

37 BUSHEY PLACE, DEE WHY
ALTERATIONS & ADDITIONS TO AN EXISTING DWELLING
INCLUDING AN ATTACHED SECONDARY DWELLING
DA SUBMISSION SET - REVISION E

DA - DRAWING SET

SHEET	NAME
A.00.01	Drawing Register
A.01.01	Site Plan
A.02.01	Ground Level Plan
A.02.03	Level One Plan
A.02.05	Roof Plan
A.02.09	Driveway Plan
A.03.01	Elevations N & S
A.03.02	Elevations E & W
A.04.01	Section A & B
A.05.01	Mood Board
A.05.02	Landscape Area Plan
A.05.03	BASIX
A.06.01	SHADOW DIAGRAM PROPOSED JUNE 9AM
A.06.02	SHADOW DIAGRAM EXISTING JUNE 9AM
A.06.03	SHADOW DIAGRAM PROPOSED JUNE 12PM
A.06.04	SHADOW DIAGRAM EXISTING JUNE 12PM
A.06.05	SHADOW DIAGRAM PROPOSED JUNE 3PM
A.06.06	SHADOW DIAGRAM EXISTING JUNE 3PM
D.02.01	Garage Demoliton Plan

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PROJECT NAME & CODE
Coastal Cottage [DWBP37]

PROJECT CLIENT
Grewal & Heyward

DRAWING NAME
Drawing Register

DRAWING NUMBER
A.00.01

SCALE

NOTES / LEGEND

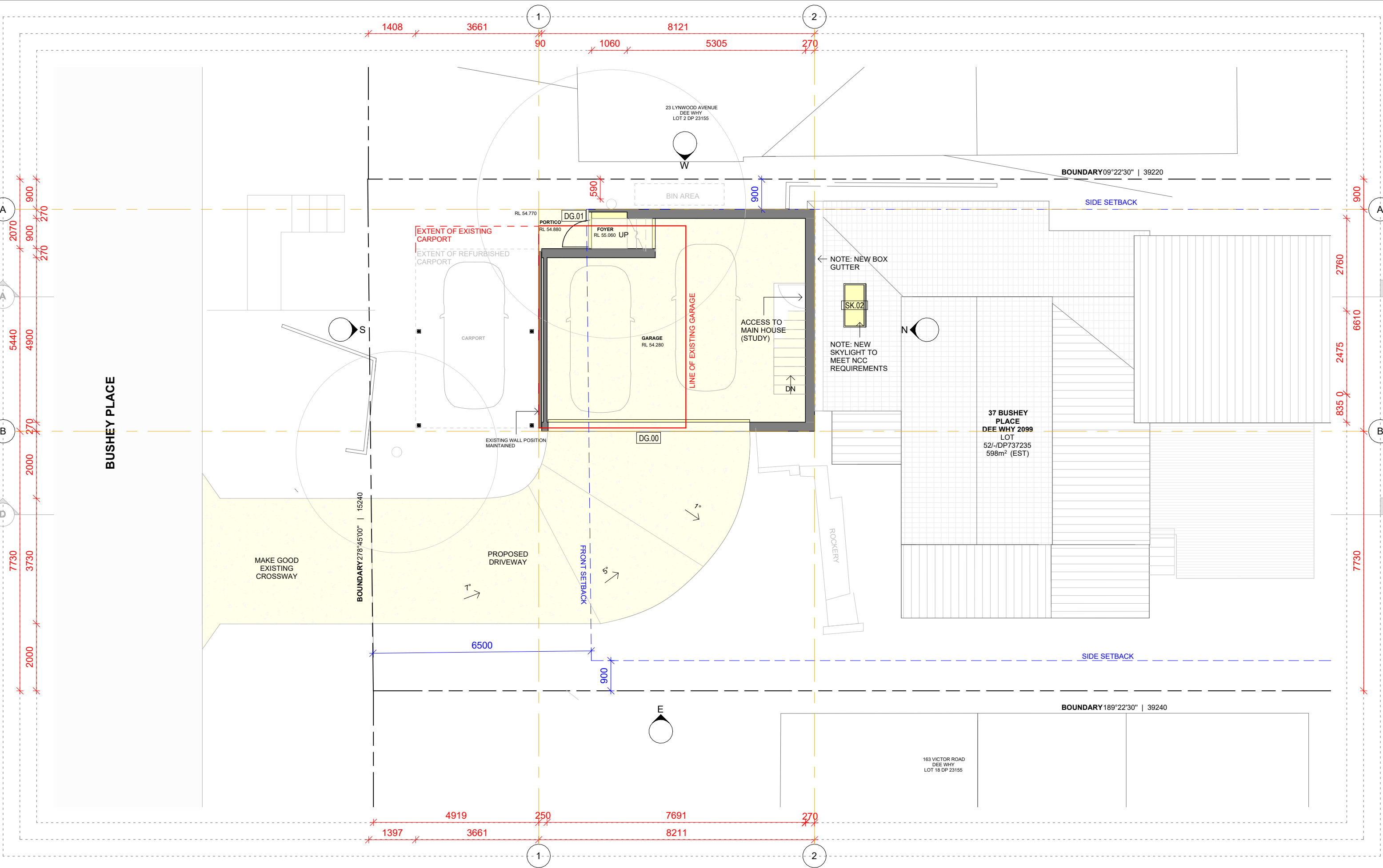
PROJECT ADDRESS
37 Bushey Place, Dee Why

PROJECT STAGE
Concept

REVISION
E

DATE
02/05/2025

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DA Set



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PROJECT NAME & CODE
Coastal Cottage [DWBP37]

PROJECT ADDRESS
37 Bushey Place, Dee Why

PROJECT CLIENT
Grewal & Heyward

PROJECT STAGE
Concept

DRAWING NAME
Ground Level Plan

REVISION
E

DRAWING NUMBER
A.02.01

DATE
02/05/2025

PROJECT NORTH
TRUE NORTH

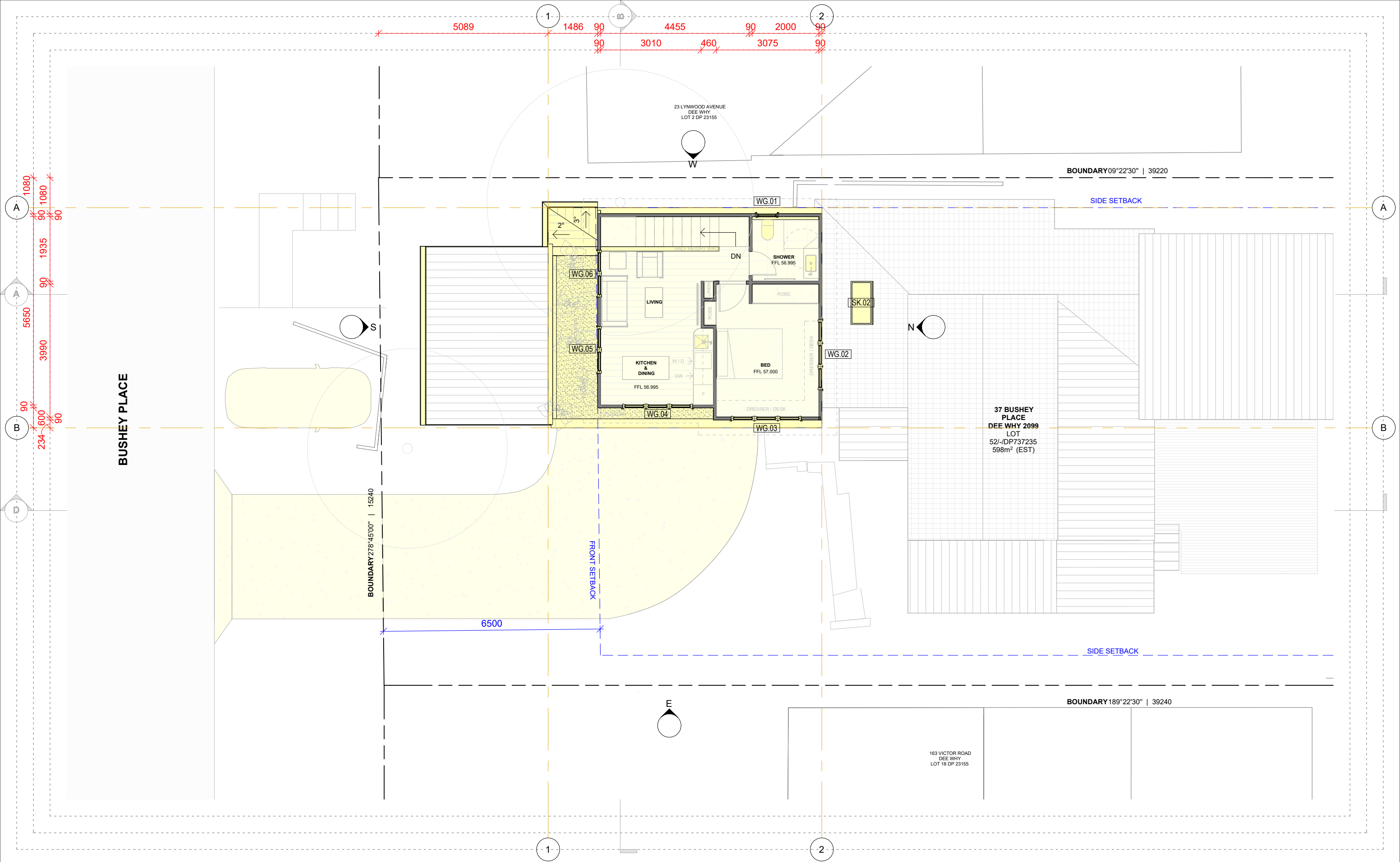
TRUE NORTH

SCALE
1 : 100

RELEASED AS
DA Submission

NOTES / LEGEND

- Existing Building
Proposed Building
Water
Existing Tree
Proposed Tree
- Blockwork
Stud Frame
Masonry
Object Above
Object Below
- Site Boundary
Setback
Topography
Opening
Topography Cut



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PROJECT NAME & CODE
Coastal Cottage [DWBP37]

PROJECT ADDRESS
37 Bushey Place, Dee Why

PROJECT CLIENT
Grewal & Heyward

PROJECT STAGE
Concept

DRAWING NAME
Level One Plan

REVISION
E

DRAWING NUMBER
A.02.03

DATE
02/05/2025

PROJECT NORTH
TRUE NORTH

TRUE NORTH

SCALE
1 : 100

RELEASED AS
DA Submission

NOTES / LEGEND

- Existing Building

Proposed Building

Water

Existing Tree

Proposed Tree
- Blockwork

Stud Frame

Masonry

Object Above

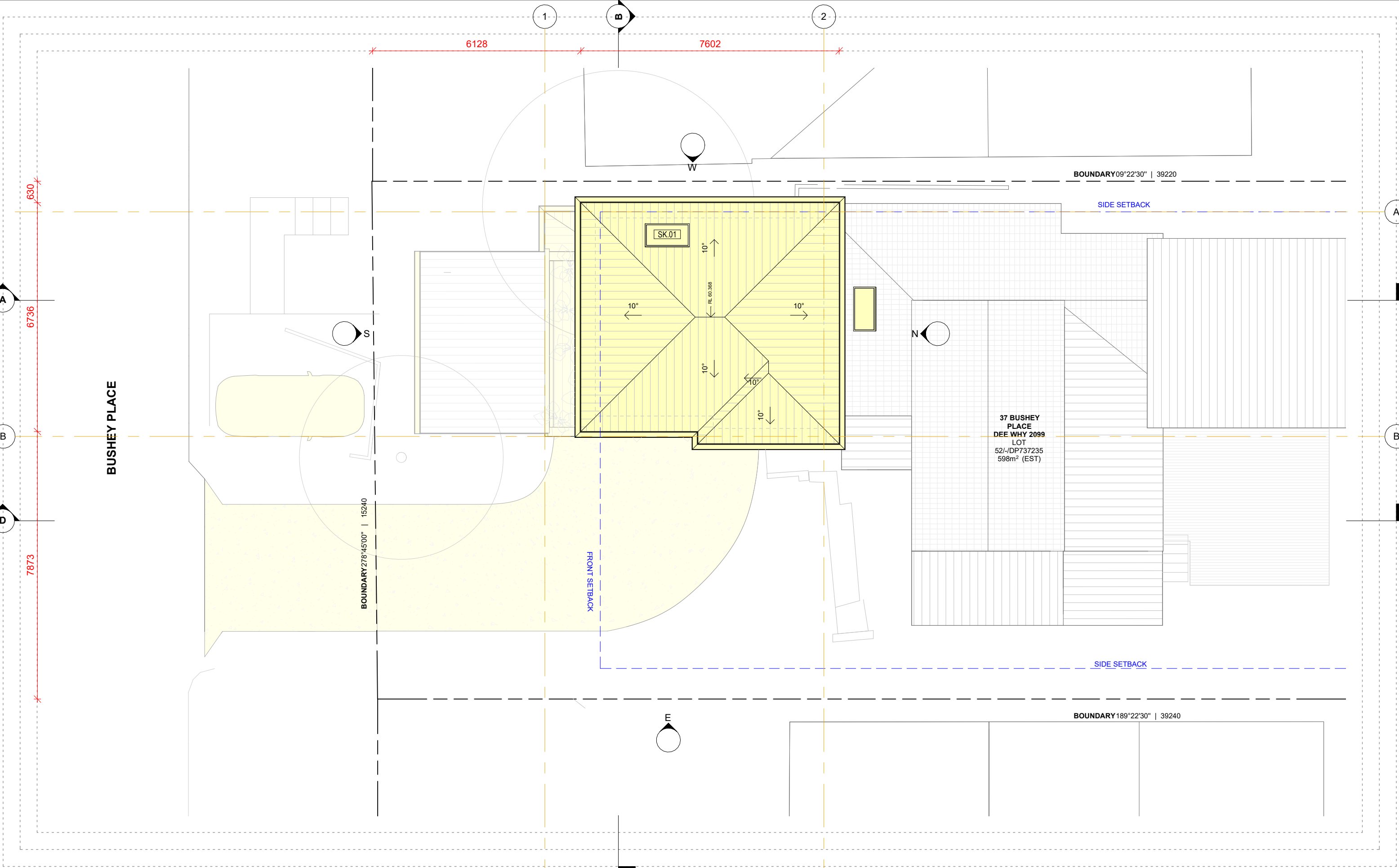
Object Below
- Site Boundary

Setback

Topography

Opening

Topography Cut
-



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PROJECT NAME & CODE
Coastal Cottage [DWBP37]

PROJECT ADDRESS
37 Bushey Place, Dee Why

PROJECT CLIENT
Grewal & Heyward

PROJECT STAGE
Concept

DRAWING NAME
Roof Plan

REVISION
D

DRAWING NUMBER
A.02.05

DATE
02/05/2025

PROJECT NORTH
TRUE NORTH

SCALE
1 : 100

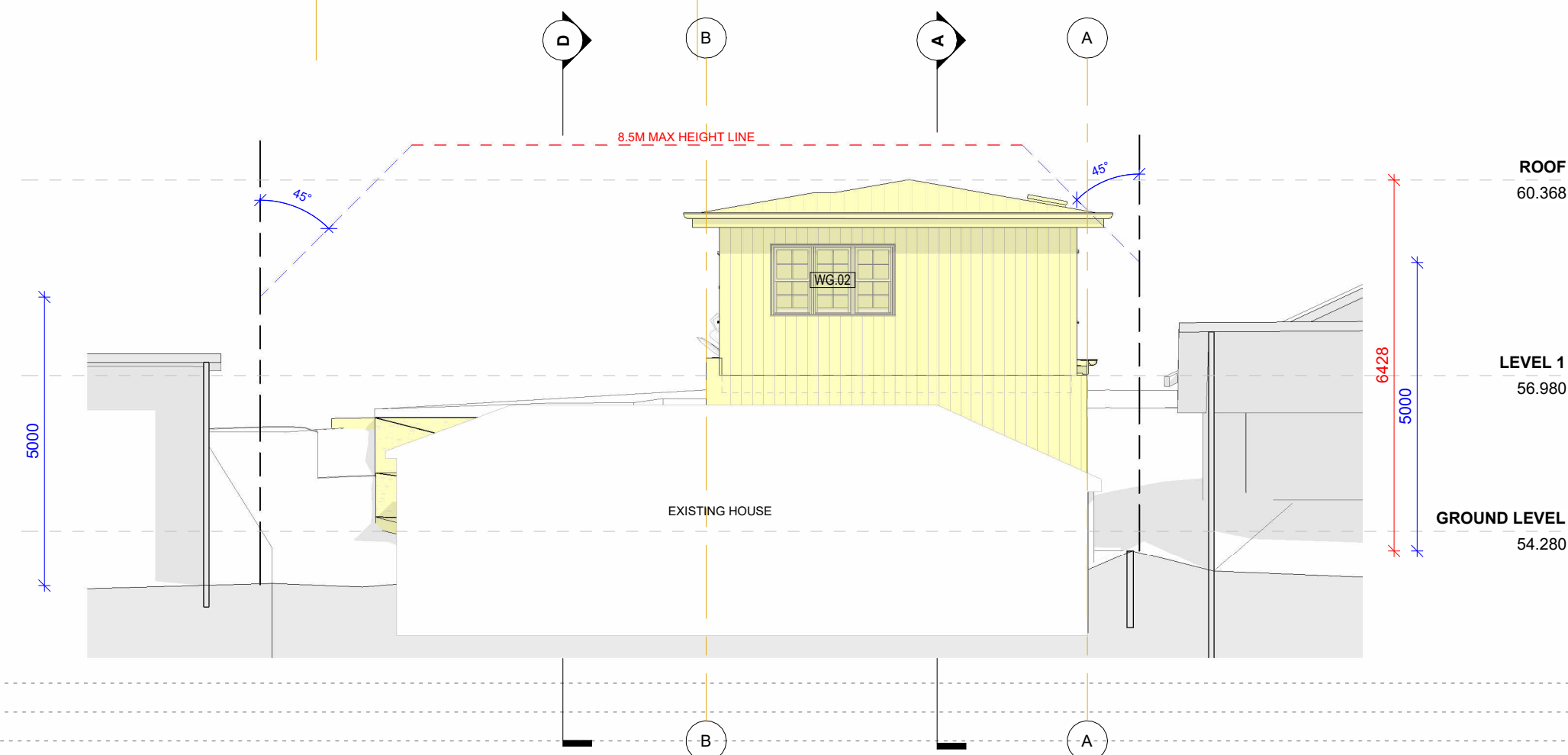
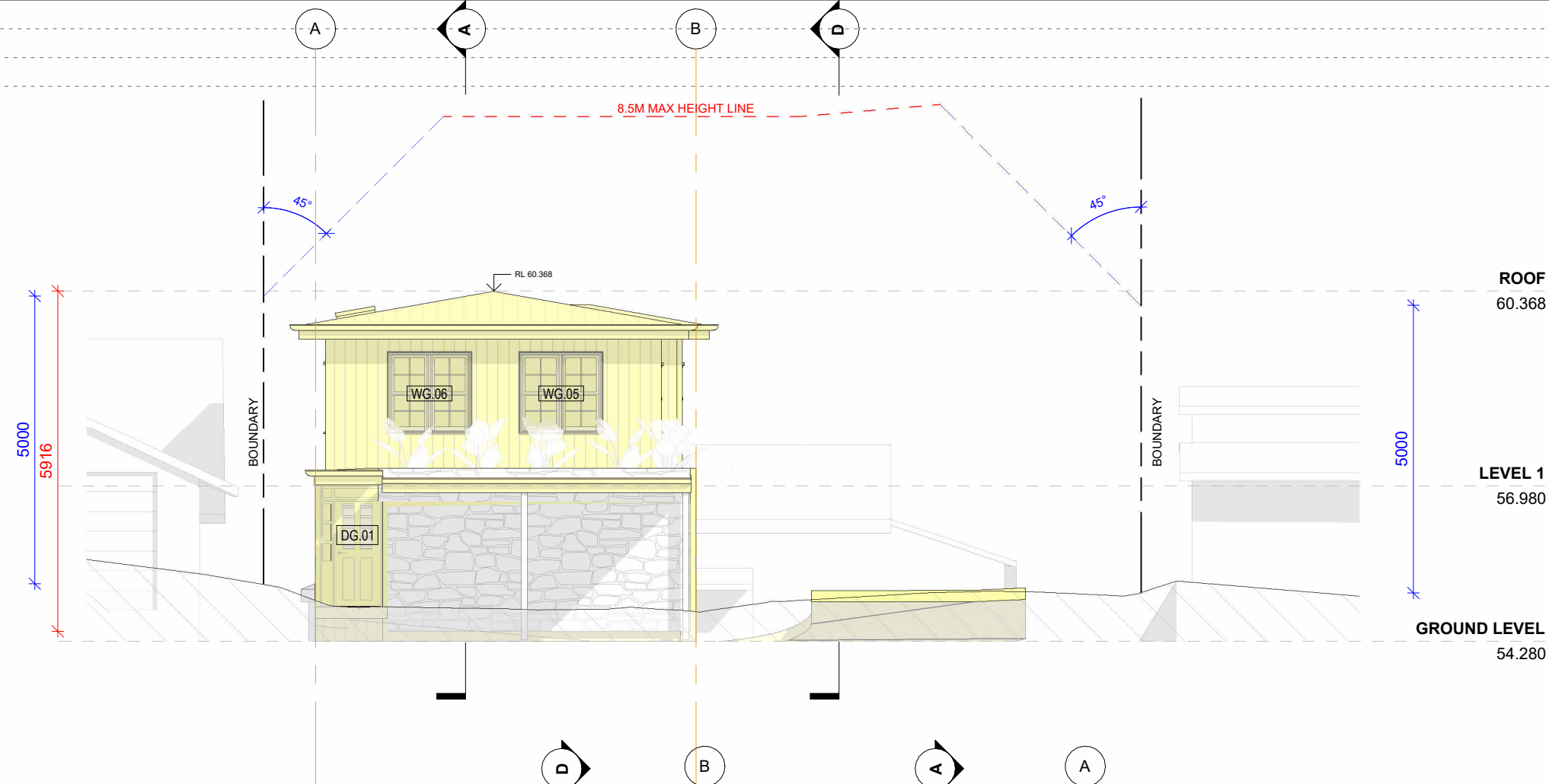
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NOTES / LEGEND

- | | | | |
|-------------------|--------------|---------------|----------------|
| Existing Building | Blockwork | Site Boundary | Topography |
| Proposed Building | Stud Frame | Setback | Opening |
| Water | Masonry | Topography | Topography Cut |
| Existing Tree | Object Above | Topography | |
| Proposed Tree | Object Below | Topography | |



EF. 1	FC CLADDING LIGHT-MEDIUM
EF. 2	SPLIT FIELDSTONE LIGHT - MEDIUM
EF. 3	ROOF SHEET LIGHT - MEDIUM
EF. 4	TIMBER ARCHITRAVE - LIGHT
EF. 5	TIMBER LIGHT - MEDIUM
EF. 6	FASCIA LIGHT - MEDIUM
EF. 7	RENDERED CONCRETE LIGHT



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PROJECT ADDRESS
37 Bushey Place, Dee Why

PROJECT STAGE
Concept

REVISION
D

DATE
02/05/2025

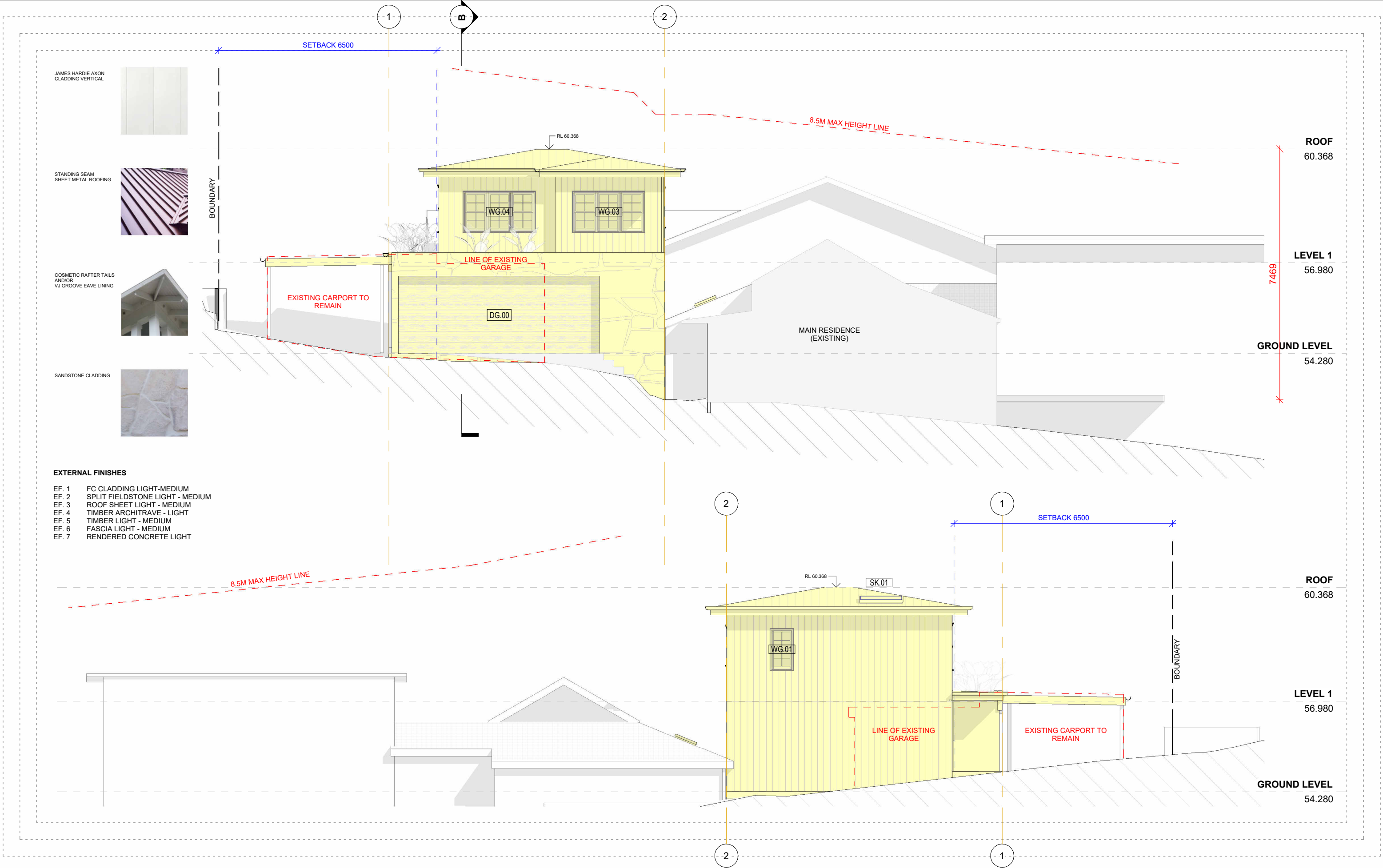
TRUE NORTH

SCALE
1 : 100
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NEW
EXISTING
EARTH
BOUNDARY

DCP ENVELOPE
LEP MAX HEIGHT LINE
EXISTING HOUSE OUTLINE
LEVEL DATUM





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Coastal Cottage [DWBP37]

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37 Bushey Place, Dee Why

PROJECT CLIENT
Grewal & Heyward

PROJECT STAGE
Concept

DRAWING NAME
Elevations E & W

REVISION
D

DRAWING NUMBER
A.03.02

DATE
02/05/2025

PROJECT NORTH
True North

TRUE NORTH

SCALE
1 : 100

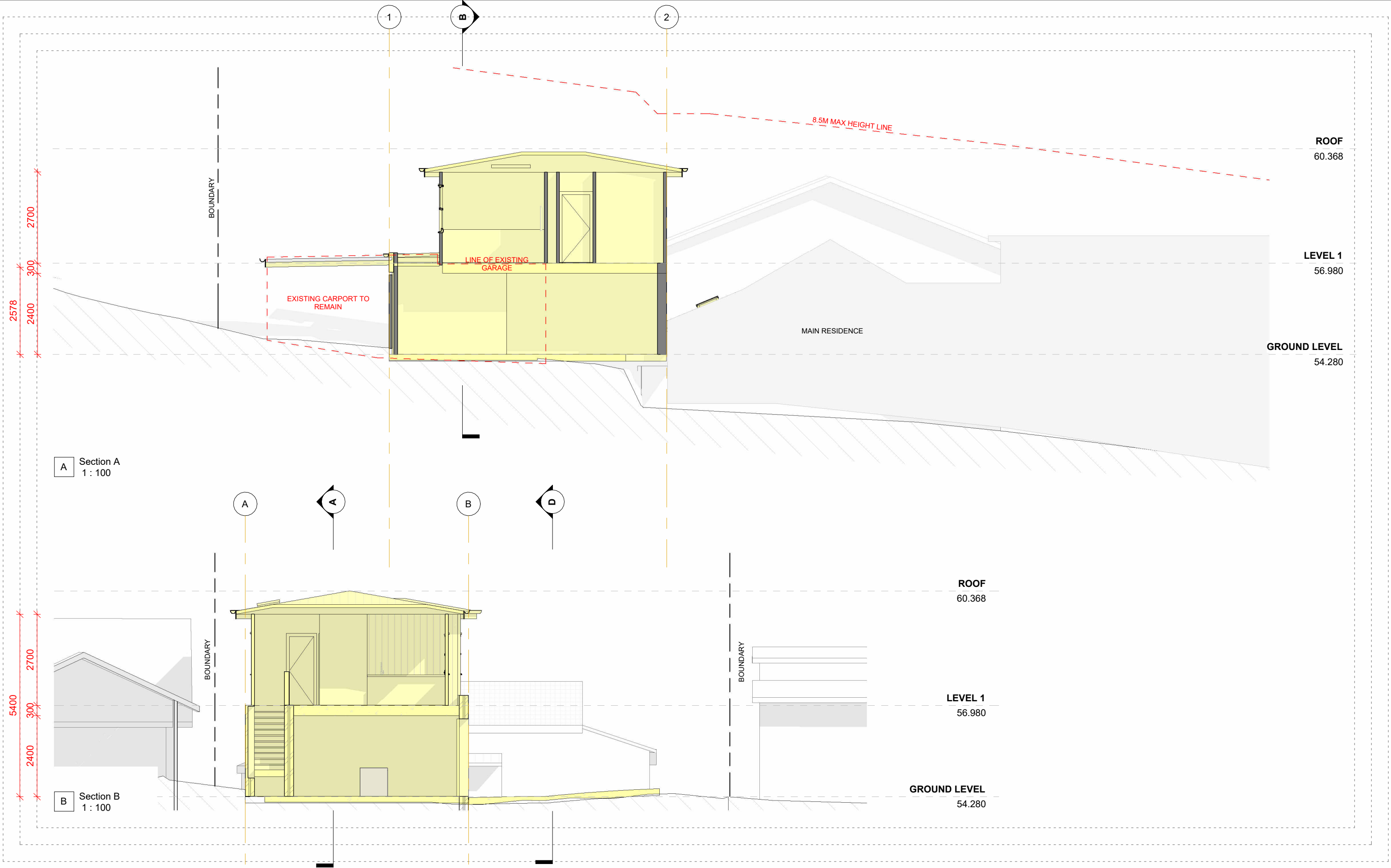
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NOTES / LEGEND

ELEVATION LEGEND

NEW EXISTING EARTH BOUNDARY

DCP ENVELOPE
LEP MAX HEIGHT LINE
EXISTING HOUSE OUTLINE
LEVEL DATUM



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Coastal Cottage [DWBP37]

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37 Bushey Place, Dee Why

PROJECT CLIENT
Grewal & Heyward

PROJECT STAGE
Concept

DRAWING NAME
Section A & B

REVISION
D

DRAWING NUMBER
A.04.01

DATE
02/05/2025

PROJECT NORTH
TRUE NORTH

RELEASED AS
DA Submission

SCALE
1 : 100

NOTES / LEGEND

SECTION LEGEND

TERRAIN CUT
EXCAVATED EARTH
WALL/FLOOR CUT



EXISTING GROUND LINE
DCP ENVELOPE
PROPOSED GROUNDLINE





Coastal & Brazilian



South African



Coastal



Coastal



South African & Modernist



Coastal

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PROJECT NAME & CODE Coastal Cottage [DWBP37]

PROJECT ADDRESS 37 Bushey Place, Dee Why

PROJECT CLIENT Grewal & Heyward

PROJECT STAGE Concept

DRAWING NAME Mood Board

REVISION A

DRAWING NUMBER A.05.01

DATE 02/05/2025

PROJECT NORTH

TRUE NORTH

SCALE

RELEASED AS DA Submission

NOTES / LEGEND

A Coastal palette with South African Architectural features for a point of difference will create a home that fits its context in Dee Why but has a strong point of difference. The main residence and the secondary dwelling should share a strong Coastal identity with low pitched roofs and expressed eaves, creating a lofty and efficient home. The Garage and possibly living areas should express the bagged renders, rounded edges & indoor-outdoor living commonly associated with South African Architecture. This two-tier design style will balance Coastal living with something less done and avoid the cookie cutter Architecture of the Northern Beaches.

LANDSCAPE AREA SCHEDULES

EXISTING LANDSCAPE AREA PLAN

AREA	AREA
GFA	
EXISTING GROUND LEVEL	135.4 m²
EXISTING LEVEL 1	32.6 m²
	168.0 m²
LANDSCAPED	
LAWN	33.7 m²
LAWN	18.7 m²
REAR LAWN	161.7 m²
	214.1 m²
SITE	
SITE	597.8 m²
	597.8 m²

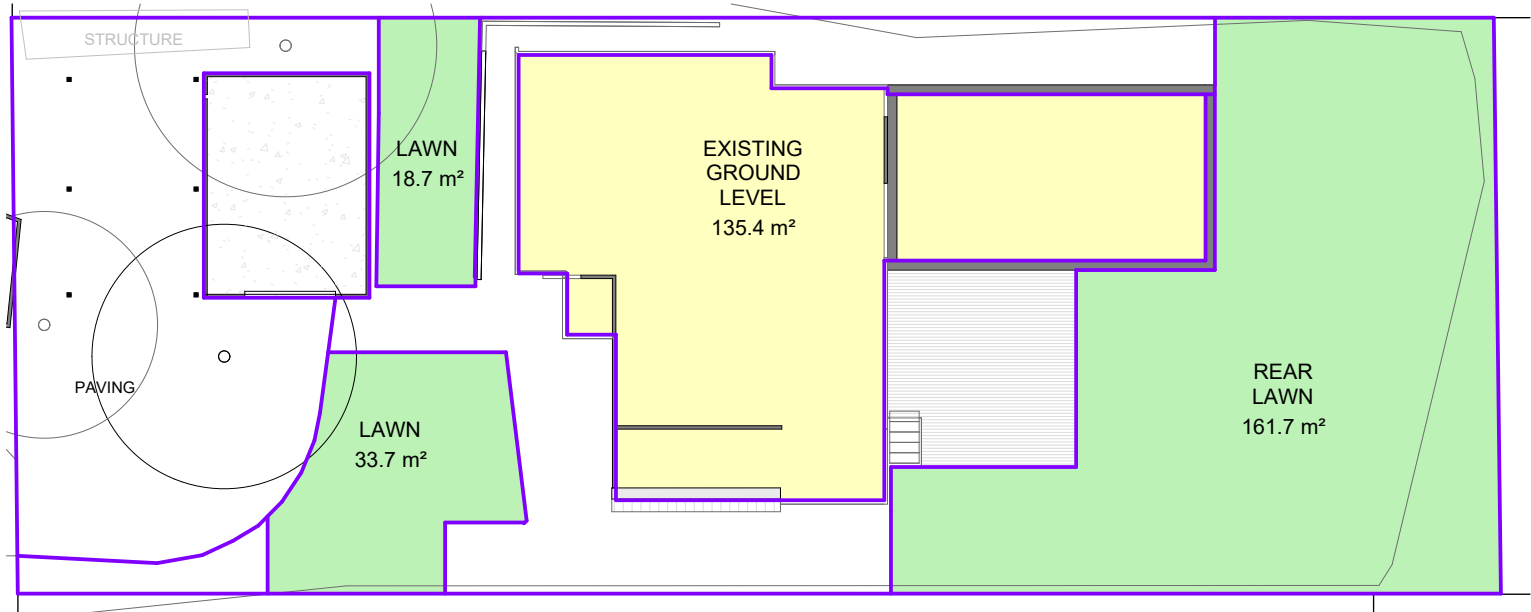
TOTAL CONSIDERABLE LANSCAPED OPEN
SPACE AREA = 214.1m²
OR
36% LOS

PROPOSED LANDSCAPE AREA PLAN

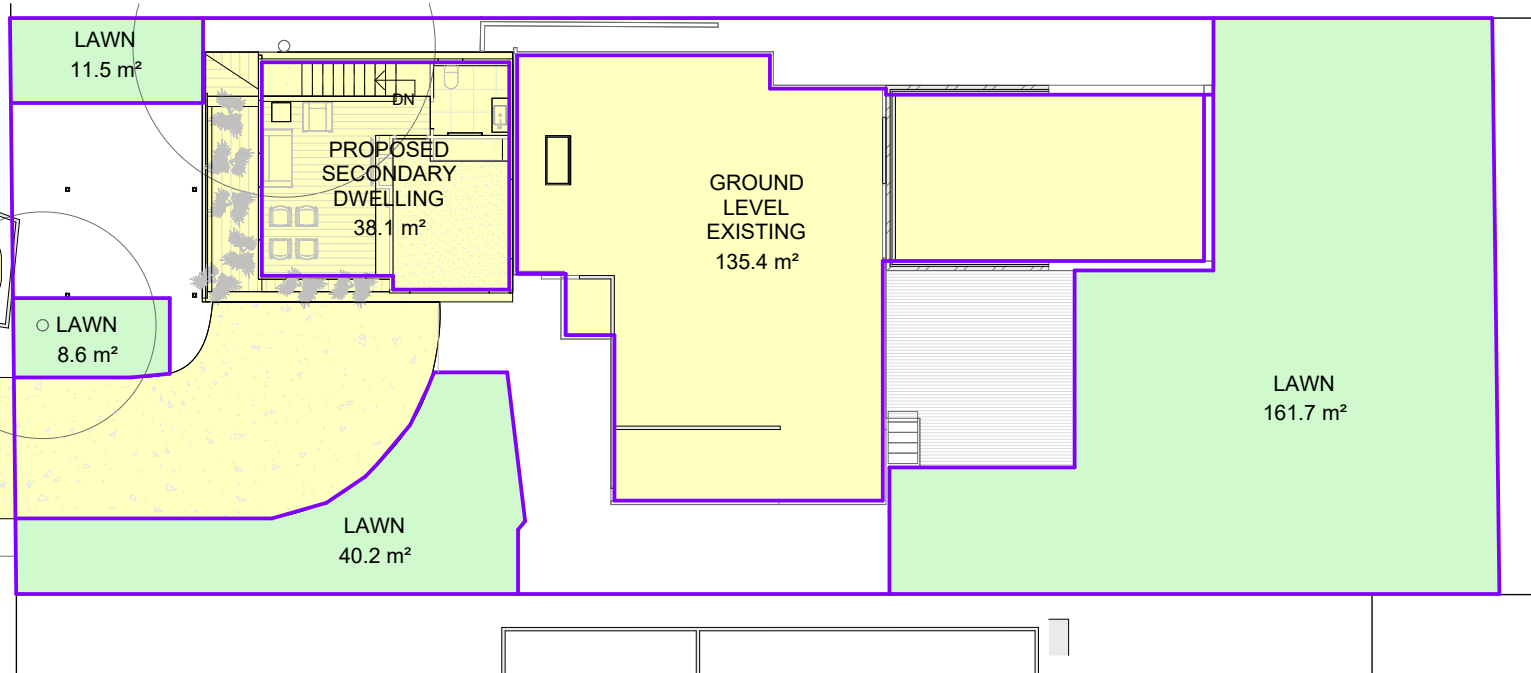
AREA	AREA
GFA	
GROUND LEVEL EXISTING	135.4 m²
LEVEL 1 EXISTING	32.6 m²
PROPOSED SECONDARY DWELLING	38.1 m²
	206.1 m²
LANDSCAPED	
LAWN	161.7 m²
LAWN	40.2 m²
LAWN	11.5 m²
LAWN	8.6 m²
	222.0 m²
SITE	
SITE	597.8 m²
	597.8 m²

TOTAL CONSIDERABLE LANSCAPED OPEN
SPACE AREA = 222.0m²
OR
37% LOS

TOTAL SITE AREA:	638.7
EXISTING LANDSCAPED AREA:	214.1
PROPOSED LANDSCAPED AREA:	222.0



1 EXISTING LANDSCAPE AREA PLAN
1 : 200



2 PROPOSED LANDSCAPE AREA PLAN
1 : 200

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Coastal Cottage [DWBP37]

PROJECT ADDRESS
37 Bushey Place, Dee Why

PROJECT CLIENT
Grewal & Heyward

PROJECT STAGE
Concept

DRAWING NAME
Landscape Area Plan

REVISION
E

DRAWING NUMBER
A.05.02

DATE
02/05/2025

PROJECT NORTH
N

TRUE NORTH
N

SCALE
1 : 200

RELEASED AS
DA Submission

NOTES / LEGEND

LANDSCAPED
IMPERVIOUS
HOUSE
VARIATION / POS
(PRIVATE OPEN SPACE)



BASIX™Certificate

Building Sustainability Index
www.planningportal.nsw.gov.au/development-and-assessment/basix

Single Dwelling

Certificate number: 1792797S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.planningportal.nsw.gov.au/definitions

Secretary
Date of issue: Thursday, 24 April 2025
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



Project summary		
Project name	Dee Why 37 Bushey Place	
Street address	37 BUSHEY Place DEE WHY 2099	
Local Government Area	Northern Beaches Council	
Plan type and plan number	Deposited Plan DP737235	
Lot no.	52	
Section no.	-	
Project type	dwelling house (attached) - secondary dwelling	
No. of bedrooms	1	
Project score		
Water	✔ 45	Target 40
Thermal Performance	✔ Pass	Target Pass
Energy	✔ 100	Target 68
Materials	✔ -100	Target n/a

Certificate Prepared by
Name / Company Name: The Trustee for Studio Lykke
ABN (if applicable):

Description of project

Project address		Assessor details and thermal loads	
Project name	Dee Why 37 Bushey Place	NatHERS assessor number	n/a
Street address	37 BUSHEY Place DEE WHY 2099	NatHERS certificate number	n/a
Local Government Area	Northern Beaches Council	Climate zone	n/a
Plan type and plan number	Deposited Plan DP737235	Area adjusted cooling load (MJ/ m².year)	n/a
Lot no.	52	Area adjusted heating load (MJ/ m².year)	n/a
Section no.	-	Project score	
Project type	dwelling house (attached) - secondary dwelling	Water	✔ 45 Target 40
No. of bedrooms	1	Thermal Performance	✔ Pass Target Pass
Site details		Energy	✔ 100 Target 68
Site area (m²)	598	Materials	✔ -100 Target n/a
Roof area (m²)	53		
Conditioned floor area (m²)	34.0		
Unconditioned floor area (m²)	4.0		
Total area of garden and lawn (m²)	5		
Roof area of the existing dwelling (m²)	160		
Number of bedrooms in the existing dwelling	3		

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✔	✔
The applicant must install a toilet flushing system with a minimum rating of 6 star in each toilet in the development.		✔	✔
The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.		✔	
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.		✔	
Alternative water			
Greywater diversion system			
The applicant must install a greywater diversion system on the site. This system must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.		✔	✔
The applicant must configure the greywater diversion system so that greywater for diversion is collected from: • each bathroom (but not the toilets)		✔	✔
The applicant must connect the greywater diversion system to: • a sub-surface irrigation system (Note: NSWHealth does not recommend that greywater be used to irrigate edible plants which are consumed raw.)		✔	✔

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Do-it-yourself Method			
General features			
The dwelling must be a Class 1 dwelling according to the National Construction Code, and must not have more than 2 storeys.	✔	✔	✔
The conditioned floor area of the dwelling must not exceed 300 square metres.	✔	✔	✔
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✔	✔	✔
The dwelling must not contain third level habitable attic room.	✔	✔	✔
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✔	✔	✔
The applicant must adopt one of the options listed in the tables below to address thermal bridging in metal framed floor(s), walls and ceiling/roof of the dwelling.	✔	✔	✔
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.			✔

Construction	Area - m²	Additional insulation required	Options to address thermal bridging	Other specifications
floor - concrete slab on ground, conventional slab.	45	nil/not specified	nil	
floor - suspended floor above garage, concrete - suspended; frame: light steel frame.	33	nil;fibreglass batts or roll	nil	
garage floor - concrete slab on ground.	43	none	nil	

Construction	Area - m²	Additional insulation required	Options to address thermal bridging	Other specifications
external wall: cavity brick; frame: light steel frame.	6	0.50 (or 1.20 including construction) with one of the measures to address thermal bridging:rockwool batts, roll or pump-in	• Install • Install	wall colour: Light (solar absorptance < 0.48)
external wall: framed (fibre cement sheet or boards); frame: timber - H2 treated softwood.	70	2.50 (or 3.00 including construction);fibreglass batts or roll	nil	wall colour: Light (solar absorptance < 0.48)
external garage wall: cavity brick; frame: light steel frame.	70	rockwool batts, roll or pump-in	nil	
internal wall shared with garage: cavity brick wall; frame: light steel frame.	4	nil;fibreglass batts or roll	nil	
internal wall: plasterboard; frame: light steel frame.	70	none	nil	
internal wall: plasterboard; frame: timber - H2 treated softwood.	70	rockwool batts, roll or pump-in	nil	
ceiling and roof - flat ceiling / flat roof, framed - metal roof, timber - H2 treated softwood.	52	ceiling: 5.7 (up), roof: foil/ sarking; ceiling: fibreglass batts or roll; roof: foil/sarking.	nil	roof colour: light (solar absorptance < 0.38); 0.5 to ≤ 1.0% of ceiling area uninsulated

Note	• Insulation specified in this Certificate must be installed in accordance with the ABCB Housing Provisions (Part 13.2.2) of the National Construction Code.
Note	• If the additional ceiling insulation listed in the table above is greater than R3.0, refer to the ABCB Housing Provisions (Part 13.2.3 (6)) of the National Construction Code.
Note	• In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.
Note	• Thermal breaks must be installed in metal framed walls and applicable roofs in accordance with the ABCB Housing Provisions of the National Construction Code.

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Glazed windows, doors and skylights			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each glazed window and door.	✔	✔	✔
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	✔	✔	✔
The following requirements must also be satisfied in relation to each window and glazed door:	✔	✔	✔
• The applicant must install windows and glazed doors in accordance with the height and width, frame and glazing types listed in the table	✔	✔	✔
• Each window and glazed door must have a U- value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✔	✔
The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table).	✔	✔	✔

Skylight no.	Maximum area (m²)	Skylight specification	Shading device
SK.02	0.90	thermally broken aluminium, double/argon fill clear (U- <=3.5, SHGC: 0.21 - 0.24)	no shading
SK.01	0.90	thermally broken aluminium, double/argon fill clear (U- <=3.5, SHGC: 0.21 - 0.24)	no shading

Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
North facing					
WG02	1200.00	2100.00	timber, single glazed (U- value: Undecided, SHGC: Undecided)	eave 600 mm, 450 mm above head of window or glazed door	not overshadowed
East facing					

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric boosted solar.	✔	✔	✔
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - non ducted; Energy rating: EER > 4.0		✔	✔
The bedrooms must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.		✔	✔
Heating system			
The living areas must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.		✔	✔
The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.		✔	✔
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: please select		✔	✔
Kitchen: individual fan, ducted to façade or roof; Operation control: interlocked to light		✔	✔
Laundry: individual fan, ducted to façade or roof; Operation control: interlocked to light		✔	✔
Artificial lighting			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✔	✔
Natural lighting			
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.	✔	✔	✔

BASIX WINDOW SCHEDULE

Mark	Level	Height	Width	Area Window
------	-------	--------	-------	-------------

AFL				
SK.02	AFL	1275	665	0.8 m²
LEVEL 1				
SK.01	LEVEL 1	1275	665	0.8 m²
WG.01	LEVEL 1	1220	650	0.8 m²
WG.02	LEVEL 1	1200	2100	2.5 m²
WG.03	LEVEL 1	1200	2100	2.5 m²
WG.04	LEVEL 1	1200	2100	2.5 m²
WG.05	LEVEL 1	1400	1400	2.0 m²
WG.06	LEVEL 1	1400	1400	2.0 m²
Grand total: 8		10170	11080	14.0 m²

DOOR SCHEDULE

Mark	Level	Width	Height	Area Door
------	-------	-------	--------	-----------

GROUND LEVEL

DG.01	GROUND LEVEL	820	1840	1.5 m²
Grand total: 1		820	1840	1.5 m²

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PROJECT NAME & CODE

Coastal Cottage [DWBP37]

PROJECT CLIENT

Grewal & Heyward

PROJECT ADDRESS

37 Bushey Place, Dee Why

PROJECT STAGE

Concept

DRAWING NAME

BASIX

DRAWING NUMBER

A.05.03

REVISION

A

DATE

02/05/2025

PROJECT NORTH



SCALE

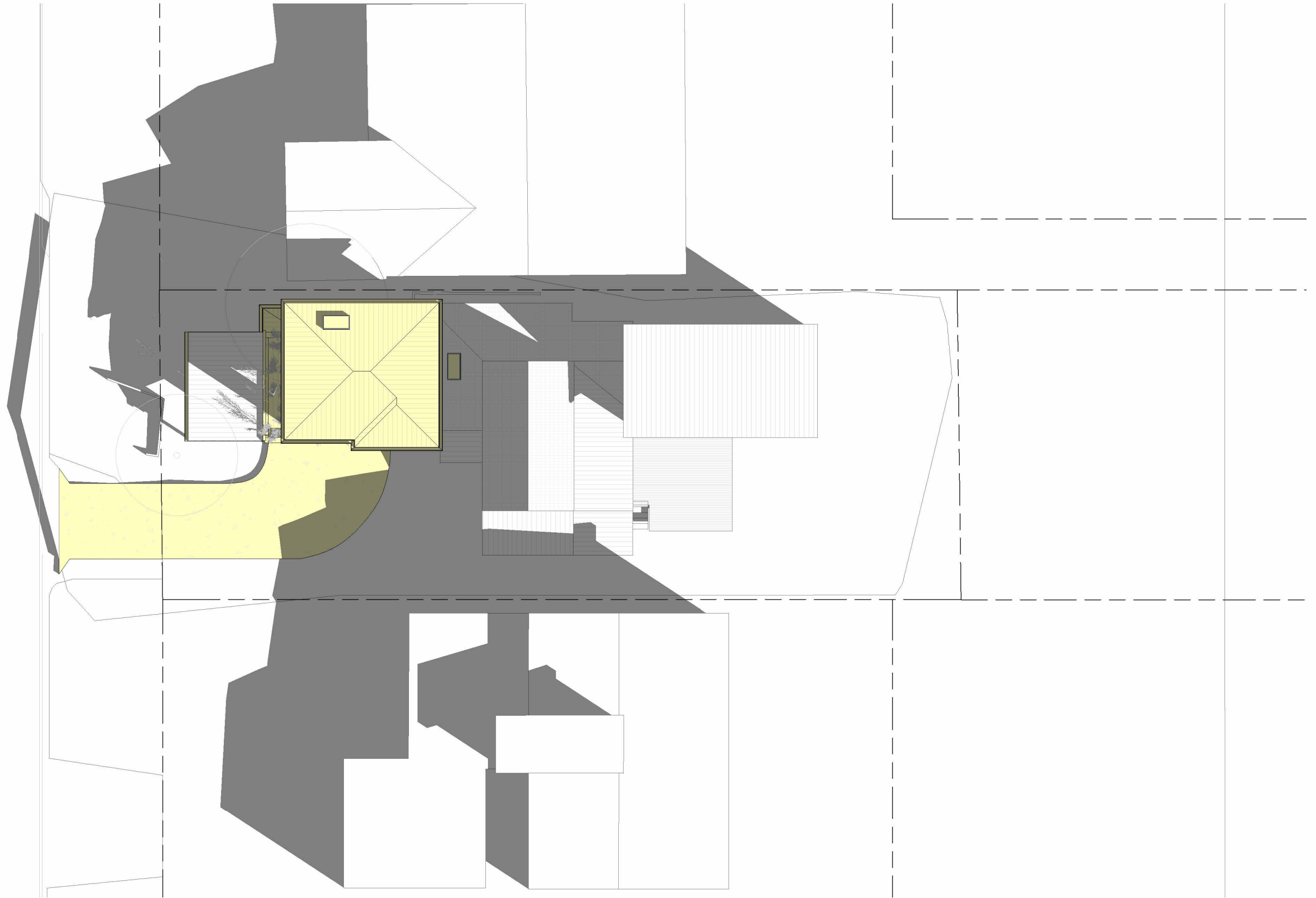
TRUE NORTH



RELEASED AS

DA Submission

NOTES / LEGEND



1 SHADOW DIAGRAM JUNE 9AM PROPOSED
1 : 200

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Concept

DRAWING NAME
SHADOW DIAGRAM
PROPOSED JUNE 9AM

REVISION
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DRAWING NUMBER
A.06.01

DATE
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PROJECT NORTH
☞

TRUE NORTH
☞

SCALE
1 : 200

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NOTES / LEGEND



1 SHADOW DIAGRAM JUNE 21 9AM EXISTING
1 : 200

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Grewal & Heyward

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EXISTING JUNE 9AM

REVISION
A

DRAWING NUMBER
A.06.02

DATE
02/05/2025

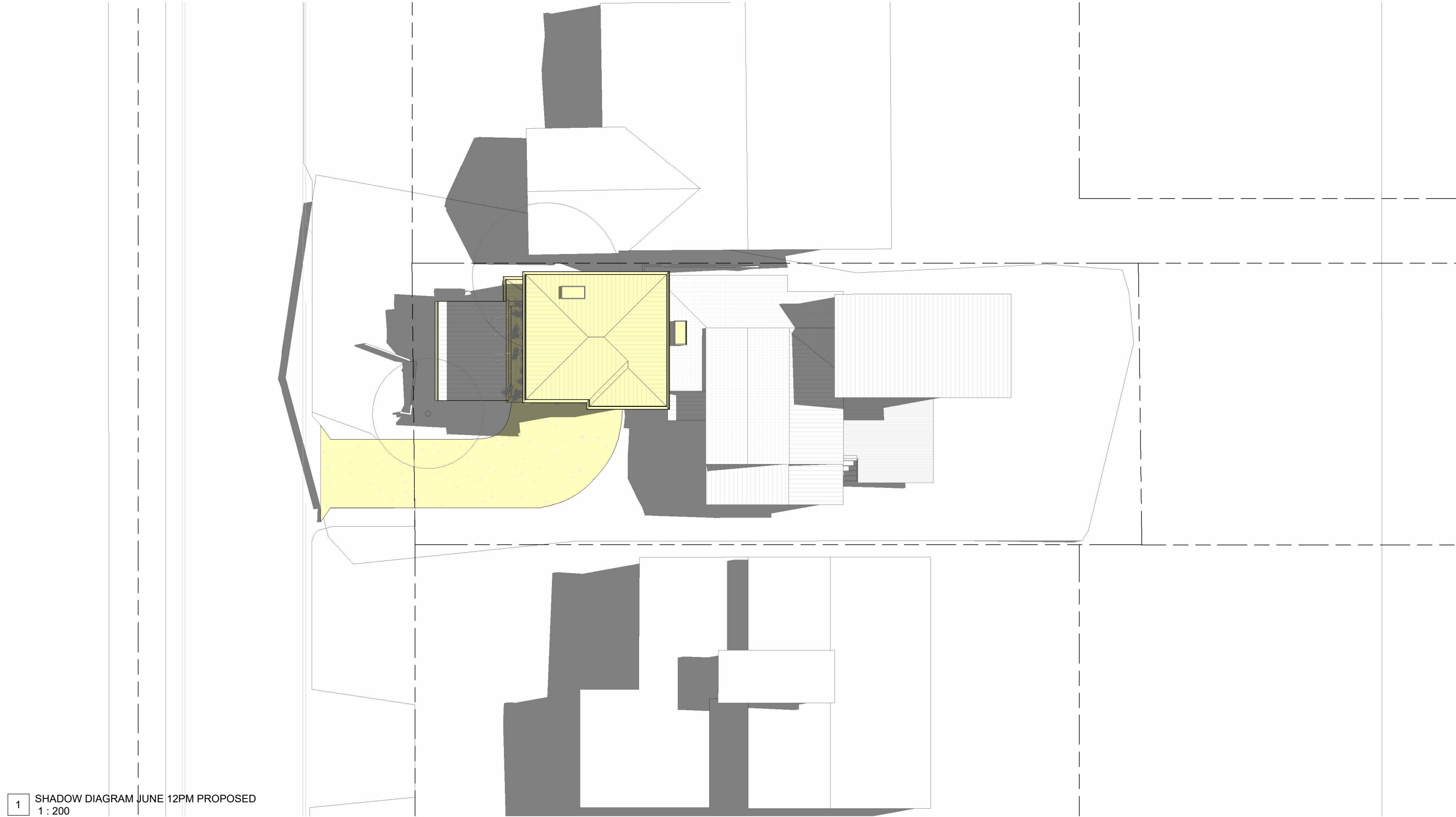
PROJECT NORTH
☞

TRUE NORTH
☞

SCALE
1 : 200

RELEASED AS
DA Submission

NOTES / LEGEND



1 SHADOW DIAGRAM JUNE 12PM PROPOSED
1 : 200

STUDIO | LYKKE

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PROJECT NAME & CODE
Coastal Cottage [DWBP37]

PROJECT ADDRESS
37 Bushey Place, Dee Why

PROJECT CLIENT
Grewal & Heyward

PROJECT STAGE
Concept

DRAWING NAME
SHADOW DIAGRAM
PROPOSED JUNE 12PM

REVISION
A

DRAWING NUMBER
A.06.03

DATE
02/05/2025

PROJECT NORTH
☞

TRUE NORTH
☞

SCALE
1 : 200

RELEASED AS
DA Submission

NOTES / LEGEND



1 SHADOW DIAGRAM JUNE 12PM EXISTING
1 : 200

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PROJECT NAME & CODE
Coastal Cottage [DWBP37]

PROJECT ADDRESS
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PROJECT CLIENT
Grewal & Heyward

PROJECT STAGE
Concept

DRAWING NAME
SHADOW DIAGRAM
EXISTING JUNE 12PM

REVISION
A

DRAWING NUMBER
A.06.04

DATE
02/05/2025

PROJECT NORTH
☞

TRUE NORTH
☞

SCALE
1 : 200

RELEASED AS
DA Submission

NOTES / LEGEND



1 SHADOW DIAGRAM JUNE 3PM PROPOSED
1 : 200

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PROJECT NAME & CODE
Coastal Cottage [DWBP37]

PROJECT ADDRESS
37 Bushey Place, Dee Why

PROJECT CLIENT
Grewal & Heyward

PROJECT STAGE
Concept

DRAWING NAME
SHADOW DIAGRAM
PROPOSED JUNE 3PM

REVISION
A

DRAWING NUMBER
A.06.05

DATE
02/05/2025

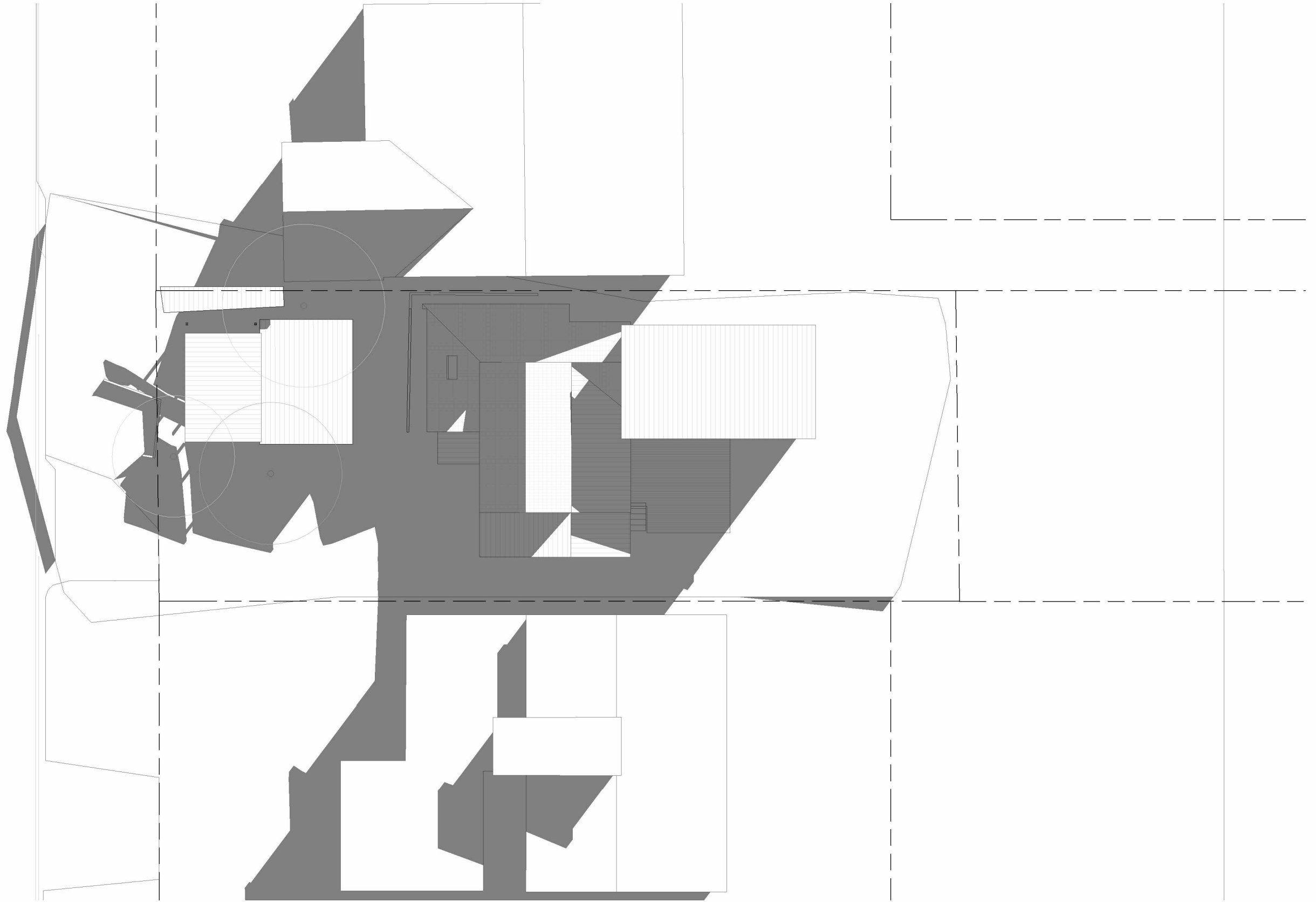
PROJECT NORTH
☞

TRUE NORTH
☞

SCALE
1 : 200

RELEASED AS
DA Submission

NOTES / LEGEND



1 SHADOW DIAGRAM JUNE 3PM EXISTING
1 : 200

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PROJECT NAME & CODE
Coastal Cottage [DWBP37]

PROJECT ADDRESS
37 Bushey Place, Dee Why

PROJECT CLIENT
Grewal & Heyward

PROJECT STAGE
Concept

DRAWING NAME
SHADOW DIAGRAM
EXISTING JUNE 3PM

REVISION
A

DRAWING NUMBER
A.06.06

DATE
02/05/2025

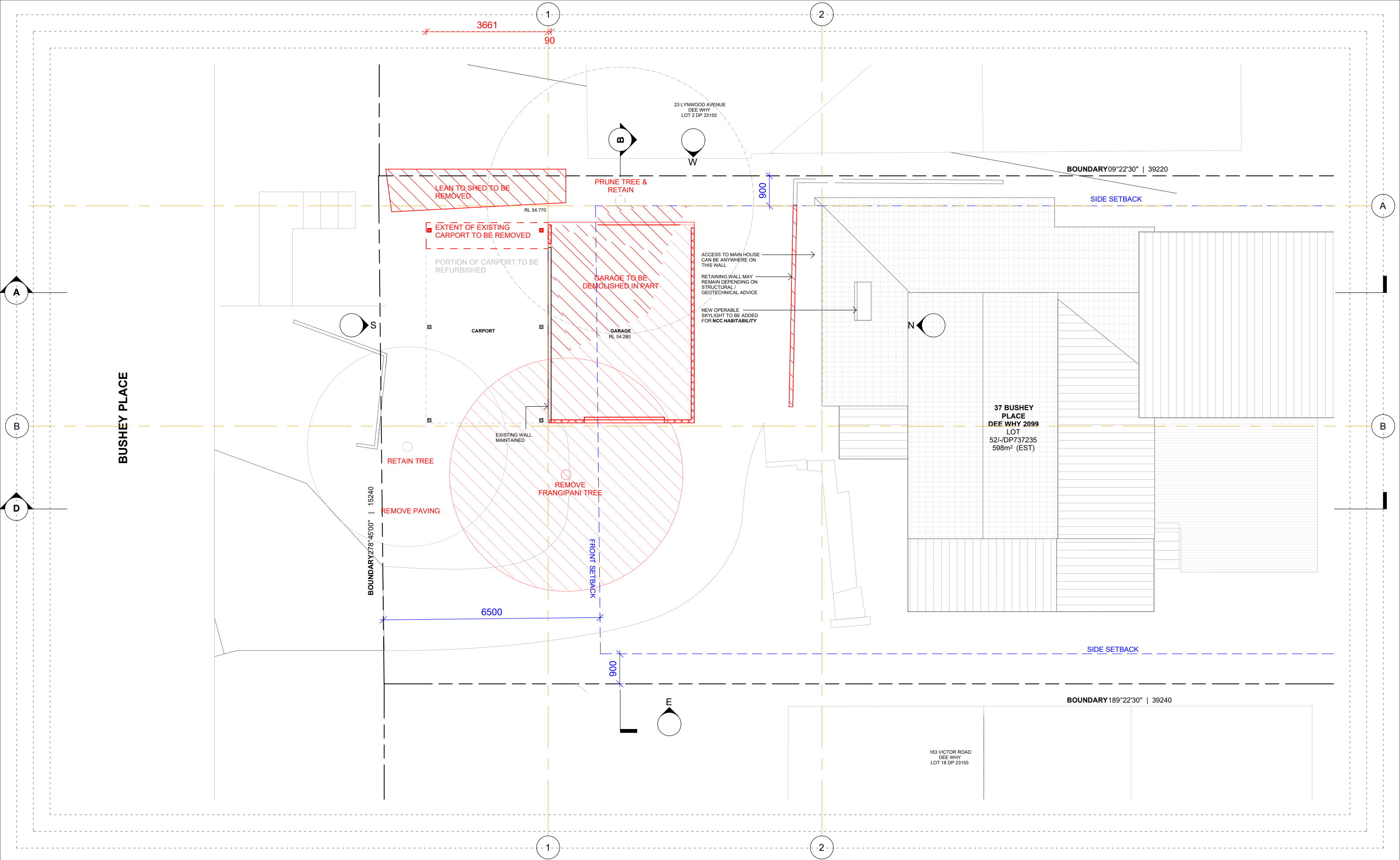
PROJECT NORTH


TRUE NORTH


SCALE
1 : 200

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NOTES / LEGEND



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PROJECT NAME & CODE
Coastal Cottage [DWBP37]

PROJECT ADDRESS
37 Bushey Place, Dee Why

PROJECT CLIENT
Grewal & Heyward

PROJECT STAGE
Concept

DRAWING NAME
Garage Demoliton Plan

REVISION
E

DRAWING NUMBER
D.02.01

DATE
02/05/2025

PROJECT NORTH
N

TRUE NORTH
N

SCALE
As indicated

RELEASED AS
DA Submission

NOTES / LEGEND

DEMOLITION PLAN

DEMOLISHED
EXISTING