

Drawing Schedule	
A01	Cover Sheet & Scope of Work
A02	Existing Floor Plan
A03	Demolition Plan
A04	Proposed Floor Plan
A05	Reflected Ceiling Plan (excluding Services)
SITE01	Site & Location Plan
SITE02	Floor Plate Plan

BASIX Certificate Summary	
NOTE	All works are to be undertaken to conform with BASIX Certificate # A405267 dated 02 February 2021 which is summarised as follows:
Lighting	A minimum of 40% of all fixtures are fitted with fluorescent, complact fluorescent, or LED lamps.
Showerheads	The showerhead(s) must have a flow rate no greater than 9 litres per minute or a 3 star water rating.
Toilets	Toilets must have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
Taps	Taps must have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.
Insulation	The BASIX Certificate notes that there are 'NIL' requirements for thermal insulation in this project. It is anticipated that this is because the project is a single apartment within a multi-level residential apartment building and that adding insulation is impractical and achieves nil benefit.

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Nominated Architect
Jonathon Peterson NSW ARB 5776

Client
**Richard & Kellie
Spurrett (Applicant)**

Project
Spurrett Apartment

**21/62 North Steyne
Manly**

Project Code
SPUR01

**Development
Applicaiton**

F 5/2/21 For DA
E 24/2/20 Issued for OC Approval
D 21/2/20 Internal changes
C 20/2/20 Internal changes
B 09/09/19 For Owner's Corporation
A 06/06/19 First Issue

Drawing

Cover Sheet &
Scope of Work

Drawing Number

A01

Revision

F

Scale

-

Rev Date

04 Feb 2021

Drawn by

JDP

Checked by

JLP



SITE PLAN - NOT TO SCALE
GROUND FLOOR SHOWN

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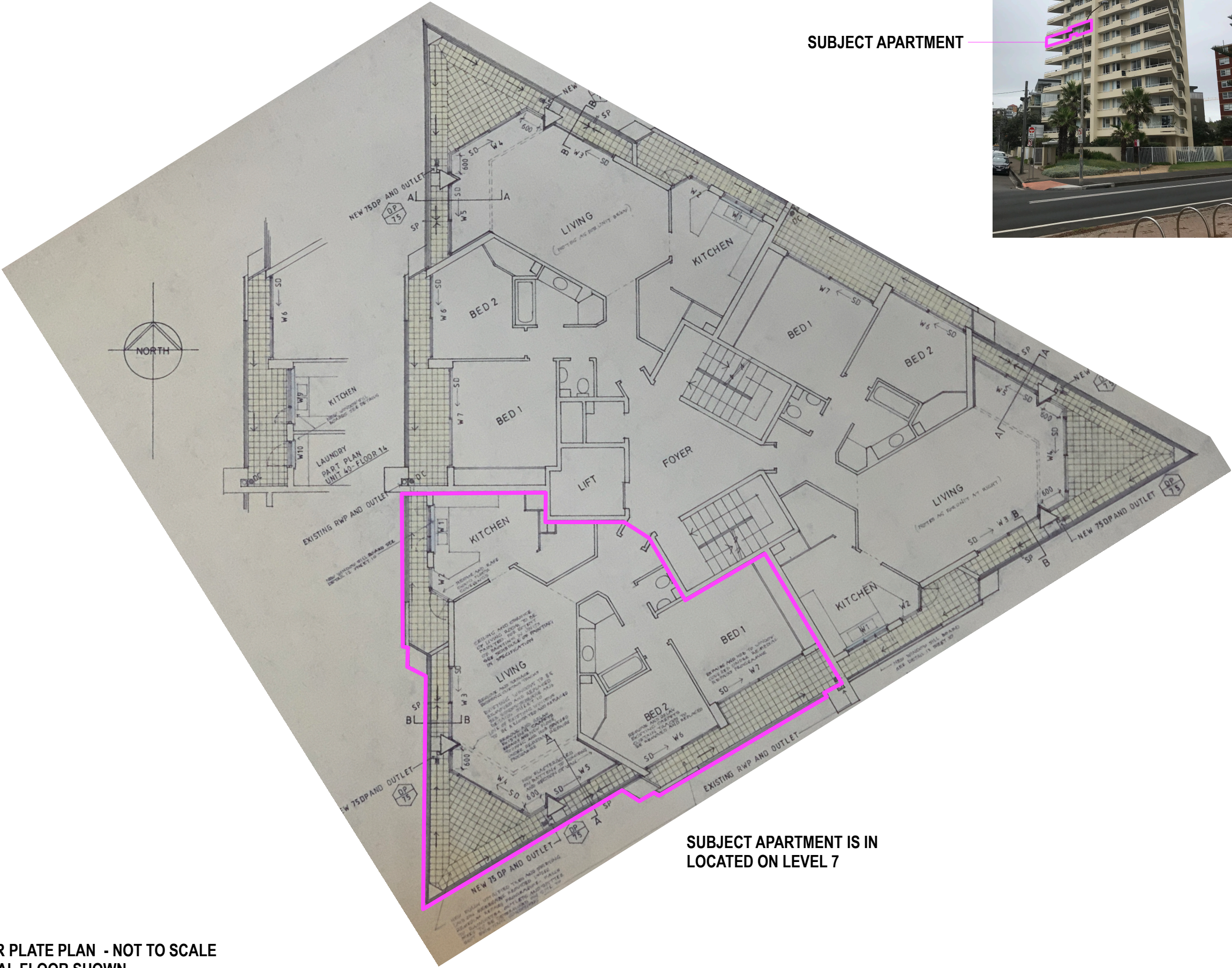
**Development
Application**

A 5/2/21 For DA

Drawing
**Site Analysis
& Location Plan**

Drawing Number
SITE01

Revision
A
Scale
NTS
Rev Date
05 FEB 21
Drawn by
JDP
Checked by
JLP

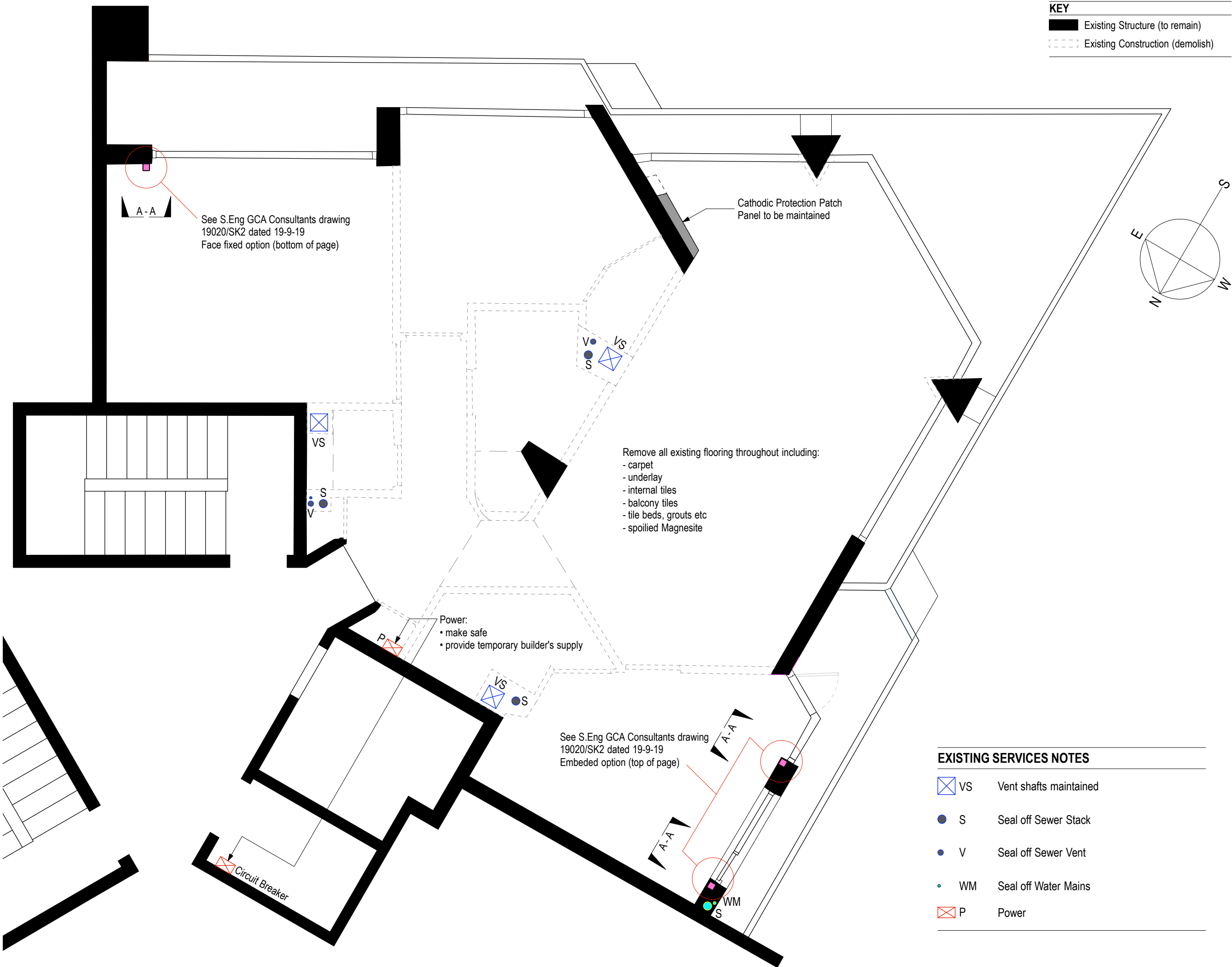


SUBJECT APARTMENT

SUBJECT APARTMENT IS IN
LOCATED ON LEVEL 7

FLOOR PLATE PLAN - NOT TO SCALE
TYPICAL FLOOR SHOWN





KEY	
	Existing Structure (to remain)
	Existing Construction (demolish)

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**Development
Application**

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C	20/2/20	Internal changes
B	09/09/19	For Owner's Corporation

Drawing
Demolition Plan

Drawing Number

A03

Revision
F
Scale
1:50
Rev Date
05 FEB 2021
Drawn by
JDP
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JLP

