

40 Myoora Road

40 Myoora Road, Terrey Hills NSW 2084

Gardoxi P/L (Norwest)

For Development Approval



Drawing List - Development Application				
Status	Sheet Number	RTVRev	RTVRev Date	Sheet Name
AD	DA1-0000	13	01/10/24	Title Sheet & Drawing List
AD	DA1-0100	03	03/09/24	Photomontage - Sheet 01
AD	DA1-0101	03	03/09/24	Photomontage - Sheet 02
AD	DA1-0102	03	03/09/24	Photomontage - Sheet 03
AD	DA1-0110	03	03/09/24	Materials Palette
AD	DA1-0200	03	03/09/24	General Notes & Abbreviations - Sheet 01
AD	DA1-0201	03	03/09/24	Keynotes
AD	DA1-0400	03	03/09/24	Existing Location Plan
AD	DA1-0401	09	03/09/24	Existing Site Analysis Plan
AD	DA1-0410	09	03/09/24	Site Plan - Existing & Demolition
AD	DA1-0500	11	03/09/24	Site Plan - Proposed
AD	DA1-1010	12	03/09/24	General Arrangement Plan - Myoora Road Venue Entry & Carparking
AD	DA1-1011	12	03/09/24	General Arrangement Plan - Basement & Restaurant 01
AD	DA1-1013	11	03/09/24	General Arrangement Plan - Restaurant 01 & 02
AD	DA1-1022	12	03/09/24	General Arrangement Plan - Restaurant 03
AD	DA1-1023	11	03/09/24	General Arrangement Plan - Roof
AD	DA1-1024	03	03/09/24	General Arrangement Plan - Landscaped Open Area & Mona Vale Road
AD	DA1-1100	01	01/10/24	Seating Plan - Restaurant 01, 02 & 03
AD	DA1-1200	03	03/09/24	Detail Plan - Restaurant 01 - Kitchen & Bar
AD	DA1-1201	03	03/09/24	Detail Plan - Restaurant 02 & 03 - Kitchen & Bar
AD	DA1-3100	09	03/09/24	Streetscape Elevations - Proposed
AD	DA1-4100	11	03/09/24	Site Sections - Proposed - Sheet 01
AD	DA1-4101	11	03/09/24	Site Sections - Proposed - Sheet 02
AD	DA1-4102	10	03/09/24	Site Sections - Proposed - Sheet 03
AD	DA1-4110	11	03/09/24	North West - Proposed Sections - Sheet 01
AD	DA1-4111	11	03/09/24	North West - Proposed Sections - Sheet 02
AD	DA1-4112	10	03/09/24	North West - Proposed Sections - Sheet 03
AD	DA1-4120	11	03/09/24	South East - Proposed Sections - Sheet 01
AD	DA1-4121	11	03/09/24	South East - Proposed Sections - Sheet 02
AD	DA1-4122	10	03/09/24	South East - Proposed Sections - Sheet 03
AD	DA1-4130	10	03/09/24	Building Sections - Sheet 01
AD	DA1-9000	10	03/09/24	Area Plan & Schedule - Proposed
AD	DA1-9010	09	03/09/24	Site Cover Plan & Schedule - Proposed
AD	DA1-9020	04	03/09/24	Gross Floor Area Plan & Schedule - Proposed
AD	DA1-9021	03	03/09/24	Gross Lettable Area Pan & Schedule - Proposed
AD	DA1-9030	03	03/09/24	Fire Compartmentation - Proposed
AD	DA1-9200	06	03/09/24	Shadow Diagrams - Winter 21st June 9am
AD	DA1-9201	06	03/09/24	Shadow Diagrams - Winter 21st June 12pm
AD	DA1-9202	06	03/09/24	Shadow Diagrams - Winter 21st June 3pm
AD	DA1-9203	06	03/09/24	Shadow Diagrams - Summer 21st December 9am
AD	DA1-9204	06	03/09/24	Shadow Diagrams - Summer 21st December 12pm
AD	DA1-9205	06	03/09/24	Shadow Diagrams - Summer 21st December 3pm

13	01.10.24	For Development Approval
12	03.09.24	For Development Approval
11	14.08.24	Issue for Information
10	26.07.24	Issue for Information
09	21.05.24	Issue for Information: Design and Sustainability Advisory Panel
08	03.05.24	Issued for Landscape Coordination
07	02.04.24	Issue for Information: Pre-DA Meeting
06	19.03.24	Consultant Issue
05	31.10.23	Issue for Information
04	27.10.23	Issue for Information

Rev Date Amendments

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 Nominated Architect: Glenn Cunningham #6415

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Scale @ A1	Drawn by	Checked by
Scale @ A3		
Project Start Date	Issue Date	Sheet Issue Date
		01/10/24
Project #	2725	
Drawing #	DA1-0000	Rev 13



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Drawing
Photomontage - Sheet 01

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Project Start Date	Issue Date	Sheet Issue Date
Project #	2725	03/09/24
Drawing #	DA1-0100	Rev 03



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Drawing

Photomontage - Sheet 02

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Project #	2725	03/09/24
Drawing #	DA1-0101	Rev 03



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Drawing

Photomontage - Sheet 03

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Drawing #	DA1-0102	Rev 03



Tmb01



Ste01



Ste02



Stn01



Poly01



Tmb02



Tmb03



Brk01



Con02



Con03



Peb01



Ash01



Con01



Con04



Pav01



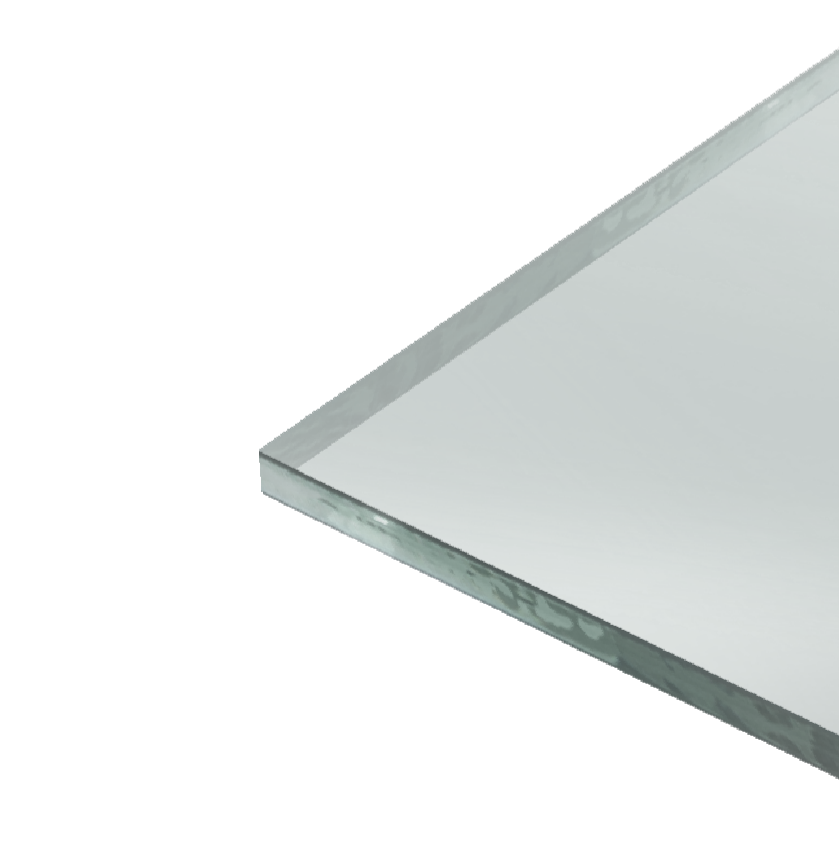
Gra01



Tmb04



AI01



Gla01



AI02

Materials & Finishes Legend

- AI01** Aluminium Framed Windows and Doors Powder Coat Finish
- AI02** Aluminium Weather Louvre Powder Coat Finish
- Ash01** Asphalt Surfacing
- Brk01** Reclaimed Sandstock Brickwork
- Con01** Concrete Hardstand Exposed Aggregate
- Con02** Insitu Concrete Walls & Retaining
- Con03** Insitu Concrete Feature Embedded Stone
- Con04** Concrete Paving Honed Finish
- Gla01** Clear Performance Laminated Glazing
- Gra01** Grass Reinforcement Mesh
- Pav01** Permeable Paving Refer to Landscape Architect's Specifications
- Peb01** Permeable Pebble Road Surfacing
- Poly01** Corrugated Polycarbonate Roofing
- Ste01** Galvanised Corrugated Steel Wall Cladding & Roofing
- Ste02** Galvanised Steel Structural & Detail Elements
- Stn01** Sandstone Retaining Locally Sourced
- Tmb01** Hardwood Timber Framing Structural & Detail Elements
- Tmb02** Hardwood Timber Cladding Lap & Cap
- Tmb03** Hardwood Timber Cladding Square Cut Shingle
- Tmb04** Timber Framed Windows and Doors

1. Construction to comply with Building Class, Construction Type and FRLs in accordance BCA Compliance Assessment Report.
2. External wall construction to comply with total system R-value of R1.40 with thermal bridging calculated in accordance with AS/NZS 4859.2 and external wall colour to a maximum solar absorptance of 0.60 in accordance with Section J DTS Assessment and Report.
3. Internal wall construction to comply with total system R-value of R1.40 with thermal bridging calculated in accordance with AS/NZS 4859.2 in accordance with Section J DTS Assessment and Report.
4. External roof construction to comply with total system R-value of R3.70 and external wall colour to a maximum solar absorptance of 0.45 in accordance with Section J DTS Assessment and Report.
5. Floors to unconditioned spaces constructed to comply with total system R-value of R2.00 in accordance with Section J DTS Assessment and Report.
6. External glazing suites to have a total system U-value of U5.80 and a SHGC of 0.75 generally in accordance with Section J DTS Assessment and Report.
7. Roof lights to have a total system U-value of U3.90 and a SHGC of 0.29 with shaft insulation to comply with total system R-value of R1.40 generally in accordance with Section J DTS Assessment and Report.

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Drawing
Materials Palette

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Drawing #	DA1-0110	Rev 03

General Notes - Approval Documentation (AD)

General notes, abbreviations & specifications
Refer also to any general notes, abbreviations and specifications provided in relation to this document set. Note that written specifications, where provided, take precedence to the extent of any discrepancy.

Coordination

Where applicable refer to and coordinate information contained in the architectural drawings, and the documentation of other consultants. Notify discrepancies between architectural and/or other consultant's documentation and/or statutory or other authority requirements to the Project Administrator for direction prior to proceeding with the part of the works affected by the discrepancy.

Detail Drawings

Unless noted otherwise, where available, refer to detail drawings for set-out and detailed construction information. Where a discrepancy arises drawings at larger scales generally take precedence over drawings at smaller scales to the extent of any discrepancy. Notify discrepancies to the Project Administrator for direction prior to proceeding with the part of the works affected by the discrepancy.

Units of measurement

Unless noted otherwise:
- Dimensions are shown in millimetres; and
- Levels are shown in meters

Access and Mobility Compliance Report

Where applicable refer to and execute the works in accordance with the current Access and Mobility Compliance Report. Where a discrepancy arises between the requirements of the Access and Mobility Compliance Report and this documentation the Access and Mobility Report will take precedence to the extent of the discrepancy. Where Compliance with the requirements of this Report will require a physical change to any part of the works illustrated by this documentation, notify the Project Administrator for direction prior to proceeding with the affected part of the works.

Acoustic Compliance Report

Where applicable refer to and execute the works in accordance with the current Acoustic Compliance Report. Where a discrepancy arises between the requirements of the Acoustic Compliance Report and this documentation the Acoustic Compliance Report will take precedence to the extent of the discrepancy. Where Compliance with the requirements of this Report will require a physical change to any part of the works illustrated by this documentation, notify the Project Administrator for direction prior to proceeding with the affected part of the works.

Fire Engineering (and/or Alternate Solution) Report

Where applicable refer to and execute the works in accordance with the current Fire Engineering (and/or Alternate Solution) Report. Where a discrepancy arises between the requirements of this documentation and any applicable Fire Engineering (and/or Alternate Solution) the Fire Engineering (and/or Alternate Solution) will take precedence to the extent of the discrepancy. Where Compliance with the requirements of this Report will require a physical change to any part of the works illustrated by this documentation, notify the Project Administrator for direction prior to proceeding with the affected part of the works.

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"Required" means required by the contract documents, and/or by the Local or Statutory Authorities and/or to contribute to complete the execution of the works in accordance with the intent of the documentation.

"Selected" means a material, finish, fitting or fixture to be selected by the Architect, Project Administrator and/or Proprietor. Refer to the relevant specification or schedule. If no selection is apparent notify the Project Administrator for direction.

"... to detail" in reference to an item or element of the works means that the applicable item is to be in accordance with the relevant Architect's detail. If a relevant detail is not evident notify the Project Administrator for direction prior to proceeding with the affected part of the works.

"Refurbish" means to repair any existing damage and return the element to a standard of operation and finish generally consistent with a similar new element.

"UNO" means "unless noted otherwise".

"Water resistant" describes the property of a material that restricts moisture movement and will not degrade under conditions of moisture.

"Waterproof" describes the property of a material that does not allow moisture to penetrate through it.

EXECUTION OF THE WORKS Compliance

Execute the works in compliance with the relevant provisions of the current editions (as amended at the time of execution of the works) of:
- The National Construction Code (NCC) and Building Code of Australia (BCA), refer to the BCA Compliance Schedule for reference where provided with this documentation;
- Applicable Australian and other published Standards, codes and policies;
- Relevant requirements of Local and/or Statutory Authorities applicable to the execution of the works; and
- Where available, the associated BCA and/or Development Consent Compliance Report.

Where a discrepancy arises between the requirements of the above mentioned codes, standards and policies, and this documentation the relevant code, standards and/or policy(ies) shall take precedence to the extent of the discrepancy. Where compliance will require a physical change to any part of the works described by this documentation, notify the Project Administrator for direction prior to proceeding with the affected part of the works.

Electrical works

Electrical works including general power, lighting, security, audio visual, point-of-sale etc. are to be designed and constructed to achieve the design intent implied by the architectural documentation, coordinate with other structure and services and be in accordance with the Local Authority, Statutory Authority, Electrical Consultant's requirements. Coordinate with the electrical consultant and contractors to ensure that all required certifications are provided in accordance with the relevant service authority and statutory requirements to the PCA's satisfaction.

"Provide" means to supply and install.

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Standard Abbreviations Legend (AD)

General	Fla	Flashing	RHS	Rectangular hollow section	Materials & Finishes
#	Flr	Floor	RI	Rough in (cap and/or terminate as req for future connection)	Acr Acrylic
	FR	Fire rated		Reduced / relative level (to datum)	Adh Adhesive (compatible with substrate and fit-for-purpose)
	Frm	Frame / framing	RL	Roof type #	Agd Aged / Antiqued
	FS	Flush set	RT#	Rain Water Outlet	Al Aluminium
AC	FT#	Floor type #	RWO	Section 4.55 Application to amend a Development Consent	An Anodised
Acst	FW	Aprvd proprietary floor waste to suit floor finish and WPM reqs	S4.55	Split batten (fixing)	Bit Bitumen
Adj	Fxd	Fixed		Schedule(s)	Bk Block / Blockwork
AFFL	GA	General Arrangement	SBt	Screen # to detail	Brk Brick / Brickwork
Agmt	Gd#	Grid #	Schd(s)	Surface drainage	Brs Brass
Amd(t)	Gd#	Grated Drain#	Scr#	Section	Brz Bronze
AP	Gnd	Ground	SDr	Selected... typically referring to a finish to be selected by the architect, client, PA or PM	CB Colourbond (finish)
Aprv(d/l)	HC	Hose cock	Sect	Services	CFC Compressed fibre cement
	Hd	Head	Sel	Structural floor level	CLam Compact laminate
	Hdl	Handle		Sign# / Signage to detail	Conc Concrete
	Hor	Horizontal		Sink / Sketch	Cpt Carpet
AS	HR	Hand Rail	Serv(s)	Skirting	CR Cement render
Avg	Ht	Height	SFL	Seal / sealant	Cu Copper
AWC	Hyd	Hydraulic	SHS	Surface level / Shadow-line	Epxy Epoxy
Awn	HWB#	Hand wash basin #	SHS	Sliding	FBrk Face brick / Face brickwork
Bal	IAW	In accordance with...	SI#	Smoke	Fab Fabric
Bat(s)	Incl	Include / included / inclusive	Skt	Soffit	FC Fibre cement
BCA	Ind	Indicator	Sl	Specification(s)	Gal Galvanized
Bdy	Ins	Inside / Inside of...	SL	Service(s) riser #	Gla# Glass # / Glazing #
BG	Ins#	Insulation #	Slid	Sub-surface drainage	HDG Hot dipped galvanized
Bhd	Inst	Instruction(s)	Smk	Structural slab level	HMR Heat & moisture resistant
Bldg	Int	Internal	SN	Standard	Lam Laminate / Laminate overlaid... / Laminate(d)
BOR	IO	Inspection opening	Sof	Store / Storage	Lam# Laminate # / Laminate overlaid... / Laminate(d)
BOS	IR	Impact resistant	Spec(s)	Structure / Structural	MB Mortar bed
BT	J?.#	Joinery item # (? : Level)	SR#	Storm water pit	MDF Medium density fibreboard
	KE	Kitchen Exhaust	SSD	To be advised (UNO generally by the PA, Arch and/or Owner)	Mel Melamine overlaid
	KE	Kitchen Exhaust	SSL	To be confirmed (UNO generally by the Contractor)	MIO Micaceous iron oxide
	Lvl	Louvre / louvred	Std	Tun dish to aprvd detail iaw Hyd	MSt Metal stud (framing)
	Man'(s)	Manufacturer'(s)	Str	Con's spec	Obs Obscure
	Max	Maximum	Strct	Tactile ground surface indicators	OFc Off form (reinforced) concrete
	Mech	Mechanical	SWP	Top of...	Pav# Paving
	Min	Minimum	TBA	Top of gutter	Pb Plasterboard
	MR	Mirror rev / Moisture resistant		Top of kerb	PC Powdercoat
	Mtr	Mitre / Mitred		Tolerance	Pcb Polycarbonate
	NA	Not applicable		Top of ramp	PCC Pre cast concrete
	NCC	National Construction Code	TD	Top of stair	PF# Selected paint finish #
	Nom	Nominal	TGSI#	Top of wall	Ply Plywood
	NTS	Not to scale	TO	Tree	Ptb Particleboard
	OA	Overall	TOG	Typ	Rbd Renderboard
	Obs	Obscure	TOK	Unequal angle	RC Reinforced concrete to Struct Eng spec
	OH	Over head	Tol	Parallel flange channel	SCP Satin chrome plated
	OF	Overflow	TOR	Plate	SS Stainless steel
	Orig	Original (building fabric)	TOS	Project Manager	SSS Satin stainless steel
	OS	Outside / Outside of... / On site	TOW	Preliminary	Ste Steel
	Own	Owner / Proprietor / Principal	Tr	Project	Stn# Stone # to sched and/or spec
	PA	Project Administrator	Typ	Proposed	Tile # Tile #
	Pav	Paving	UA	Part / Partition #	Tmb# Timber #
	PCA	Principal certifying authority	UB	Quantity	TST Timber stud (framing)
	PCF	Parallel flange channel	UC	Radius	TV Timber veneer
	Pit	Pit	UG	Reflected Ceiling Plan(s)	Vbd "Villaboard" or aprvd equal fibre cement lining board
	PM	Project Manager	UNO	Reinforced / reinforcement	Vin Vinyl
	Prelim	Preliminary	Ur#	Rebate	Zn Zinc / Zincalume
	Proj	Project	US	Recyc	
	Prop	Proposed	VB	Demolish, stockpile and recycle into the works as req	
	Prt#	Part / Partition #	Vert	Reference, refer (to...)	
	Qty	Quantity	W	Remove, take care to avoid damage to substrate materials and structure, and dispose of	
	R / Rad	Radius	W?	Replace, UNO to match exst Required / Requirement(s)	
	RCP(s)	Reflected Ceiling Plan(s)	WC#	Recover without damage, protect, store and prepare for reuse within the works as req	
	Re	Reinforced / reinforcement	Win	Recover without damage for the Owner to remove	
	Reb	Rebate	WF#		
	Recyc	Demolish, stockpile and recycle into the works as req	WO		
	Ref	Reference, refer (to...)	WP		
	Rem	Remove, take care to avoid damage to substrate materials and structure, and dispose of	WPM		
	Rep	Replace, UNO to match exst Required / Requirement(s)	WT#		
	Req(s)	Revision #			
	Rev#	Recover without damage, protect, store and prepare for reuse within the works as req			
	RFR	Recover without damage, protect, store and prepare for reuse within the works as req			
	RFO	Recover without damage for the Owner to remove			

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Project	Location
40 Myoora Road	40 Myoora Road, Terrey Hills NSW 2084
Client	Drawing
Gardoxi P/L (Norwest)	General Notes & Abbreviations - Sheet 01

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Project #	2725	
Drawing #	DA1-0200	Rev 03

Demolition Keynote Legend	
Key Value	Keynote Text
De.01	Demolish existing building.
De.02	Remove existing tree in accordance with arborist impact assessment.
De.03	Demolish existing paving, hardstand and driveway surfaces.
De.04	Extent of excavation in accordance with cut and fill plan prepared by civil engineer.

Base Build Keynote Legend	
Key Value	Keynote Text
BB.01	Traversable green roof constructed above basement. Minimum soil depth 1000mm.
BB.02	Tiered planters constructed above basement. Minimum soil depth 1000mm.
BB.03	Outdoor double sided wood burning fireplace. Flue and chimney height to manufacturer's specifications.
BB.04	Outdoor burning fireplace integrated into retaining wall. Flue and chimney height to manufacturer's specifications and installed in compliance with g2d3.
BB.05	Indoor wood burning fireplace. Flue and chimney height to manufacturer's specifications and installed in compliance with g2d3.
BB.06	Industrial automatic steel sliding privacy gate. 2700mm high.
BB.07	Green roof over fire stair. Minimum soil depth 400mm.
BB.08	Hardwood timber pergola.

Site Works Keynote Legend	
Key Value	Keynote Text
Si.01	Double sided bicycle parking rails.
Si.02	Telescopic boom gate and receiver post.
Si.03	Hardwood post and rail fencing.
Si.04	Sandstone block and log fencing and retaining walls.
Si.05	Palisade providing secure separation for kids play to at grade parking.
Si.06	Tiered retaining wall.
Si.07	Proposed new public and service vehicle entry.
Si.08	Acoustic barrier to rear of the stage area. Minimum height of 3m above the ground level of stage. Constructed of materials with a minimum density of 10kg/m2 and contain no gaps.
Si.09	Illuminated digital traffic signage for overflow parking to future detail.
Si.10	Illuminated traffic way finding signage to future detail.
Si.11	External lighting integrated into retaining wall to illuminate driveway in accordance with as/nzs 1158.3.1.
Si.12	Car park lighting poles integrated into landscape to illuminate overflow parking in accordance with as/nzs 1158.3.1 when in use.
Si.13	External lighting integrated into retaining wall to illuminate overflow parking in accordance with as/nzs 1158.3.1 when in use.

Services Keynote Legend	
Key Value	Keynote Text
Se.01	Provisional location for booster assembly.
Se.02	On site detention tank installed under ground below on grade parking. Refer to civil engineer's documentation for further details.
Se.03	Provision for public electrical vehicle charging bay.
Se.04	Exhaust louvre to service mechanical plant, amenities and store.
Se.05	Ducted discharge air plenum air conditioning condensing units. Air conditioning condensing units servicing restaurant 01 to vertically discharge to external mechanical plant louvre.
Se.06	Perforated roller shutter for cu make up air.
Se.07	Full cage mesh enclosure to mechanical pant room.
Se.08	Cpex riser with exhaust integrated into outdoor fireplace.
Se.09	Ducted-split actron to service restaurant 02 and restaurant 03.
Se.10	Garbage exhaust duct riser. Provide (min.). Duct to connect to roof-mounted cowl fan.
Se.11	Toilet exhaust duct riser. Duct to connect to roof-mounted cowl fan.
Se.12	Duct riser to serve restaurant. Duct riser to be connected to cowl fan.
Se.13	Supply duct riser to serve kitchen area and amenities. Duct riser to be connected to cowl fan.
Se.14	Supply duct riser to serve kitchen area. Duct riser to connect to roof-mounted cowl fan.
Se.15	Kitchen exhaust duct riser to connect to roof-mounted cowl fan.
Se.16	Pit inlets. Refer to civil engineer's documentation for further details.
Se.17	Requirement for pump room subject to statement of available pressure and flow from sydney water.
Se.18	Live fuel cooking system.
Se.19	Blue hatched areas indicate potential locations for pv panels. To be refined by supplier/operator taking into account overshadowing from trees and roof limitations
Se.20	Proprietary 10kl underground water tank. Minimum 1000mm soil depth above tank.

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Rev	Date	Amendments
01	26.07.24	Issue for Information
02	14.08.24	Issue for Information
03	03.09.24	For Development Approval

Rev	Date	Amendments
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Humphrey & Edwards Pty Ltd | ABN 89056638227
 Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road

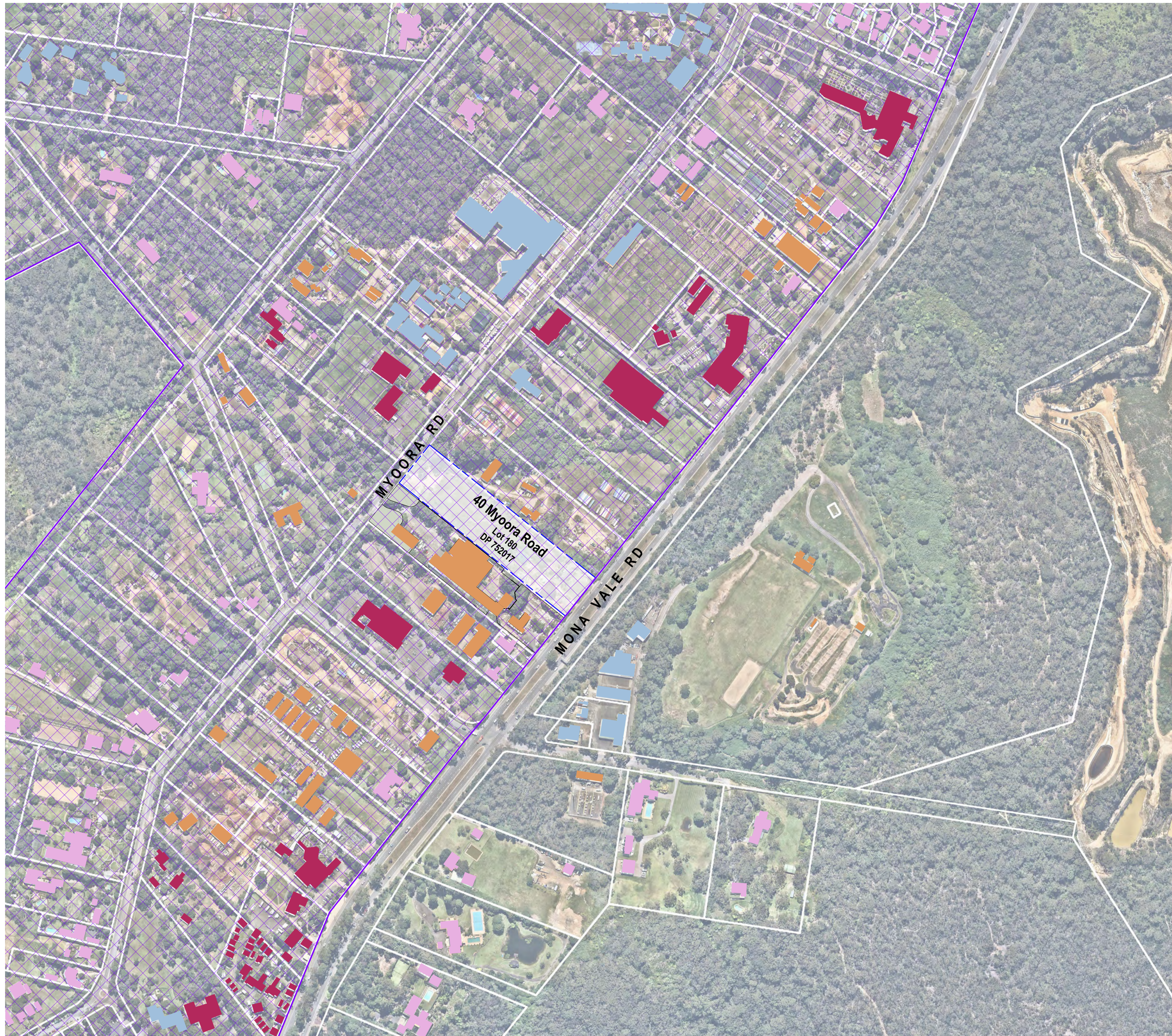
Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
Keynotes

For Development Approval

Scale @ A1	Drawn by	Checked by
Scale @ A3		
Project Start Date	Issue Date	Sheet Issue Date
Project #	2725	03/09/24
Drawing #	DA1-0201	Rev 03



Site Analysis Legend

- Neighbouring Light Industrial Buildings
- Neighbouring Residential Buildings
- Neighbouring Public Buildings
- Neighbouring Recreation, Commercial & Hospitality Buildings
- RU4 Land Zoning
- Predominant Wind Direction
- Noise Source
- Pedestrian Access
- Public Vehicle Entry / Exit
- Service Vehicle Entry / Exit

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Rev	Date	Amendments



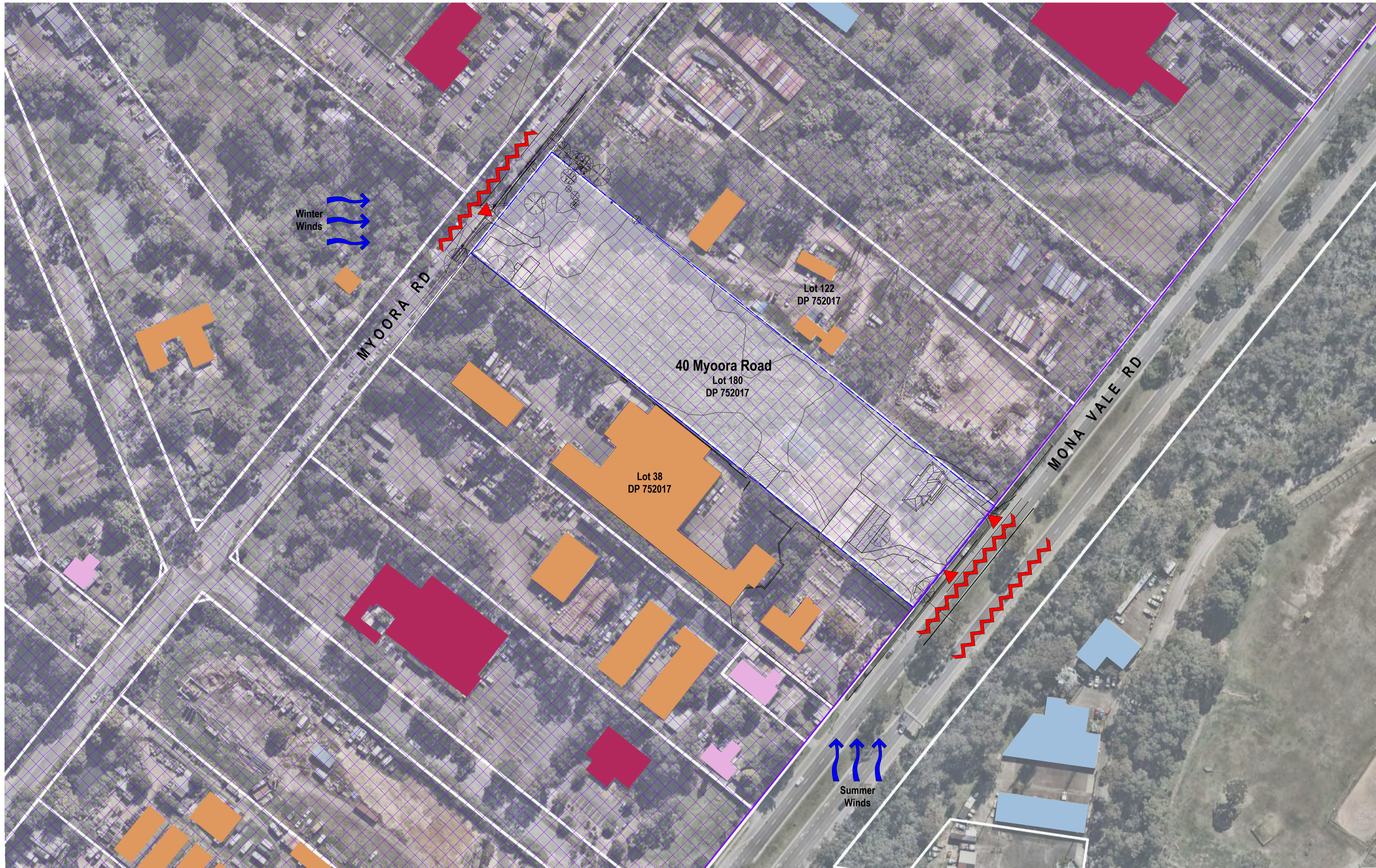
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 Humphrey & Edwards Pty Ltd | ABN 89256538227
 Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road
 Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084
 Drawing
Existing Location Plan

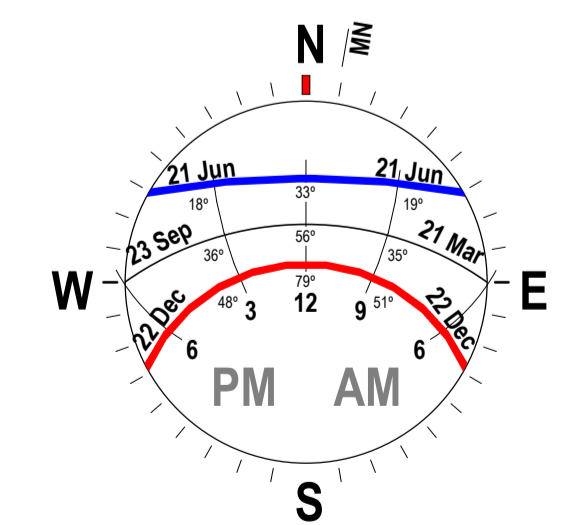
For Development Approval

Scale @ A1	1:2500	Drawn by	Checked by
Scale @ A3	1:5000		
Project Start Date	Issue Date	Sheet Issue Date	03/09/24
Project #	2725		
Drawing #	DA1-0400	Rev	03



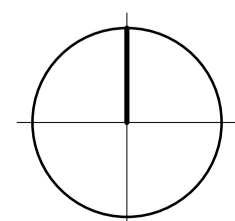
Site Analysis Legend

- Neighbouring Light Industrial Buildings
- Neighbouring Residential Buildings
- Neighbouring Public Buildings
- Neighbouring Recreation, Commercial & Hospitality Buildings
- RU4 Land Zoning
- Predominant Wind Direction
- Noise Source
- Pedestrian Access
- Public Vehicle Entry / Exit
- Service Vehicle Entry / Exit



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03	19.03.24	Consultant Issue
04	02.04.24	Issue for Information: Pre-DA Meeting
05	03.05.24	Issued for Landscape Coordination
06	21.05.24	Issue for Information: Design and Sustainability Advisory Panel
07	26.07.24	Issue for Information
08	14.08.24	Issue for Information

Rev	Date	Amendments
09	03.09.24	For Development Approval

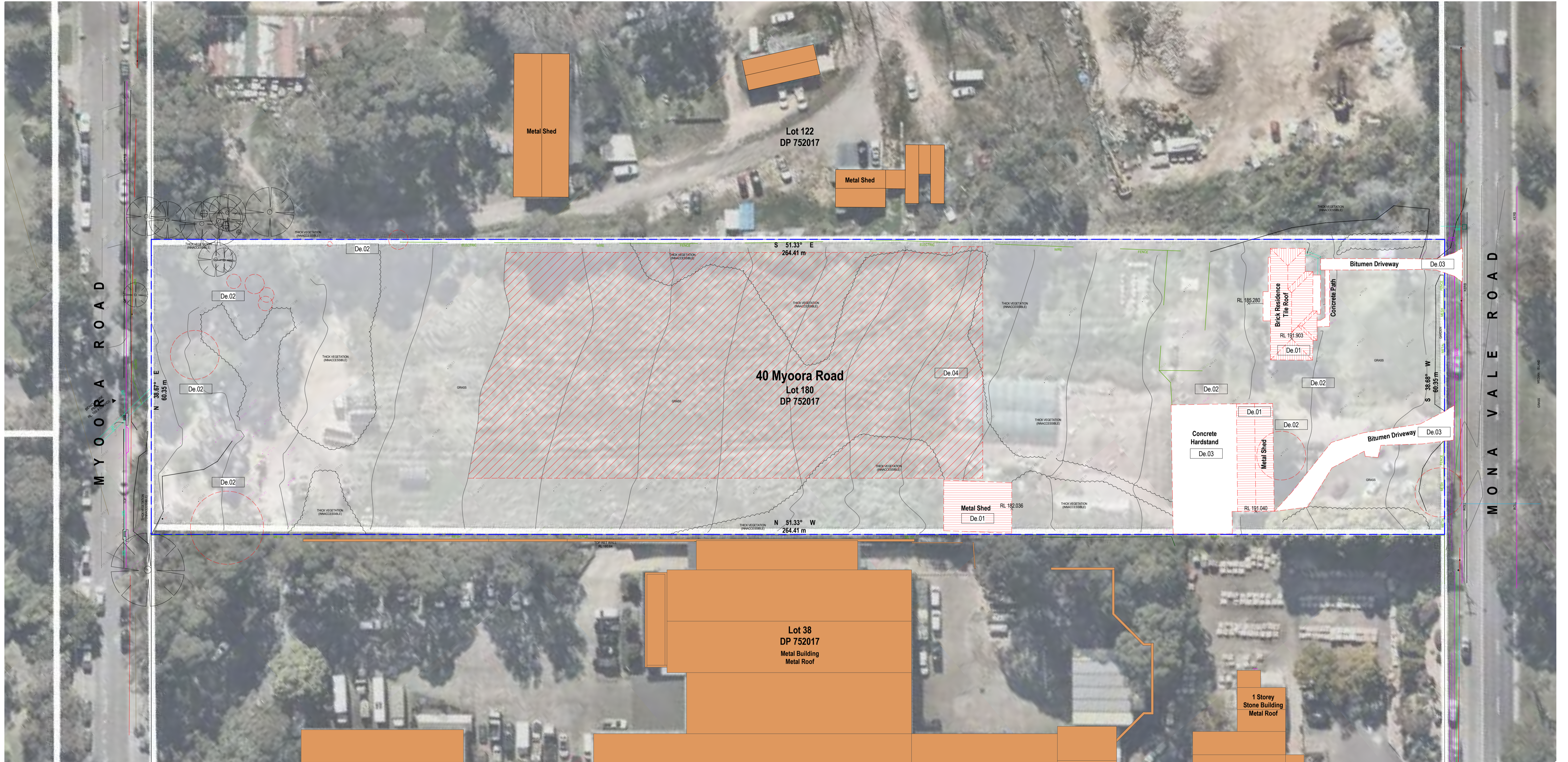


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 Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road
 Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084
 Drawing
Existing Site Analysis Plan

Scale @ A1	1:1000	Drawn by	Checked by
Scale @ A3	1:2000		
Project Start Date	Issue Date	Sheet Issue Date	03/09/24
Project #	2725		
Drawing #	DA1-0401	Rev	09



DA Legend

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- Neighbouring Light Industrial Buildings
- Subject to final layout this area is to comply with Australian Standard 4674-2004; Design, construction and fit out of food premises. Refer to DA1-1200.
- Area of proposed demolition
- Neighbouring Residential Buildings

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06	21.05.24	Issue for Information: Design and Sustainability Advisory Panel
07	26.07.24	Issue for Information
08	14.08.24	Issue for Information

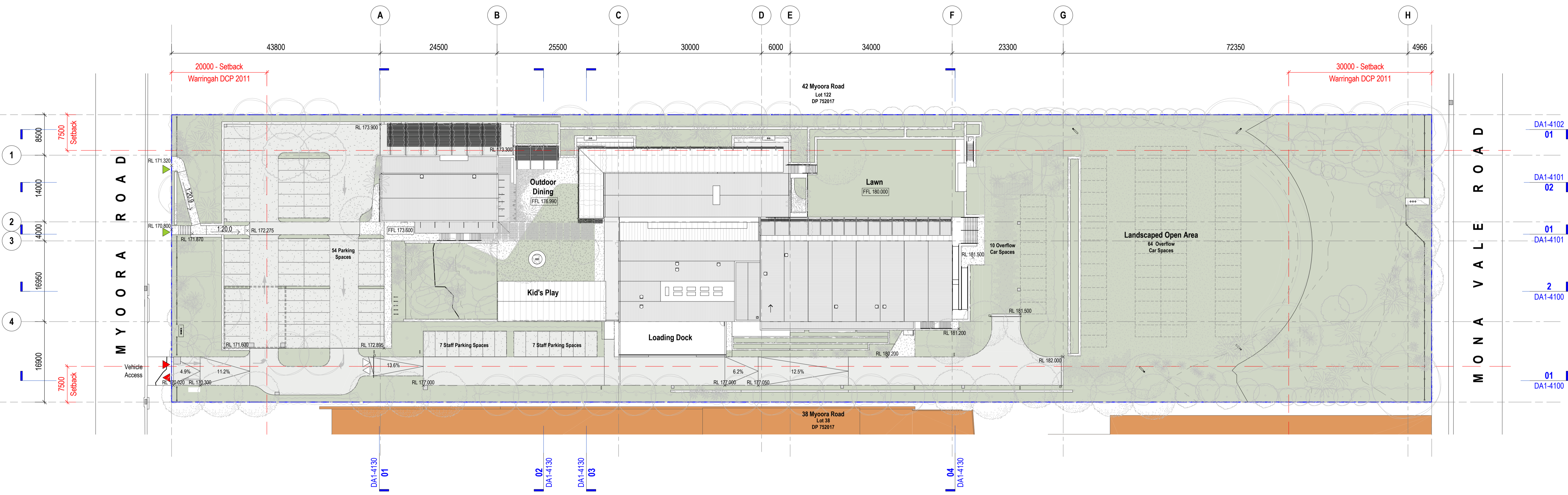
Rev	Date	Amendments
09	03.09.24	For Development Approval

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 Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road
 Client
Gardoxi P/L (Norwest)

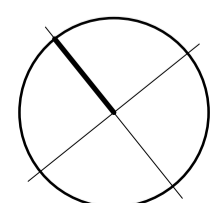
Location
40 Myoora Road, Terrey Hills NSW 2084
 Drawing
Site Plan - Existing & Demolition

Scale @ A1	1:400	Drawn by	Checked by
Scale @ A3	1:800		
Project Start Date	Issue Date	Sheet Issue Date	03/09/24
Project #	2725		
Drawing #	DA1-0410	Rev	09



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06	02.04.24	Issue for Information: Pre-DA Meeting
07	03.05.24	Issued for Landscape Coordination
08	21.05.24	Issue for Information: Design and Sustainability Advisory Panel

Rev	Date	Amendments
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11	03.09.24	For Development Approval



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Project	40 Myoora Road
Client	Gardoxi P/L (Norwest)

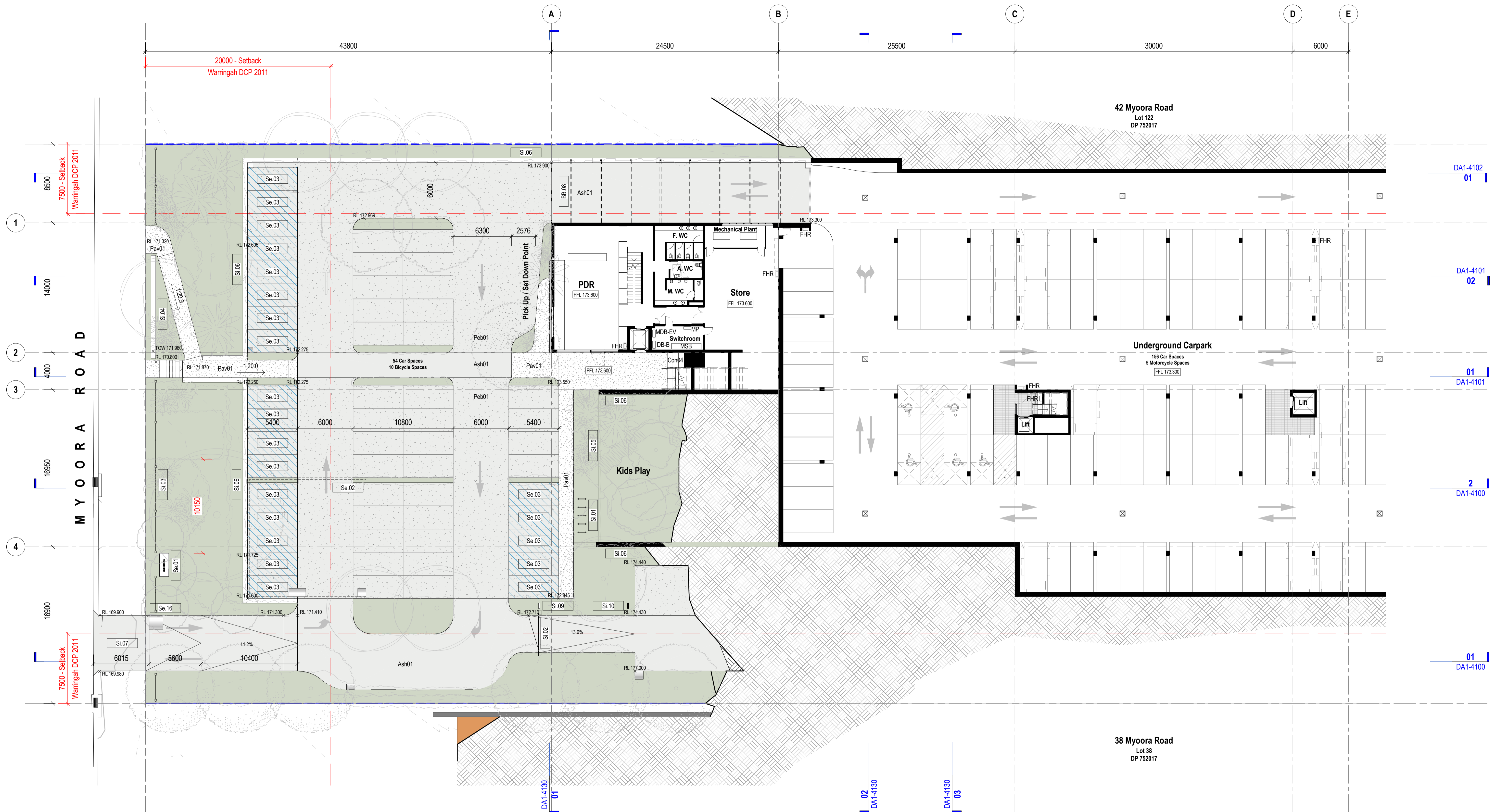
DA Legend

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- Neighbouring Light Industrial Buildings
- Subject to final layout this area is to comply with Australian Standard 4674-2004; Design, construction and fit out of food premises. Refer to DA1-1200.
- Area of proposed demolition
- Neighbouring Residential Buildings

For Development Approval

Location	40 Myoora Road, Terrey Hills NSW 2084	
Scale @ A1	1:400	Drawn by
Scale @ A3	1:800	Checked by
Project Start Date	Issue Date	Sheet Issue Date
Project #	2725	03/09/24
Drawing #	DA1-0500	Rev 11



DA Legend

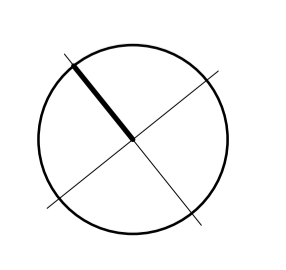
UNO the general extent and location of alterations or additions, including demolition is indicated accordingly:

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	Area of proposed demolition		Neighbouring Residential Buildings		

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08	03.05.24	Issued for Landscape Coordination

Rev	Date	Amendments
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11	14.08.24	Issue for Information
12	03.09.24	For Development Approval



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 Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road

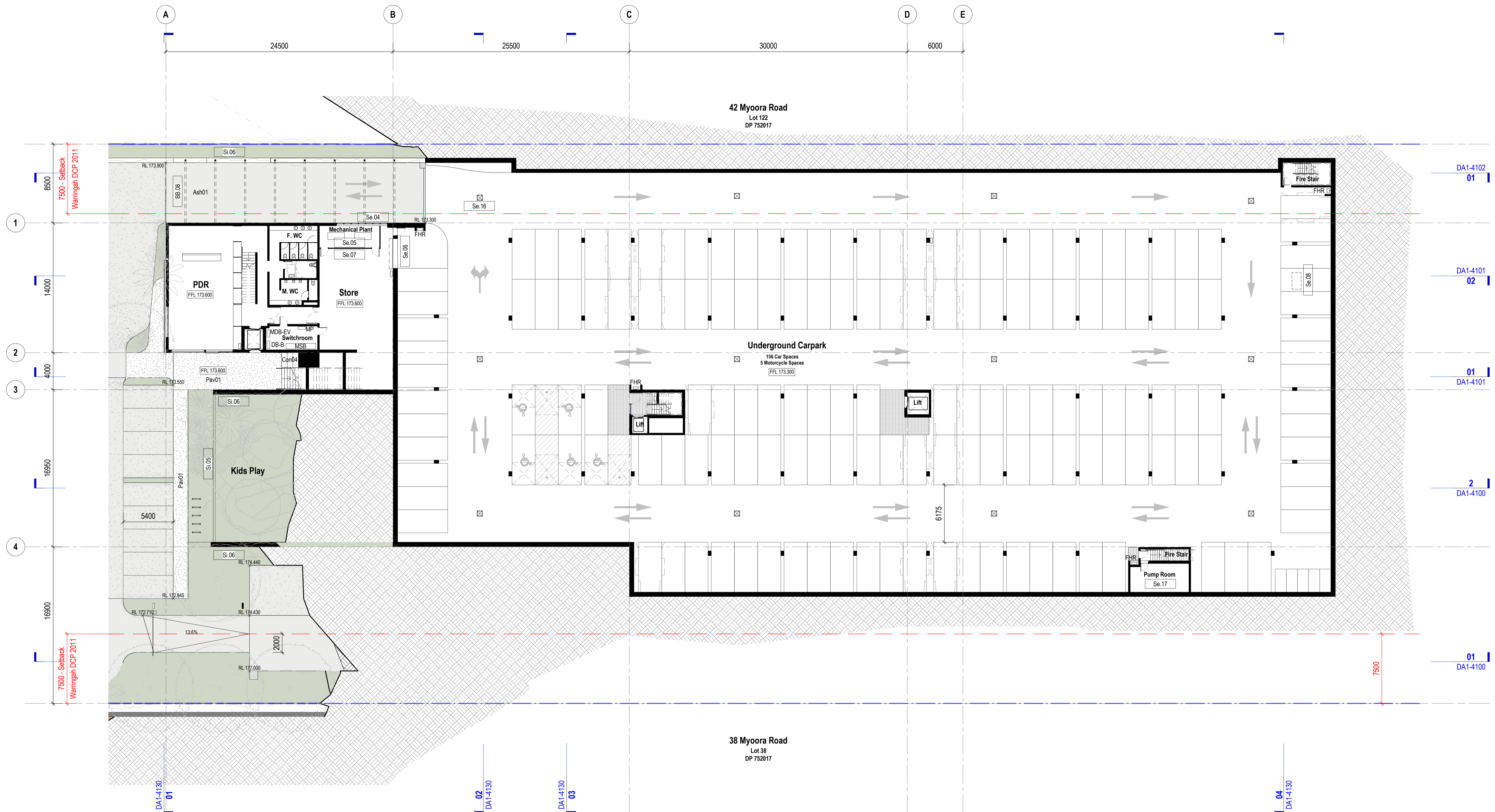
Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
General Arrangement Plan - Myoora Road Venue Entry & Carparking

For Development Approval

Scale @ A1	1:200	Drawn by	Checked by
Scale @ A3	1:400		
Project Start Date	Issue Date	Sheet Issue Date	03/09/24
Project #	2725		
Drawing #	DA1-1010	Rev	12

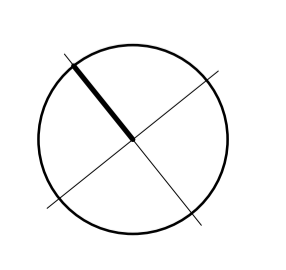


DA Legend

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 - Area of proposed demolition
 - Neighbouring Residential Buildings

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07	02.04.24	Issue for Information; Pre-DA Meeting
08	03.05.24	Issued for Landscape Coordination

Rev	Date	Amendments
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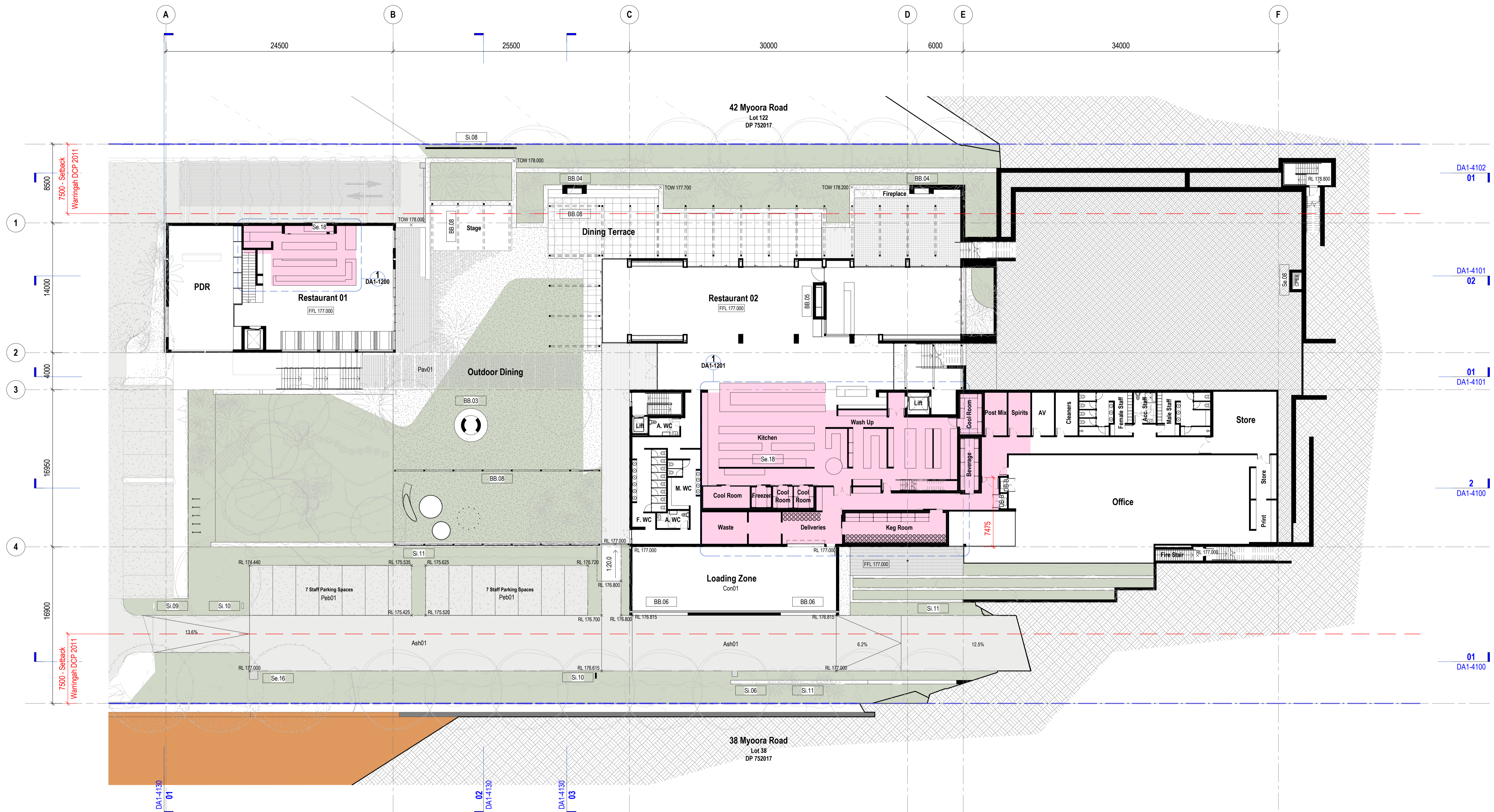
Project
40 Myoora Road

Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
General Arrangement Plan - Basement & Restaurant
01

Scale @ A1	1:200	Drawn by	Checked by
Scale @ A3	1:400		
Project Start Date	Issue Date	Sheet Issue Date	03/09/24
Project #	2725		
Drawing #	DA1-1011	Rev	12

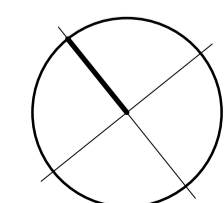


DA Legend

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Rev	Date	Amendments
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10	14.08.24	Issue for Information
11	03.09.24	For Development Approval

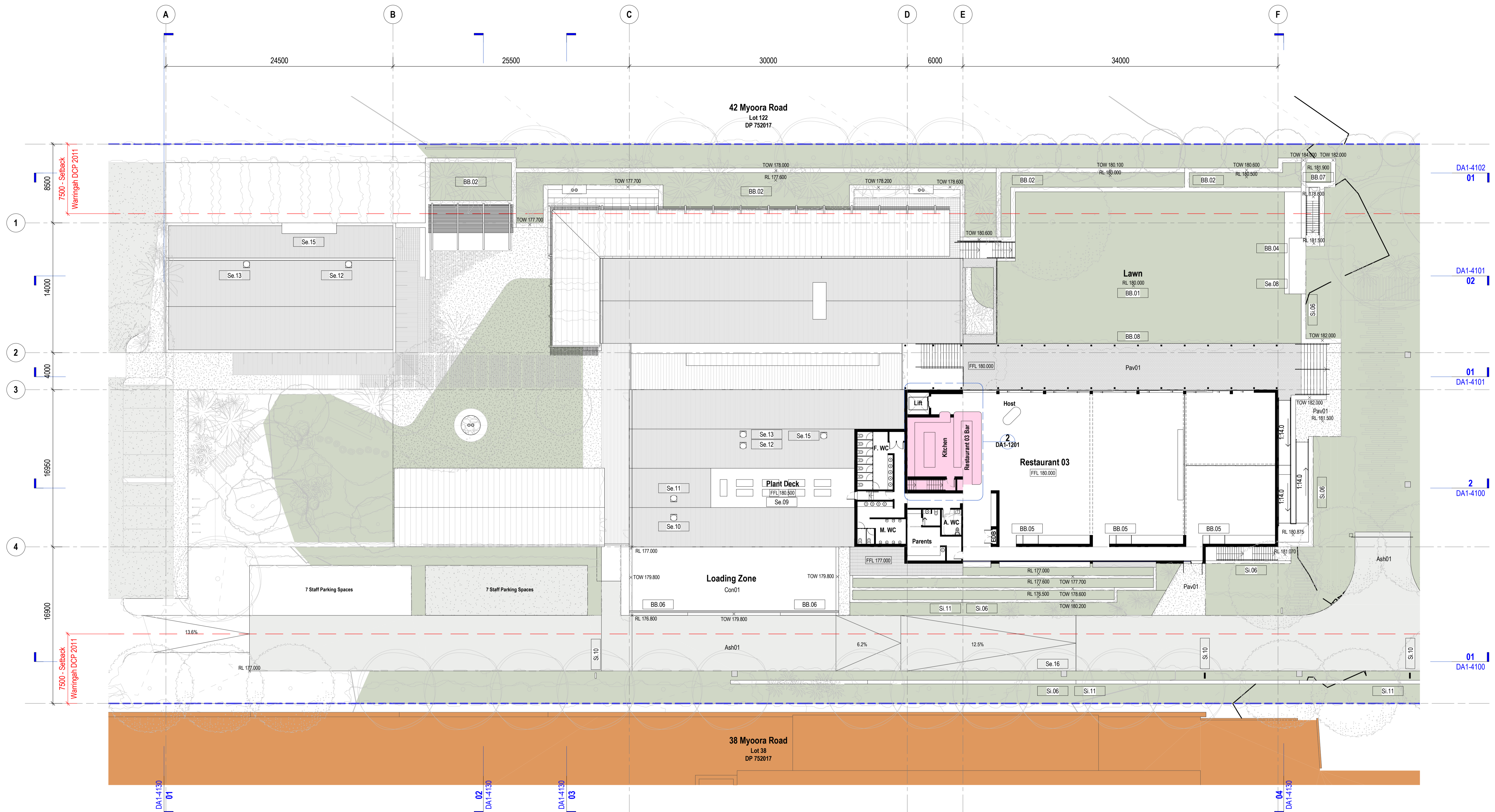


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 Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road
 Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084
 Drawing
General Arrangement Plan - Restaurant 01 & 02

Scale @ A1	1:200	Drawn by	Checked by
Scale @ A3	1:400		
Project Start Date	Issue Date	Sheet Issue Date	03/09/24
Project #	2725		
Drawing #	DA1-1013	Rev	11



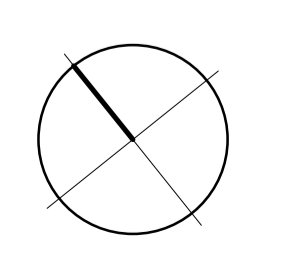
DA Legend

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- Area of proposed demolition
- Neighbouring Residential Buildings

For Development Approval

Location	40 Myoora Road, Terrey Hills NSW 2084		
Drawing	General Arrangement Plan - Restaurant 03		
Scale @ A1	1:200	Drawn by	Checked by
Scale @ A3	1:400		
Project Start Date	Issue Date	Sheet Issue Date	03/09/24
Project #	2725		
Drawing #	DA1-1022	Rev	12

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07	02.04.24	Issue for Information; Pre-DA Meeting
08	03.05.24	Issued for Landscape Coordination

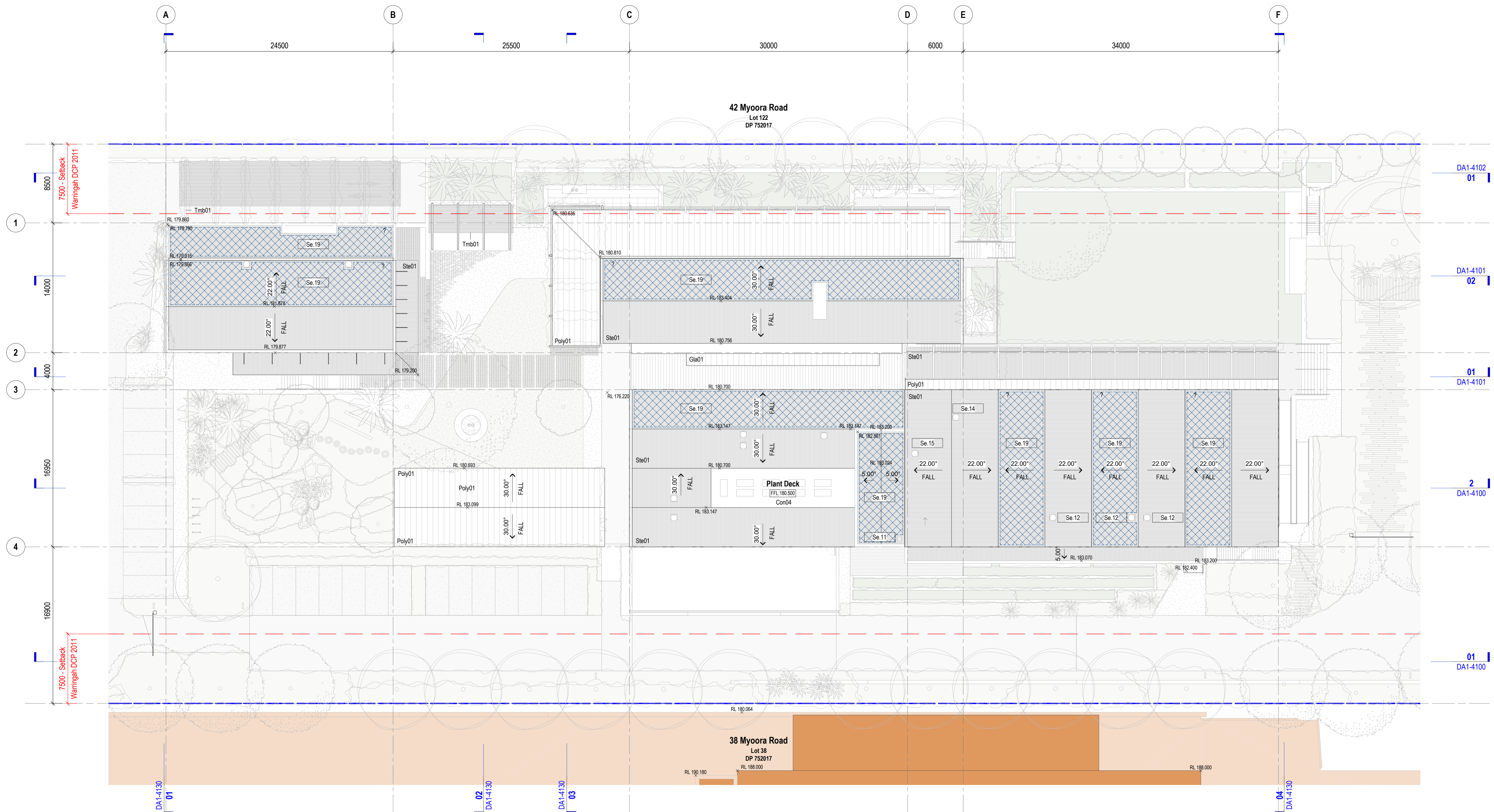
Rev	Date	Amendments
09	21.05.24	Issue for Information; Design and Sustainability Advisory Panel
10	26.07.24	Issue for Information
11	14.08.24	Issue for Information
12	03.09.24	For Development Approval



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Project
40 Myoora Road

Client
Gardoxi P/L (Norwest)



DA1-4102
01

DA1-4101
02

01
DA1-4101

2
DA1-4100

01
DA1-4100

DA1-4130
01

02
DA1-4130

DA1-4130
03

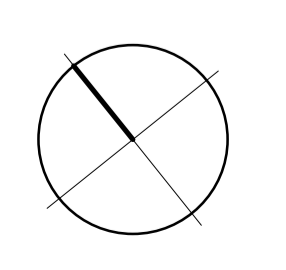
DA1-4130
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DA Legend

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 - Neighbouring Residential Buildings

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Rev	Date	Amendments
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11	03.09.24	For Development Approval



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Humphrey & Edwards Pty Ltd | ABN 89056638227
Nominated Architect: Glenn Cunningham #6415

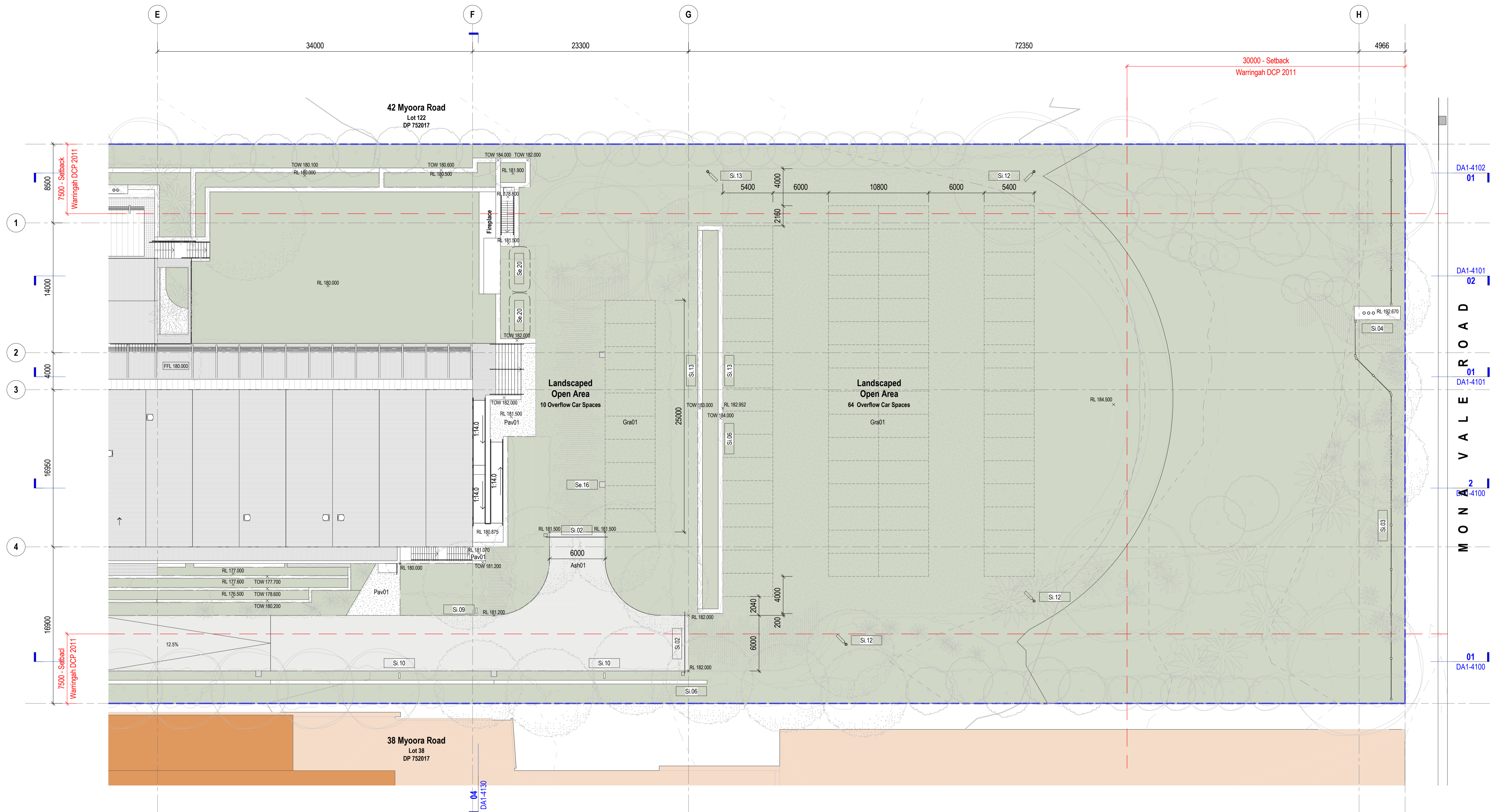
Project
40 Myoora Road

Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
General Arrangement Plan - Roof

Scale @ A1	1:200	Drawn by	Checked by
Scale @ A3	1:400		
Project Start Date	Issue Date	Sheet Issue Date	03/09/24
Project #	2725		
Drawing #	DA1-1023	Rev	11



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Rev	Date	Amendments
01	26.07.24	Issue for Information
02	14.08.24	Issue for Information
03	03.09.24	For Development Approval

Rev	Date	Amendments



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Humphrey & Edwards Pty Ltd | ABN 89056538227
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Project
40 Myoora Road

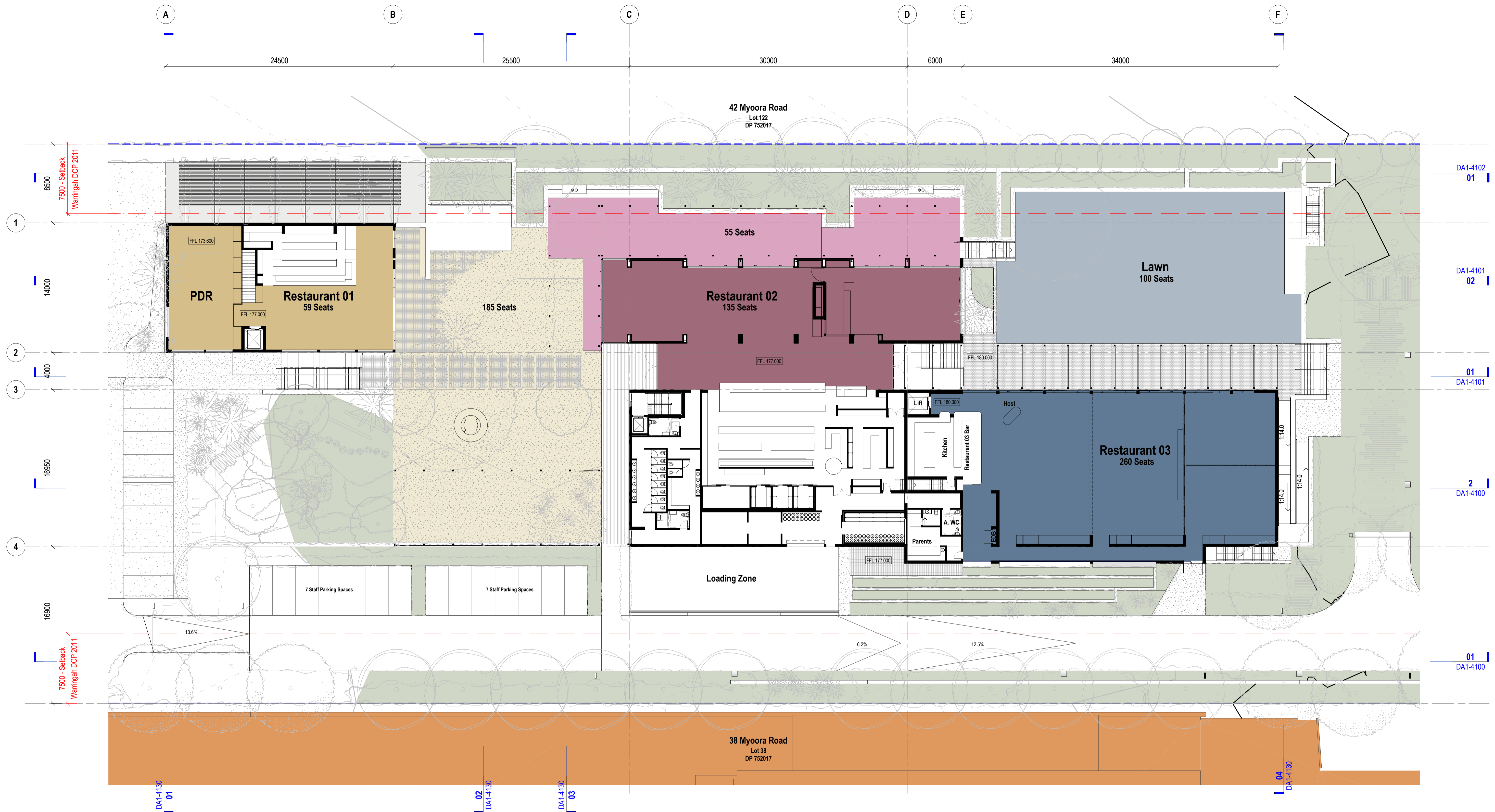
Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
General Arrangement Plan - Landscaped Open Area & Mona Vale Road

For Development Approval

Scale @ A1	1:200	Drawn by	Checked by
Scale @ A3	1:400		
Project Start Date	Issue Date	Sheet Issue Date	03/09/24
Project #	2725		
Drawing #	DA1-1024	Rev	03



DA Legend

- UNO the general extent and location of alterations or additions, including demolition is indicated accordingly:
- Proposed new building fabric
 - Area of proposed demolition
 - Neighbouring Light Industrial Buildings
 - Neighbouring Residential Buildings
 - Subject to final layout this area is to comply with Australian Standard 4674-2004; Design, construction and fit out of food premises. Refer to DA1-1200.

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Rev	Date	Amendments
01	01.10.24	For Development Approval

Rev	Date	Amendments



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Project
40 Myoora Road

Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
Seating Plan - Restaurant 01, 02 & 03

For Development Approval

Scale @ A1	1:200	Drawn by	Checked by
Scale @ A3	1:400		
Project Start Date	Issue Date	Sheet Issue Date	01/10/24
Project #	2725		
Drawing #	DA1-1100	Rev	01

General Notes - Food Premises Fitout

General notes

The following specification is based upon the provisions of AS4674-2004 "Design, construction and fit-out of food premises" and "The food Standards Code" under the "Food Act 2003". It outlines minimum standards required for particular aspects of construction in relation to the food premises facilities. Other relevant authority and statutory requirements, including relevant conditions of development consent, may also require consideration.

Equipment layouts shown for the purpose of a DA are indicative only, subject to further design development and coordination. In the absence of specific detailed provisions ensure that the requirements of this specification are met. Where a discrepancy arises notify the Project Administrator for instruction prior to proceeding with the related part of the works.

Certification

Submit certification that works associated with food preparation have been undertaken in accordance with the provisions of AS4674-2004 "Design, construction and fit-out of food premises" and "The food Standards Code" under the "Food Act 2003" as they apply to this project.

Pest proofing

Ensure that windows, doors, access panels and hatches are enclosed so as to prevent the entry of pests. All pest proofing provisions must be readily accessible for cleaning.

Penetrations

Where pipework, drains, cables and ducts penetrate walls, ceilings and roofs, suitably seal and finish the penetration with washable impervious elastomeric sealant to prevent the entry of pests.

Cavities and spaces

Spaces between adjoining structures, such as between coolroom walls and premises walls, shall be accessible for inspection and cleaning or sealed with a suitable compound so that they are inaccessible to pests. Spaces between the top surface of equipment or structures such as coolrooms shall be accessible for inspection and cleaning or sealed or boxed in so that they are inaccessible to pests.

Seals

In the absences of specific detailed provisions ensure that suitable seals are utilised for doors, windows, vents and the like to exclude, where practicable, the infiltrations of outside contaminants, including, dirt, dust, fumes, and smoke.

Water supply

Water used for any activities involved in the preparation of food, personal hygiene, cleaning and sanitizing shall be potable.

Pipes carrying non-potable water shall be identified as containing non-potable water in accordance with AS 1345.

Taps in food handling areas discharging non-potable water shall be identified as discharging non-potable water in accordance with AS 1319.

The water supply shall be supplied in accordance with the requirements of AS/NZS 3500.1.2.

Heated water shall be supplied in accordance with the requirements of AS/NZS 3500.4.2.

Equipment is to be connected to a continuous supply of hot, cold and/or warm potable water as appropriate.

Ensure sinks receive water at a temperature of:

- 45 for washing operations; and
- 80 for sanitising operations.

Refer to the relevant supply authority for specific installation requirements.

Hot Water Service

The hot water service must be positioned at least 75mm clear of the adjacent wall surfaces, and mounted a minimum 150mm above floor level on a stand of non-corrosive metal construction (AS4674-2004 – Section 4.3).

Sewage and waste water disposal

Access openings

Do not locate access openings to the sanitary drainage system in areas of the premises where open food is handled.

Grease arrestors

Do not locate grease arrestors in areas where food, equipment or packaging materials are handled or stored.

Access to grease arrestors for emptying shall not be through areas where open food is handled or stored or where food contact equipment and packaging materials are handled or stored.

Garbage rooms

Floor construction

Construct garbage room floors from a slip resistant, heavy duty, water proof, impervious material, covered at the intersection with the walls with coving integral with the floor, and graded and drained to a (removable bucket trapped) floor waste connected to the sewerage system.

Wall construction

Construct walls with a smooth, water proof, impervious surface.

Ventilation

Provide natural and/or mechanical ventilation sufficient to meet the standards required by the BCA, AS/NZS 1668.1 and AS 1668.2.

Hose tap

Provide a hose tap connected to the hot & cold water supply.

Ventilation

Provide natural and/or mechanical ventilation sufficient to meet the standards required by the BCA, AS/NZS 1668.1 and AS 1668.2.

Mechanical Exhaust

Mechanical exhaust ventilation must be provided to the cooking appliances. Detailed plans together with a compliance statement from a mechanical engineer is required for the system must be submitted to the PCA and approved prior to installation (AS4674-2004 – Section 2.5, AS1668.2 – 1991).

An exhaust hood must completely cover the equipment to be ventilated and extended no less than 200mm beyond the perimeter of the equipment (Australian Standard 1668.2 – 1991).

The exhaust hood must be provided with a condensation gutter around the base. The gutter must not be less than 50mm wide by 25mm deep. Where abutting walls, the hood must be constructed so as to finish flush against the wall surface (AS1668.2 – 1991).

The low edge of the canopy-type exhaust hood must be at least 2000mm above floor level (AS1668.2 – 1991).

Dish washer hood

In addition to the requirements of AS/NZS 1668.1 and AS 1668.2, provide an extraction system where there is any dishwasher and/or other washing and sanitizing equipment that vents steam into the area to the extent that there is, or is likely to be, condensation collecting on walls and ceilings.

Lighting

Provide natural or artificial lighting in accordance with the requirements of the Building Code of Australia (BCA), with the following exceptions:

- Where natural lighting is provided the lighting levels shall be equivalent to the levels for artificial lighting.
- Where artificial lighting is provided the lighting shall also comply with the requirements of AS 1680.1 and AS/NZS 1680.2.4.

Subdued lighting may be provided in dining and drinking areas, provided that there is lighting available that complies with the above requirements during cleaning and inspection operations.

The exposed surface of all conduits installed on the surface of walls or ceilings shall be smooth.

Light fittings

In areas where open food is handled or stored, light fittings shall be-

(a) designed and constructed to prevent contamination of food should the globe or tube shatter; and

(b) free from any features that would harbour dirt, dust or insects or make the fitting difficult to clean.

Floors

Finish floors in a selected non-slip, non-absorbent, epoxy finish over a sound structural substrate.

Areas of a floor draining to a floor waste is to be laid to a minimum fall of 1:100.

Design and construct floor to facilitate effective cleaning, such that they do not pond and do not harbour pests.

"Feather edge skirting" and non-rebated coving are not permitted. Refer to AS4674-2004 – Section 3.1.5, Figure 3.1. Use a solid, preformed fillet to support the cove where required.

Coving

Provide coving to wall and plinth junctions in such a manner as to form a continuous uninterrupted surface with a min 25mm radius and 75mm height. Use a solid, preformed fillet to support the cove where required.

Plinths

Construct plinths to be a minimum of 75mm high and to the same specification as the floor.

Walls

In relation to walls within or surrounding a food preparation area:

- Construct walls to ensure that no voids or cavities are provided for the harbourage of vermin.
- Preferably construct walls of solid masonry.
- Where it is necessary for walls within or surrounding a food preparation area to be of framed construction, fill wall cavities with Easyfoam or an approved equal spray injected foam filler in accordance with the manufacturer's instructions.
- Undertake thermal imaging as required and provide certification from the manufacturer / installer of compliance with AS 4674 – 2004.
- Finish walls with an impervious, washable finish such as stainless steel sheet and/or ceramic tile with epoxy grout.
- Effectively seal all junctions.

Window sills

Generally window sills must be located a minimum of 450mm above the top of any bench/sink and tied at a splayed angle of 45 degrees.

Ceilings

Line ceiling with flush set moisture resistant plasterboard and ensure that the ceiling is non-perforated and finished free of open joints, cracks, crevices. Ensure that the intersection of the walls and ceiling is tight jointed, sealed and dustproof. Use only washable impervious sealant.

Pipes, conduits and electrical wiring

Service pipes, conduits and electrical wiring shall either be:

- concealed in floors, plinths, walls or ceilings; or
- fixed on brackets so as to provide at least 25 mm clearance between the pipe and adjacent vertical surface and 100 mm between the pipe or conduit and adjacent horizontal surfaces.

Seal all penetrations with washable elastomeric sealant to maintain the integrity of the finished surface.

Equipment, shelving and the like

All stoves, refrigerators, cupboards and similar fittings must have metal legs made of non corrosive metal or moulded plastic at a minimum height of 150mm above the floor. If placed flush on solid plinths the solid plinth is to be a minimum of 75 mm high. All shelving must be fixed 25mm clear of the walls on solid metal brackets.

Fittings

All fixtures, fittings and equipment must be installed in accordance with Section 4 of AS4674-2004.

Equipment for cleaning and sanitising

Provide equipment for cleaning and sanitising in accordance with AS 4674 Section 4.1.

Cool rooms and freezers

Cool room(s), refrigerated chambers and strong-rooms are to be constructed in accordance with G 1.2 of the Building Code of Australia.

The floor of the coolroom must be graded to the door and a floor trapped waste outlet must be located outside the coolroom as near as possible to the door opening.

All proposed shelving in the coolroom must be free-standing, constructed of galvanised steel angle section or other approved material with the lowest shelf at least 150mm clear of the floor. All shelving must be fixed 25mm clear of the walls on solid metal brackets.

The floor of the coolroom must be constructed of impermeable concrete or coated, topped or otherwise finished with an impervious material to a smooth even surface and coved at the intersections with the walls to a minimum radius of 25mm.

A door which can be opened at all times from inside without a key.

An approved audible alarm device must be located outside the coolroom(s) but controllable only from within the coolroom(s) and be able to achieve a sound pressure level outside the chamber or coolroom(s) of 90 d B (A) when measured 3 metres from the sounding device.

All metal work in the cool room must be protected to resist corrosion.

Condensation from the refrigeration units/cool room motors must be directed to a tundish, installed in accordance with Sydney Water requirements.

Hand washing facilities

Provide hand washing facilities where open food is handled, in wash up areas and in or immediately adjacent to toilet cubicles. Ideally locate a hand washing facility adjacent to the entry to an area where open food is handled.

Hand washing facilities should:

- Not be obstructed
- Be at bench height
- Accessible and no further than 5.0m from any part of an area required to have a hand washing facility.

Hand washing facilities must be provided with a means of effectively drying hands and arms, which prevents the transfer of pathogenic micro-organisms to the hands or arms, such as a single use paper towel dispenser.

Provide hand washing facilities with a permanent supply of warm, running potable water delivered through a single spout.

Cleaners sink

Make provision for a cleaners sink serviced with hot and cold water through taps fitted with hose connectors must be provided and located outside of areas where open food is handled (AS4674-2004 – Section 4.1.8).

Dish Washing Machines

Details of the dish washing/glass washing machines must be submitted to Council and approved prior to installation (Food Regulation 2004, AS4674-2004 – Section 4.1).

Double-bowl Sinks

A double bowl wash sink of adequate size and capacity must be provided (AS4674-2004 – Section 4.1)

Benches

The top and exposed edges of all benches and counters must be finished in a smooth and non-absorbent material, and free of cracks, gaps, crevices or exposed joints (AS4674-2004 – Section 4.2).

Storage Cabinets

Storage cabinets, both internally and externally, must be finished in a smooth and non-absorbent material, and free of cracks, gaps, crevices or exposed joints (AS4674-2004 – Section 4.2).

Any appliance used for the storage of hot or cold food must be provided with a numerically scaled indicating thermometer or recording thermometer accurate to the nearest degree Celsius or an alarm system for continuous monitoring of the temperature of the appliance (Food Regulation 2004).

False Bottoms

False bottoms and cavities under fittings are not permitted (AS4674-2004– Section 4.2 and 4.3).

Display Units

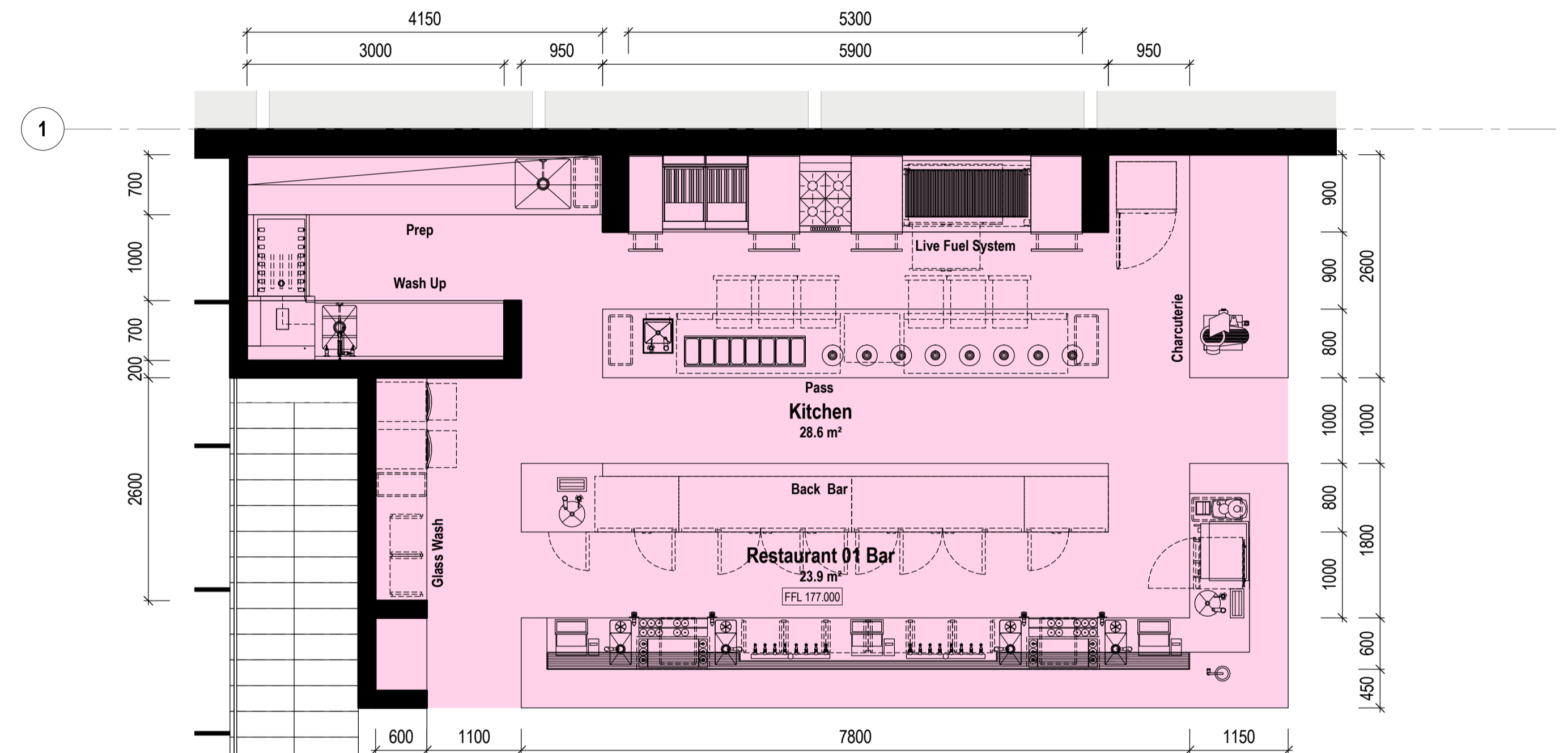
The food display units must be enclosed to prevent the possibility of contamination by customer's breath, handling, or from flies, dust, etc (Food Regulation 2004, AS4674-2004 – Section 4.2).

Self-Service Appliances

Self-service food appliances must be constructed so as to comply with Food Regulation 2004 and the NSW Self-Service Food Industry Code of Practice.

Locker Storage

Sufficient lockers must be provided in the premises specifically for the storage of cleaning materials and employees' clothing and personal belongings (AS4674-2004 – Section 5.2).



1 Detail Plan - Restaurant 01 - Kitchen & Bar

DA1-1013

DA Legend

UNO the general extent and location of alterations or additions, including demolition is indicated accordingly:

	Proposed new building fabric		Neighbouring Light Industrial Buildings		Subject to final layout this area is to comply with Australian Standard 4674-2004; Design, construction and fit out of food premises. Refer to DA1-1200.
	Area of proposed demolition		Neighbouring Residential Buildings		

For Development Approval

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Rev Date Amendments

01	26.07.24	Issue for Information
02	14.08.24	Issue for Information
03	03.09.24	For Development Approval

Rev Date Amendments

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Nominated Architect: Glenn Cunningham #6415

Project

40 Myoora Road

Client

Gardoxi P/L (Norwest)

Location

40 Myoora Road, Terrey Hills NSW 2084

Drawing

Detail Plan - Restaurant 01 - Kitchen & Bar

Scale @ A1

1:50

Scale @ A3

1:100

Project Start Date Issue Date Sheet Issue Date

03/09/24

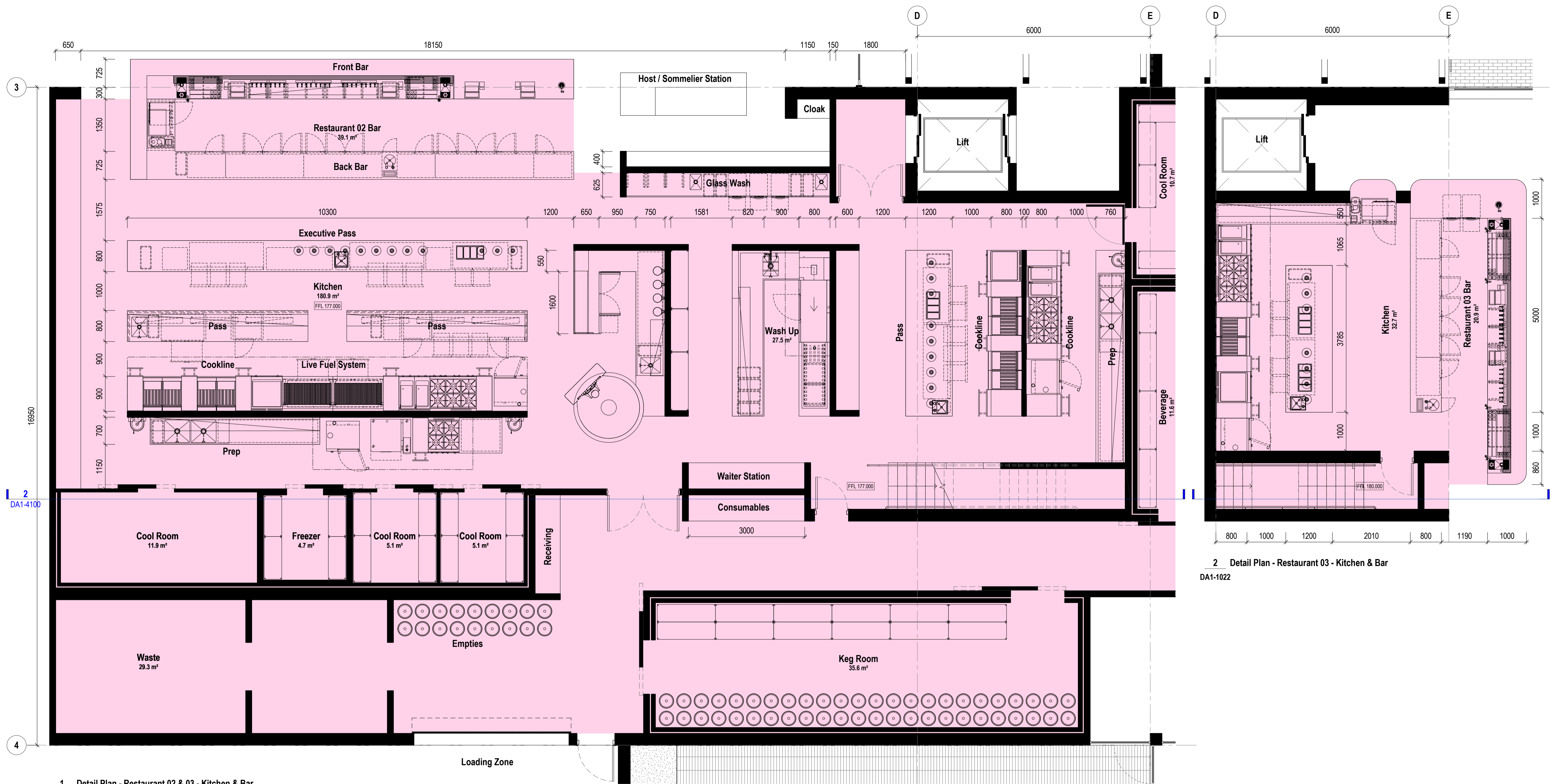
Project

2725

Drawing

DA1-1200

Rev 03



1 Detail Plan - Restaurant 02 & 03 - Kitchen & Bar
DA1-1013

2 Detail Plan - Restaurant 03 - Kitchen & Bar
DA1-1022

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Project
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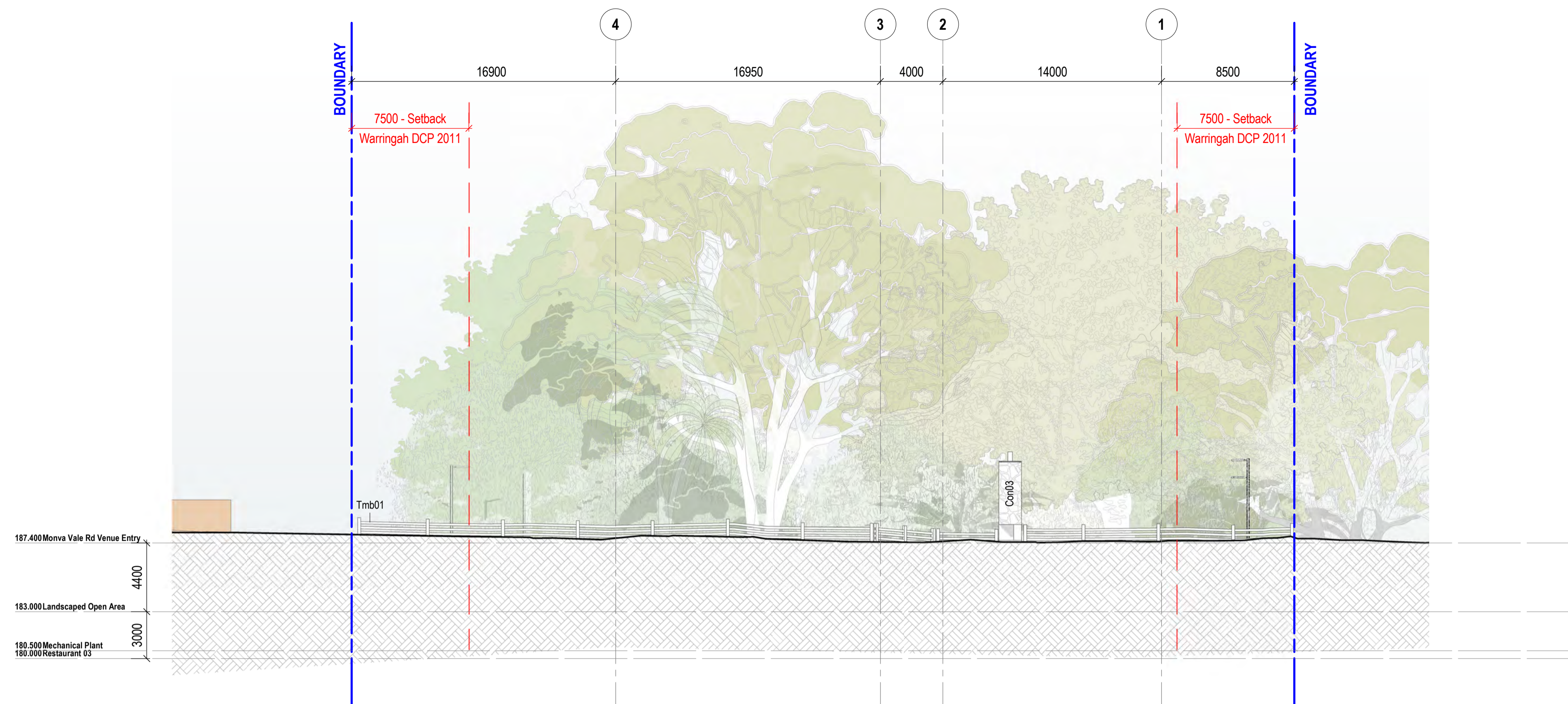
Client
Gardoxi P/L (Norwest)

DA Legend

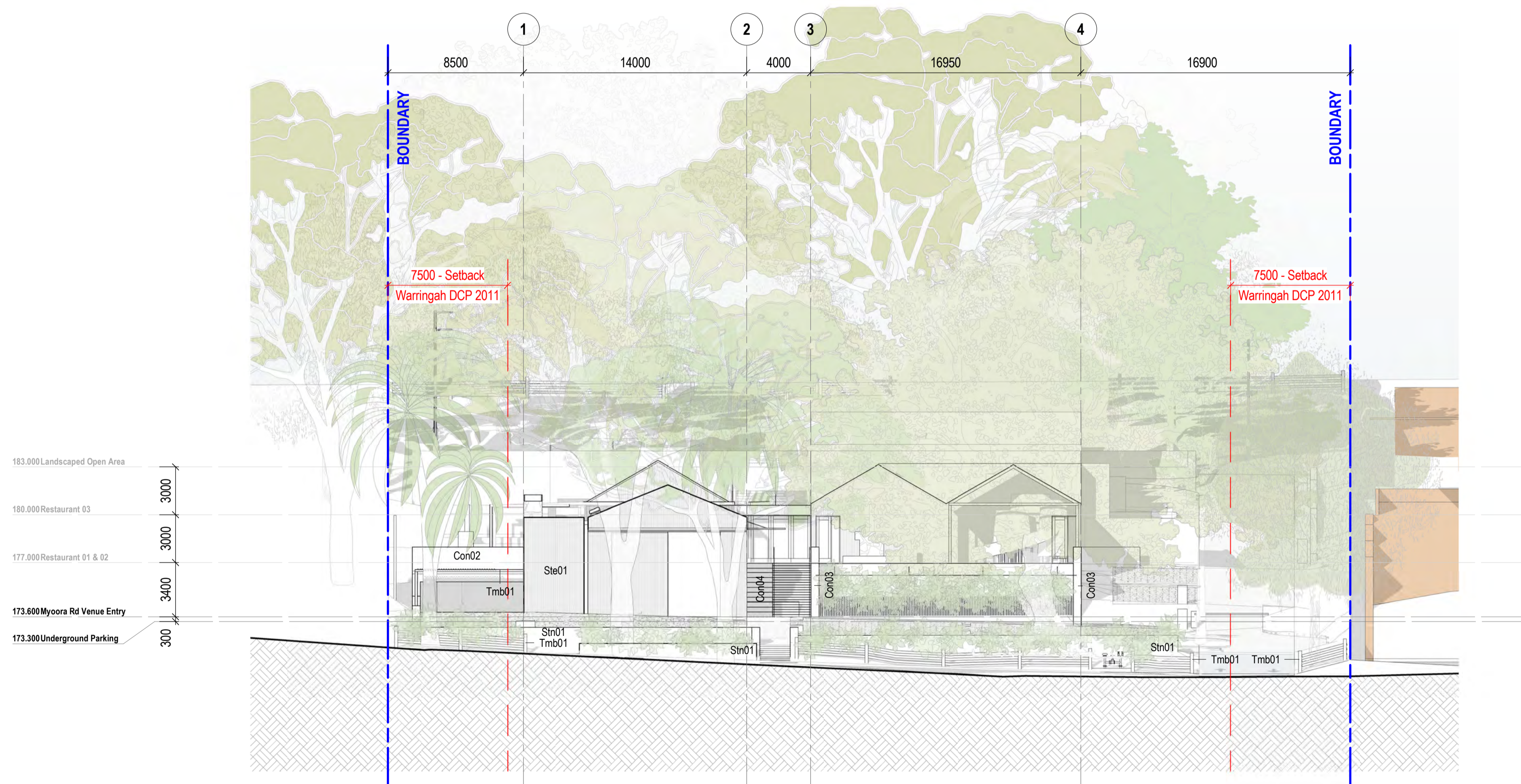
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- Neighbouring Light Industrial Buildings
- Neighbouring Residential Buildings
- Subject to final layout this area is to comply with Australian Standard 4674-2004; Design, construction and fit out of food premises. Refer to DA1-1200.

For Development Approval

Location	40 Myoora Road, Terrey Hills NSW 2084	
Drawing	Detail Plan - Restaurant 02 & 03 - Kitchen & Bar	
Scale @ A1	1:50	Drawn by
Scale @ A3	1:100	Checked by
Project Start Date	Issue Date	Sheet Issue Date
Project #	2725	03/09/24
Drawing #	DA1-1201	Rev 03



01 Site Elevation - Mona Vale Rd



02 Site Elevation - Myoora Rd

DA Legend

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- Proposed new building fabric
- Area of proposed demolition
- Neighbouring Commercial Buildings
- Neighbouring Residential Buildings
- Area of Existing Easement
- Refer to sheet as referenced for details

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01	27.10.23	Issue for Information
02	31.10.23	Issue for Information
03	19.03.24	Consultant Issue
04	02.04.24	Issue for Information: Pre-DA Meeting
05	03.05.24	Issued for Landscape Coordination
06	21.05.24	Issue for Information: Design and Sustainability Advisory Panel
07	26.07.24	Issue for Information
08	14.08.24	Issue for Information

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09	03.09.24	For Development Approval



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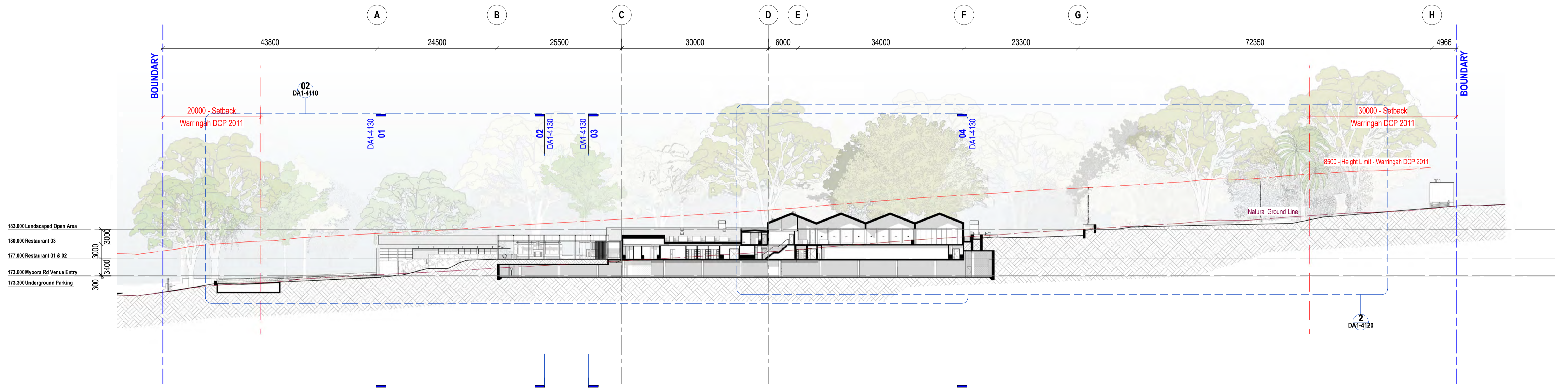
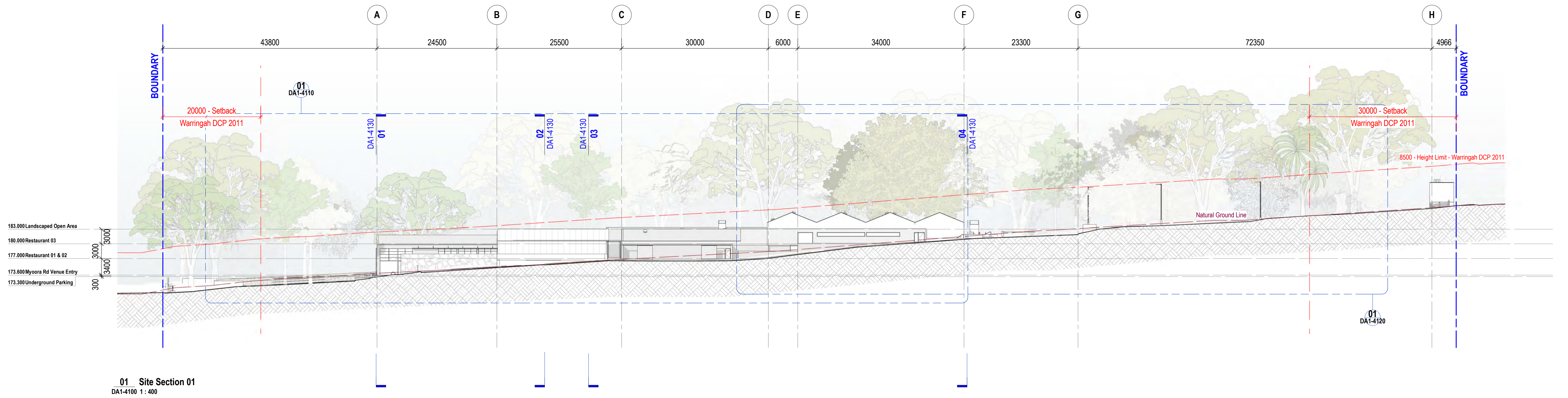
Project
40 Myoora Road

Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
Streetscape Elevations - Proposed

Scale @ A1	1:200	Drawn by	Checked by
Scale @ A3	1:400		
Project Start Date	Issue Date	Sheet Issue Date	03/09/24
Project #	2725		
Drawing #	DA1-3100	Rev	09



DA Legend

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01	28.09.23	Preliminary Issue for Information
02	16.10.23	Issue for Information
03	27.10.23	Issue for Information
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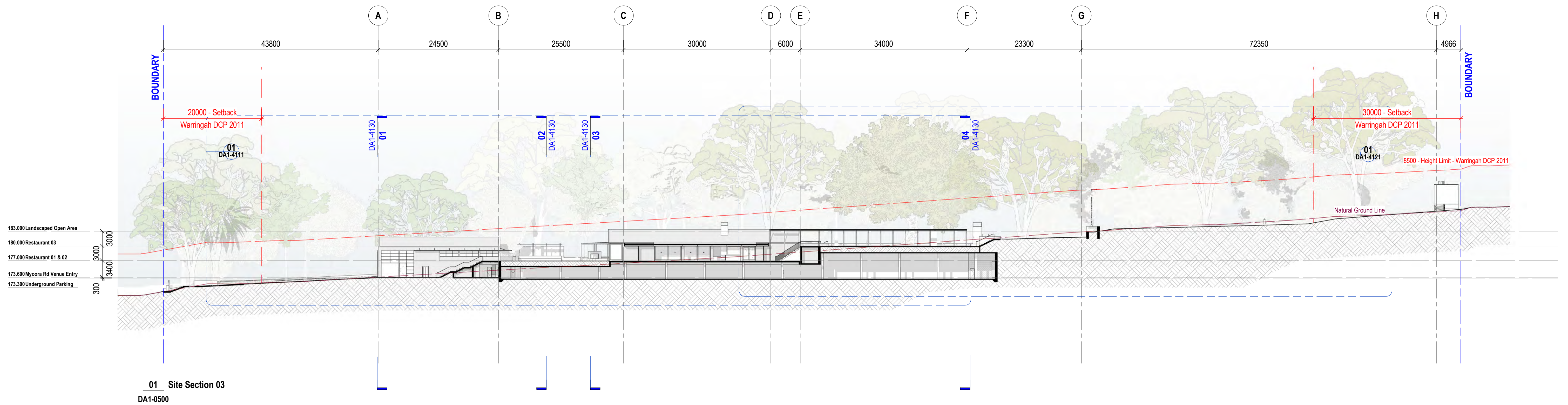
Project
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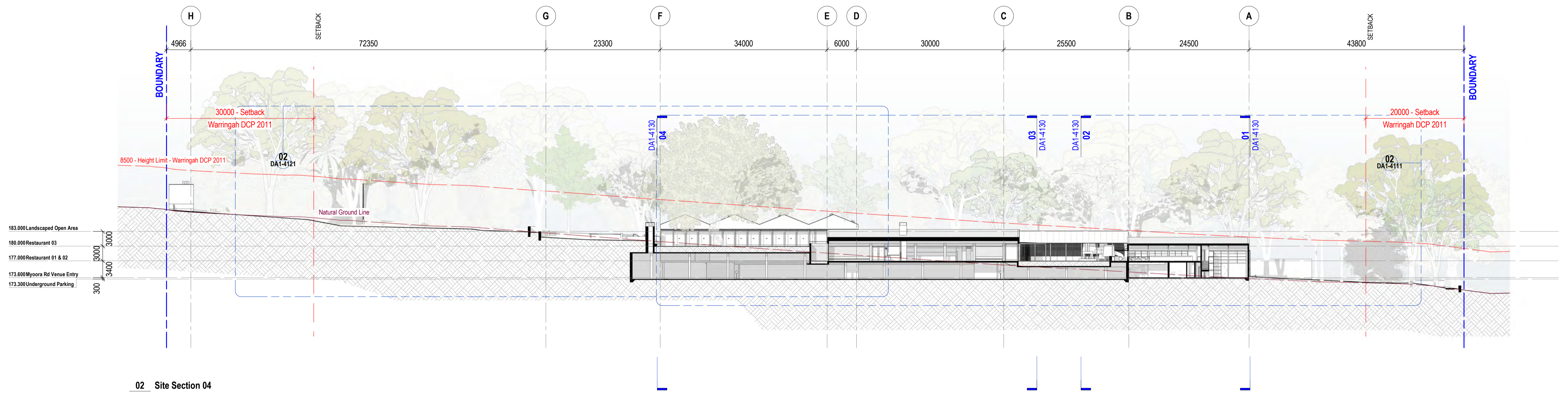
Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
Site Sections - Proposed - Sheet 01

Scale @ A1	1:400	Drawn by	Checked by
Scale @ A3	1:800		
Project Start Date	Issue Date	Sheet Issue Date	03/09/24
Project #	2725		
Drawing #	DA1-4100	Rev	11



01 Site Section 03
DA1-0500



02 Site Section 04
DA1-0500

DA Legend

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08	21.05.24	Issue for Information: Design and Sustainability Advisory Panel

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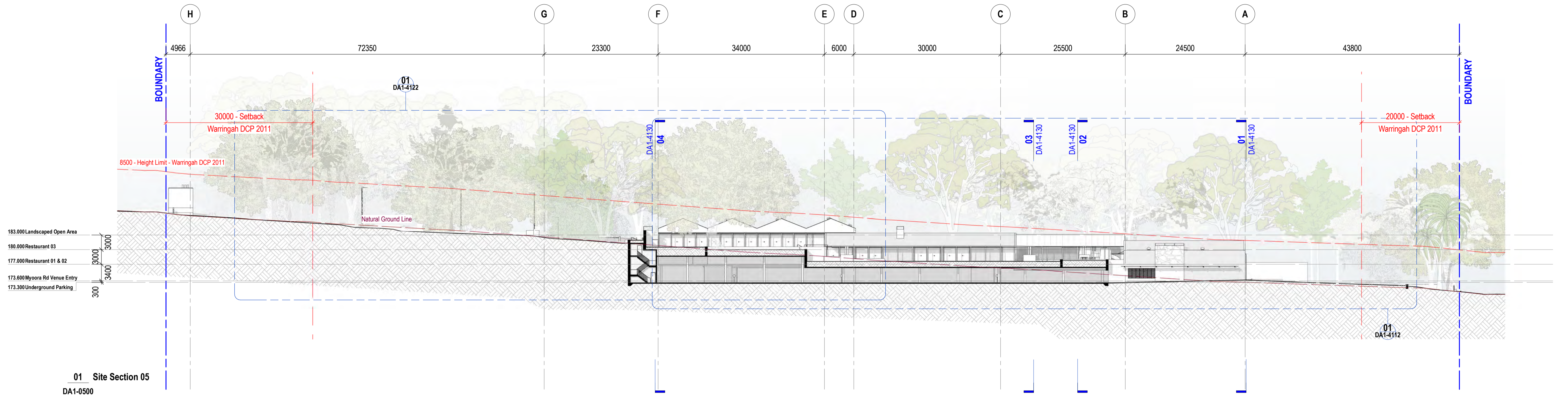
Project
40 Myoora Road

Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
Site Sections - Proposed - Sheet 02

Scale @ A1	1:400	Drawn by	Checked by
Scale @ A3	1:800		
Project Start Date	Issue Date	Sheet Issue Date	03/09/24
Project #	2725		
Drawing #	DA1-4101	Rev	11



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08	26.07.24	Issue for Information

Rev	Date	Amendments
09	14.08.24	Issue for Information
10	03.09.24	For Development Approval



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Project
40 Myoora Road

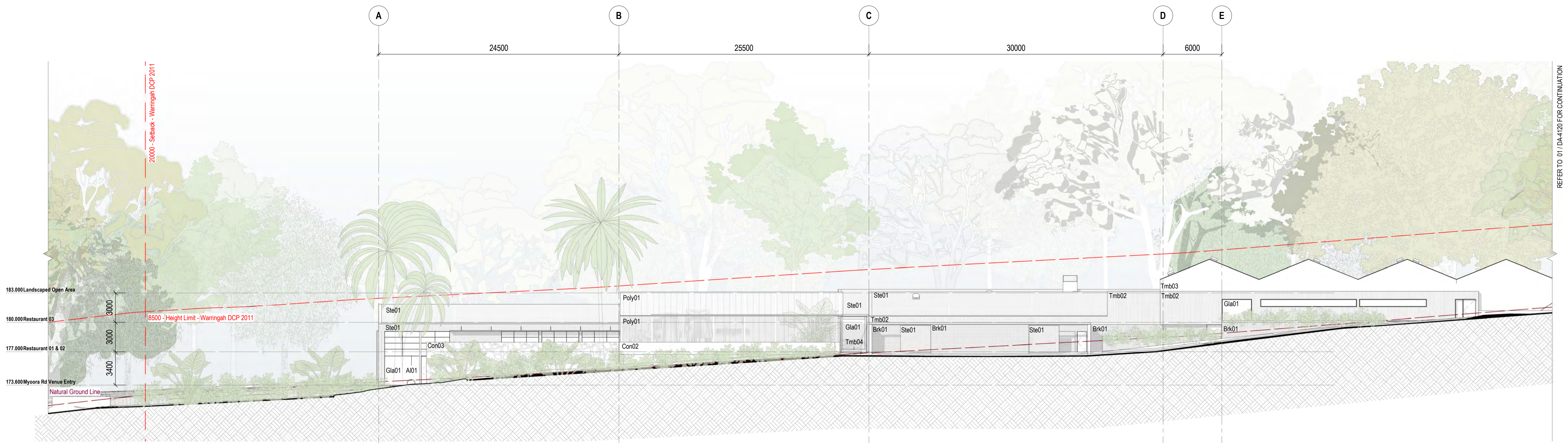
Client
Gardoxi P/L (Norwest)

DA Legend

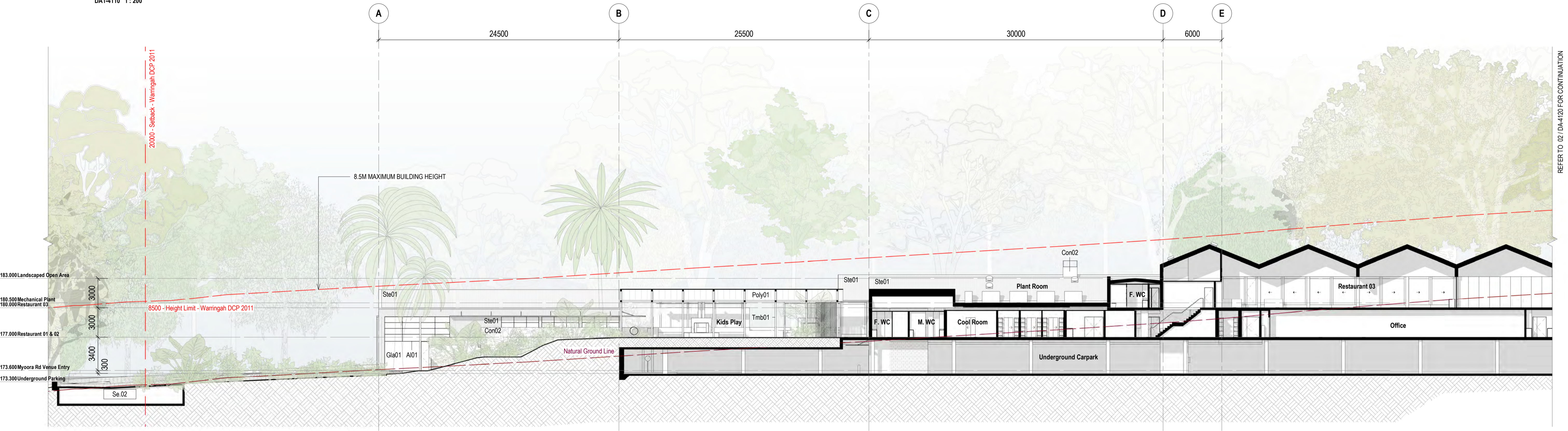
- UNO the general extent and location of alterations or additions, including demolition is indicated accordingly:
- Proposed new building fabric
 - Area of proposed demolition
 - Neighbouring Light Industrial Buildings
 - Neighbouring Residential Buildings
 - Subject to final layout this area is to comply with Australian Standard 4674-2004; Design, construction and fit out of food premises. Refer to DA1-1200.

For Development Approval

Location	40 Myoora Road, Terrey Hills NSW 2084		Drawn by	Checked by
Scale @ A1	1:400			
Scale @ A3	1:800			
Project Start Date	Issue Date	Sheet Issue Date	03/09/24	
Project #	2725			
Drawing #	DA1-4102	Rev	10	



01 Section 01 - North West
DA1-4110 1:200



02 Section 01 - North West
DA1-4110 1:200

DA Legend

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Rev	Date	Amendments
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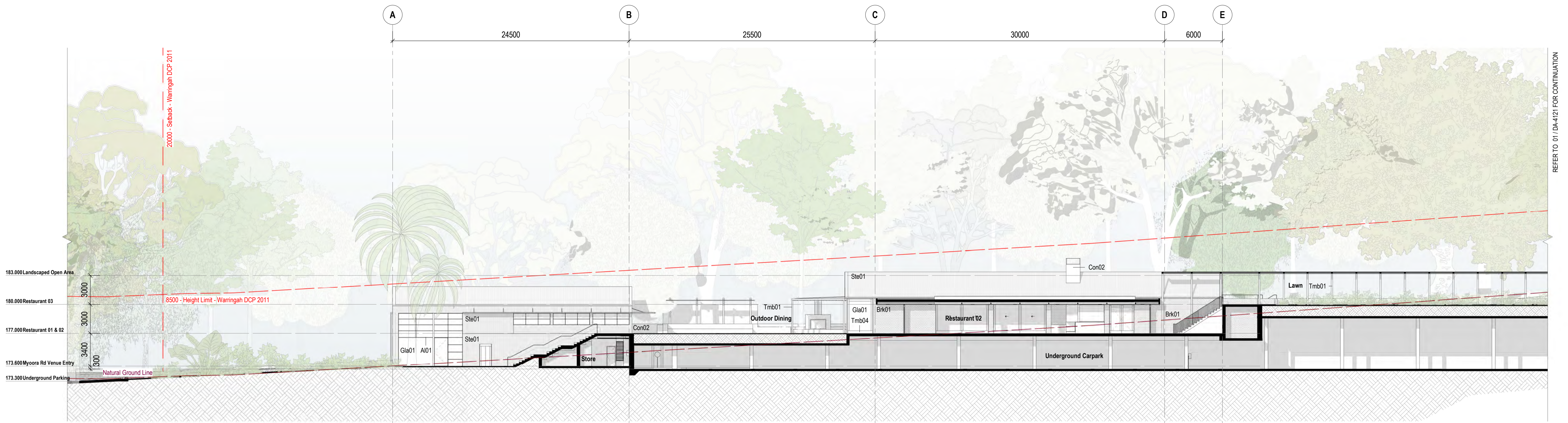
Project
40 Myoora Road

Client
Gardoxi P/L (Norwest)

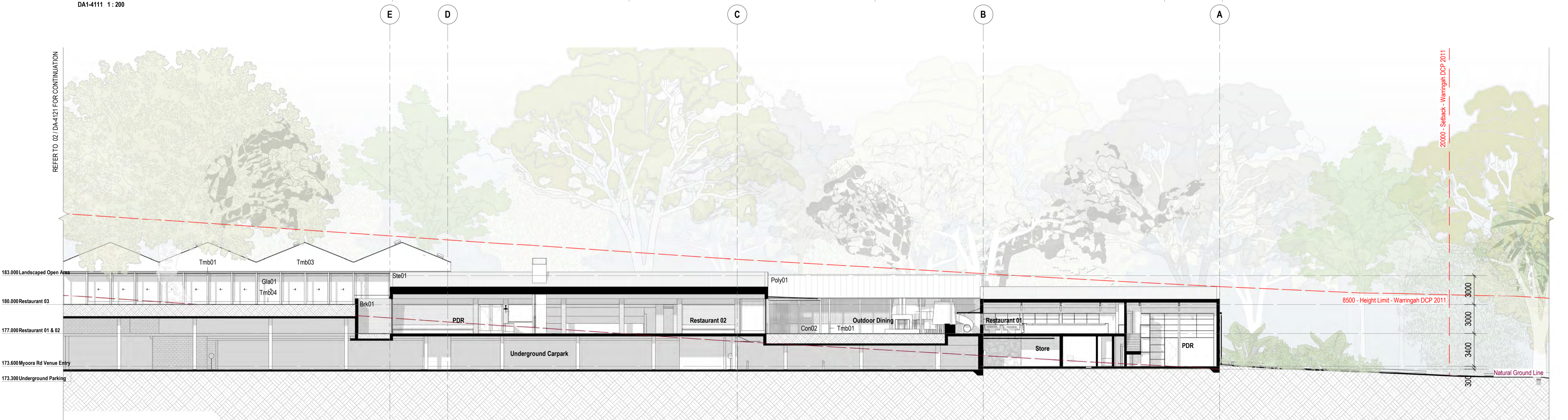
Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
North West - Proposed Sections - Sheet 01

Scale @ A1	1:200	Drawn by	Checked by
Scale @ A3	1:400		
Project Start Date	Issue Date	Sheet Issue Date	03/09/24
Project #	2725		
Drawing #	DA1-4110	Rev	11



01 Section 03 - North West
DA1-4111 1:200



02 Section 04 - North West
DA1-4111 1:200

DA Legend

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Rev	Date	Amendments
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10	14.08.24	Issue for Information
11	03.09.24	For Development Approval



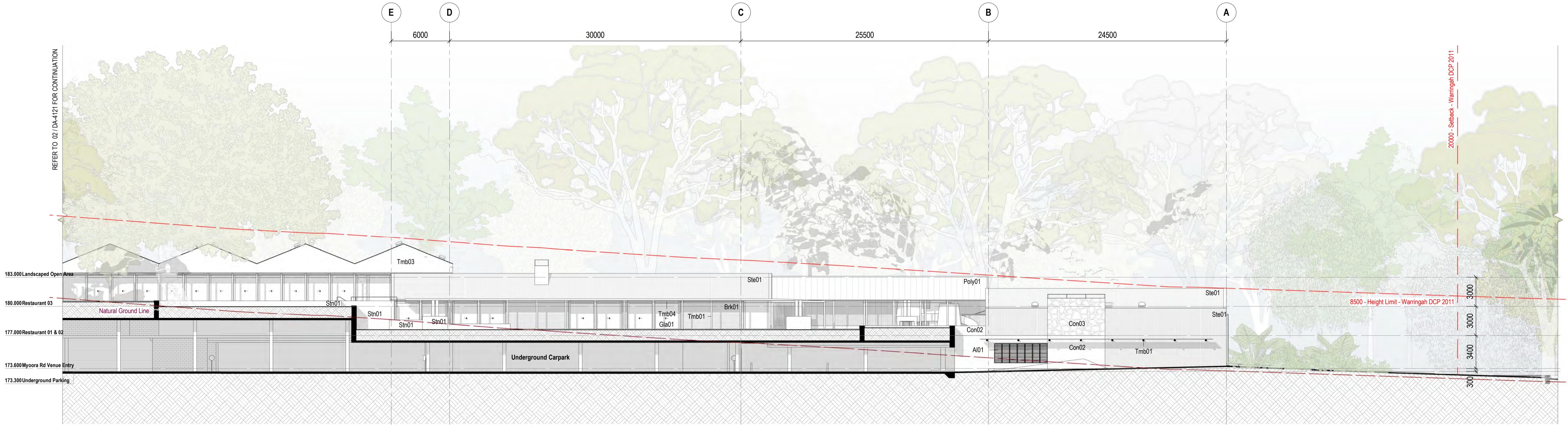
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Humphrey & Edwards Pty Ltd | ABN 8956538227
Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road
Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084
Drawing
North West - Proposed Sections - Sheet 02

For Development Approval

Scale @ A1	1:200	Drawn by	Checked by
Scale @ A3	1:400		
Project Start Date	Issue Date	Sheet Issue Date	03/09/24
Project #	2725		
Drawing #	DA1-4111	Rev	11



01 Section 05 - North West
DA1-4112 1 : 200

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Nominated Architect: Glenn Cunningham #6415

Project 40 Myoora Road
Client Gardoxi P/L (Norwest)

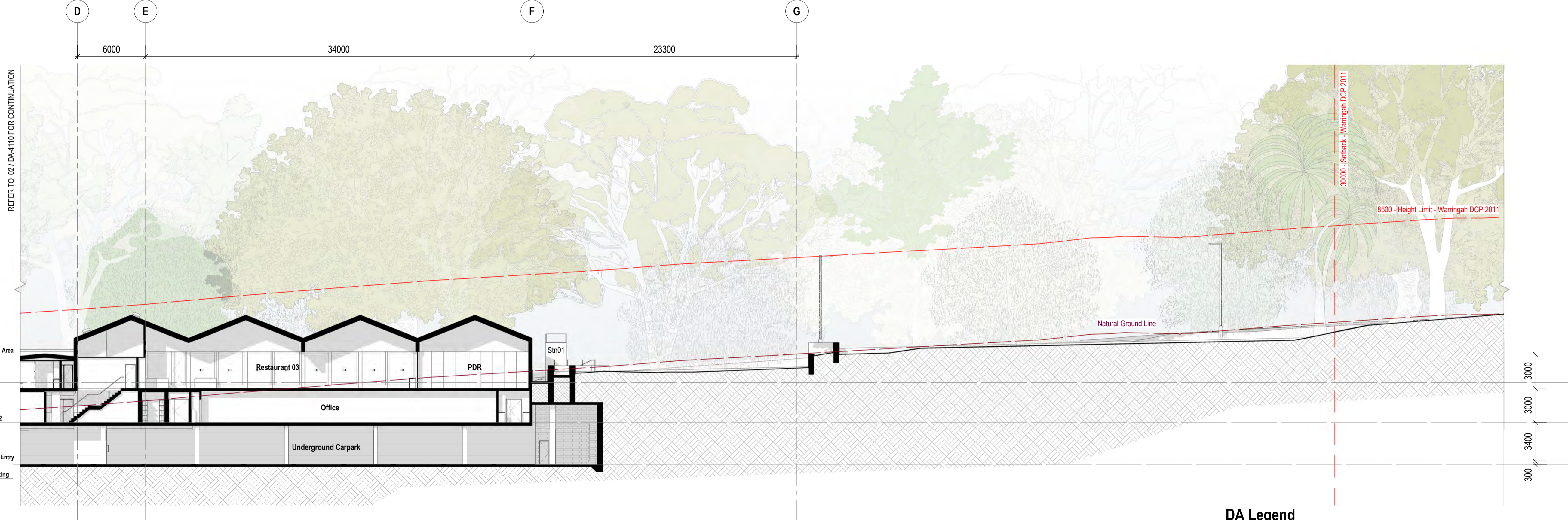
Location 40 Myoora Road, Terrey Hills NSW 2084
Drawing North West - Proposed Sections - Sheet 03

For Development Approval

Scale @ A1	1:200	Drawn by	Checked by
Scale @ A3	1:400		
Project Start Date	Issue Date	Sheet Issue Date	03/09/24
Project #	2725		
Drawing #	DA1-4112	Rev	10



01 Section 01 - South East
DA1-4120 1:200



2 Section 01 - South East
DA1-4120 1:200

DA Legend

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Nominated Architect: Glenn Cunningham #6415

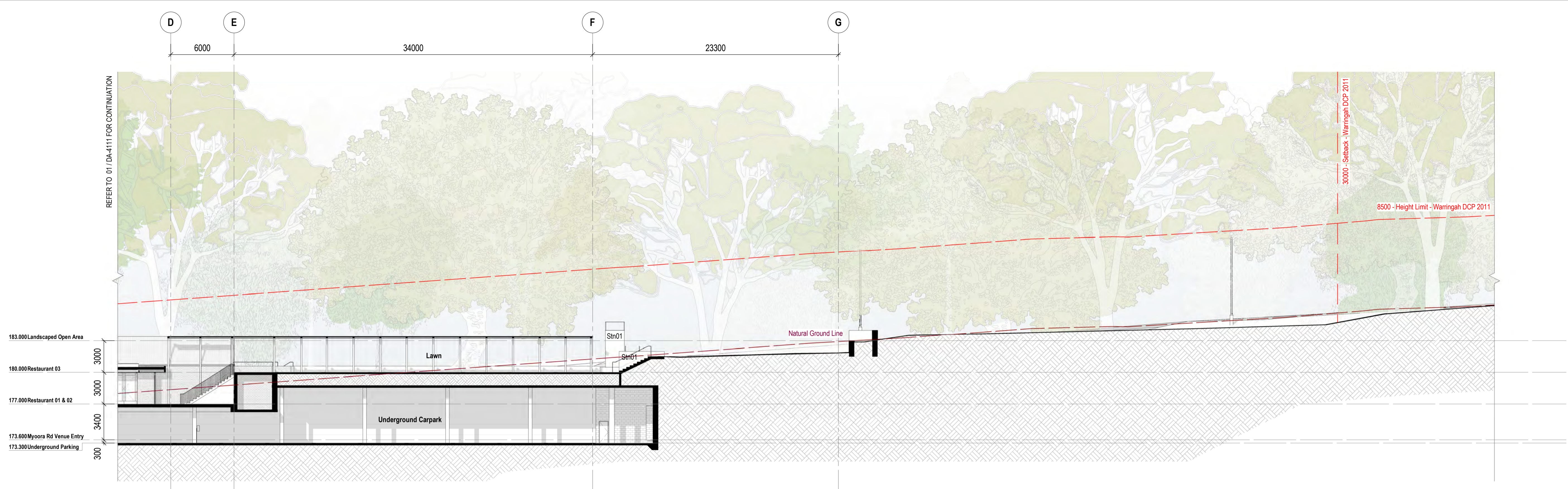
Project
40 Myoora Road

Client
Gardoxi P/L (Norwest)

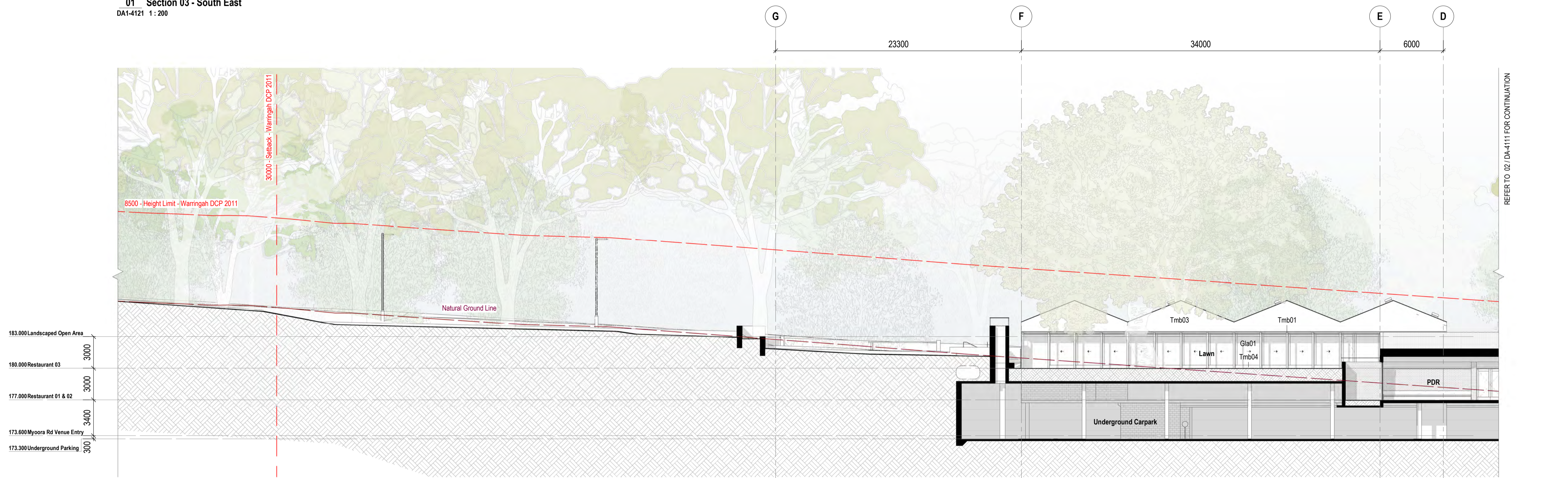
Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
South East - Proposed Sections - Sheet 01

Scale @ A1	1:200	Drawn by	Checked by
Scale @ A3	1:400		
Project Start Date	Issue Date	Sheet Issue Date	03/09/24
Project #	2725		
Drawing #	DA1-4120	Rev	11



01 Section 03 - South East
DA1-4121 1 : 200



02 Section 04 - South East
DA1-4121 1 : 200

DA Legend

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Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road

Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
South East - Proposed Sections - Sheet 02

For Development Approval

Scale @ A1	1:200	Drawn by	Checked by
Scale @ A3	1:400		
Project Start Date	Issue Date	Sheet Issue Date	03/09/24
Project #	2725		
Drawing #	DA1-4121	Rev	11



REFER TO 01 / DA-4122 FOR CONTINUATION

01 Section 05 - South East
DA1-4122 1:200

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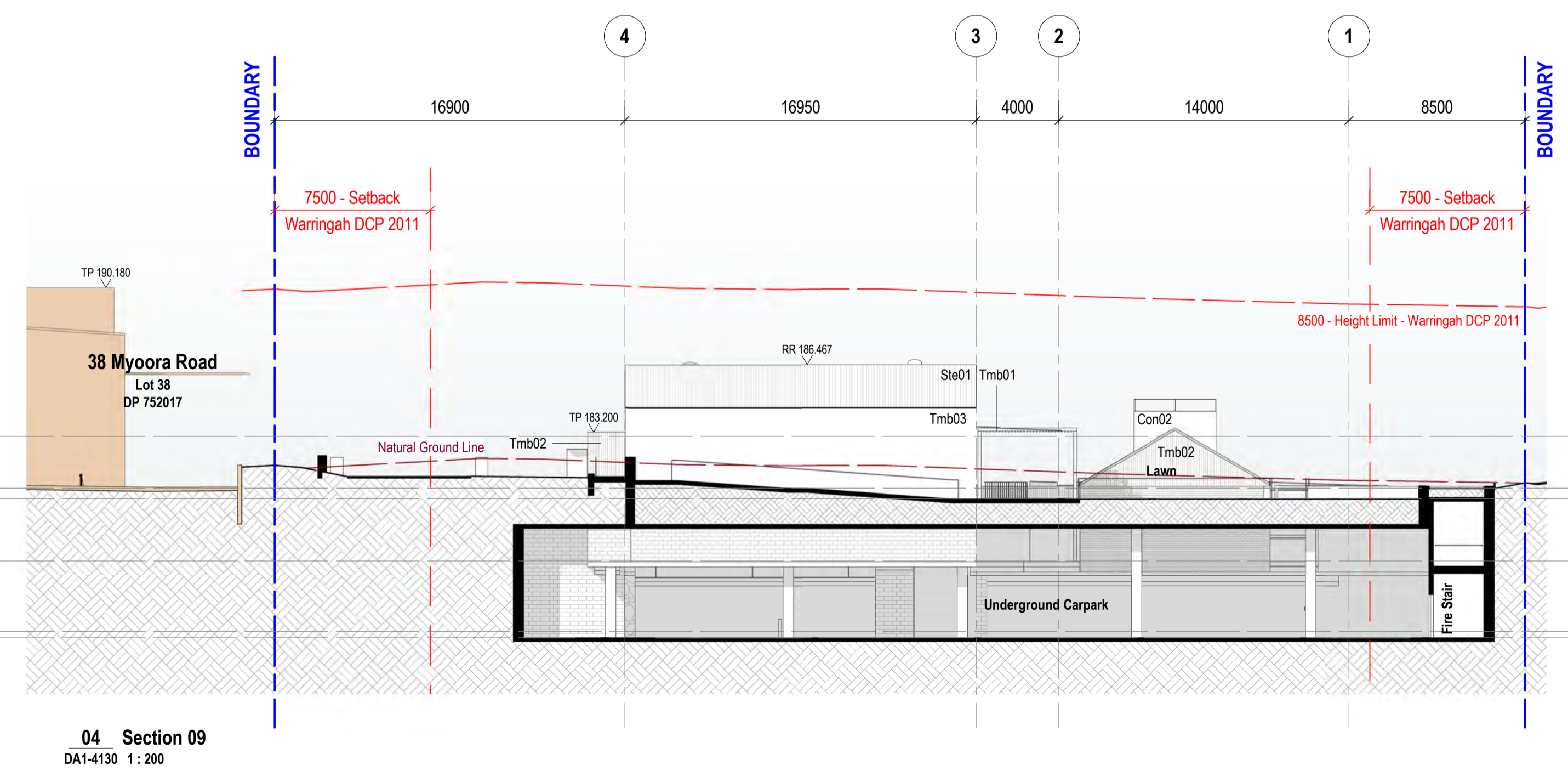
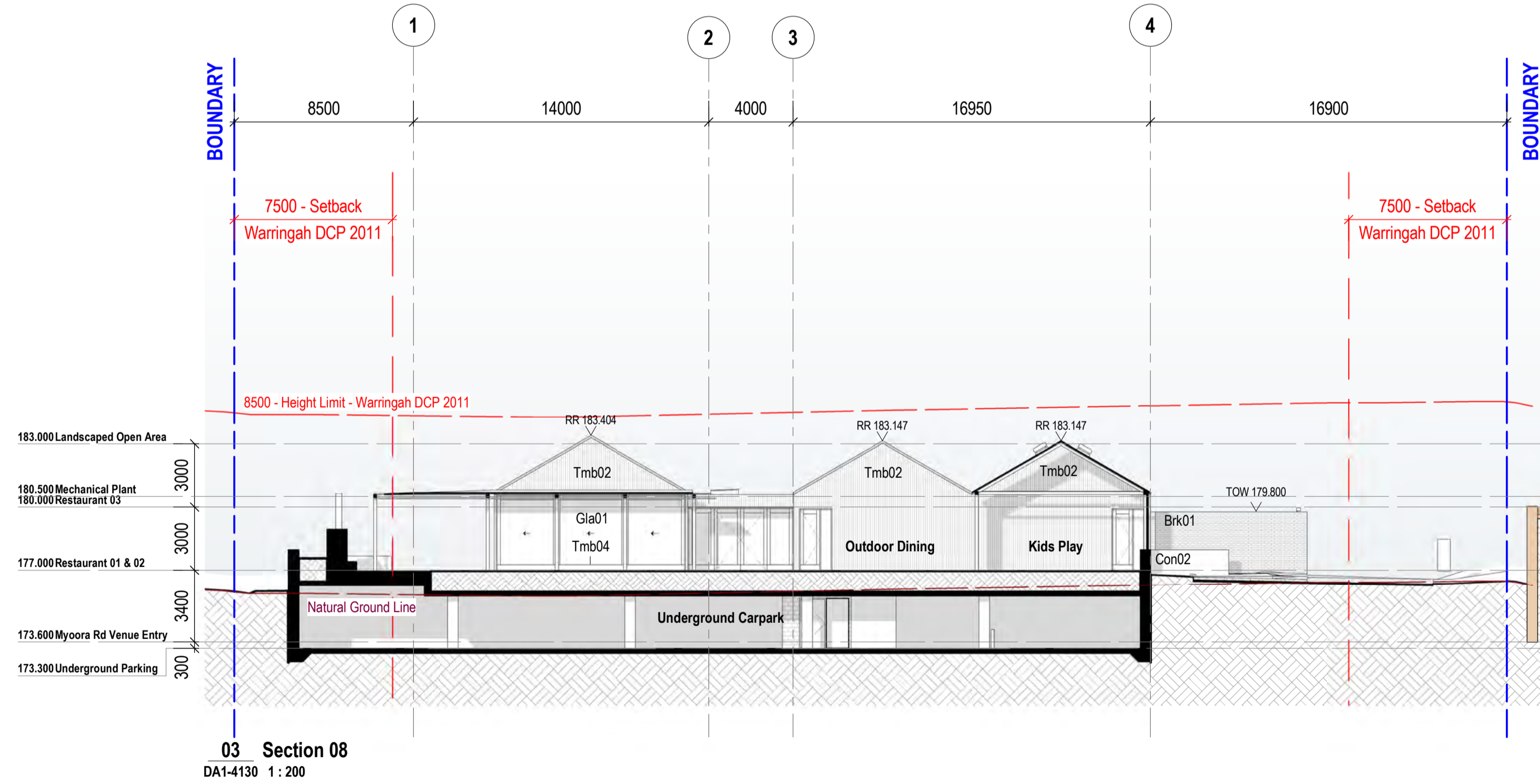
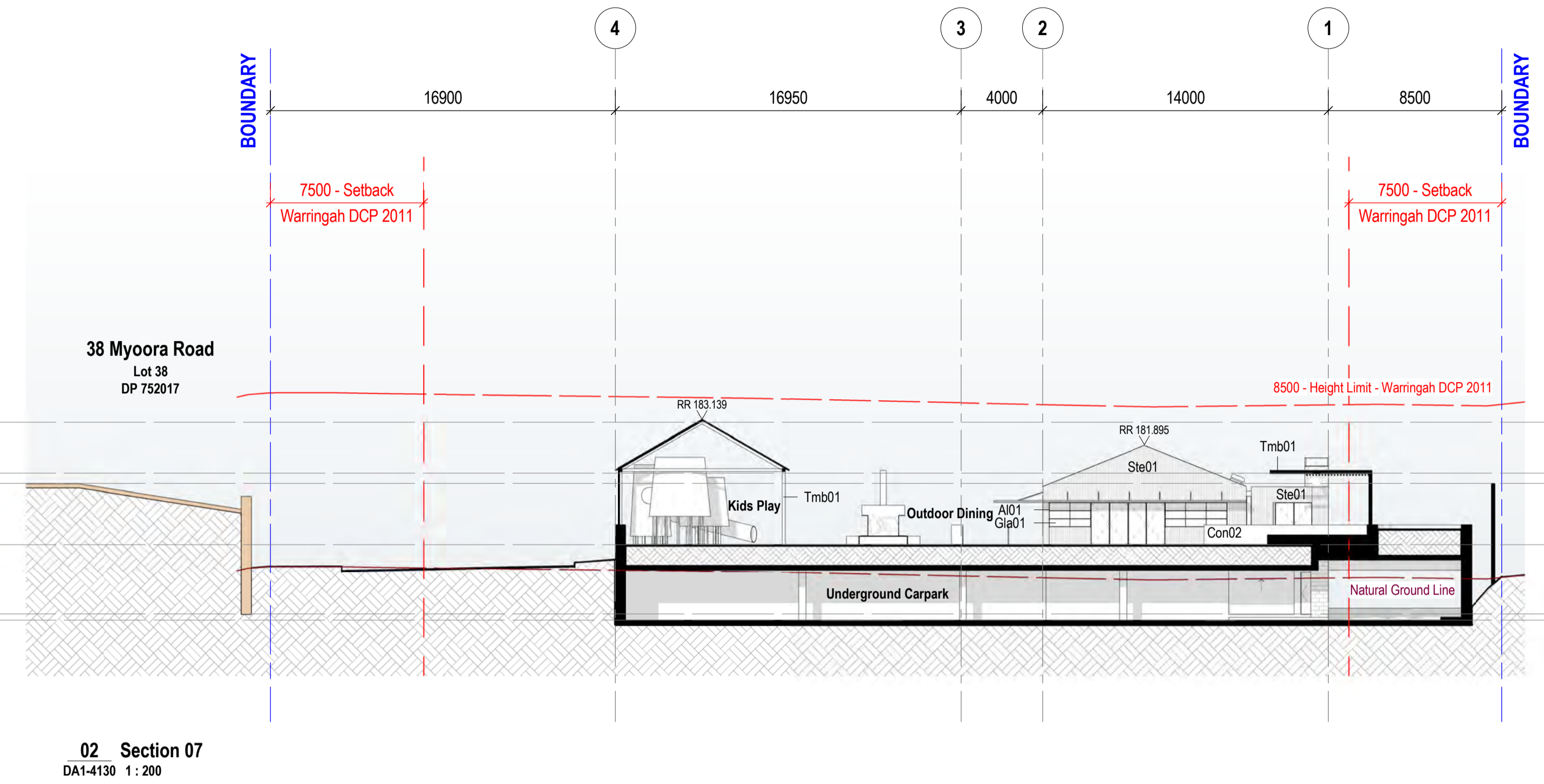
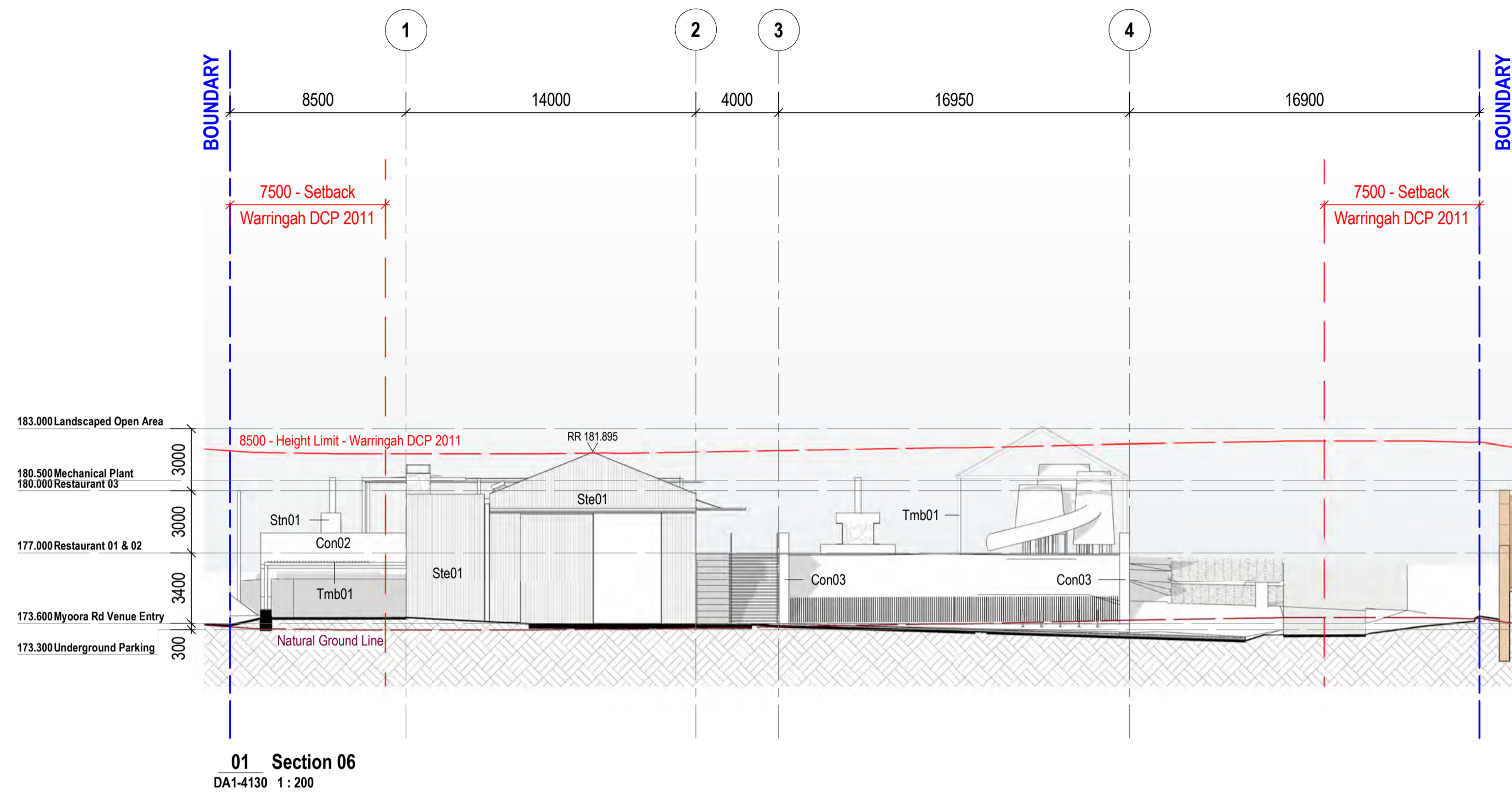
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Humphrey & Edwards Pty Ltd | ABN 89056538227
Nominated Architect: Glenn Cunningham #6415

Project 40 Myoora Road
Client Gardoxi P/L (Norwest)

Location 40 Myoora Road, Terrey Hills NSW 2084
Drawing South East - Proposed Sections - Sheet 03

For Development Approval

Scale @ A1	1:200	Drawn by	Checked by
Scale @ A3	1:400		
Project Start Date	Issue Date	Sheet Issue Date	03/09/24
Project #	2725		
Drawing #	DA1-4122	Rev	10



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Project
40 Myoora Road
Client
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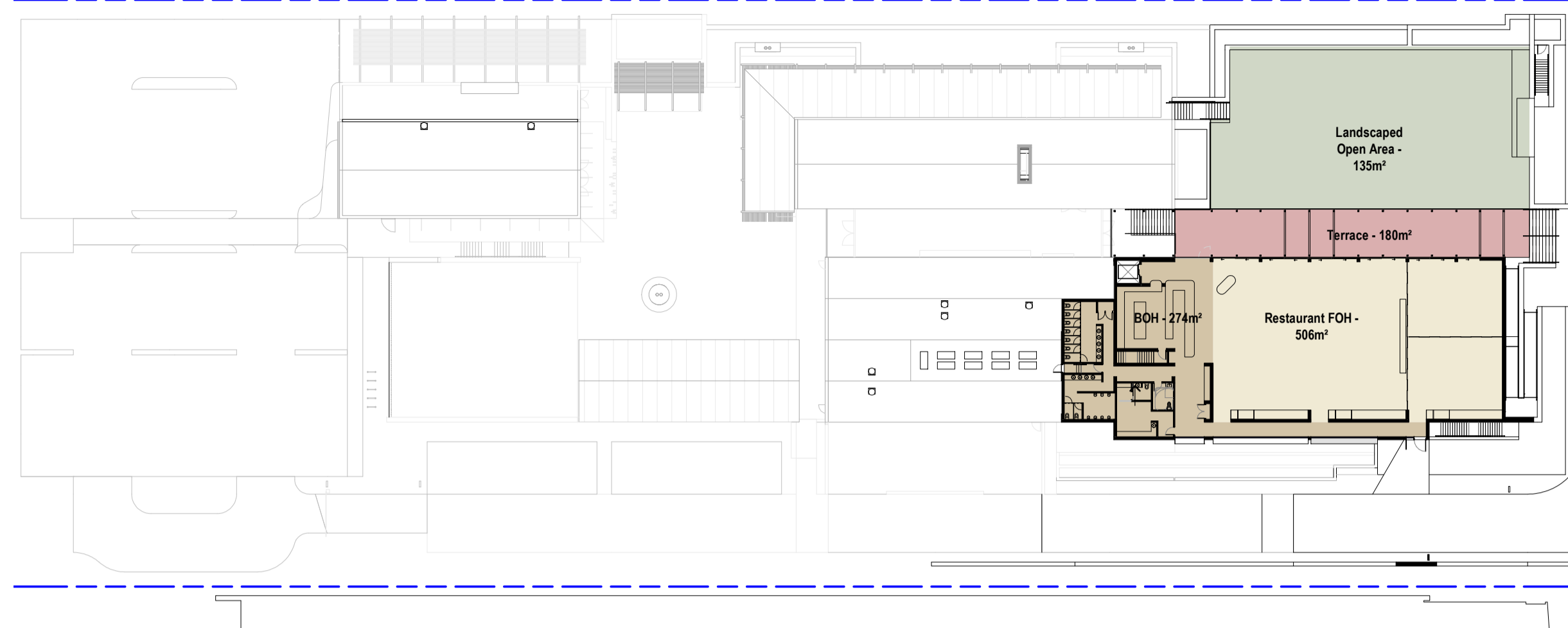
Location
40 Myoora Road, Terrey Hills NSW 2084
Drawing
Building Sections - Sheet 01

For Development Approval

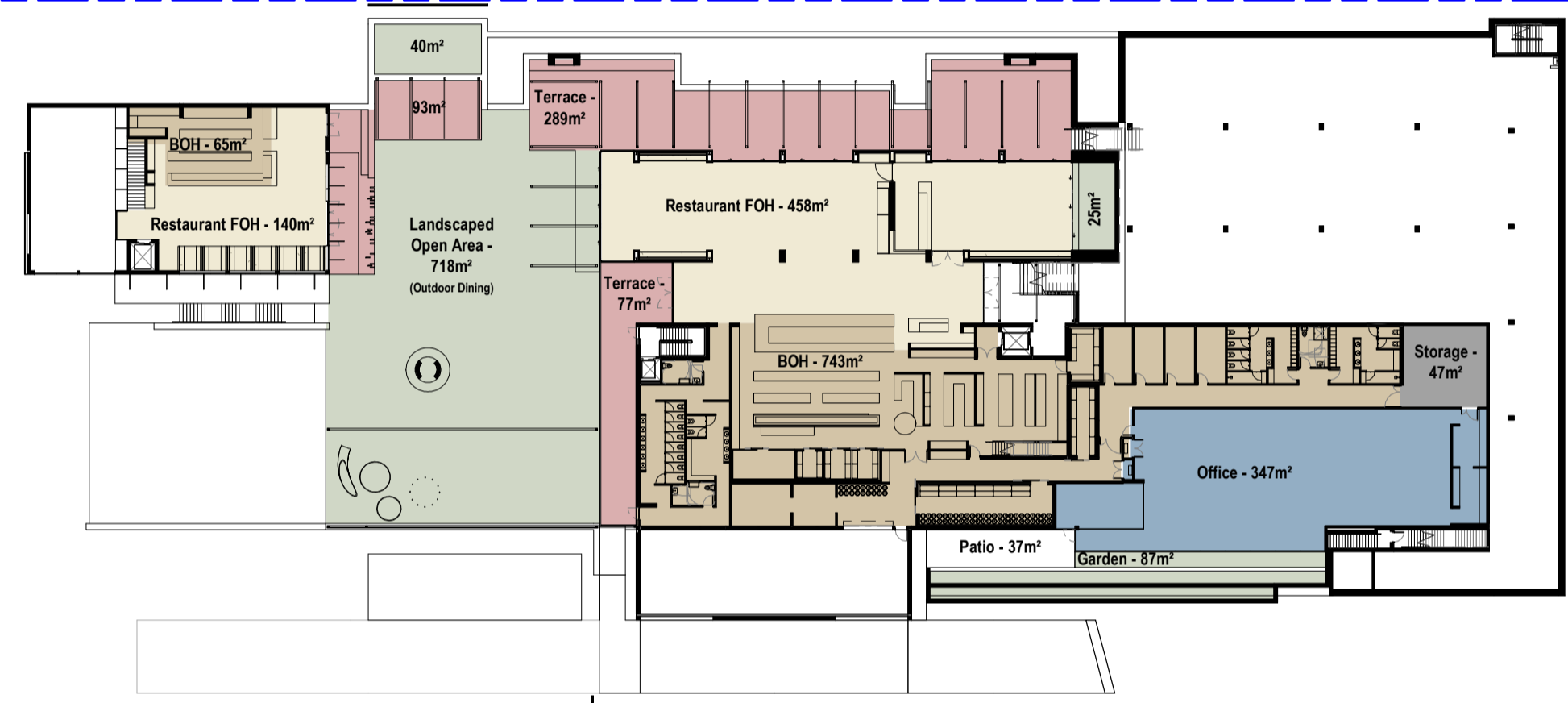
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Scale @ A3	1:400		
Project Start Date	Issue Date	Sheet Issue Date	03/09/24
Project #	2725		
Drawing #	DA1-4130	Rev	10

Area Legend

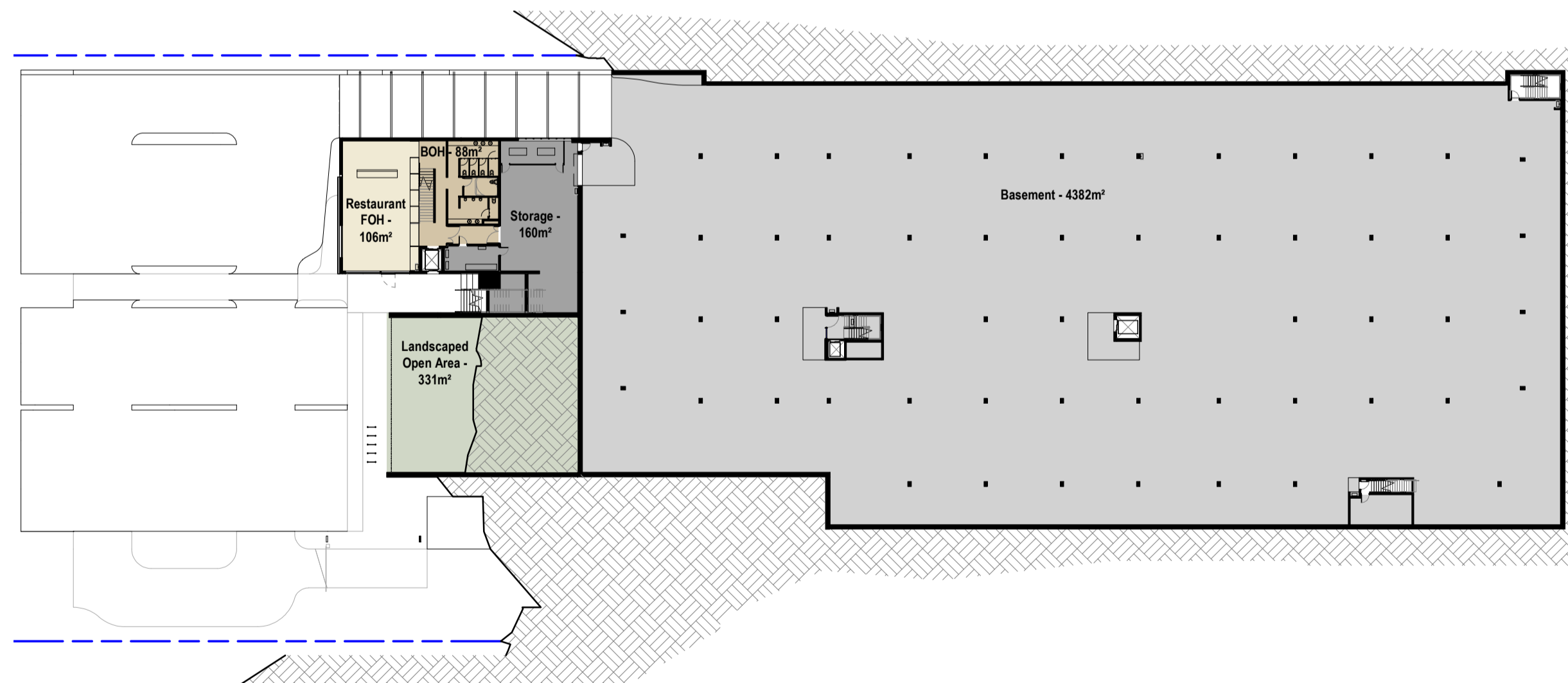
	Basement 4382m ²
	Storage 207m ²
	Landscaped Open Area 1249m ²
	Terrace 639m ²
	Restaurant FOH 1209m ²
	Restaurant BOH 1170m ²
	Office 347m ²



3 Restaurant 03 - Proposed
DA1-9000 1:500



2 Restaurant 01 & 02 - Proposed
DA1-9000 1:500



1 Venue Entry & Carparking - Proposed
DA1-9000 1:500

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Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road

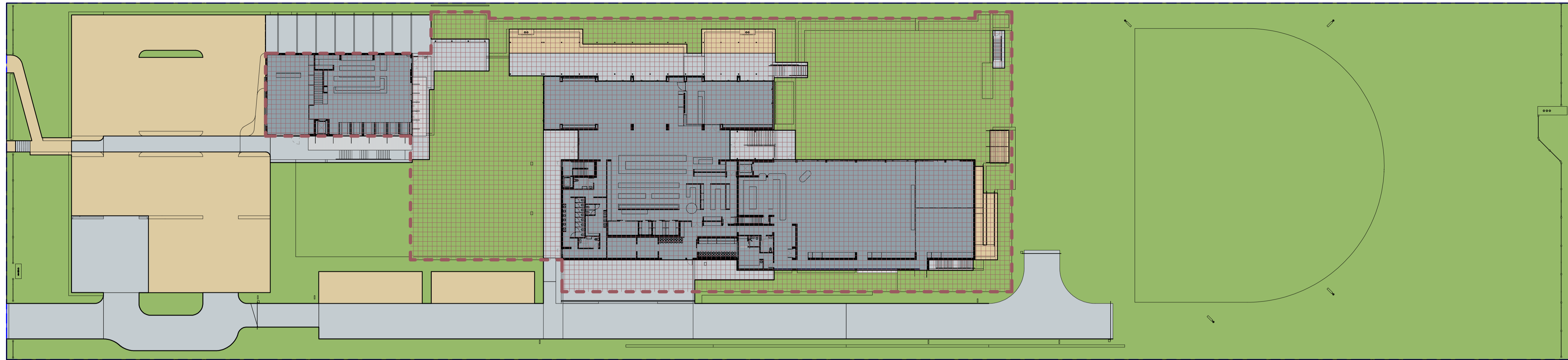
Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

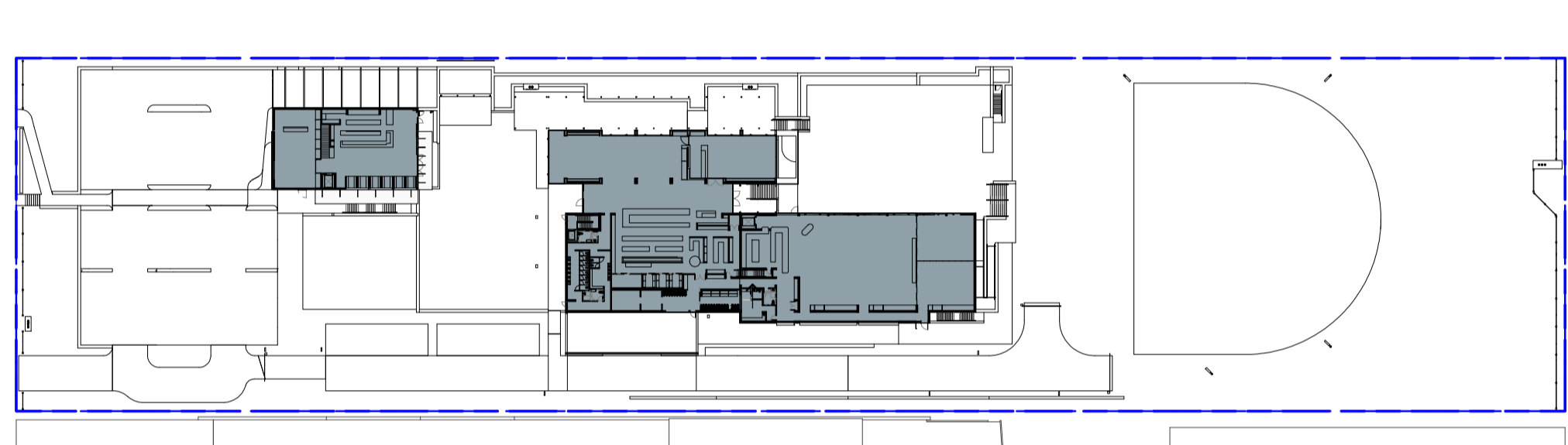
Drawing
Area Plan & Schedule - Proposed

For Development Approval

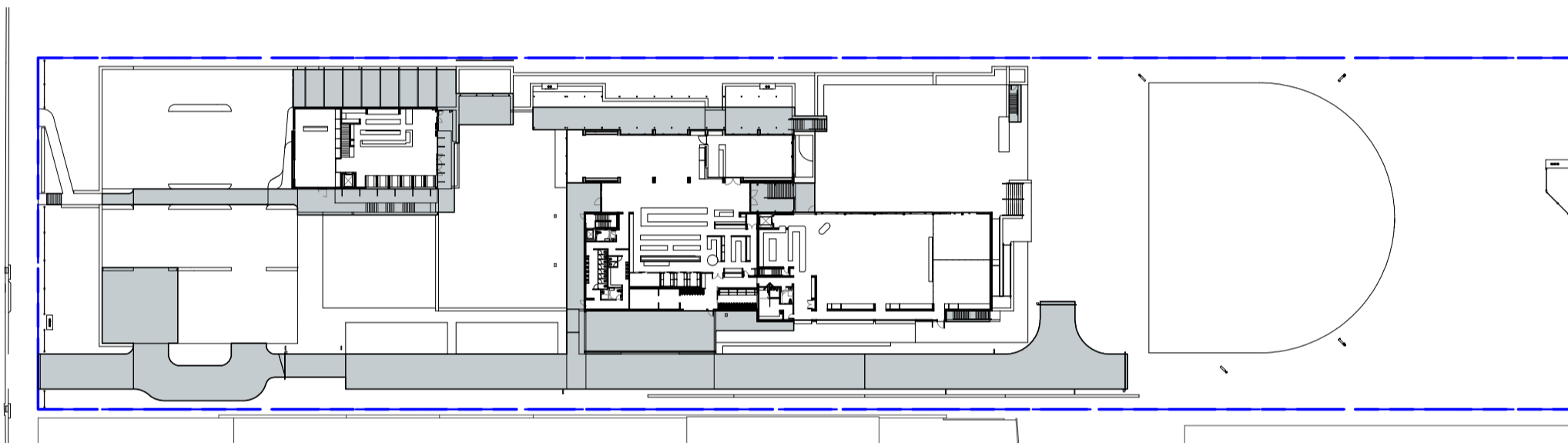
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Project Start Date	Issue Date	Sheet Issue Date	03/09/24
Project #	2725		
Drawing #	DA1-9000	Rev	10



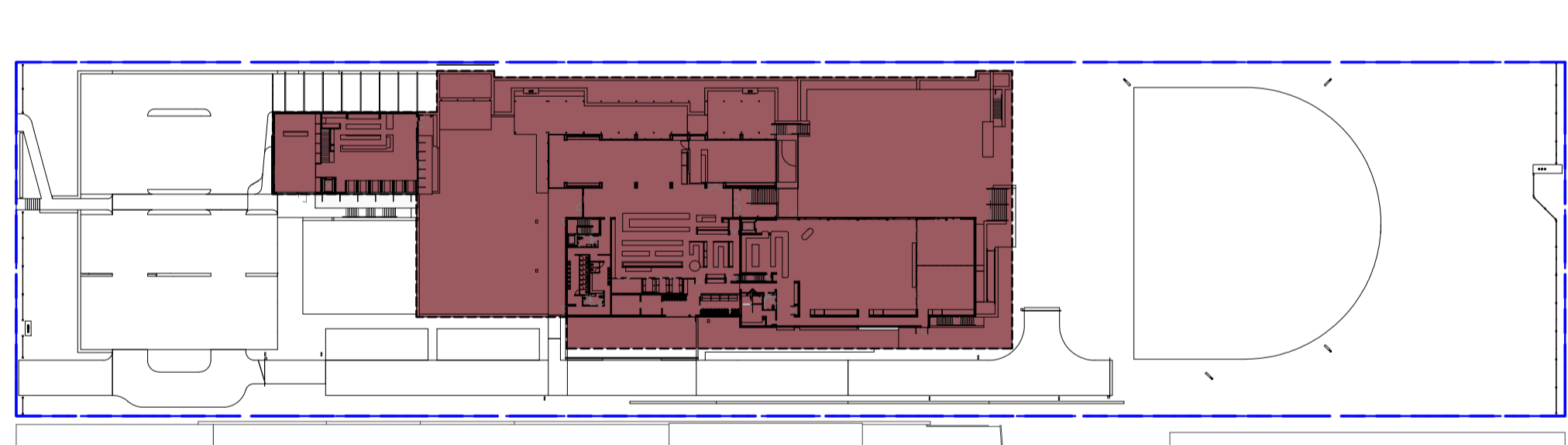
1 Site Cover Plan
1:400



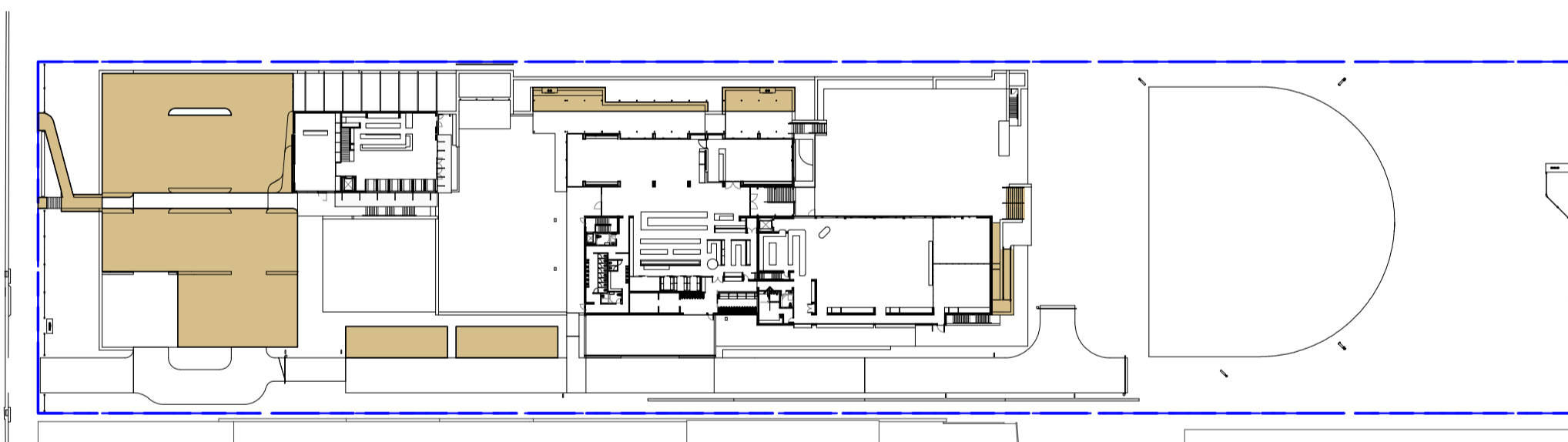
2 Site Cover Plan - Building Footprint at Finished Ground Level
1:1000



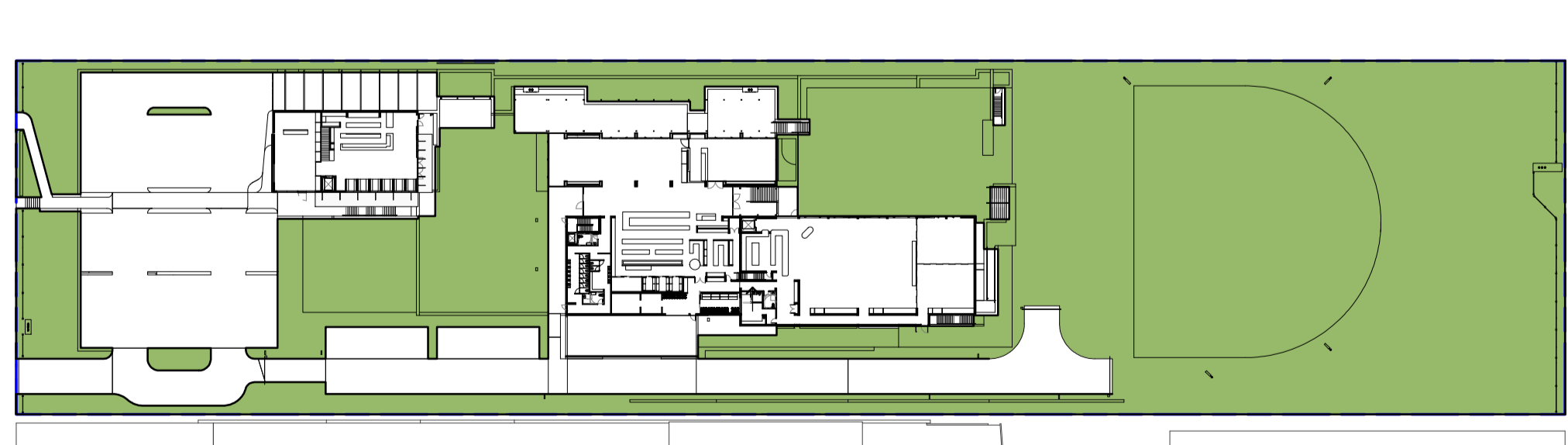
5 Site Cover Plan - Impermeable Area
1:1000



3 Site Cover Plan - Total Building Footprint
1:1000



6 Site Cover Plan - Permeable Area
DA1-9010 1:1000



4 Site Cover Plan - Open Landscape Area
1:1000

Area Legend

Total Area: 15960m²

	Building Footprint at Finished Ground Level 2060m ² (12.9%)		Impermeable Area 2455m ² (15.3%)
	Total Building Footprint 4907m ² (30.7%)		Permeable Area 1731m ² (10.9%)
	Open Landscape Area 9710m ² (60.8%)		

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Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road

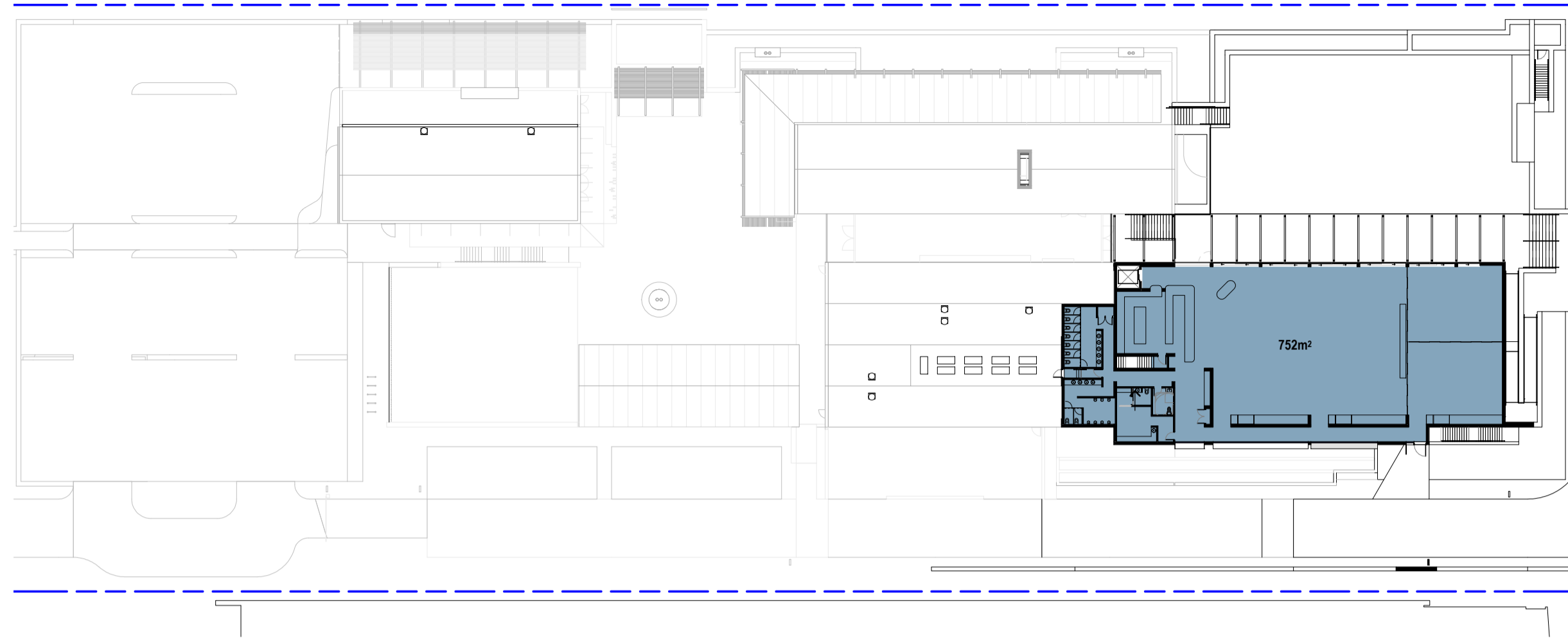
Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

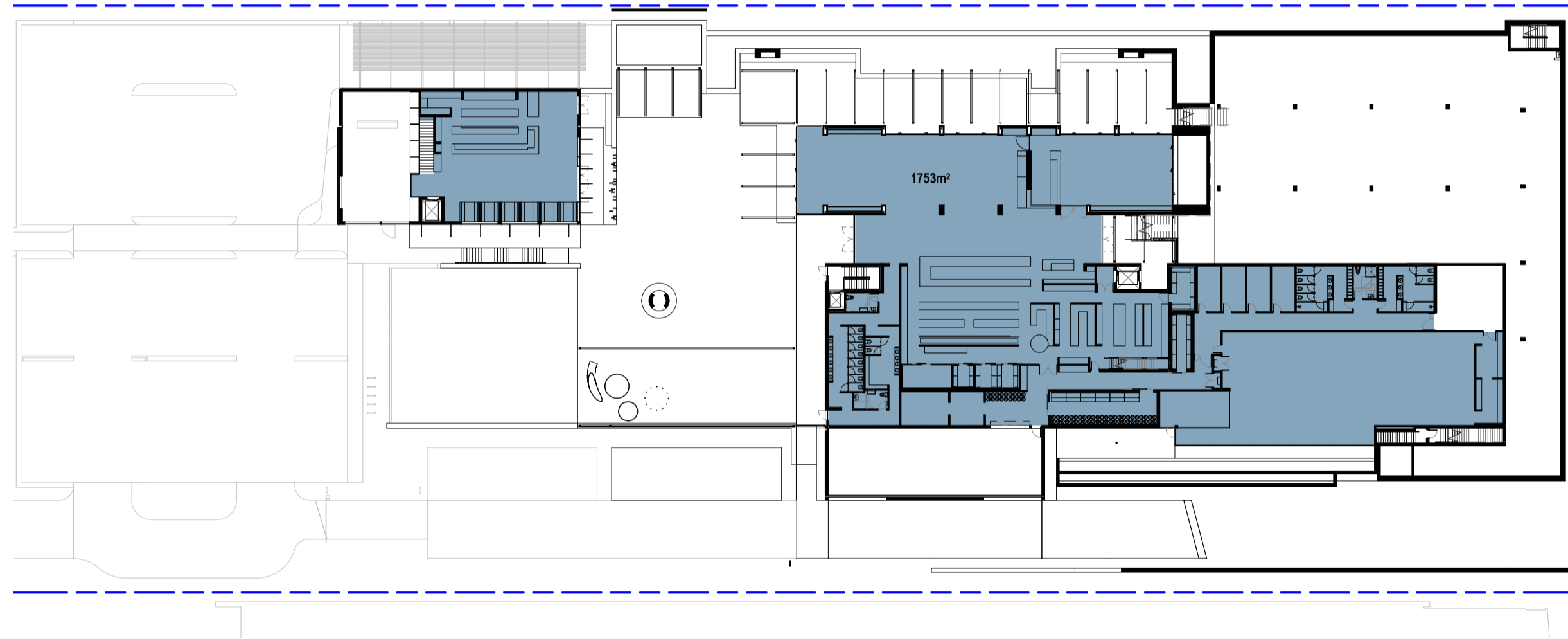
Drawing
Site Cover Plan & Schedule - Proposed

For Development Approval

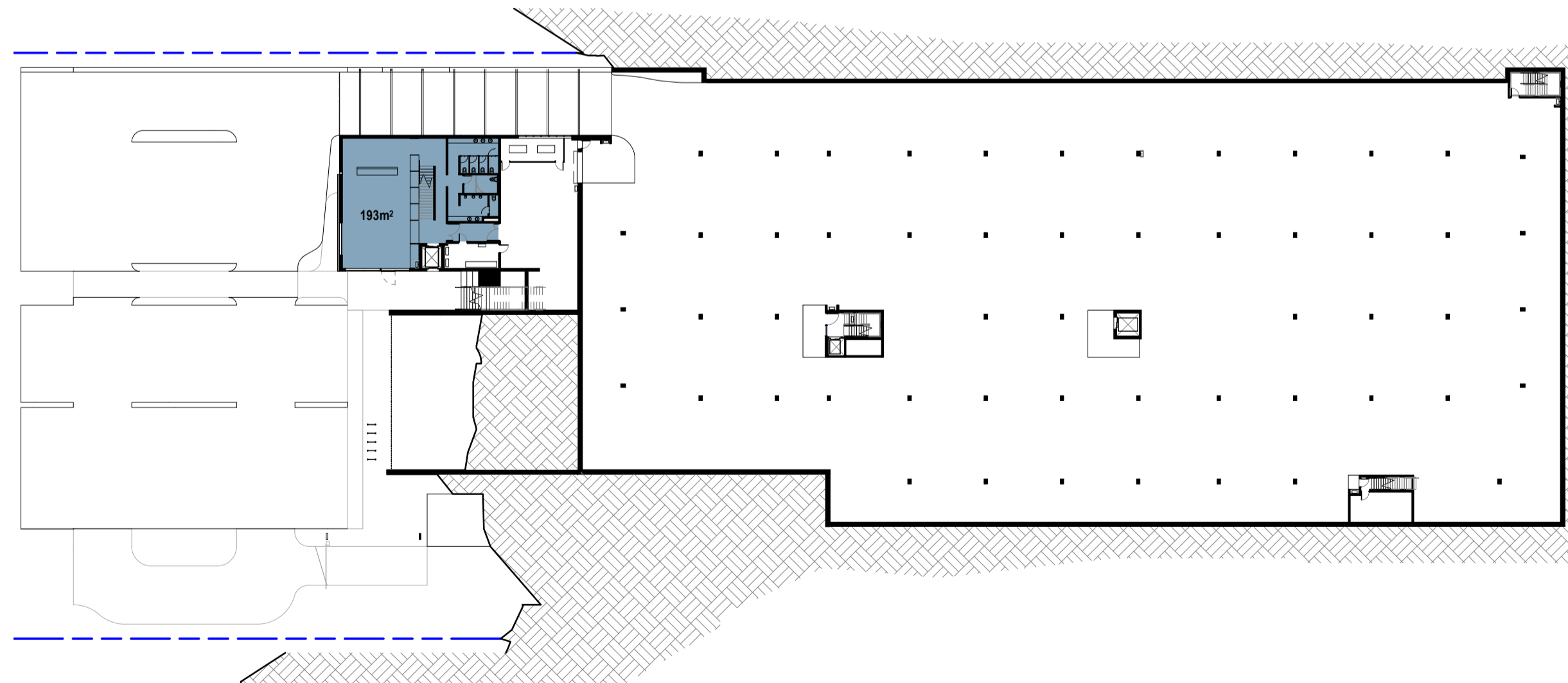
Scale @ A1	As indicated	Drawn by	Checked by
Scale @ A3	As indicated		
Project Start Date	Issue Date	Sheet Issue Date	03/09/24
Project #	2725		
Drawing #	DA1-9010	Rev	09



3 Gross Floor Area - Restaurant 03 - Proposed
DA1-9020 1:500



2 Gross Floor Area - Restaurant 01 & 02 - Proposed
DA1-9020 1:500



1 Gross Floor Area - Myoora Rd Venue Entry - Proposed
DA1-9020 1:500

Area Legend

- GFA - Myoora Rd Venue Entry
193m²
- GFA - Restaurant 01 & 02
1753m²
- GFA - Restaurant 03
752m²

Total Site Area: 15960m²

Total GFA 2698m²
Total FSR 16.9%

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Project
40 Myoora Road

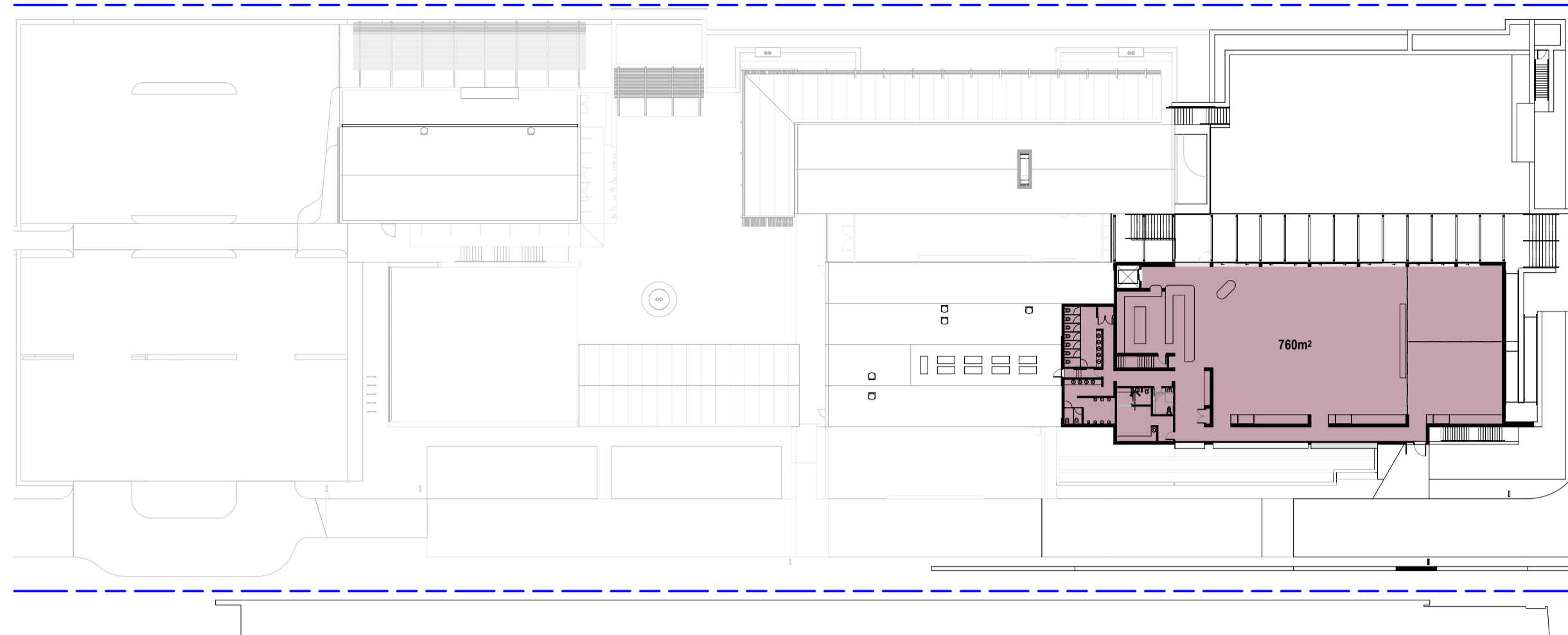
Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

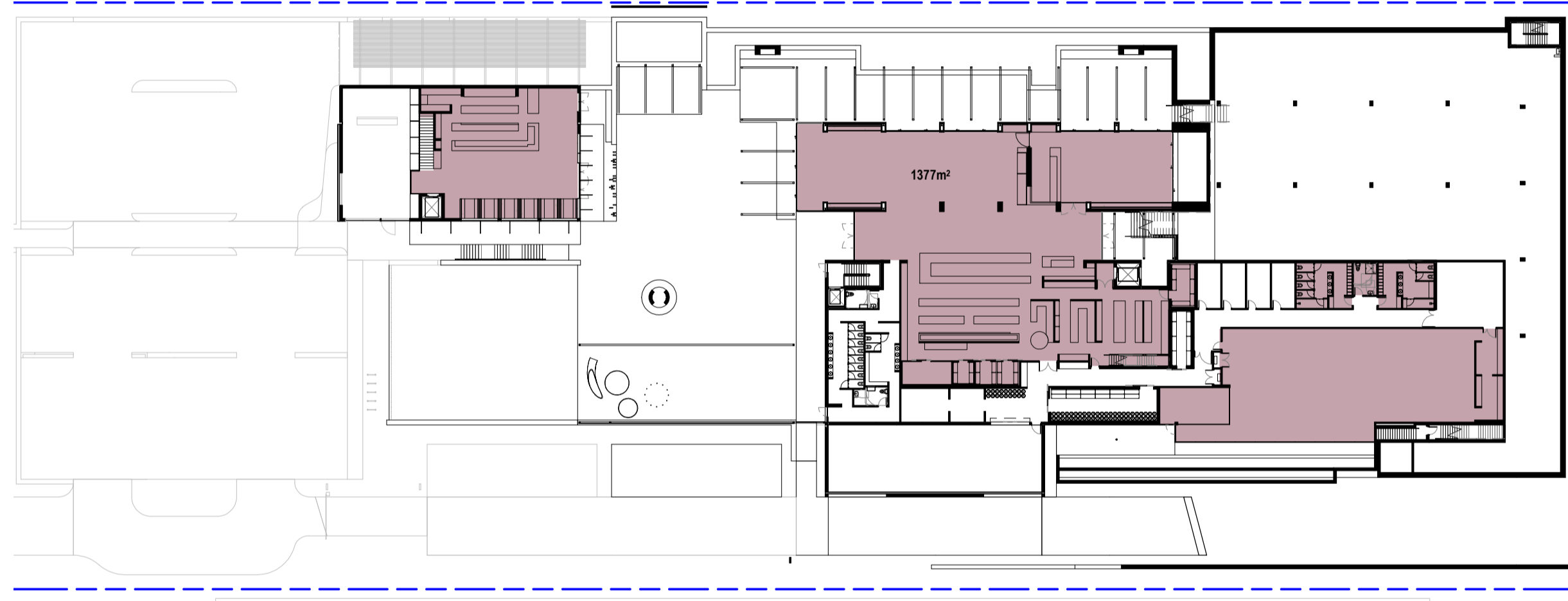
Drawing
Gross Floor Area Plan & Schedule - Proposed

For Development Approval

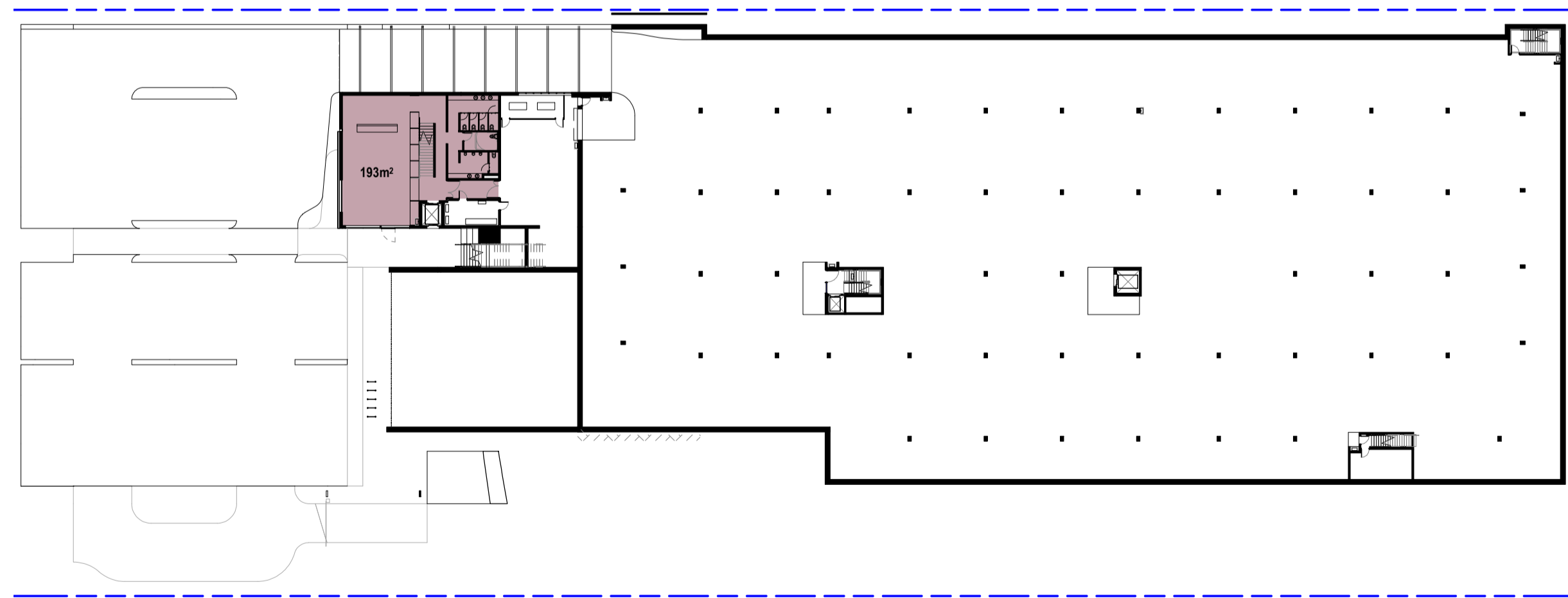
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Scale @ A3	1:1000		
Project Start Date	Issue Date	Sheet Issue Date	03/09/24
Project #	2725		
Drawing #	DA1-9020	Rev	04



3 Gross Lettable Area - Restaurant 03 - Proposed
DA1-9021 1:500



2 Gross Lettable Area - Restaurant 01 & 02 - Proposed
DA1-9021 1:500



1 Gross Lettable Area - Myoora Rd Venue Entry - Proposed
DA1-9021 1:500

Area Legend

- GLA - Myoora Rd Venue Entry
193m²
- GLA - Restaurant 01 & 02
1377m²
- GLA - Restaurant 03
760m²

Total GLA: 2330m²

General Notes

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Rev	Date	Amendments
01	26.07.24	Issue for Information
02	14.08.24	Issue for Information
03	03.09.24	For Development Approval

Rev	Date	Amendments
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Humphrey & Edwards Pty Ltd | ABN 89056538227
Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road

Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

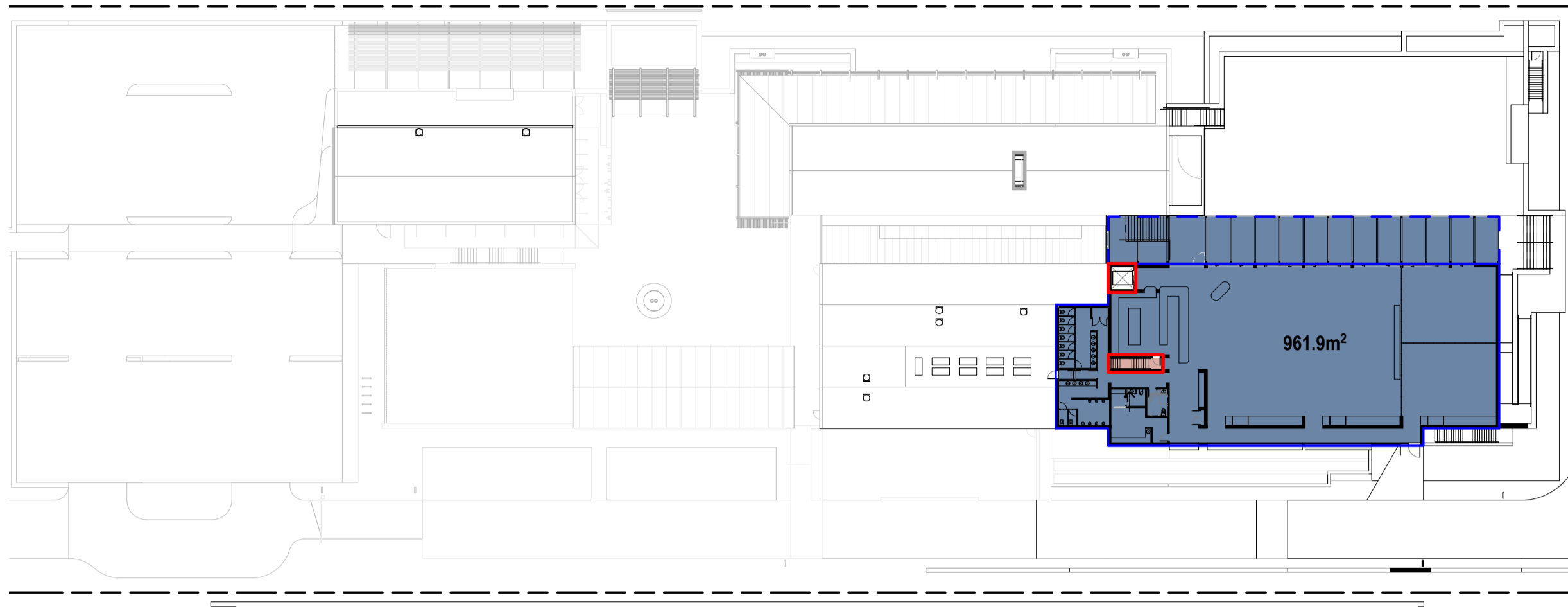
Drawing
Gross Lettable Area Pan & Schedule - Proposed

For Development Approval

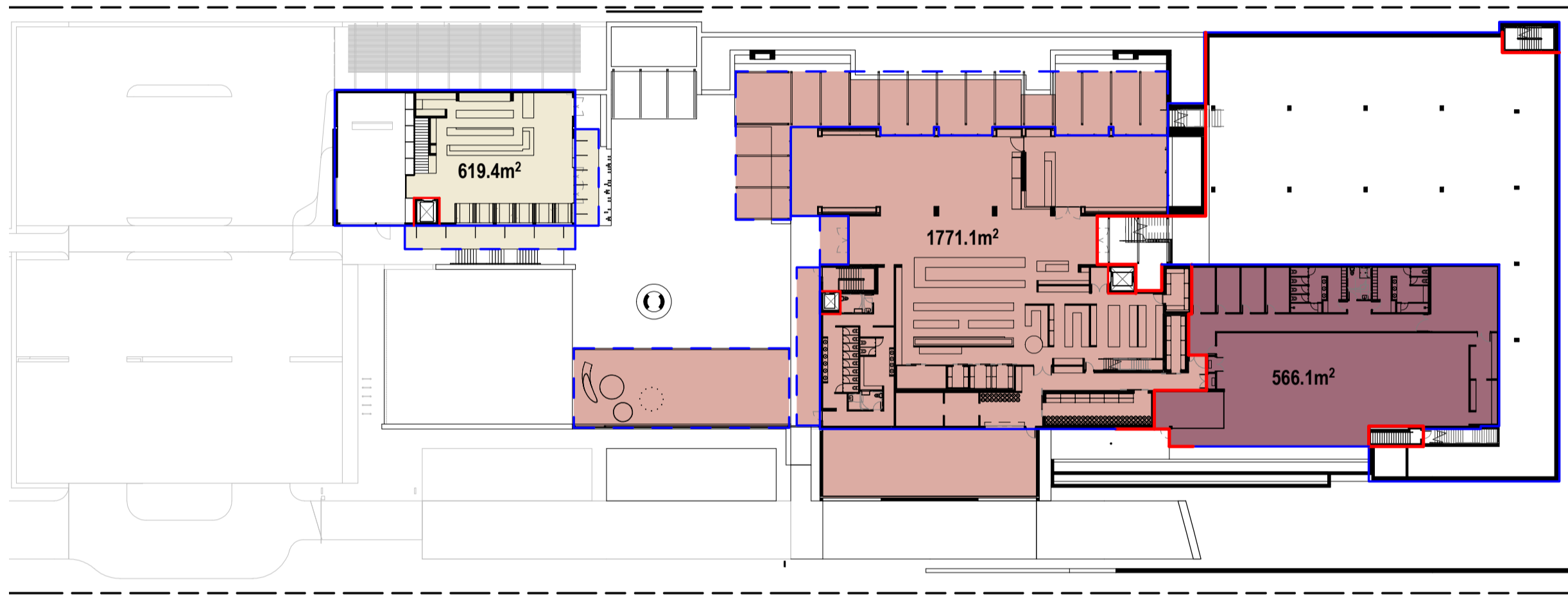
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Scale @ A3	1:1000		
Project Start Date	Issue Date	Sheet Issue Date	03/09/24
Project #	2725		
Drawing #	DA1-9021	Rev	03

Area Legend

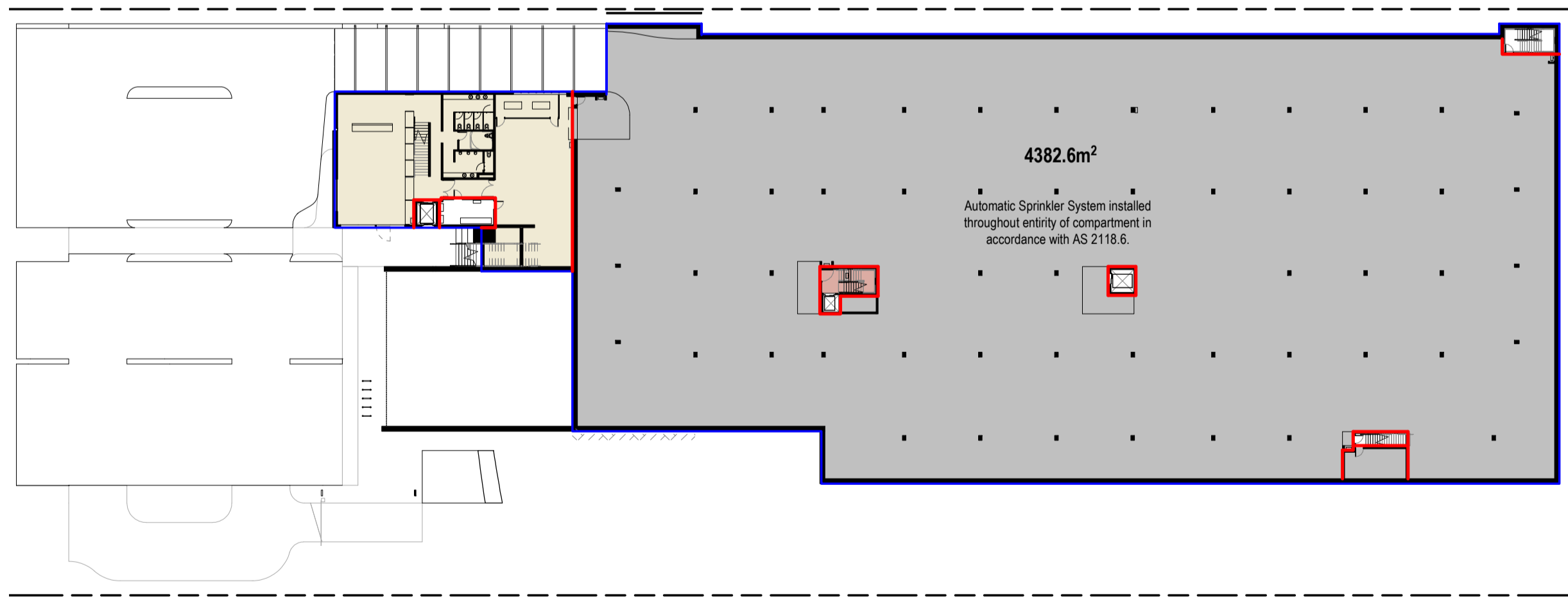
- Compartment 01
4382.6m²
Automatic Sprinkler System installed throughout entirety of compartment in accordance with AS 2118.6.
 - Compartment 04
619.4m²
 - Compartment 05
1771.1m²
 - Compartment 06
566.1m²
 - Compartment 07
961.9m²
- Line of Building
 - Line of Awning Over
 - Separation of Fire Compartments
In accordance with BCA Report



3 Fire Compliance Diagram - Restaurant 03 - Proposed
DA1-9030 1 : 500



2 Fire Compliance Diagram - Restaurant 01 & 02 - Proposed
DA1-9030 1 : 500



1 Fire Compliance Diagram - Myoora Rd Venue Entry - Proposed
DA1-9030 1 : 500

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H & E
ARCHITECTS

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Humphrey & Edwards Pty Ltd | ABN 89056538227
Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road

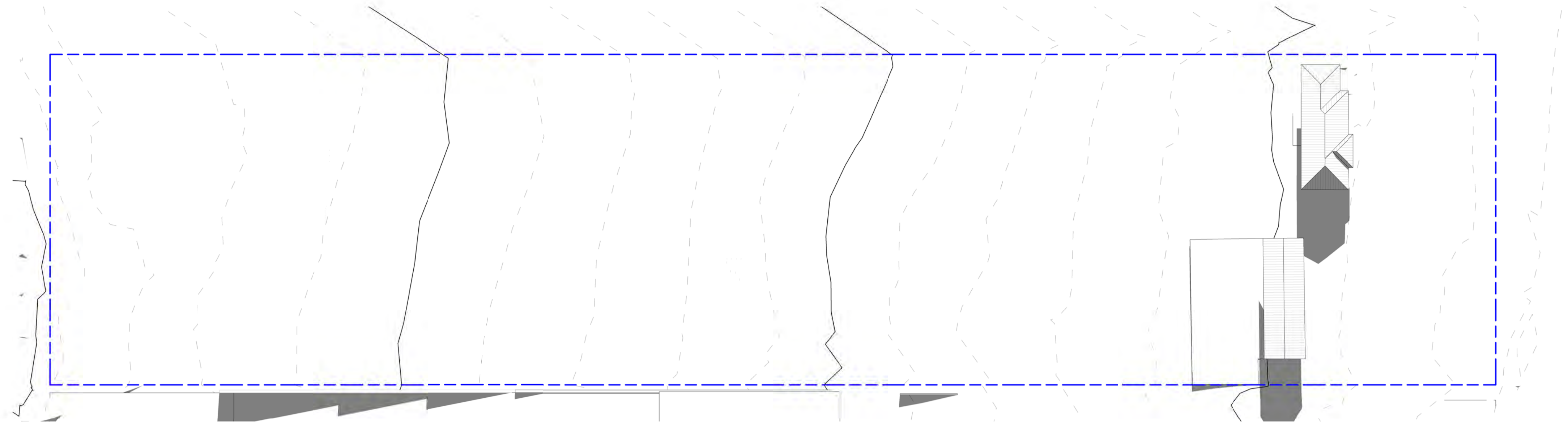
Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

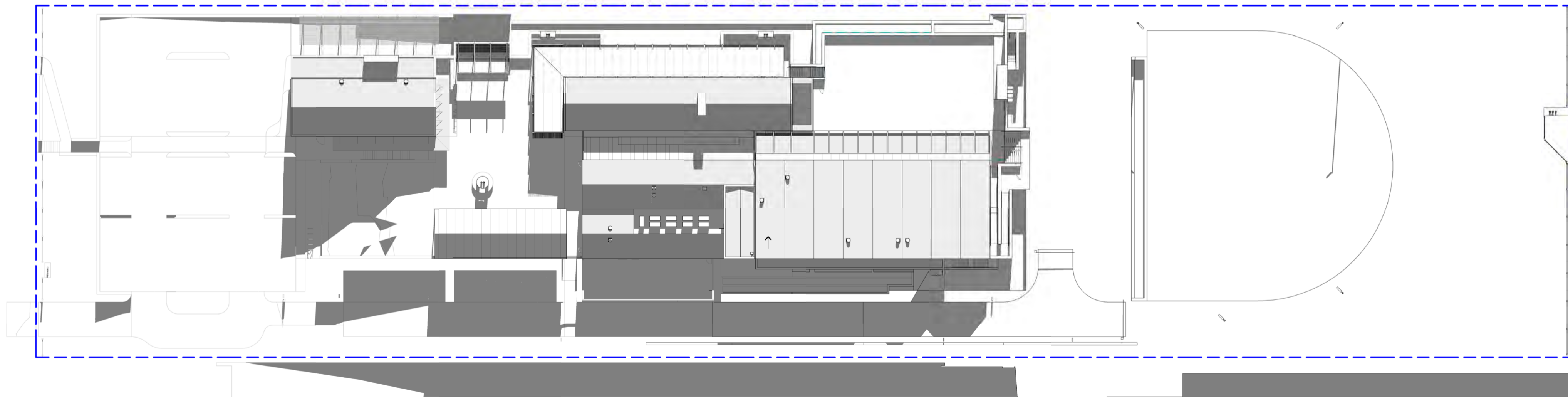
Drawing
Fire Compartmentation - Proposed

For Development Approval

Scale @ A1	1:500	Drawn by	Checked by
Scale @ A3	1:1000		
Project Start Date	Issue Date	Sheet Issue Date	03/09/24
Project #	2725		
Drawing #	DA1-9030	Rev	03



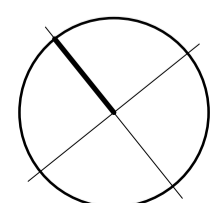
1 Existing Shadow Diagram
DA1-9200 1:500



2 Proposed Shadow Diagram
DA1-9200 1:500

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01	19.03.24	Consultant Issue
02	02.04.24	Issue for Information: Pre-DA Meeting
03	21.05.24	Issue for Information: Design and Sustainability Advisory Panel
04	26.07.24	Issue for Information
05	14.08.24	Issue for Information
06	03.09.24	For Development Approval

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Project
40 Myoora Road

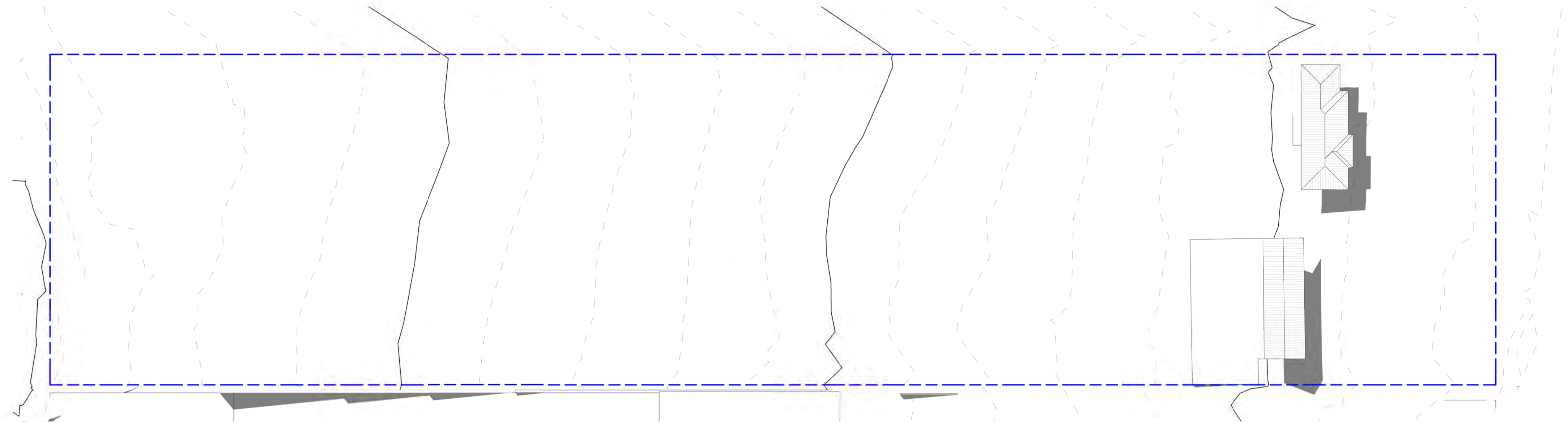
Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

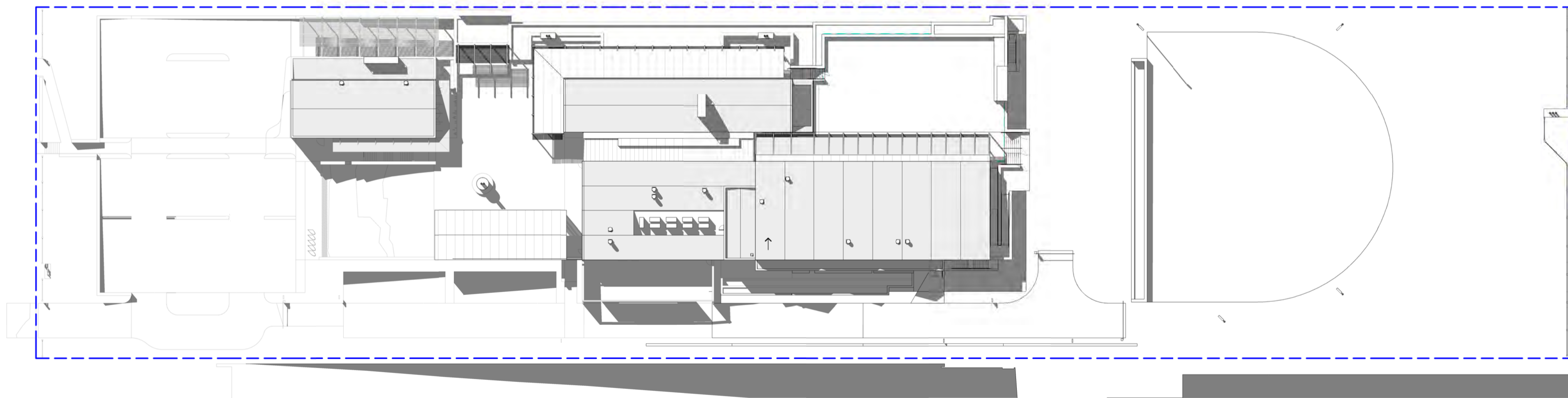
Drawing
Shadow Diagrams - Winter 21st June 9am

For Development Approval

Scale @ A1	1:500	Drawn by	Checked by
Scale @ A3	1:1000		
Project Start Date	Issue Date	Sheet Issue Date	03/09/24
Project #	2725		
Drawing #	DA1-9200	Rev	06



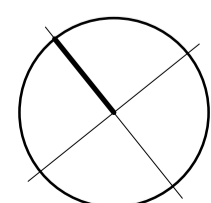
1 Existing Shadow Diagram
DA1-9201 1:500



2 Proposed Shadow Diagram
DA1-9201 1:500

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Project
40 Myoora Road

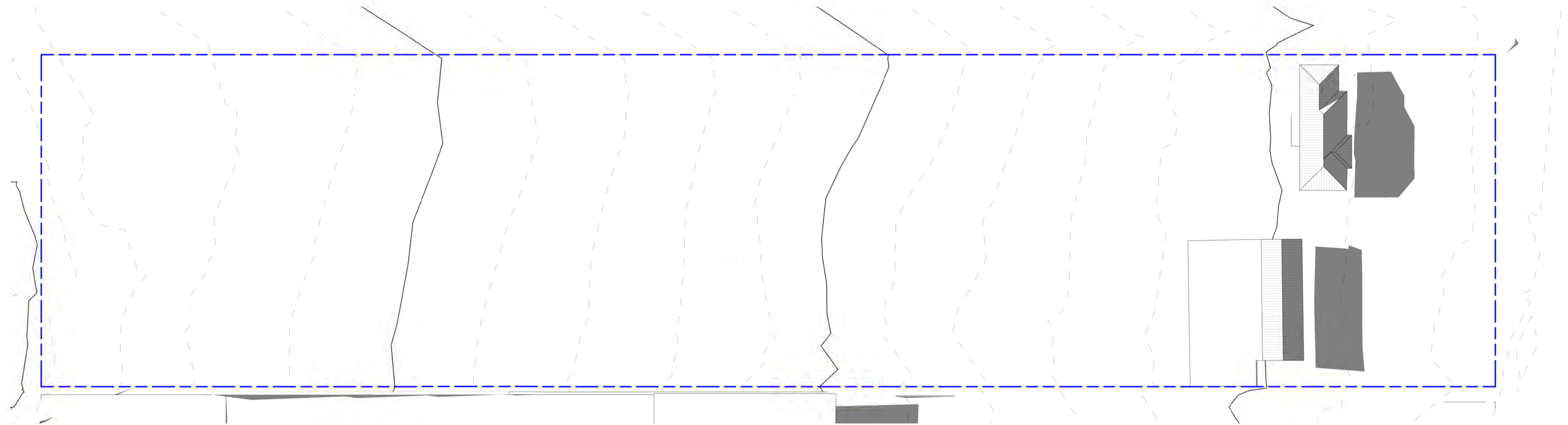
Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

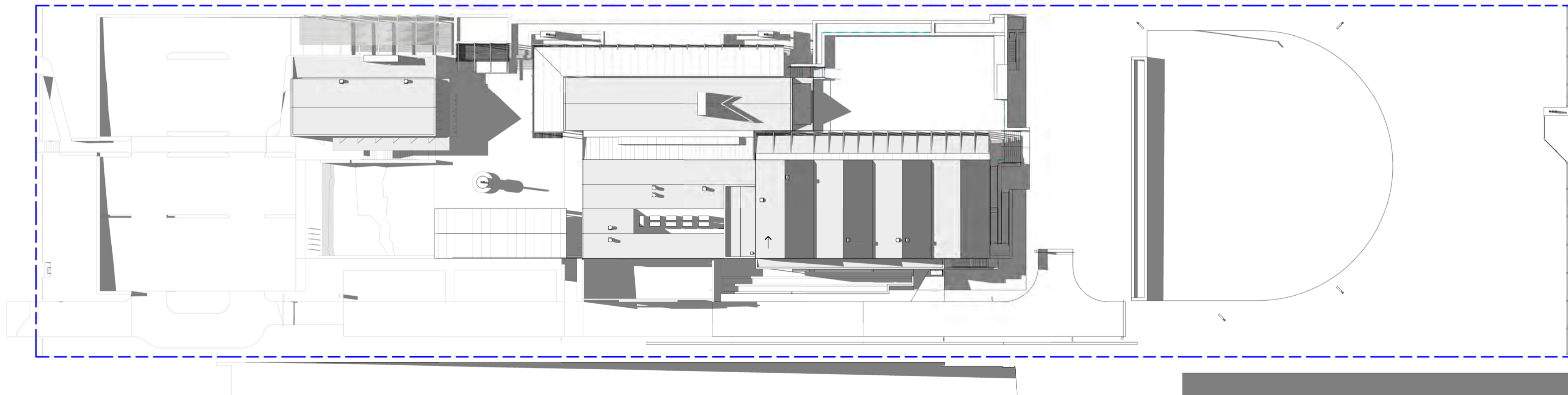
Drawing
Shadow Diagrams - Winter 21st June 12pm

For Development Approval

Scale @ A1	1:500	Drawn by	Checked by
Scale @ A3	1:1000		
Project Start Date	Issue Date	Sheet Issue Date	03/09/24
Project #	2725		
Drawing #	DA1-9201	Rev	06



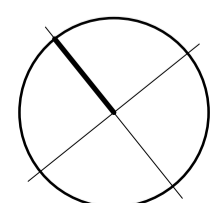
1 Existing Shadow Diagram
DA1-9202 1:500



2 Proposed Shadow Diagram
DA1-9202 1:500

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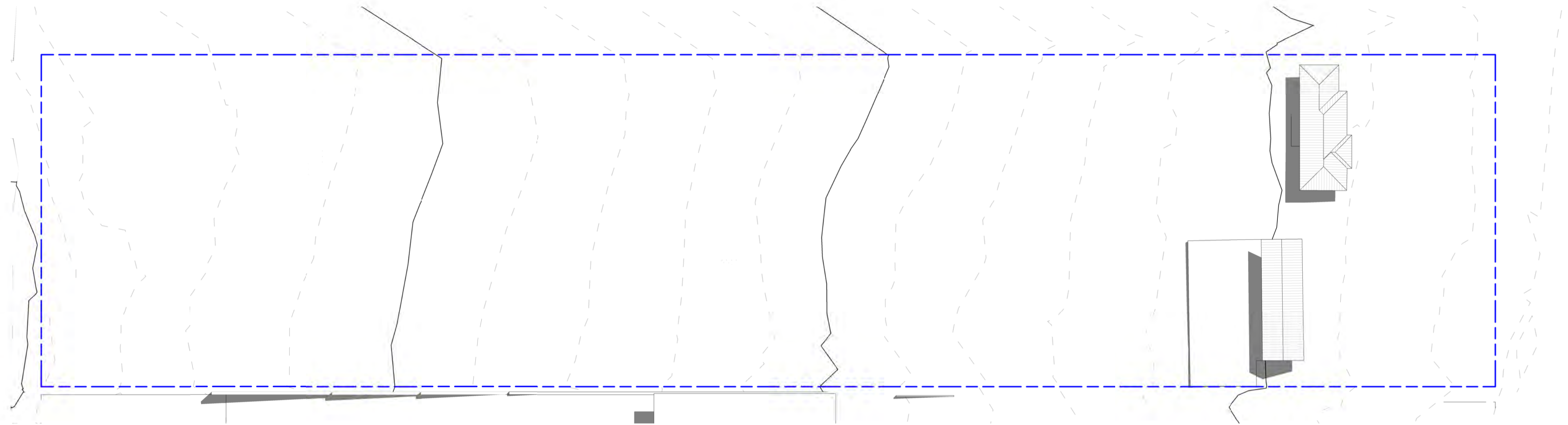
Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

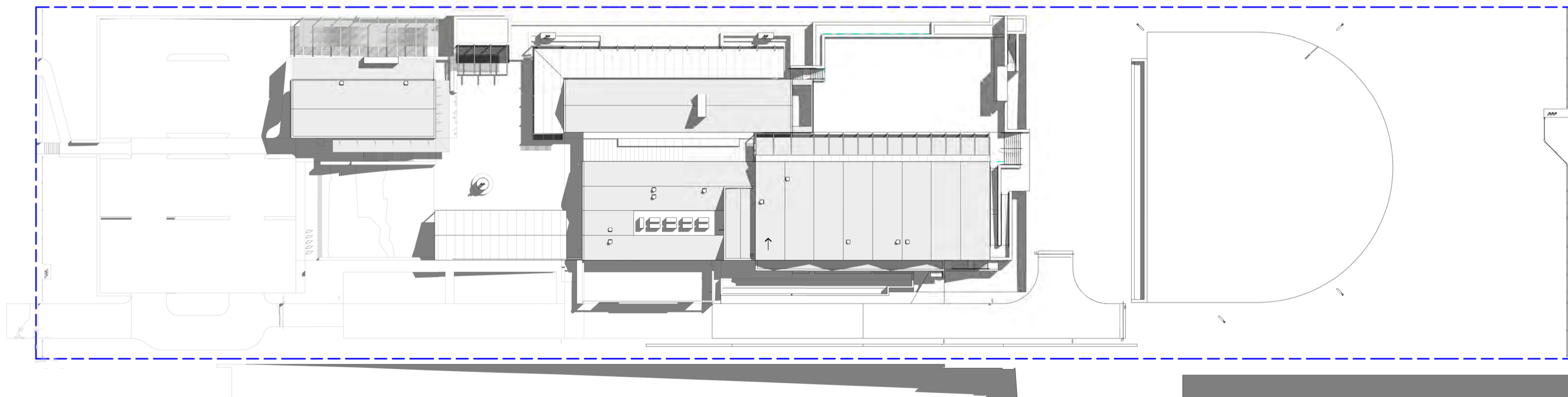
Drawing
Shadow Diagrams - Winter 21st June 3pm

For Development Approval

Scale @ A1	1:500	Drawn by	Checked by
Scale @ A3	1:1000		
Project Start Date	Issue Date	Sheet Issue Date	03/09/24
Project #	2725		
Drawing #	DA1-9202	Rev	06



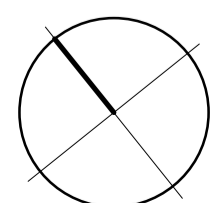
1 Existing Shadow Diagram
DA1-9203 1:500



2 Proposed Shadow Diagram
DA1-9203 1:500

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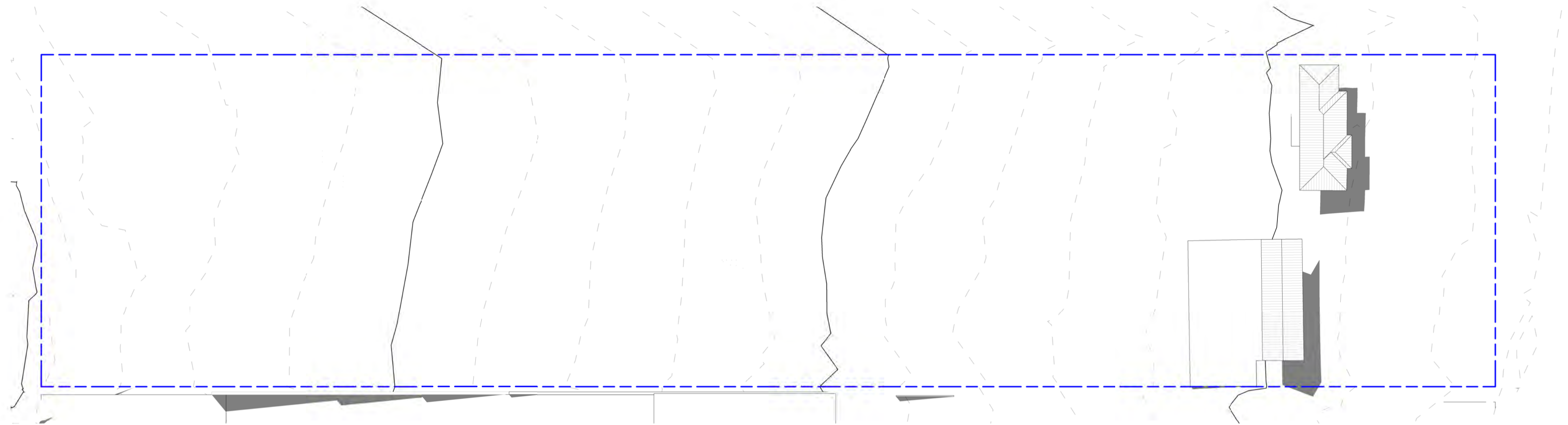
Client
Gardoxi P/L (Norwest)

Location
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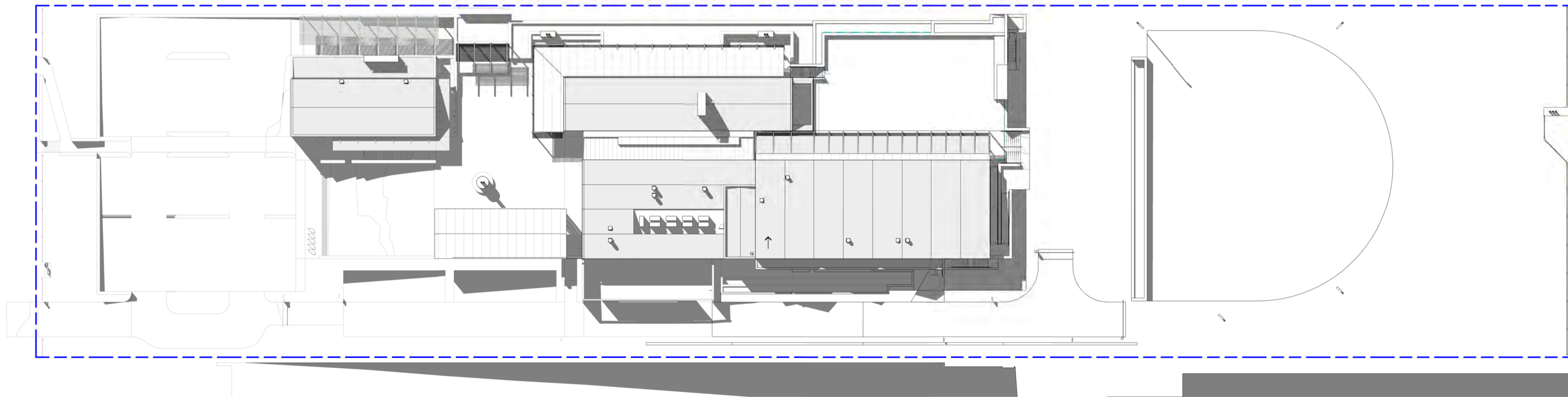
Drawing
Shadow Diagrams - Summer 21st December 9am

For Development Approval

Scale @ A1	1:500	Drawn by	Checked by
Scale @ A3	1:1000		
Project Start Date	Issue Date	Sheet Issue Date	03/09/24
Project #	2725		
Drawing #	DA1-9203	Rev	06



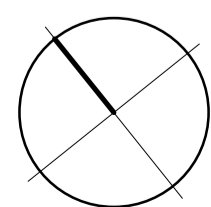
1 Existing Shadow Diagram
DA1-9204 1:500



2 Proposed Shadow Diagram
DA1-9204 1:500

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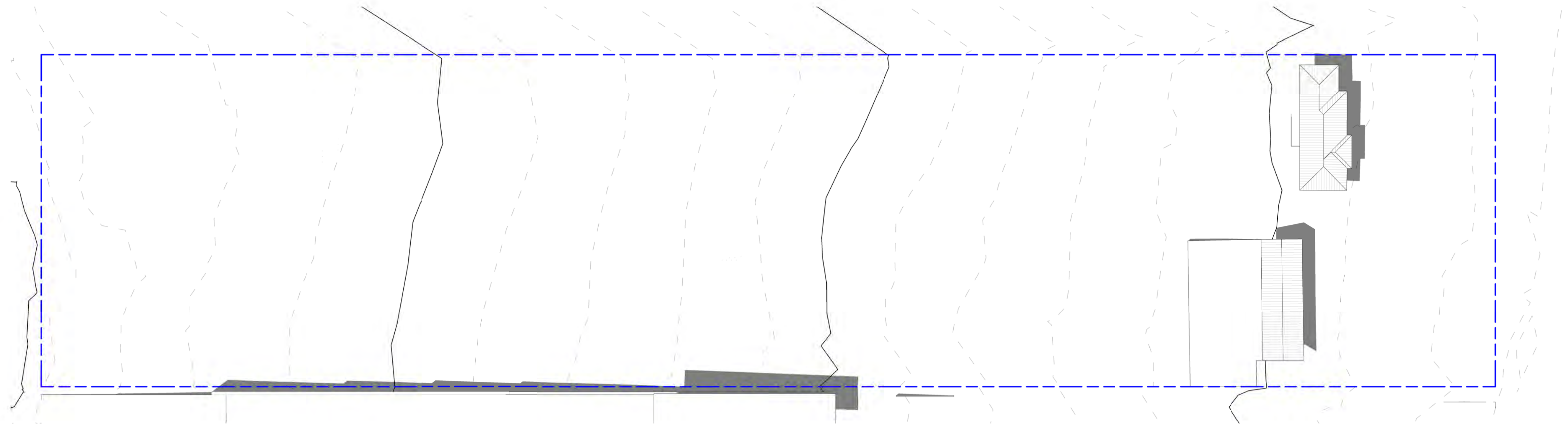
Client
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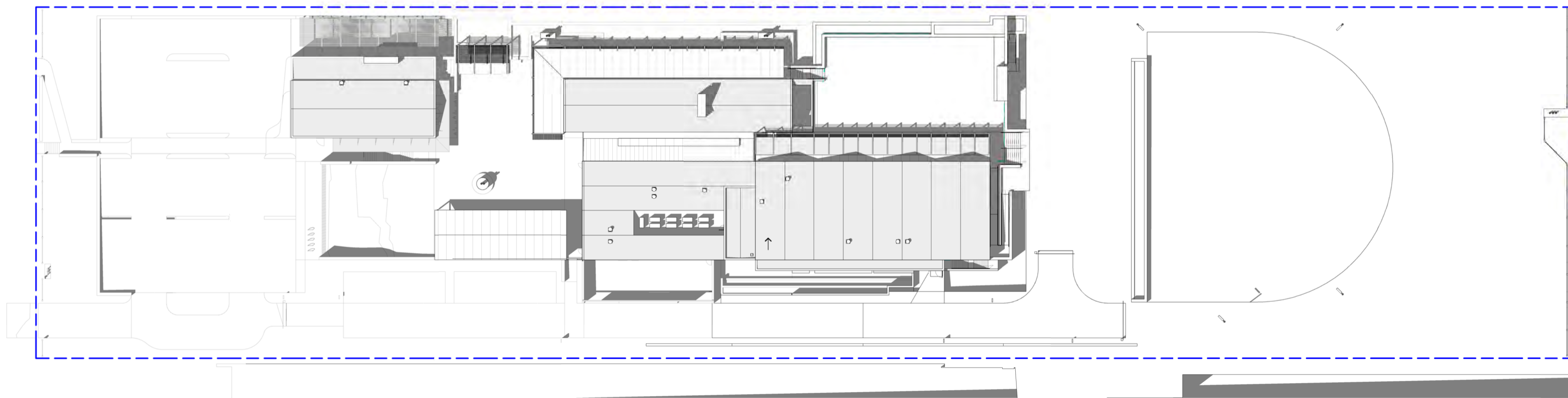
Drawing
Shadow Diagrams - Summer 21st December 12pm

For Development Approval

Scale @ A1	1:500	Drawn by	Checked by
Scale @ A3	1:1000		
Project Start Date	Issue Date	Sheet Issue Date	03/09/24
Project #	2725		
Drawing #	DA1-9204	Rev	06



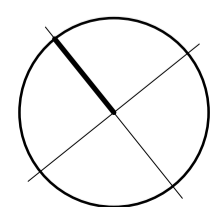
1 Existing Shadow Diagram
DA1-9205 1:500



2 Proposed Shadow Diagram
DA1-9205 1:500

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Nominated Architect: Glenn Cunningham #6415

Project	40 Myoora Road
Client	Gardoxi P/L (Norwest)

Location	40 Myoora Road, Terrey Hills NSW 2084
Drawing	Shadow Diagrams - Summer 21st December 3pm

For Development Approval

Scale @ A1	1:500	Drawn by	Checked by
Scale @ A3	1:1000		
Project Start Date	Issue Date	Sheet Issue Date	03/09/24
Project #	2725		
Drawing #	DA1-9205	Rev	06