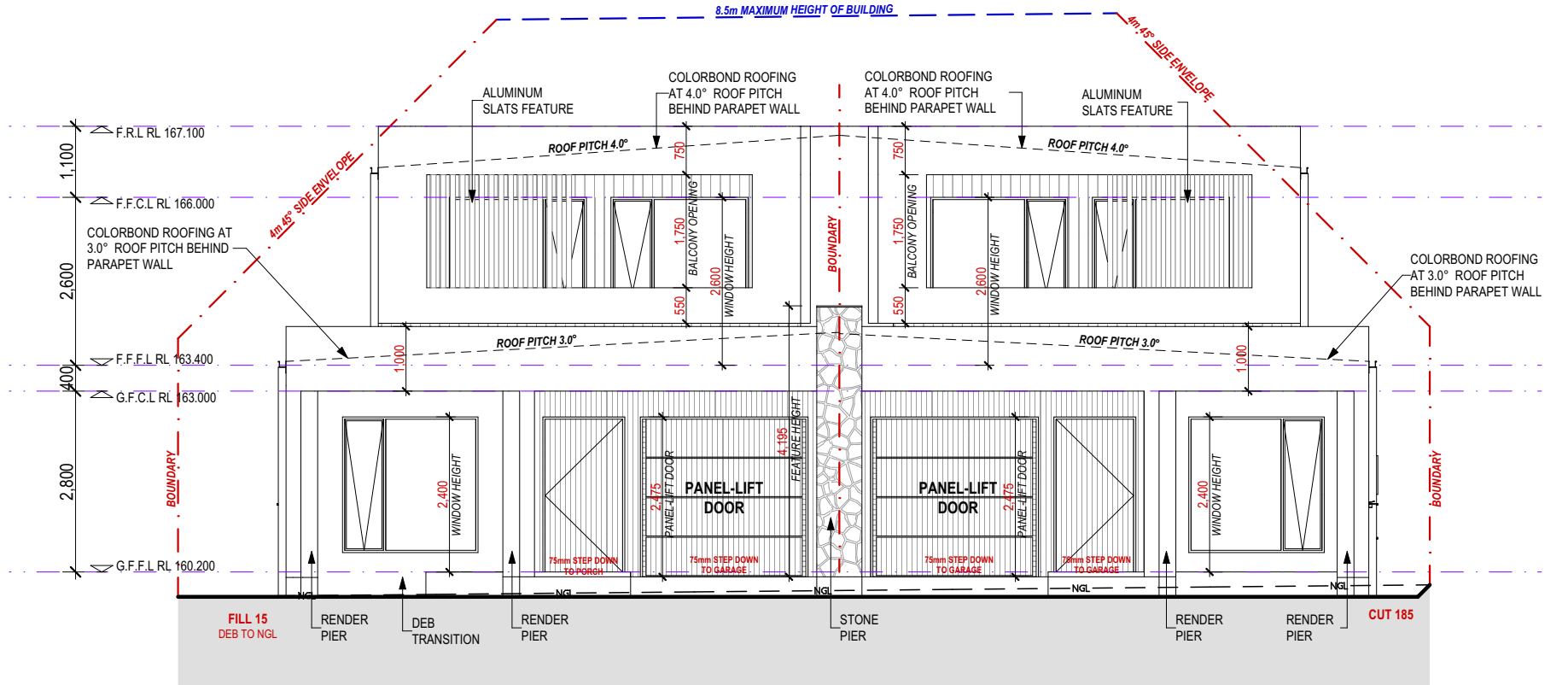
	Sliding Window
	Awning Window
	Fixed Window
	Double Hung Window
	Louvre Window

Door Legend

	Solid Core Hung Door
	Cavity Sliding Door
	Sliding Door
	Stacker Sliding Door
	Bi-folding Sliding Door

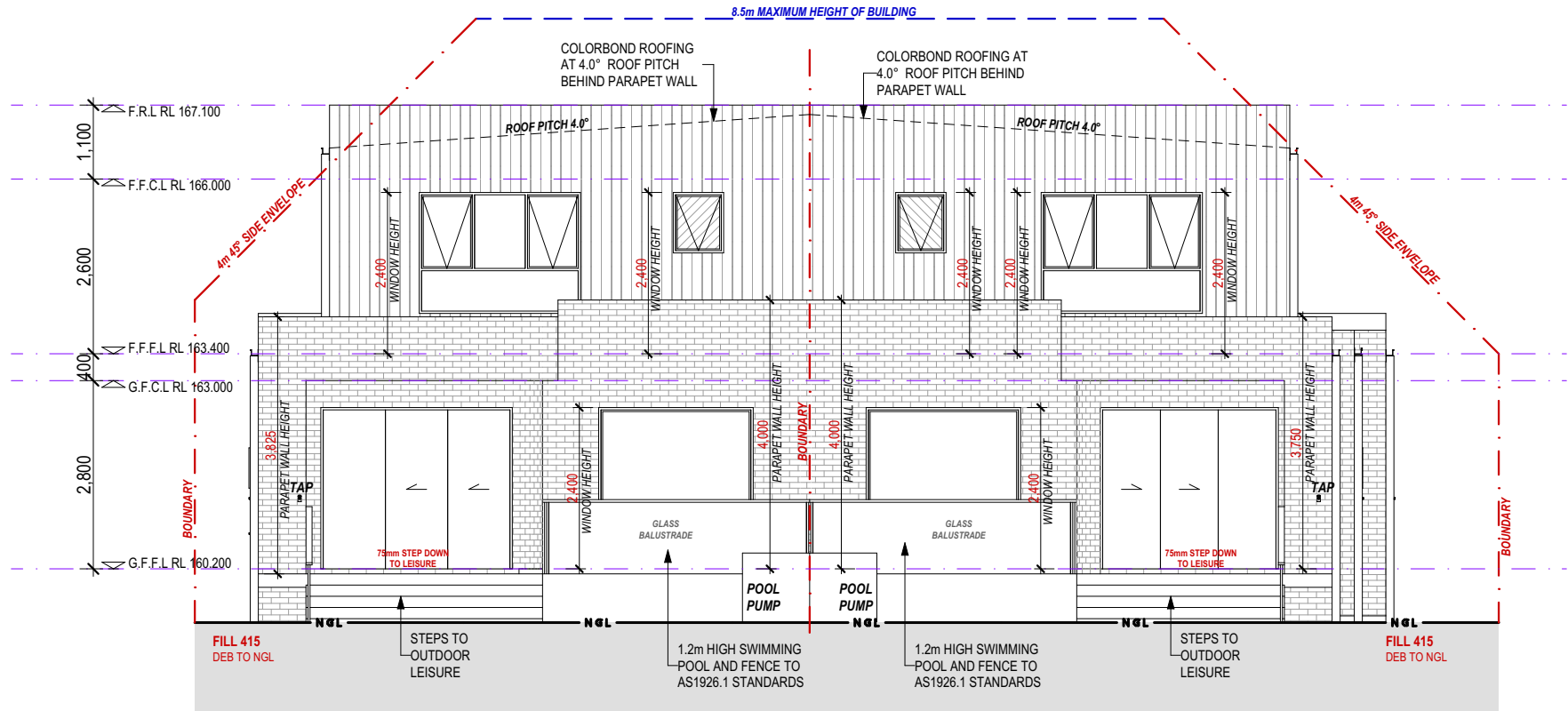
Notes:

- Guttering & Fascia to be colorbond
- All pier and parapet wall to have capping finish



FRONT/SOUTH ELEVATION

1:100



REAR/NORTH ELEVATION

1:100

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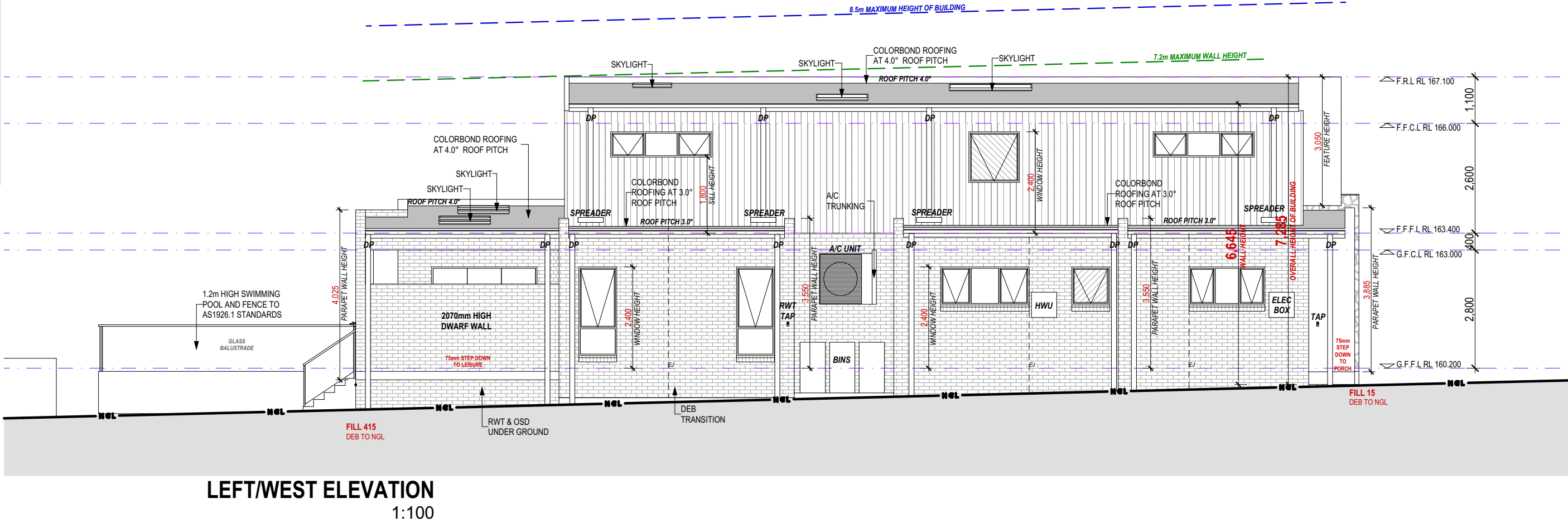
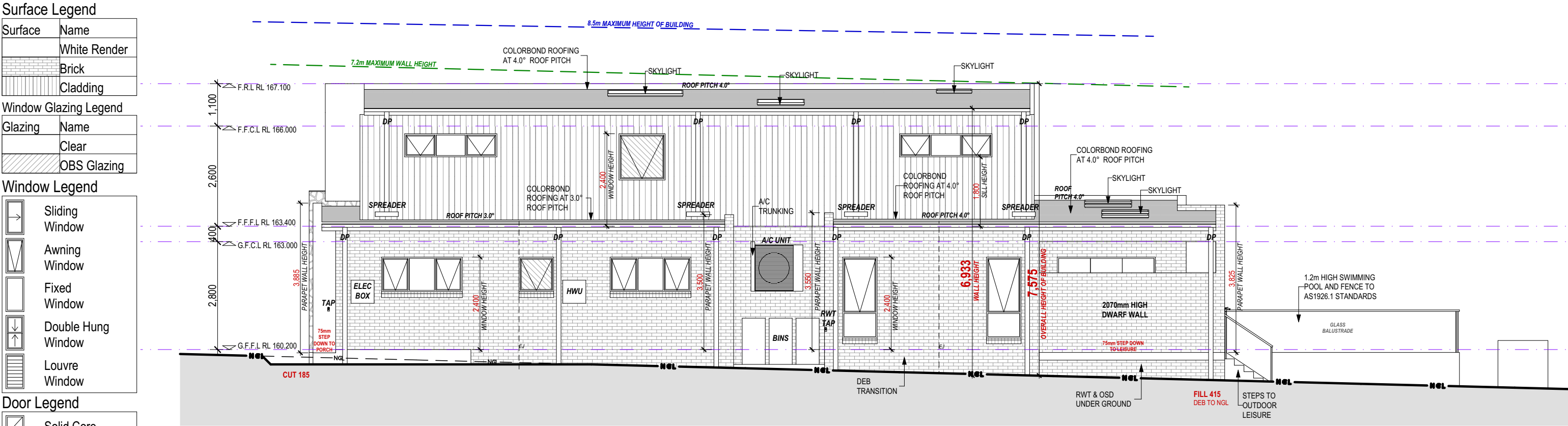
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PROJECT DUAL OCCUPANCY DEVELOPMENT
CLIENT FAMILY BATROUNIAN
LOT / DP No 225454

SITE ADDRESS 10 (LOT 14) LOCKWOOD AVE
SUBURB FRENCHS FOREST, 2086
COUNCIL NORTHERN BEACHES

DRAWING STATUS: ISSUED FOR D.A
DRAWING TITLE: ELEVATIONS

DESIGNED: S.V	DRAWN BY: M.Z
CHECKED: S.V	
SCALE: @A3	DATE: 1/05/2025
PROJECT No. PN24060	25 - 938
DRAWING No: 11 / 24	





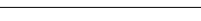

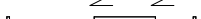





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B	PRELIMINARY PLANS					CLIENT FAMILY BATROUNIAN	SUBURB FRENCHES FOREST, 2086	CHECKED: S.V	SCALE: @A3	DATE: 1/05/2025
C	ISSUED FOR D.A	S.V	17.04.25			LOT / DP No 225454	COUNCIL NORTHERN BEACHES	DRAWING TITLE: SECTIONS	PROJECT No. PNZ4060	25 - 338
								DRAWING No: 13 / 24		

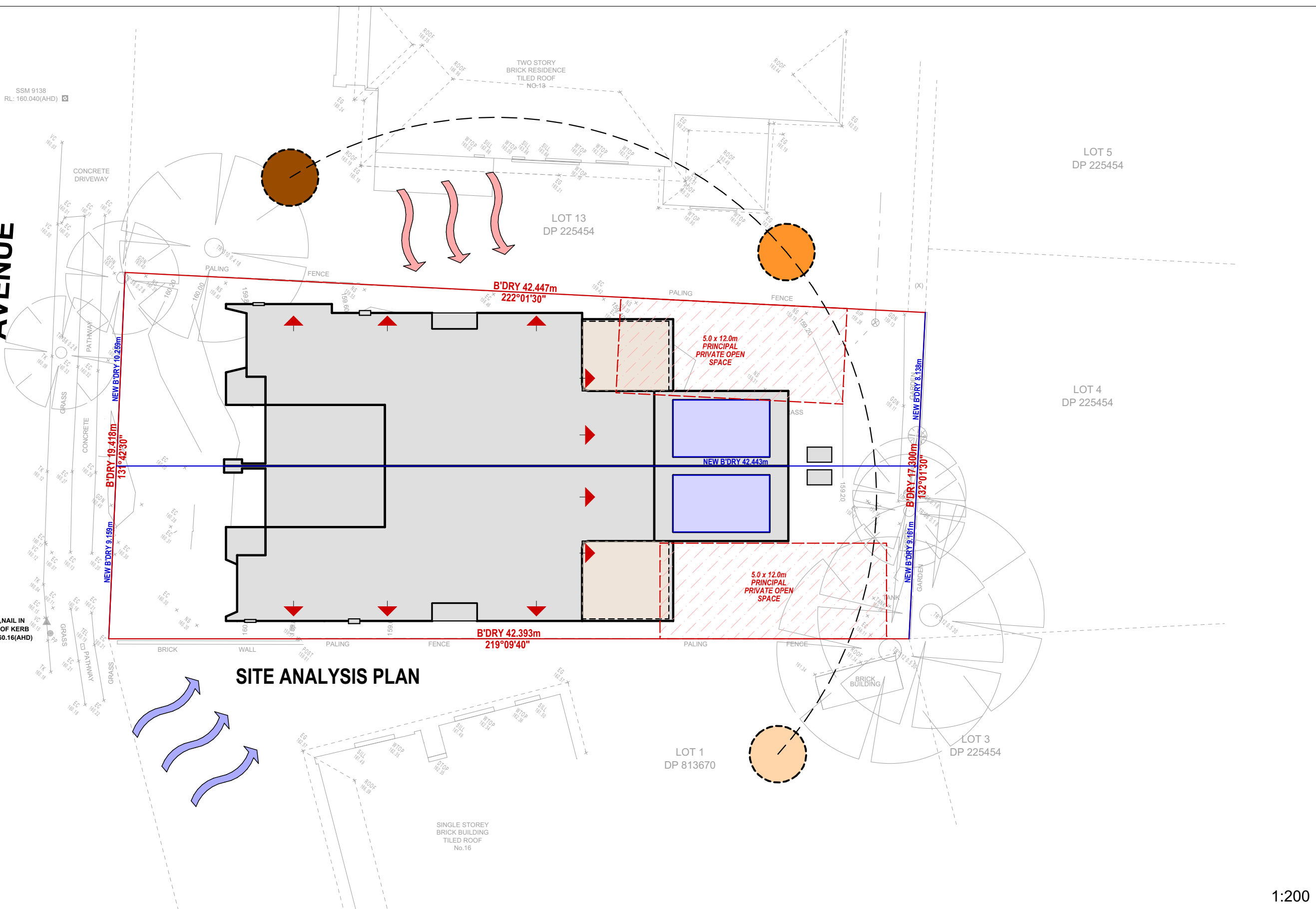
Window Schedule							
Window ID	Window Type	Window Size		Plan View	Elev View	Sill Height	Glazing
		Height	Width				
W01	2 PANELS: 1 FIXED, 1 AWNING	2,100	2,100			300	YES
W02	2 PANELS: 1 FIXED, 1 AWNING	2,100	2,100			300	YES
W03	3 PANELS: 1 FIXED, 2 AWNING	900	1,800			1,500	YES
W04	1 PANEL: 1 AWNING	900	900			1,500	OBS
W05	3 PANELS: 1 FIXED, 2 AWNING	900	2,100			1,500	YES
W06	2 PANELS: 1 FIXED, 1 AWNING	2,100	900			300	YES
W07	2 PANELS: 1 FIXED, 1 AWNING	2,100	900			300	YES
W08	1 PANELS: 1 FIXED	2,400	2,300			0	YES
W09	1 PANELS: 1 FIXED	2,400	2,300			0	YES
W10	2 PANELS: 1 FIXED, 1 AWNING	2,100	900			300	YES
W11	2 PANELS: 1 FIXED, 1 AWNING	2,100	900			300	YES
W12	3 PANELS: 1 FIXED, 2 AWNING	900	2,100			1,500	YES
W13	1 PANELS: 1 AWNING	900	900			1,500	OBS
W14	3 PANELS: 1 FIXED, 2 AWNING	900	2,100			1,500	YES
W15	2 PANELS: 1 FIXED, 1 AWNING	1,500	2,125			1,100	YES
W16	2 PANELS: 1 FIXED, 1 AWNING	1,500	2,125			1,100	YES
W17	2 PANELS: 1 FIXED, 1 AWNING	1,500	2,125			1,100	YES
W18	2 PANELS: 1 FIXED, 1 AWNING	1,500	2,125			1,100	YES
W19	3 PANELS: 1 FIXED, 2 AWNING	600	2,400			1,800	YES
W20	1 PANELS: 1 AWNING	1,200	1,200			1,200	YES
W21	3 PANELS: 1 FIXED, 2 AWNING	600	2,400			1,800	YES
W22	3 PANELS: 1 FIXED, 2 AWNING	1,800	2,400			600	YES
W23	1 PANELS: 1 AWNING	900	750			1,500	OBS
W24	1 PANELS: 1 AWNING	900	750			1,500	OBS
W25	3 PANELS: 1 FIXED, 2 AWNING	1,800	2,400			600	YES
W26	3 PANELS: 1 FIXED, 2 AWNING	600	2,400			1,800	YES
W27	1 PANELS: 1 AWNING	1,200	1,200			1,200	OBS
W28	3 PANELS: 1 FIXED, 2 AWNING	600	2,400			1,800	YES

Skylight Schedule					
SKYLIGHT ID	SKYLIGHT TYPE	W x H Size	Plan Preview	GLAZING	SHAFT BULK INSULATION
S01	1 PANEL: 1 FIXED	1,935×1,275		YES	R5.0
S02	1 PANEL: 1 FIXED	1,200×1,200		YES	R5.0
S03	1 PANEL: 1 FIXED	900×600		YES	R5.0
S04	1 PANEL: 1 FIXED	1,200×600		YES	
S05	1 PANEL: 1 FIXED	1,200×600		YES	
S06	1 PANEL: 1 FIXED	1,200×600		YES	R5.0
S07	1 PANEL: 1 FIXED	1,200×600		YES	R5.0
S08	1 PANEL: 1 FIXED	1,935×1,275		YES	R5.0
S09	1 PANEL: 1 FIXED	1,200×1,200		YES	R5.0
S10	1 PANEL: 1 FIXED	900×600		YES	R5.0
S11	1 PANEL: 1 FIXED	1,200×600		YES	R5.0
S12	1 PANEL: 1 FIXED	1,200×600		YES	R5.0
S13	1 PANEL: 1 FIXED	1,200×600		YES	
S14	1 PANEL: 1 FIXED	1,200×600		YES	

NOTE:
- SKYLIGHT SIZES TO BE AS MANUFACTURERS SPECIFICATION UPON SELECTION OF MANUFACTURER TO ACHIEVE THE DIMENSIONS ABOVE AS CLOSE AS POSSIBLE.

External Door Schedule						
Door ID	Door Type	Door Size		Plan View	Elev View	Glazing
		Height	Width			
DE01	STACKER SLIDING DOOR	2,400	2,650			YES
DE02	STACKER SLIDING DOOR	2,400	2,500			YES
DE03	STACKER SLIDING DOOR	2,400	2,550			YES
DE04	STACKER SLIDING DOOR	2,400	2,850			YES

LOCKWOOD AVENUE



SITE ANALYSIS PLAN

LEGEND

PREVAILING WINTER WINDS

PREVAILING SUMMER WINDS

VIEW DIRECTION

MORNING SUNLIGHT

MIDDAY SUNLIGHT

AFTERNOON SUNLIGHT

'H' CLASS SLAB
SUBJECT TO BOREHOLE REPORT

ANY RETAINING WALLS REQUIRED TO BE COMPLETED BY OWNERS TO MANUFACTURES SPECIFICATIONS. STORMWATER DRAINAGE TO EASEMENT

TREE
0.1 Ø TRUNK DIAMETER
1 S TREE SPREAD
1 H TREE HEIGHT

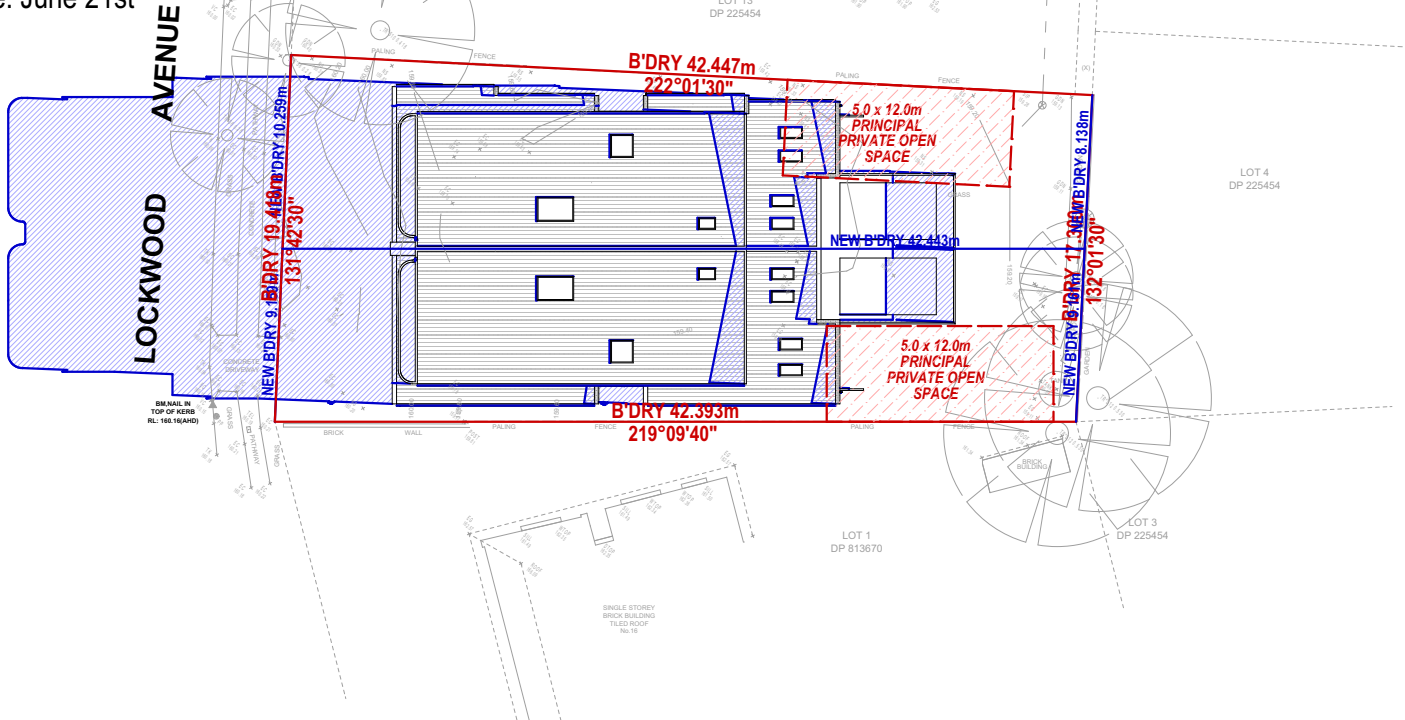
DIAL 1100
BEFORE YOU DIG

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	B	PRELIMINARY PLANS							CHECKED: S.V			
	C	ISSUED FOR D.A	S.V	17.04.25					SCALE: @A3	DATE: 1/05/2025		
									PROJECT No. PN24060	25 - 938		
						DRAWING TITLE: SITE ANALYSIS PLAN	DRAWING No: 17 / 24					

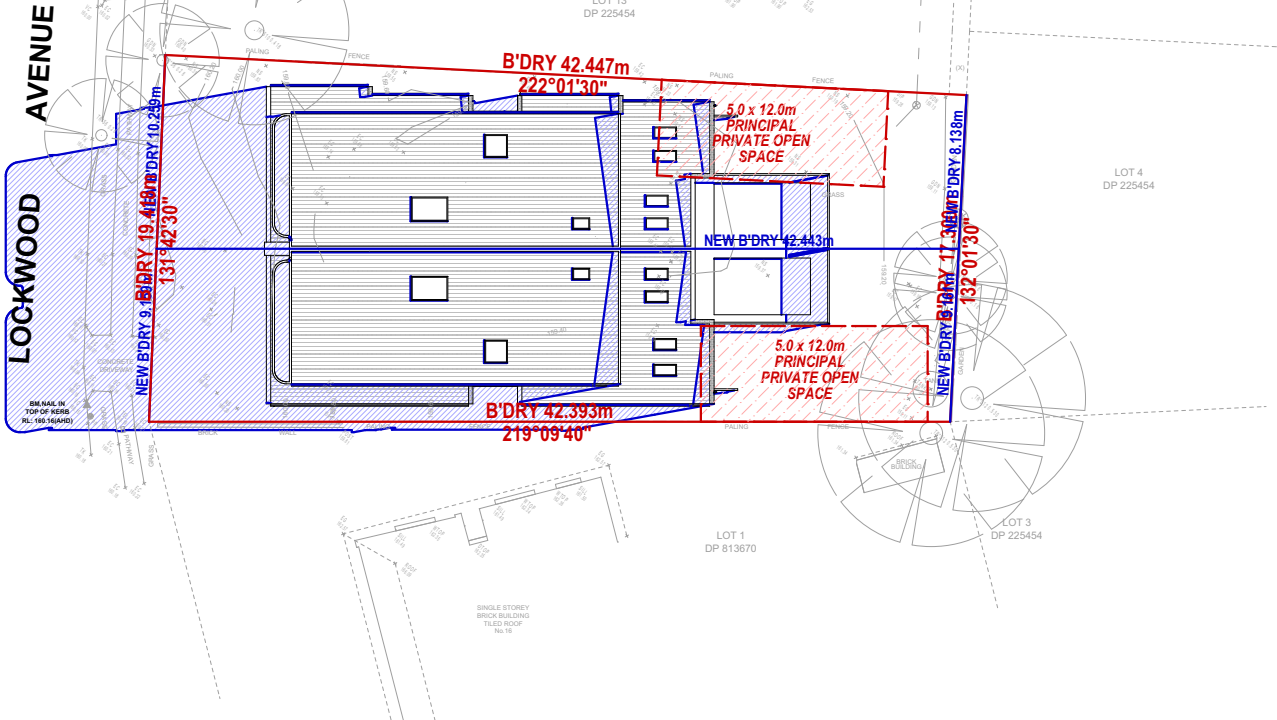
Shadow Legend

Shadow	Name
<div></div>	New
<div></div>	Existing
<div></div>	Neighbour

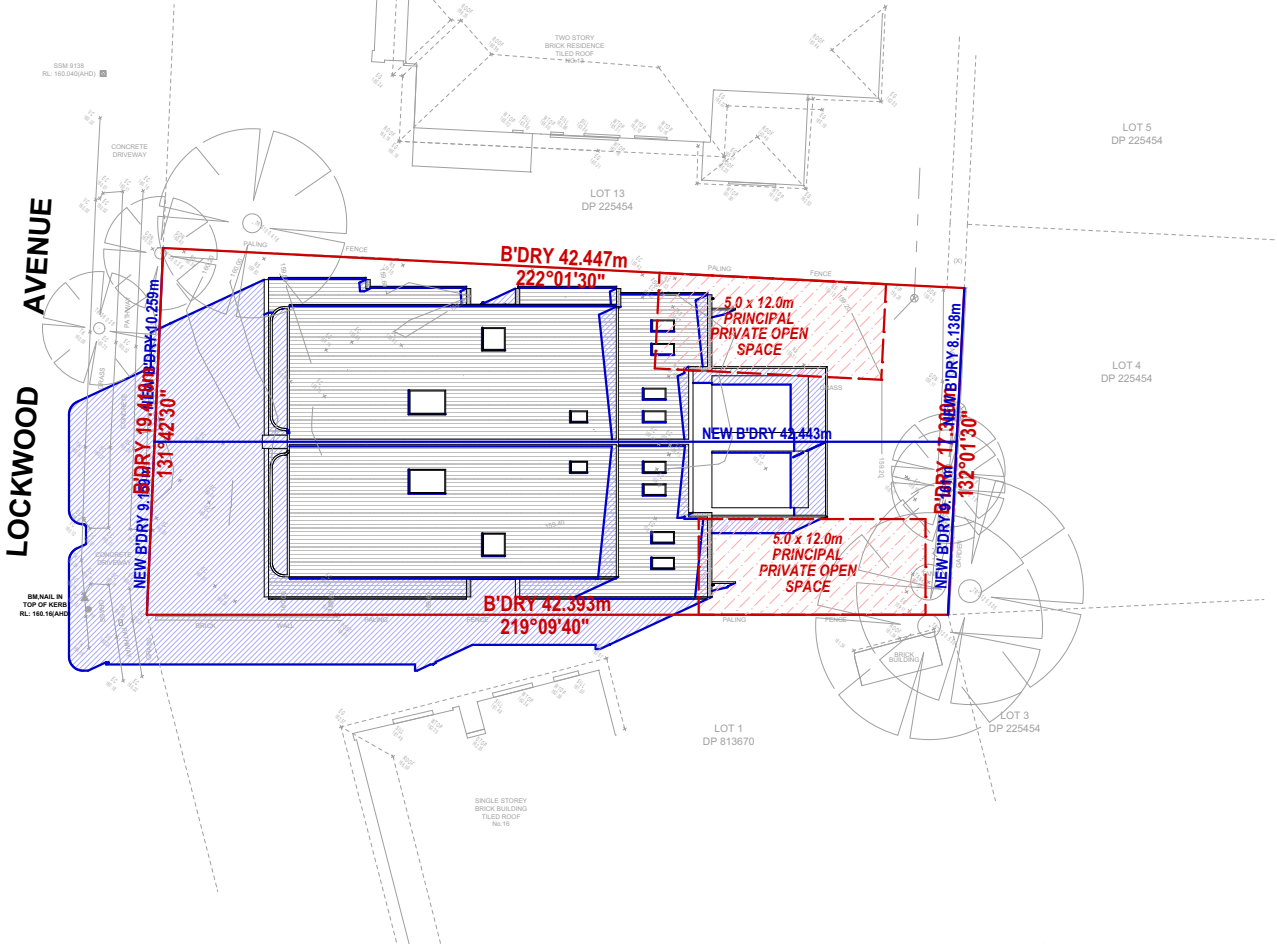
Date: June 21st



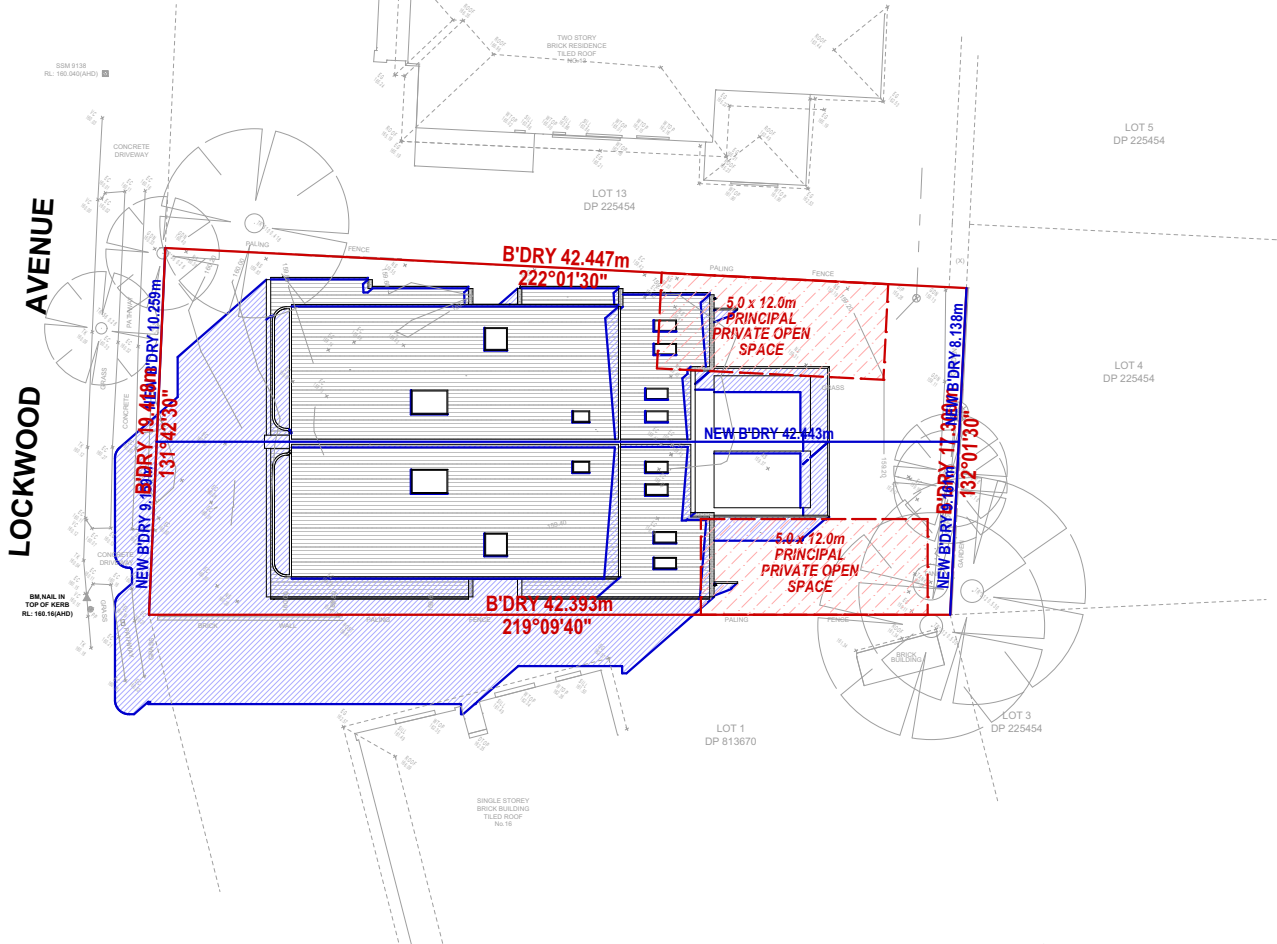
Shadow Plan 9am



Shadow Plan 10am



Shadow Plan 11am



Shadow Plan 12pm

A	PRELIMINARY PLANS		
B	PRELIMINARY PLANS		
C	ISSUED FOR D.A	S.V	17.04.25



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BUILDING DESIGNER

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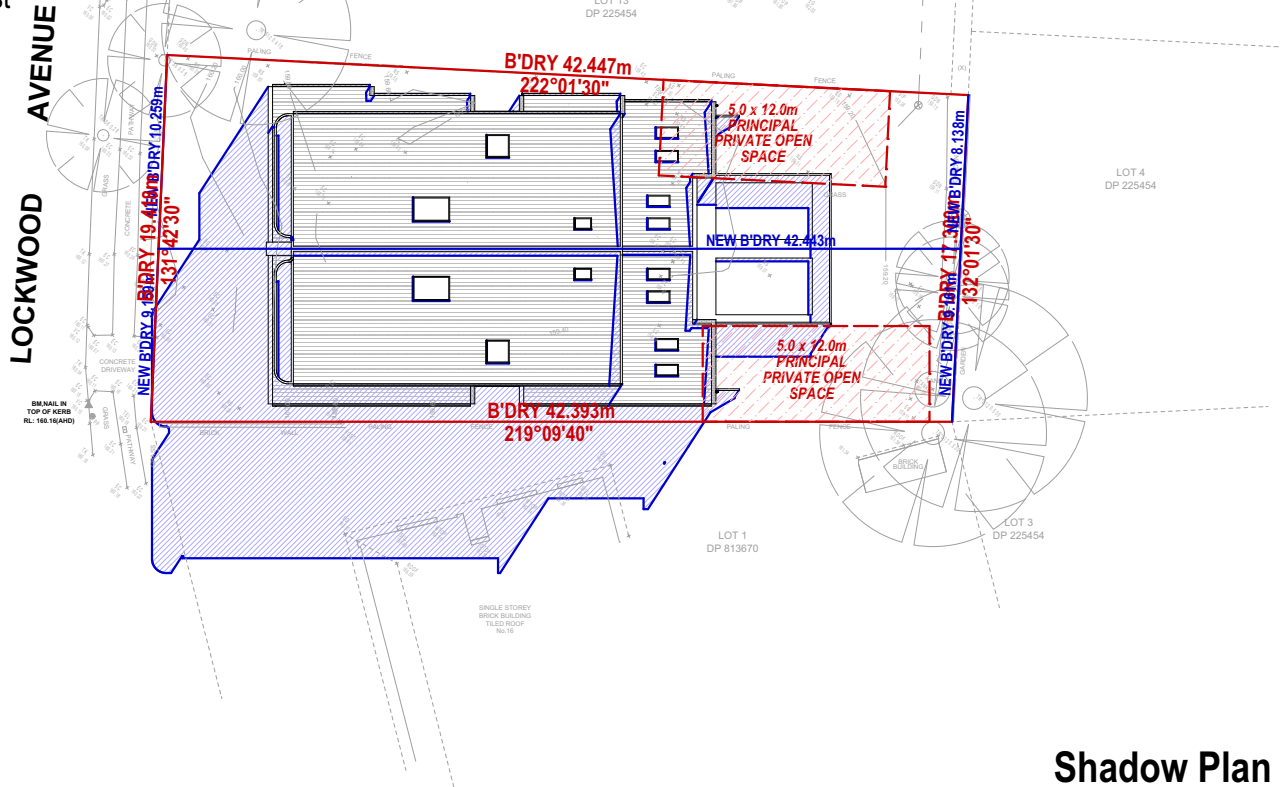
PROJECT DUAL OCCUPANCY DEVELOPMENT
CLIENT FAMILY BATROUNIAN
LOT / DP No 225454

SITE ADDRESS 10 (LOT 14) LOCKWOOD AVE	DRAWING STATUS: ISSUED FOR D.A	DESIGNED: S.V	DRAWN BY: M.Z
SUBURB FRENCHS FOREST, 2086	DRAWING TITLE: SHADOW PLAN	CHECKED: S.V	
COUNCIL NORTHERN BEACHES		SCALE: @A3	DATE: 1/05/2025
		PROJECT No.	PN24060
			25 - 938
		DRAWING No: 18 / 24	

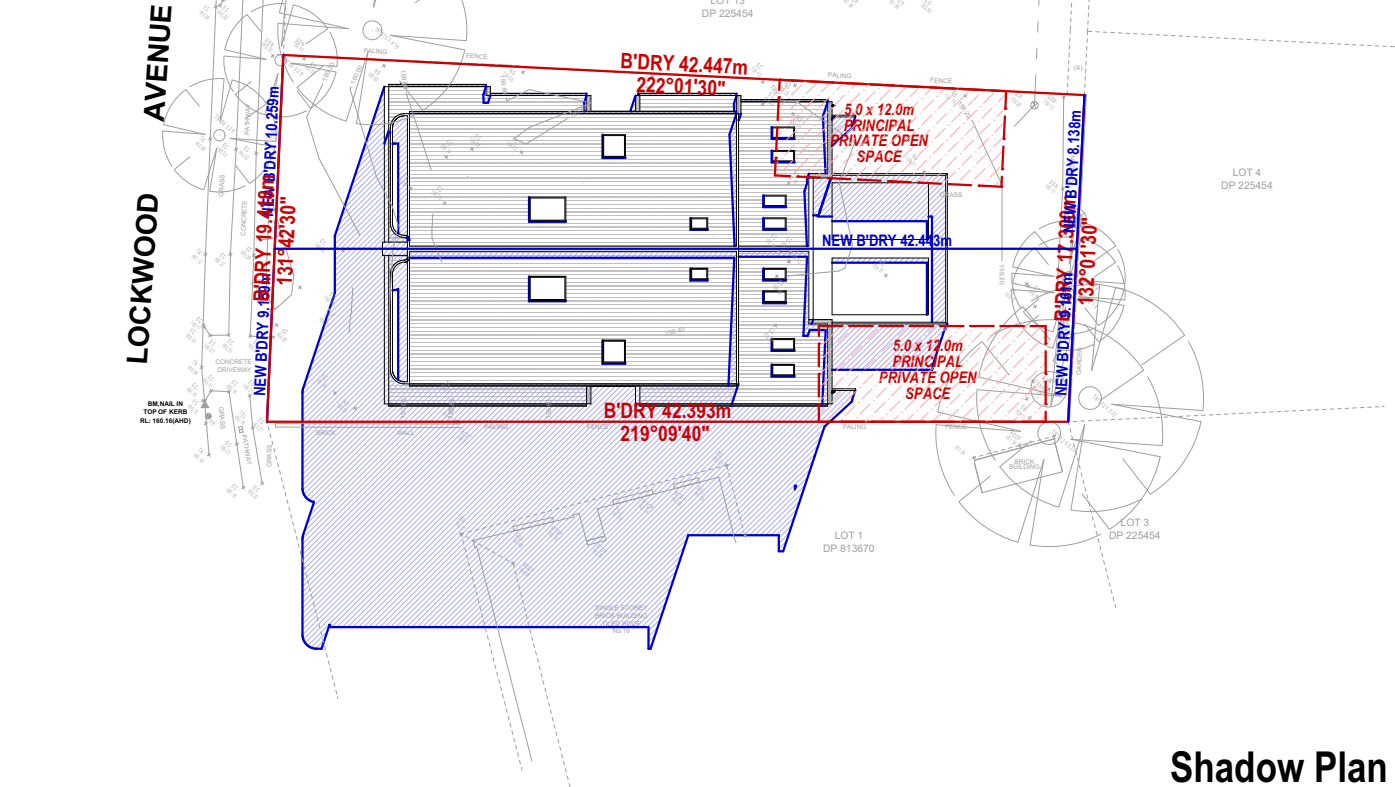
Shadow Legend

Shadow	Name
<div></div>	New
<div></div>	Existing
<div></div>	Neighbour

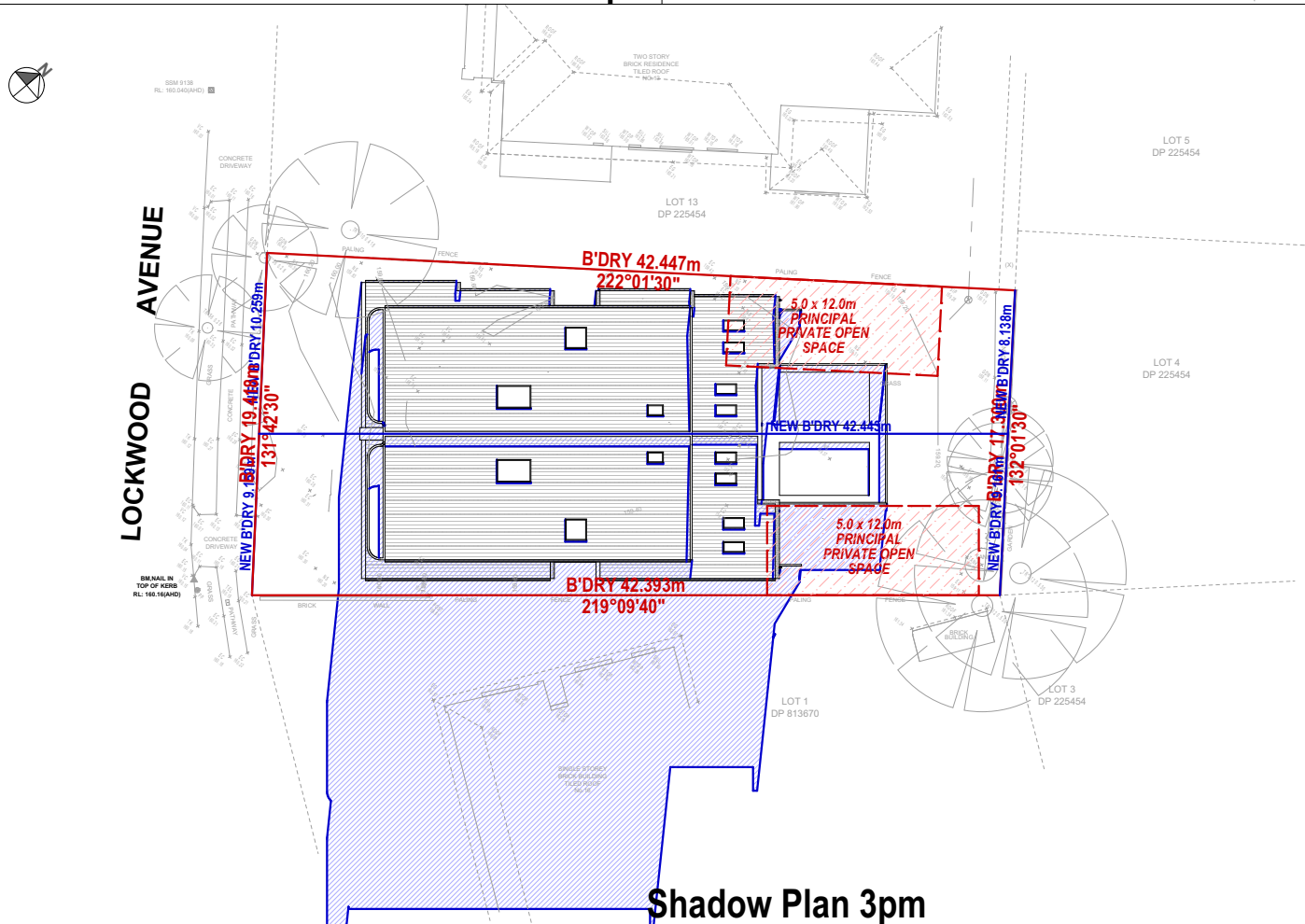
Date: June 21st



Shadow Plan 1pm



Shadow Plan 2pm



Shadow Plan 3pm

A	PRELIMINARY PLANS		
B	PRELIMINARY PLANS		
C	ISSUED FOR D.A	S.V	17.04.25



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PROJECT
DUAL OCCUPANCY DEVELOPMENT
CLIENT
FAMILY BATROUNIAN
LOT / DP No
225454



SITE ADDRESS
10 (LOT 14) LOCKWOOD AVE
SUBURB
FRENCHS FOREST, 2086
COUNCIL
NORTHERN BEACHES

DRAWING STATUS:
ISSUED FOR D.A
DRAWING TITLE:
SHADOW PLAN

DESIGNED: S.V	DRAWN BY: M.Z
CHECKED: S.V	
SCALE: @A3	DATE: 1/05/2025
PROJECT No.	PN24060
	25 - 938
DRAWING No: 19 / 24	

01	TIMBER VERTICAL BATTEN FRONT DOOR	
02	BASALT COLORBOND ROOF	
03	WHITE RENDER	
04	MONUMENT FRAME TO WINDOW, GUTTER, DOWNPIPE AND BALUSTRADE	
05	TIMBER SLATS	
06	STACKED STONE CLADDING	
07	TIMBER BATTEN GARAGE DOOR	
08	NATURAL WHITE VERTICAL CLADDING	
09		



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	B	PRELIMINARY PLANS								
	C	ISSUED FOR D.A	S.V	17.04.25						

Multi Dwelling

Certificate number: 1793358M

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.planningportal.nsw.gov.au/definitions

Secretary
Date of issue: Tuesday, 29 April 2025
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



When submitting this BASIX certificate with a development application or complying development certificate application, it must be accompanied by NalHERS certificate 0011886260.

Project summary			
Project name	Basix-10 Lockwood Avenue Frenchs Forest 2086		
Street address	10 LOCKWOOD AVENUE FRENCHS FOREST 2086		
Local Government Area	NORTHERN BEACHES		
Plan type and plan number	Deposited Plan 225454		
Lot No.	14		
Section no.	-		
No. of residential flat buildings	0		
Residential flat buildings: no. of dwellings	0		
Multi-dwelling housing: no. of dwellings	0		
No. of single dwelling houses	2		
Project score			
Water	✓ 40	Target	40
Thermal Performance	✓ Pass	Target	Pass
Energy	✓ 73	Target	72
Materials	✓ -53	Target	n/a

Certificate Prepared by	
Name / Company Name:	SUSTAINABILITY-Z PTY LIMITED
ABN (if applicable):	

Description of project

Project address	
Project name	Basix-10 Lockwood Avenue Frenchs Forest 2086
Street address	10 LOCKWOOD AVENUE FRENCHS FOREST 2086
Local Government Area	NORTHERN BEACHES
Plan type and plan number	Deposited Plan 225454
Lot No.	14
Section no.	-
Project type	
No. of residential flat buildings	0
Residential flat buildings: no. of dwellings	0
Multi-dwelling housing: no. of dwellings	0
No. of single dwelling houses	2
Site details	
Site area (m²)	775.35
Roof area (m²)	354
Non-residential floor area (m²)	0
Residential car spaces	2
Non-residential car spaces	0

Common area landscape	
Common area lawn (m²)	0.00
Common area garden (m²)	0.00
Area of indigenous or low water use species (m²)	0.00
Assessor details and thermal loads	
Assessor number	DAN/131641
Certificate number	0011886280
Climate zone	56
Project score	
Water	40
Thermal Performance	Pass
Energy	73
Materials	-53

Description of project

The tables below describe the dwellings and common areas within the project

Single dwelling houses

Dwelling no.	No. of bedrooms (excluding floor area m²)	No. of bathrooms (excluding floor area m²)	No. of living areas (excluding floor area m²)	No. of dining areas (excluding floor area m²)	No. of kitchen & laundry areas (excluding floor area m²)	No. of garages (excluding floor area m²)	No. of carports (excluding floor area m²)
Lot 1	4+	212.2	17.4	157	0		
Lot 2	4+	217.6	12	159	0		

No common areas specified.

Schedule of BASIX commitments

- Commitments for multi-dwelling housing
 - Dwellings
 - Water
 - Energy
 - Thermal Performance and Materials
- Commitments for single dwelling houses
 - Dwellings
 - Water
 - Energy
 - Thermal Performance and Materials
- Commitments for common areas and central systems/facilities for the development (non-building specific)
 - Common areas and central systems/facilities
 - Water
 - Energy

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for multi-dwelling housing

(a) Dwellings	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(i) Water			
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below:			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a future or appliance to be installed in the dwelling, the applicant must ensure that each such future and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.			✓
(e) The applicant must install: <ol style="list-style-type: none">a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; anda separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✓	✓
(f) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(g) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(h) The pool or spa must be located as specified in the table.	✓	✓	
(i) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓
(ii) Energy			
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.	Show on DA plans	Show on CC/CDC plans & specs	Certifier check

(i) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating system specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for daylight zoning between living areas and bedrooms.		✓	✓
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: <ol style="list-style-type: none">install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; andinstall the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓	
(h) The applicant must install in the dwelling: <ol style="list-style-type: none">the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below;each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; andany clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	
(j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.	✓	✓	✓

(iii) Thermal Performance and Materials	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✓		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✓	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
(g) Where there is an in-slab heating or cooling system, the applicant must: <ol style="list-style-type: none">install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; orOn a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✓	✓	✓
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✓		✓
(i) The applicant must show on The plans accompanying The development application for The proposed development, The locations of ceiling fans set out in The Assessor Certificate.	✓		
(j) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.		✓	

2. Commitments for single dwelling houses

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below:			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a future or appliance to be installed in the dwelling, the applicant must ensure that each such future and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install: <ol style="list-style-type: none">a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; anda separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✓	✓
(f) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(g) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(h) The pool or spa must be located as specified in the table.	✓	✓	
(i) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

Alternative water source									
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (a)	Laundry connection	Pool top-up	Spa top-up	
All dwellings	Individual water tank (No. 1)	Tank size (min) 2000.00 litres	To collect run-off from at least: 140 square metres of roof area; 0.00 square metres of impervious area; 0.00 square metres of garden and lawn area; and 0 square metres of planter box area.	yes	yes	yes	no	no	
(ii) Energy									
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below:									
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.									
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.									
(d) The applicant must install the cooling and heating system specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for daylight zoning between living areas and bedrooms.									
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.									
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.									
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: <ol style="list-style-type: none">install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and									

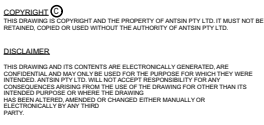
(i) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(b) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓	
(c) The applicant must install in the dwelling: <ol style="list-style-type: none">the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below;each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; andany clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	
(j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.	✓	✓	✓

Hot water system		Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	gas instantaneous - 5 star	individual fan, ducted to facade or roof	interlocked to light with timer off	individual fan, ducted to facade or roof	manual switch on/off to facade or roof	individual fan, ducted to facade or roof	interlocked to light
Cooling		Heating		Natural lighting			
Dwelling no.	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms or toilets	Main kitchen	
All dwellings	3-phase air conditioning / EER 2.5 - 3.0	3-phase air conditioning / EER 2.5 - 3.0	3-phase air conditioning / EER 2.5 - 3.0	3-phase air conditioning / EER 2.5 - 3.0	3	yes	

Alternative energy									
Dwelling no.	Photovoltaic system (min rated electrical installation capacity)	Photovoltaic collector installation	Orientation	Inputs					
Lot 1	between <0° to <=10° degree to the horizontal	2	NW						
All other dwellings	between <0° to <=10° degree to the horizontal	2	SE						

(iii) Thermal Performance and Materials	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✓		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✓	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
(g) Where there is an in-slab heating or cooling system, the applicant must: <ol style="list-style-type: none">install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or	✓	✓	✓

A	PRELIMINARY PLANS		
B	PRELIMINARY PLANS		
C	ISSUED FOR D.A	S.V	17.04.25



ANTSIN PTY LTD ATF VUJICA FAMILY TRUST T/A VUJICA DESIGN & DRAFTING
ABN: 64 212 868 652 A: Suite 2.09, 11-13 Solent Circuit, Norwest 2153
M: (+61) 401 886 580 E: sinisa@vjdnd.com.au W: www.vjdnd.com.au

PROJECT
DUAL OCCUPANCY DEVELOPMENT

CLIENT
FAMILY BATROUNIAN

LOT / DP No
225454

SITE ADDRESS
10 (LOT 14) LOCKWOOD AVE

SUBURB
FRENCHS FOREST, 2086

COUNCIL
NORTHERN BEACHES

DRAWING STATUS:
ISSUED FOR D.A

DRAWING TITLE:
BASIX COMMITMENTS


DESIGNED: S.V
CHECKED: S.V
SCALE: @A3
PROJECT No. PN24060
DRAWING No: 21 / 24

A	PRELIMINARY PLANS			 <p>bdad ACCREDITED BUILDING DESIGNER</p>	<p><small>COPYRIGHT THIS DRAWING IS COPYRIGHT AND THE PROPERTY OF ANTINS PTY LTD. IT MUST NOT BE RETAINED, COPIED OR USED WITHOUT THE AUTHORITY OF ANTINS PTY LTD.</small></p> <p><small>DISCLAIMER THIS DRAWING AND ITS CONTENTS ARE ELECTRONICALLY GENERATED, ARE CONFIDENTIAL AND MAY ONLY BE USED FOR THE PURPOSES FOR WHICH THEY WERE CONSEQUENCES ARISING FROM THE USE OF THE DRAWING FOR OTHER THAN ITS INTENDED PURPOSES OR WHERE THE DRAWING HAS BEEN ALTERED, MODIFIED OR CHANGED ELECTRONICALLY BY ANY THIRD PARTY.</small></p>	 <p>VD&D DESIGN · PROJECT MANAGEMENT</p> <p>ANTINS PTY LTD ATF VUJICA FAMILY TRUST T/A VUJICA DESIGN & DRAFTING ABN: 64 212 868 652 A: Suite 2.09, 11-13 Solent Circuit, Norwest 2153 M: (+61) 401 886 580 E: sinisa@vnd.com.au W: www.vnd.com.au</p>	<p>PROJECT DUAL OCCUPANCY DEVELOPMENT</p> <p>CLIENT FAMILY BATRONIAN</p> <p>LOT / DP No 225454</p>	<p>SITE ADDRESS 10 (LOT 14) LOCKWOOD AVE</p> <p>SUBURB FRENCHS CREEK, 2086</p> <p>COUNCIL NORTHERN BEACHES</p>	<p>DRAWING STATUS: ISSUED FOR D.A</p> <p>DRAWING TITLE: NATHERS COMMITMENTS</p>	<p>DESIGNED: S.V DRAWN BY: M.Z</p> <p>CHECKED: S.V</p> <p>SCALE: @A3 DATE: 1/05/2025</p> <p>PROJECT No. PN24060 25 - 938</p> <p>DRAWING No: 22 / 24</p>
B	PRELIMINARY PLANS									
C	ISSUED FOR D.A	S.V	17.04.25							

[illegible]

06/1188264 NHERS Certificate

3 Star Rating as of 29/01/2025



About the ratings

Thermal performance rating

NHERS Thermal performance rating measures the expected heating and cooling energy loads (based on information about the design, construction, climate and common patterns of household use). The thermal performance rating (shown as a star rating on the Certificate) does not take this second perspective, apart from the airframe impacts from ceiling fans.

Whole of Home performance rating

NHERS Whole of Home performance rating assesses the heating and cooling energy loads combined with the energy performance of the home's appliances (heating, cooling, hot water, lighting, pool/spa pump and other renewable energy generation and storage) and includes the expected energy value of the whole home. The Whole of Home performance rating is shown as a score out of 100 on this Certificate.

Heating & Cooling Load Limits

Additional information

In some locations under the NHERS/NHERS pathway, separate heating and cooling load limits may apply. Minimum required star ratings in northern parts of Australia may also be affected by the presence or absence of an outdoor living area and/or an outdoor living area ceiling fan. Refer to the ABCB Standard 2022 'NHERS Heating and cooling load limits' for details or contact the relevant building regulatory authority, noting that State and Territory variations may also apply.


Setting-Options:

Floor Type:
☒ Concrete Slab on Ground
☐ - Insulated Ties (or for a mixture of CSIRO and SF)
NA - Not Applicable

NCC Climate Zone 1 or 2:
☒ Yes
☐ NA - Not Applicable

Outdoor Living Area:
☒ Yes
☐ NA - Not Applicable

Outdoor Living Area Ceiling Fan:
☒ Yes
☐ NA - Not Applicable




Predicted whole renewable energy impact


No Whole of Home performance assessment conducted for this certificate.

Predicted Whole of Home annual impact by appliance


Energy use




No Whole of Home performance assessment conducted for this certificate




Greenhouse gas emissions



No Whole of Home performance assessment conducted for this certificate



Cost





No Whole of Home performance assessment conducted for this certificate

* Rated as green.

Issued on 29/01/2025 using BERBS v4.2.4 (1.23) for Unit Lvl. 10 Lockwood Avenue, FRENCH CREEK, NSW.

Page 2 of 4

011189264 NaHfERS Certificate		3 Star Rating as of 24 April 2025				
Certificate check		Approval Stage	Construction			
		Assessor checked	Consent Authority Approved/Refused	Builder checked	Consent Authority Issued/Refused	Occurrence/Other
<p>The attached covers important items impacting the dwelling's integrity. It is recommended that the accuracy of the whole certificate is checked.</p> <p>Note: The boxes indicate when and by whom each item should be checked. It is not mandatory to complete the whole certificate.</p>						
<p>Generate certificate check</p> <p>Does the Certificate match the one available at the web address or QR code verification link on the front page?</p> <p>Does the NaHfERS certificate number on the NaHfERS-stamped page match the number on this Certificate?</p>						
<p>Thermal performance check</p>						
<p>Windows and glazed doors</p> <p>Does the window, glazing, opening and location shown on the NaHfERS-stamped plans or as installed match what is shown in 'Window and glazed door schedule' and 'Roof' table entries (also on this Certificate)?</p> <p>Does the installed window meet the substitution tolerance (AFRC) based 'BPOC' criteria for 'Window and glazed door schedule' and 'Roof' table entries and performance labels on this Certificate?</p>						
<p>External walls</p> <p>Does the external wall insulation (R-value) shown on the NaHfERS-stamped plans or as installed match what is shown in the 'External wall table' on this Certificate?</p> <p>Does the external wall details (photo) match what is shown in the 'External wall table' on this Certificate?</p>						
<p>Floor</p> <p>Does the floor insulation (R-value) shown on the NaHfERS-stamped plans or as installed match what is shown in the 'Floor table' on this Certificate?</p>						
<p>Ceiling penetrations</p> <p>Does the 'quantity and type of ceiling penetrations' (e.g. downlights, exhaust fans, etc.) match the 'quantity and type of ceiling penetrations' listed on the 'Ceiling penetrations' table on this Certificate?</p>						
<p>Ceiling</p> <p>Does the ceiling insulation (R-value) shown on the NaHfERS-stamped plans or as installed match what is shown in the 'Ceiling table' on this Certificate?</p>						
<p>Roof</p> <p>Does the external roof details (photo) match what is shown in the 'Roof table' on this Certificate?</p>						
<p>Apartment entrance doors (MCC Class 2 assessments only)</p> <p>Does the 'External Door Schedule' (page 4) match external entrance doors? Please note that an 'external door' (between the modified dwelling and a shared space, such as an entrance corridor or lobby, which is not included in the apartment) does not necessarily (or possibly) ventilate) and would invalidate the Certificate.</p>						
<p>Exposure</p> <p>Has the appropriate exposure type (tenants) (shown in 'a1') been applied? For example, is it verified that a ground-floor apartment is 'topsoil' or a top floor high-rise is 'terrace'?</p>						
<p>Heating and cooling load limits</p> <p>Do the load limits settings (shown in 'a2') match the Certificate?</p>						

0181264 NHERS Certificate		7 Year Rating as of 29 April 2025									
Certificate check											
Continued											
Additional NCC requirements for thermal performance (not included in the NHERS assessment)											
Thermal bridging											
Does the dwelling meet the NCC requirement for thermal bridging?											
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Insulation installation method											
Has the insulation been installed according to the NCC requirements?											
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Building sealing											
Does the dwelling meet the NCC requirements for Building Sealing?											
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Whole of Home performance assessment (not applicable if a Whole of Home performance assessment is not conducted)											
Appliances											
Does the cooling appliances type, location and efficiency/performance shown on the NHERS-stamped plans or as installed match the location and minimum efficiency/performance requirements shown in the 'Appliance schedule' on this Certificate?											
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Does the heating appliances type, location and efficiency/performance shown on the NHERS-stamped plans or installed, match the location and minimum efficiency/performance requirements shown in the 'Appliance schedule' on this Certificate?											
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Does the hot water system type and efficiency/performance shown on the NHERS-stamped plans or as installed match the location and minimum efficiency/performance requirements shown in the 'Appliance schedule' on this Certificate?											
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Does the pool pump efficiency/performance shown on the NHERS-stamped plans or as installed meet the minimum efficiency/performance requirements shown in the 'Appliance schedule' on this Certificate?											
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Does the on-site renewable energy system type, orientation and system size or on-site renewable energy shown on the NHERS-stamped plans or installed match the 'On-site Renewable Energy schedule' on the Certificate?											
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Additional NCC Requirements for Solar (not included in the NHERS assessment)											
Does the lighting meet the artificial lighting requirements specified in the NCC?											
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Does the hot water system meet the additional requirements specified in the NCC?											
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Provisional values - check											
Have provisional values been used in the assessment and, if so, are they related to:											
<input type="checkbox"/> Material or minor fabric defects <input type="checkbox"/> Minor structural defects <input type="checkbox"/> Minor weathering											
Other NCC requirements											
Note: This Certificate only covers the energy efficiency requirements in the NCC. Additional requirements that must also be satisfied include, but are not limited to: contamination, structural and fire safety requirements and any state or territory variations to the NCC-allowable efficiency requirements.											
Additional notes											
Rated with provisional values for downlights (brrn).											
Rated with exhaust fans (350mm).											
Rated with ceiling fans (1200mm) as shown on the plans.											


Notes to be signed:

Generated on 29 April 2025 using BER Pro v2.4 (2/25) for Unit Lot 2 - 10 Lockwood Avenue - FRENCHS FORT, NSW

Page 4 of 4

001188024 NuHERES Certificate

7 Bar Rating as of 29/04/2025



Rated with waffle pool slab (300mm).

Rated with brick veneer construction on the ground floor and cladding on the first floor (Internal stud walls and internal AAC foam).

Rated with R109 windows.

All obscure windows are rated as custom windows0.6 as per the NuHERES Technical Note 2023.

Rated with window sizes and types as per the window schedule.

Rated with colours as per the material schedule/external finishes schedule (solar absorptance is calculated in the BERS software custom colours table).

The dwelling is rated without reduced insulation near the eave because the section shows sufficient space for installing ceiling insulation with original thickness (the roof to be constructed is meant the general insulation requirements as per the BCA 22 and the housing provision note 10.6).

All eave ceiling verticals and walls against the roof-space, to be insulated, with the same insulation as the ceiling insulation.


Where the roof is extended over an open area such as a deck or carport, A barrier to be installed within the roof space to separate the space above the zoned part of the house and the space above the open veranda.

Room schedule

Room	Zone Type	Area (m ²)
Garage-GF	Garage	19.23
Entry-GF	Daytime	12.66
Stairs-GF	Daytime	10.06
Guest Bed-GF	Bedroom	13.15
Bath/G Bed-GF	Nighttime	6.2
Home Cinema-GF	Daytime	12.63
Kitch/Fam/Din-GF	Kitchen/Living	55.37
WC-GF	Daytime	1.91
Pantry-GF	Daytime	5.06
Loft-GF	Daytime	5.45
Stairs/void 1F	Daytime	13.23
Study 1F	Daytime	15.66
Bedroom-1F	Bedroom	27.01
WIR/M-Bed 1F	Nighttime	5.38

¹ Refer to glossary:
Created on 29 April 2025 using BERS Pro v5.24 (3.23) for Unit Lc2, 10 Lockwood Avenue, FRENCH FOREST, NSW, Australia

Page 6

00118624 NORTERS Curtains		7 Star Rating as of 19 Apr 2025					
Room	Zone Type	Area [m ²]					
EnslM Bed-FF	Nighttime						
Bath-FF	Unconditioned	12.03					
Bedroom 2-FF	Bedroom	17.34					
Bedroom 3-FF	Bedroom	17.84					

Window and glazed door type and performance

Default window*

Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit
No Data Available					

Custom window*



Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit
AWS-007-001	Aluminium Asewing Window S0 3CR	6.5	0.66	0.63	0.69
AWS-066-007	Aluminium Fixed Window S0 5CR	5.9	0.75	0.71	0.79
AWS-011-001	Aluminium Sliding Door S0 5CR	6.2	0.72	0.69	0.76
AWS-007-007	Aluminium Asewing Window S0 6 3CR(NG)	4.9	0.41	0.39	0.43

Window and glazed door schedule

Location	Window ID	Window no.	Height [mm]	Width [mm]	Opening %	Orientation	Window shading device*	
Guest Bed-FF	AWS-007-001-001	V14	900	2100	Asewing	60	SE	No
Guest Bed-FF	AWS-007-001-001	W61	2100	2100	Asewing	30	SW	No
Bath/FF Bed-FF	AWS-007-001-001	V03	900	900	Asewing	50	SE	No
Home Cinema-FF	AWS-007-001-001	V12	900	2100	Asewing	60	SE	No
Kitchen-ffamDn-GF	AWS-066-007-001	W09	2400	2100	Fixed	60	NE	No
Kitchen-ffamDn-GF	AWS-011-001-001	DE03	2400	2000	Sliding	60	SE	No
Kitchen-ffamDn-GF	AWS-011-001-001	DE04	2400	2800	Sliding	60	NE	No
Kitchen-ffamDn-GF	AWS-007-007-001	W11	2100	900	Asewing	60	SE	No
Kitchen-ffamDn-GF	AWS-007-007-001	W12	2100	900	Asewing	60	SE	No
M.Bedroom-FF	AWS-007-001-001	W05	1800	2400	Asewing	10	NE	No

* Refer to glossary
Generated on 29 Apr 2025 using BEES Pro V5.2.4 (3.23) for UH Lat. 2, Lo Lockedwood Area, FRENCH FOREST, NSW, 2068

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00188204 NUMERS Certificats		3 star Rating as of 29 Apr 2025							
Location	Window ID	Window no.	Height [mm]	Width [mm]	Window type	Opening %	Orientation	Window shading device*	
M Bedroom-FF	AWS-027 001-001	W26	600	2400	Awing	60	SE	No	No
EnaM Bed-FF	AWS-027 001-001	W24	900	730	Awing	10	NE	No	No
Bath-FF	AWS-027 001-001	W27	1200	1200	Awing	10	SE	No	No
Bedroom 2-FF	AWS-027 001-001	W28	600	2400	Awing	60	SE	No	No
Bedroom 2-FF	AWS-027 001-001	W15	1500	2125	Awing	30	SW	No	No
Bedroom 3-FF	AWS-027 001-001	W16	1500	2125	Awing	30	SW	No	No

Roof window* type and performance value

Default roof windows*

Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit
DO-Geno-02	DO-Geno-02 Clear	4.2	0.72	0.68	1.40
A	A/DG DEFAULT ROOF WINDOW System ID				

Custom roof windows*

Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit
VEL-011-01 W	VEL-011-01 W VELUX	2.6	0.34	0.23	0.25
VEL-011-01 W	PS - Fixed Skylight/D				
	3mm LxH 360 x 5mm Argon Gap / 5.36mm Clear LxH				


Roof window* schedule

Location	Window ID	Window no.	Height [mm]	Width [mm]	Orientation	Outdoor shade	Indoor shade
KichVand-GrF	VEL-011-01 W	S11	0	1200	600	SE	Yes
KichVand-GrF	DO-Geno-02 A	S12	0	1200	600	SE	Yes
StairVand-FF	VEL-011-01 W	S09	0	1200	1200	SE	Yes
Study-FF	VEL-011-01 W	S08	0	1935	1275	SE	Yes
EnaM Bed-FF	VEL-011-01 W	S10	0	900	600	SE	Yes

Skylight* type and performance

Skylight ID	Skylight description	Skylight shaft reflectance
No Data Available		

* Refer to primary:
 Generated on 29 Apr 2025 using BESR Pro v5.2.4 (3.23) for Unit L02, 10 Lockedwood Avenue, FRENCH FOREST, NSW.

001180624 NATURE'S Certificate		7 Star Rating as of 29 Apr 2025					
Skylight® schedule							
Location	Skylight ID	Skylight No.	Skylight shaft length [mm]	Area [m²]	Orientation	Outdoor shade	Diffuser
No Data Available							
External door schedule							
Location	Door Height [mm]	Width [mm]	Opening %	Orientation			
Garage-GF	2475	2800	90	SW			
Entry-GF	2400	1200	90	SW			
External wall type							
Wall ID	Wall ID type	Solar absorbance [colour]	Wall Shade Bulk Insulation absorbance [colour]	[R-value]			
EW-1 Single Skin Brick	0.45	0.45	No insulation	No			
EW-2 Timber Stud Frame Brick Veneer	0.45	0.45	Anti-glare foil with bulk no gap R2.5	No			
EW-3 Timber Stud Frame Brick Veneer	0.50	0.50	Anti-glare foil with bulk no gap R2.5	No			
EW-4 Timber Stud Frame Brick Veneer	0.27	0.27	Anti-glare foil with bulk no gap R2.5	No			
EW-5 Fibro Timber Stud Frame Panel on Battens	0.20	0.20	Anti-glare foil with bulk no gap R2.5	No			
External wall schedule							
Location	Wall ID	Height [mm]	Width [mm]	Orientation	Horizontal shading device's maximum projection [mm]	Vertical shading device [mm]	
Garage-GF	EW-1	2875	3195	SW	2100	No	
Stairs-GF	EW-3	2800	1990	SW	2100	No	
Stairs-GF	EW-3	2800	2790	SE	100	No	
Guest Bed-GF	EW-4	2800	4295	SE	100	No	
Guest Bed-GF	EW-4	2800	3100	SW	600	Yes	
Guest Bed-GF	EW-4	2800	1500	NW	13400	No	
Bath/G-Bed-GF	EW-4	2800	1890	SE	100	No	
Home Cinema-GF	EW-4	2800	1000	NE	100	No	
Home Cinema-GF	EW-4	2800	3795	SE	100	No	
Kitchen-Din-GF	EW-4	2800	1000	SW	100	No	
Kitchen-Din-GF	EW-4	2800	3800	NE	100	No	

* Data to be disclosed

Generated on 29 Apr 2025 using BERS Pro v5.4 (3.23) for LHM L4.2, 10 Lookedown Avenue, FRENCH FOREST, NSW, Australia

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08109264 NAREHRS Certificate		7 star Rating as of 29 April 2025				
Location	Wall ID	Height [mm]	Width [mm]	Orientation	Horizontal shading feature: maximum projection [mm]	Vertical shading feature: [yes/no]
KluchFam-Gin-DF	E-W-4	2800	3300	SE	4400	No
KluchFam-Gin-DF	E-W-4	2800	447	E	4808	No
KluchFam-Gin-DF	E-W-4	2800	412	NE	4886	No
KluchFam-Gin-DF	E-W-4	2800	3700	NE	4800	No
KluchFam-Gin-DF	E-W-4	2800	5100	SE	100	No
Stairs/Void-FF	E-W-5	2600	2750	SE	100	No
M Bedroom-FF	E-W-5	2600	4895	NE	100	No
M Bedroom-FF	E-W-5	2600	5095	SE	100	No
Ensl.M bed-FF	E-W-5	2600	1995	NE	100	No
Bath-FF	E-W-5	2600	4190	SE	100	No
Bedroom 2-FF	E-W-5	2600	5195	SE	100	No
Bedroom 2-FF	E-W-5	2600	3395	SW	900	Yes
Bedroom 3-FF	E-W-5	2600	3495	SW	900	Yes

Internal wall type			
Wall ID	Wall type	Area [m²]	Bulk insulation
WI-001	Cavity brick, plasterboard	84.18	No Insulation
WI-002	Timber Stud Frame, Direct Fix Plasterboard	47.92	Bulk Insulation, No Air Gap R2.5
WI-003	Timber Stud Frame, Direct Fix Plasterboard	173.03	No Insulation


Floor type			
Location	Construction	Area [m²]	Sub-floor ventilation
Garage-GF	Waffle pod slab 300 mm 85mm	19.18	None
Entry-GF	Waffle pod slab 300 mm 85mm	12.66	None
Garage-GF	Waffle pod slab 300 mm 85mm	10.06	None
Guest Bed-GF	Waffle pod slab 300 mm 85mm	13.15	None
Bath/G-Bed-GF	Waffle pod slab 300 mm 85mm	6.20	None
Home Cinema-GF	Waffle pod slab 300 mm 85mm	12.63	None

	Added insulation [R value]	Covering [R value]
Waffle Pod 300mm	0.08	Base
Waffle Pod 300mm	0.08	Ceramic Tiles Brm
Waffle Pod 300mm	0.08	Ceramic Tiles Brm
Waffle Pod 300mm	0.08	Cork Tiles or Parquetry Brm
Waffle Pod 300mm	0.08	Ceramic Tiles Brm
Waffle Pod 300mm	0.08	Carpet+Rubber Underlay Brm

* Refer to glossary
 Generated on 29 April 2025 using BERES Pro v1.24 (1.23) for Unit Lot 2, 10 Lockwood Avenue, FRENCHS FOREST, NSW
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Location		Construction	Area [m²]	Sub-floor ventilation	Added insulation (R-value)	Covering
Koch/Van/Dam-FC	Waffle pool slab 300 mm 55mm	1.91	None	Waffle Pod 300mm	Ceramic Tiles 10mm	
WC-FF	Waffle pool slab 300 mm 55mm	1.91	None	Waffle Pod 300mm	Ceramic Tiles 10mm	
Plenty-FF	Waffle pool slab 300 mm 55mm	6.06	None	Waffle Pod 300mm	Ceramic Tiles 10mm	
Levy-FF	Waffle pool slab 300 mm 55mm	5.45	None	Waffle Pod 300mm	Ceramic Tiles 10mm	
Stars/NoD /F / Stars-FC	AAC Timber Framed Above Plasterboard 75mm	0.77	No Insulation		Cork Tiles or Parquetty Strm	
AAC Bed/F / Koch/Van/Dam-FC	AAC Timber Framed Above Plasterboard 75mm	0.00	Insulation		Cork Tiles or Parquetty Strm	
Stars/NoD /F / WC-FC	AAC Timber Framed Above Plasterboard 75mm	0.00	No Insulation		Cork Tiles or Parquetty Strm	
Study-FF / Garage-FC	AAC Timber Framed Above Plasterboard 75mm	5.50	No Insulation R2.5		Cork Tiles or Parquetty Strm	
Study-FF / Entry-FC	AAC Timber Framed Above Plasterboard 75mm	3.68	No Insulation		Cork Tiles or Parquetty Strm	
Study-FF / Levy-FC	AAC Timber Framed Above Plasterboard 75mm	5.17	No Insulation		Cork Tiles or Parquetty Strm	
M Bedroom /F / Koch/Van/Dam-FC	AAC Timber Framed Above Plasterboard 75mm	27.00	No Insulation		Cork Tiles or Parquetty Strm	
WIRRM Bed/F	AAC Timber Framed Above Plasterboard 75mm	0.32	No Insulation		Cork Tiles or Parquetty Strm	
WIRRM Bed/F / Plenty-FC	AAC Timber Framed Above Plasterboard 75mm	4.85	No Insulation		Cork Tiles or Parquetty Strm	
EnaM Bed/F	AAC Timber Framed Above Plasterboard 75mm	7.62	No Insulation		Cork Tiles or Parquetty Strm	
Bed-F / Entry-FC	AAC Timber Framed Above Plasterboard 75mm	2.09	No Insulation		Cork Tiles or Parquetty Strm	
Bed-F / Bath/V.Ged-FC	AAC Timber Framed Above Plasterboard 75mm	6.21	No Insulation		Cork Tiles or Parquetty Strm	
Bed-F / Home Cinema-FC	AAC Timber Framed Above Plasterboard 75mm	8.31	No Insulation		Cork Tiles or Parquetty Strm	
Bedroom 2-FF / Entry-FC	AAC Timber Framed Above Plasterboard 75mm	4.80	No Insulation		Cork Tiles or Parquetty Strm	
Bedroom 2-FF / Guest Bed-F	AAC Timber Framed Above Plasterboard 75mm	7.43	No Insulation		Cork Tiles or Parquetty Strm	
Bedroom 2-FF / Bath/V.Ged-FC	AAC Timber Framed Above Plasterboard 75mm	3.26	No Insulation		Cork Tiles or Parquetty Strm	
Bedroom 2-FF	Suspended AAC (75mm) Timber Frame 75mm	0.83	Open	Full Bulk Insulation, Gap to Floor R2.5	Cork Tiles or Parquetty Strm	

* Refer to Appendix
 Completed on 29 April using BERS Pro v4.2 (3.23) for Unit Lot 2, 10 Lockwood Avenue, FRENCH FOREST, NSW. Page 1

001182444 NORTERS Curtains		7 Star Rating as of 29 Apr 2025			
Location	Construction	Area [m²]	Sub-foundation	Added Insulation [R-value]	Covering
Bedroom 3-F / Garage	AAC Timber Framed Above GF Plasterboard 75mm	13.50	Bulk Insulation R2.5		Cork Tiles or Parquetry 8mm
Bedroom 3-F / Entry-GF	AAC Timber Framed Above Plasterboard 75mm	1.03	No Insulation		Cork Tiles or Parquetry 8mm
Bedroom 3-F/F	Supported AAC (75mm) Timber Frame 75mm	2.89	Tightly Open Insulation, Class 15 Floor R2.5		Cork Tiles or Parquetry 8mm

Ceiling type				
Location	Construction material/type	Bulk Insulation R-value (may include edge bulk values)	Reflective wrap? [yes/no]	
Garage-GP	AAC Timber Framed Above Plasterboard	Bulk Insulation R2.5		
Entry-GF	AAC Timber Framed Above Plasterboard	No Insulation		
Stair-GF	AAC Timber Framed Above Plasterboard	No Insulation		
Guest Bed-GF	Plasterboard on Timber	Bulk Insulation R5		
Guest Bed-GF	AAC Timber Framed Above Plasterboard	No Insulation		
Bath/GF Bed-GF	Plasterboard on Timber	Bulk Insulation R5		
Bath/GF Bed-GF	AAC Timber Framed Above Plasterboard	No Insulation		
Home Cinema-GF	Plasterboard on Timber	Bulk Insulation R5		
Home Cinema-GF	AAC Timber Framed Above Plasterboard	No Insulation		
Kitchen/Din-GF	Plasterboard on Timber	Bulk Insulation R5		
Kitchen/Fam-Din-GF	AAC Timber Framed Above Plasterboard	No Insulation		
WC-GF	AAC Timber Framed Above Plasterboard	No Insulation		
Partry-GF	AAC Timber Framed Above Plasterboard	No Insulation		
Ley-GF	AAC Timber Framed Above Plasterboard	No Insulation		
Stair-Vind-FF	Plasterboard on Timber	Bulk Insulation R5		
Study-FF	Plasterboard on Timber	Bulk Insulation R5		
M.Bedroom-FF	Plasterboard on Timber	Bulk Insulation R5		
WRM-Bd-FF	Plasterboard on Timber	Bulk Insulation R5		
EnaM-Bd-FF	Plasterboard on Timber	Bulk Insulation R5		
Bath-FF	Plasterboard on Timber	Bulk Insulation R5		
Bedroom 2-FF	Plasterboard on Timber	Bulk Insulation R5		
Bedroom 3-FF	Plasterboard on Timber	Bulk Insulation R5		


* Refer to general information provided on 29 Apr 2025 using BERS Pro v5.4 (3.2) for Unit L2, 10 Lockwood Avenue, FRENCHS FOREST, NSW 2088


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001180204 Nutech® Certificate		7 Star Rating as of 29 April 2025		
Ceiling penetrations*				
Location	Quantity	Type	Diameter (mm)	Sealed/unsealed
Entry-GF	5	Downlights - LED	0	Sealed
Stairs-GF	1	Downlights - LED	0	Sealed
Guest Bed-GF	5	Downlights - LED	0	Sealed
Bath/GV Bed-GF	2	Downlights - LED	0	Sealed
Home Cinema-GF	4	Downlights - LED	0	Sealed
Kitchen/Ent-GF	22	Downlights - LED	0	Sealed
Kitchen/Ent-GF	1	Exhaust Fans	350	Sealed
WC-GF	1	Downlights - LED	0	Sealed
WC-GF	1	Exhaust Fans	350	Sealed
Pantry-GF	2	Downlights - LED	0	Sealed
Lidry-GF	2	Downlights - LED	0	Sealed
Lidry-GF	1	Exhaust Fans	350	Sealed
Stairs/Void FF	5	Downlights - LED	0	Sealed
Study-FF	6	Downlights - LED	0	Sealed
M Bedroom-FF	11	Downlights - LED	0	Sealed
WRRM Bed-FF	2	Downlights - LED	0	Sealed
Ena/M Bed-FF	2	Downlights - LED	0	Sealed
Ena/M Bed-FF	1	Exhaust Fans	350	Sealed
Bath-FF	5	Downlights - LED	0	Sealed
Bath-FF	1	Exhaust Fans	350	Unsealed
Bedroom 2-FF	7	Downlights - LED	0	Sealed
Bedroom 3-FF	7	Downlights - LED	0	Sealed
Ceiling fans				
Location	Quantity		Diameter (mm)	
Guest Bed-GF	1		1200	
Home Cinema-GF			1200	
Kitchen/Ent-GF			1200	
M Bedroom-FF	1		1200	
Bedroom 2-FF	1		1200	

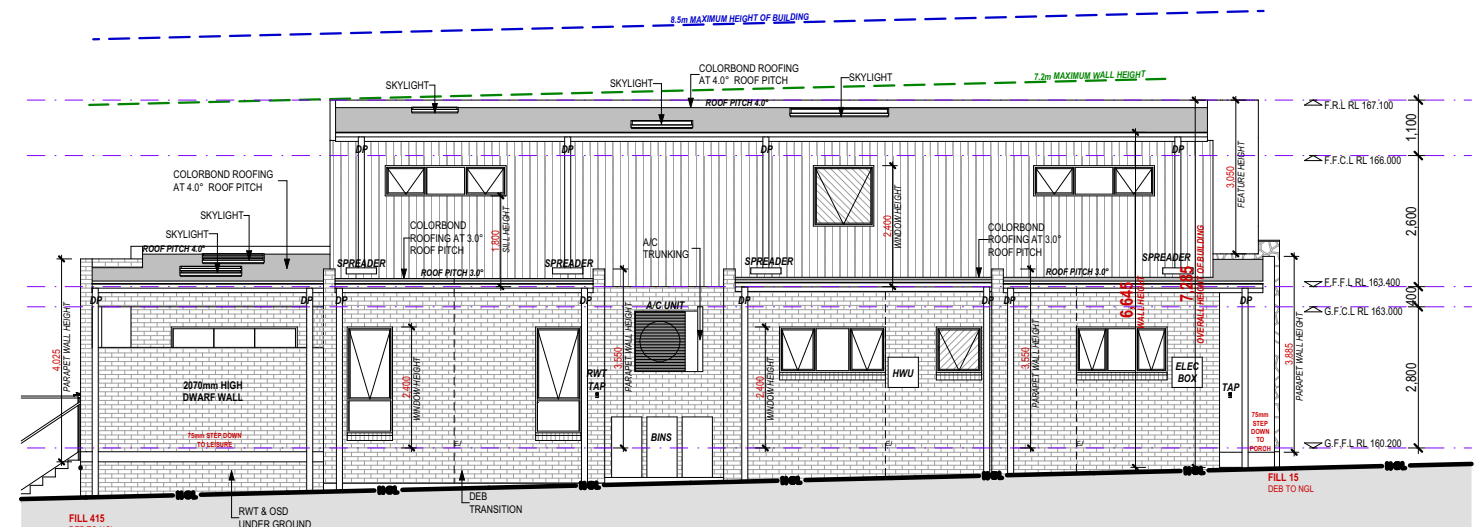
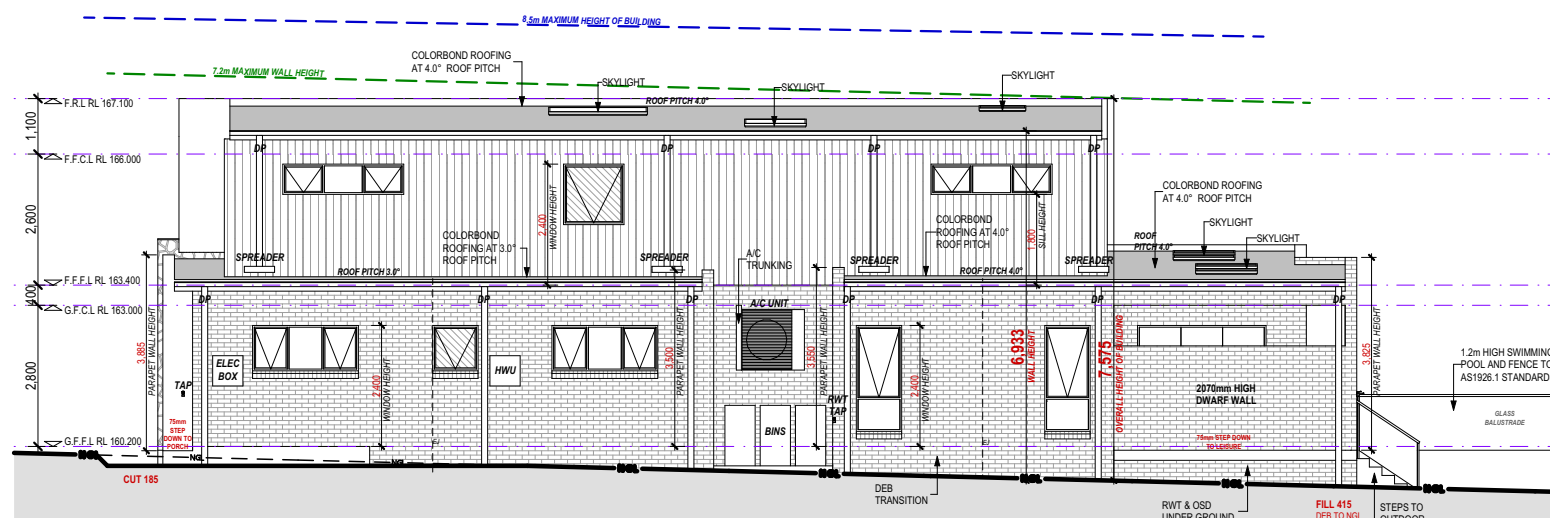
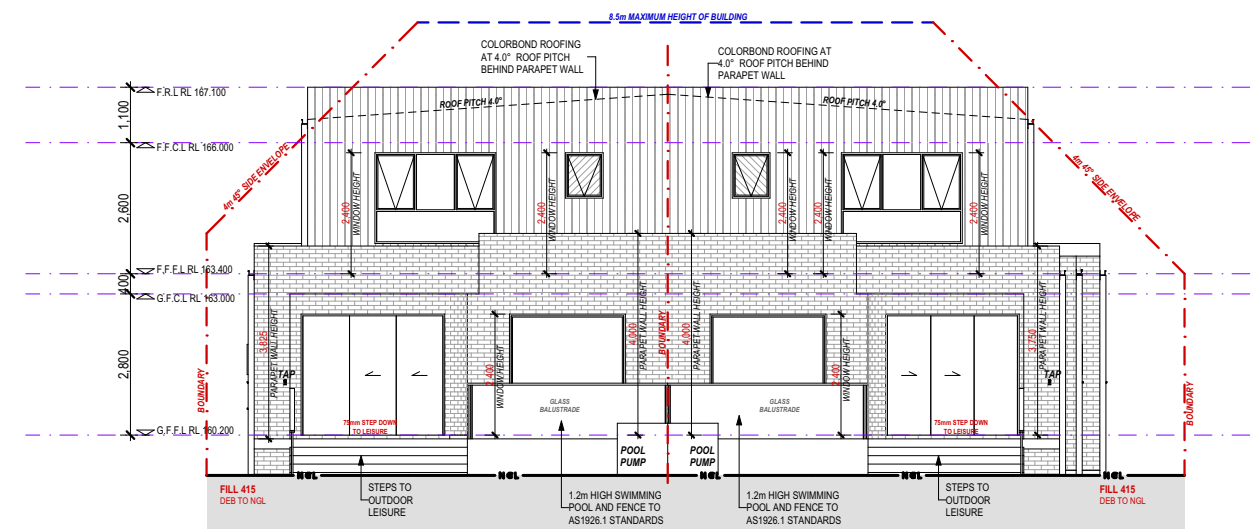
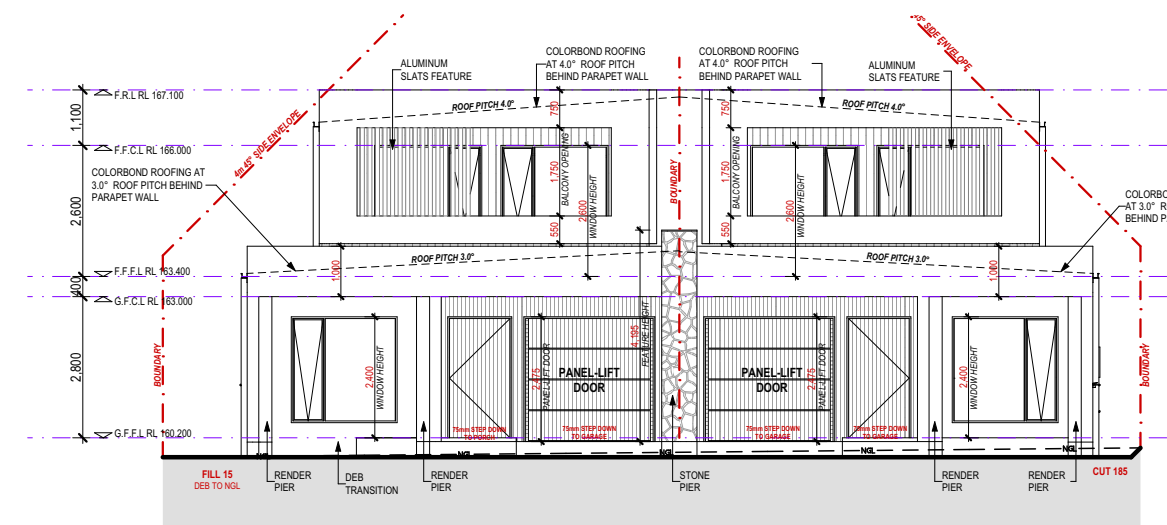
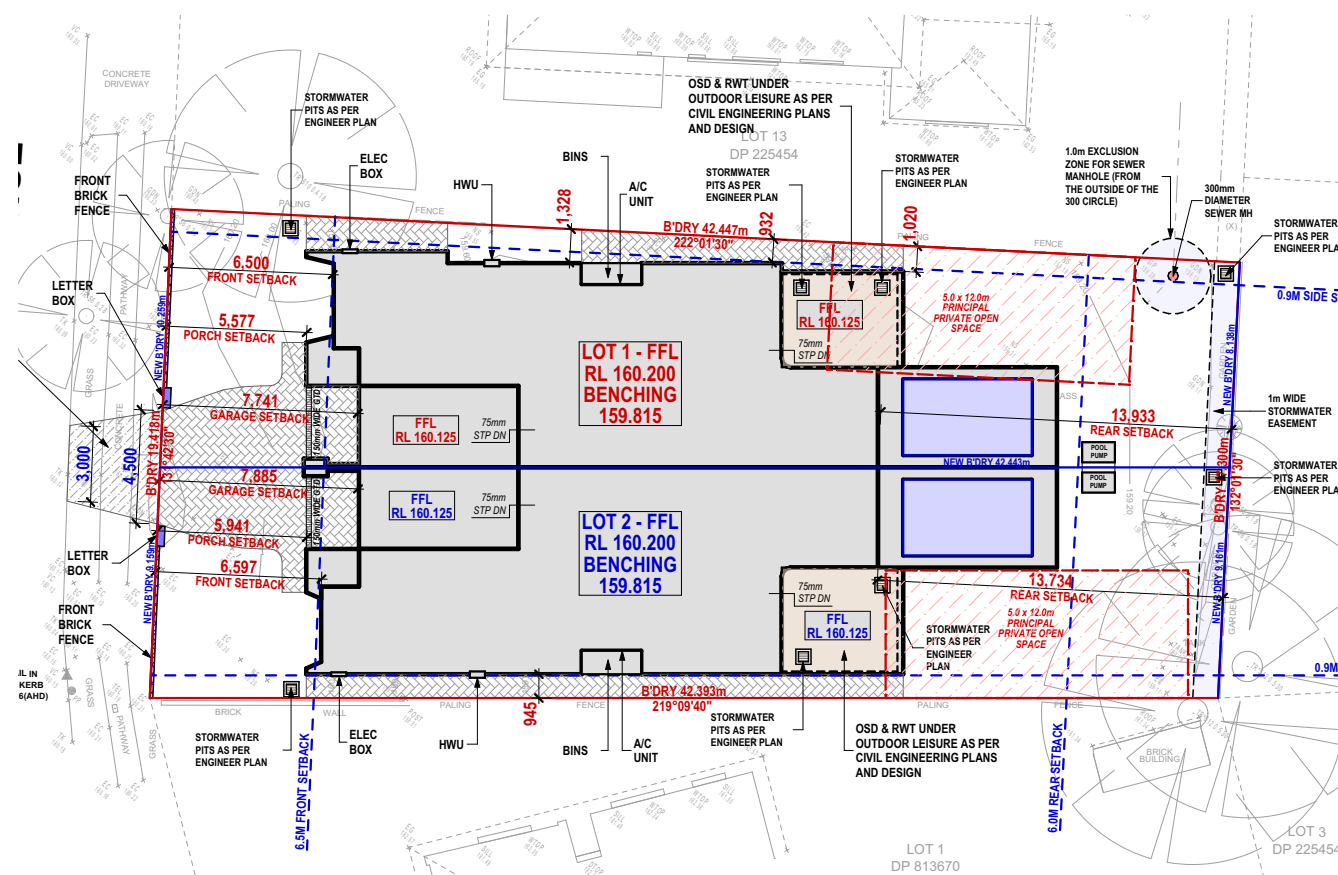
* Refer to Appendix
 Generated on 29 April 2025 using BERS Pro v5.2.4 (5.23) for Unit Lot2, 10 Lockedwood Avenue, FRENCHS FOREST, NSW, 2126

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001188264 NatHERS Certificate		7 Star Rating as of 26 Apr 2025								
Location	Quantity		Diameter (mm)							
Bedrooms 3 FF	1		1200							
Roof type										
Construction	Added Insulation (R-value)		Solar absorbance	Roof shade absorbance	Roof/ shade (R-value)					
Committed from Timber Frame	Bulk, Reflective Side Down, No Air Gap Above R1.3		0.50	Medium						
Committed from Timber Frame	Bulk, Reflective Side Down, No Air Gap Above R1.3		0.67	Dark						
Thermal bridging schedule for steel frame elements										
Building element	Steel section dimensions (height x width, mm)		Frame spacing (mm)	Steel thickness (BMT,mm)	Thermal break (R-value)					
No Data Available										
Appliance schedule										
<i>(not applicable if a Whole of Home performance assessment is not conducted for this certificate)</i>										
Note: A 16at assumption of 50W/m ² is used for lighting, therefore lighting is not included in the appliance schedule.										
Cooling system										
Appliances/ system type	Location	Fuel type	Minimum efficiency/ performance	Recommended capacity						
No Data Available										
Heating system										
Appliances/ system type	Location	Fuel type	Minimum efficiency/ performance	Recommended capacity						
No Data Available										
Hot water system										
Appliances/ system type	Fuel type	Hot Water CER Zone	Minimum efficiency/ ETC	Zone 3 STC	Zone 3 Substitution tolerance ranges Lower limit upper limit	Assessed daily load (litres)				
No Data Available										

001188264 NetherBS Certificate		7 Star Rating as of 29 Apr 2025												
Poolipa equipment														
Appliance/ system type	Fuel type	Minimum efficiency/ performance	Recommended capacity											
No Data Available														
Onsite Renewable Energy Schedule														
System Type	Orientation	System Size Or Generation Capacity												
No Data Available														
Battery Schedule														
System Type	Size (Battery Storage Capacity)													
No Data Available														

[illegible]



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B	PRELIMINARY PLANS									CHECKED: S.V	
C	ISSUED FOR D.A	S.V	17.04.25							SCALE: @A3	DATE: 1/05/2025
										PROJECT No. PN24060 CS - S30	
										DRAWING No: 24 / 24	