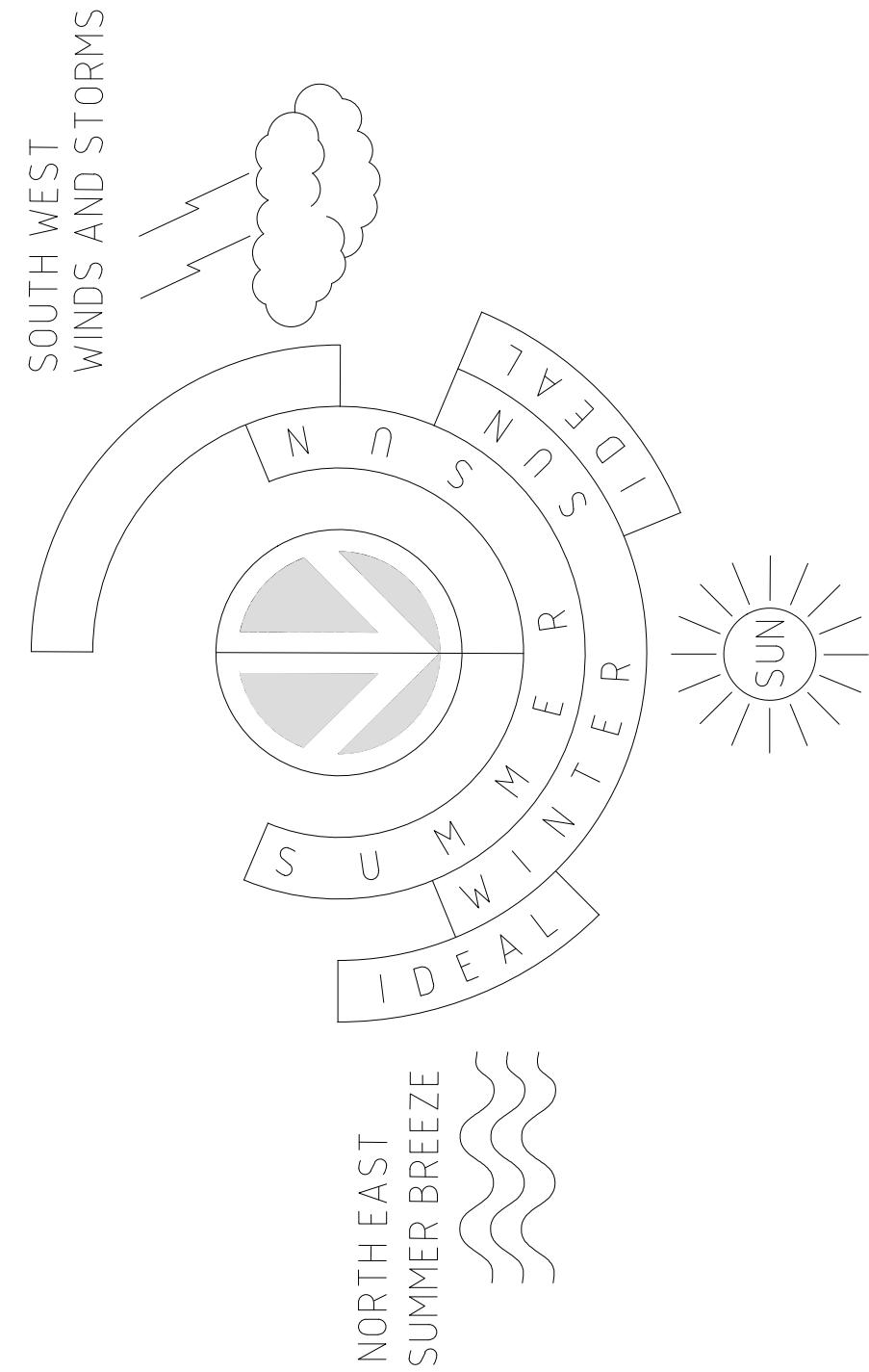
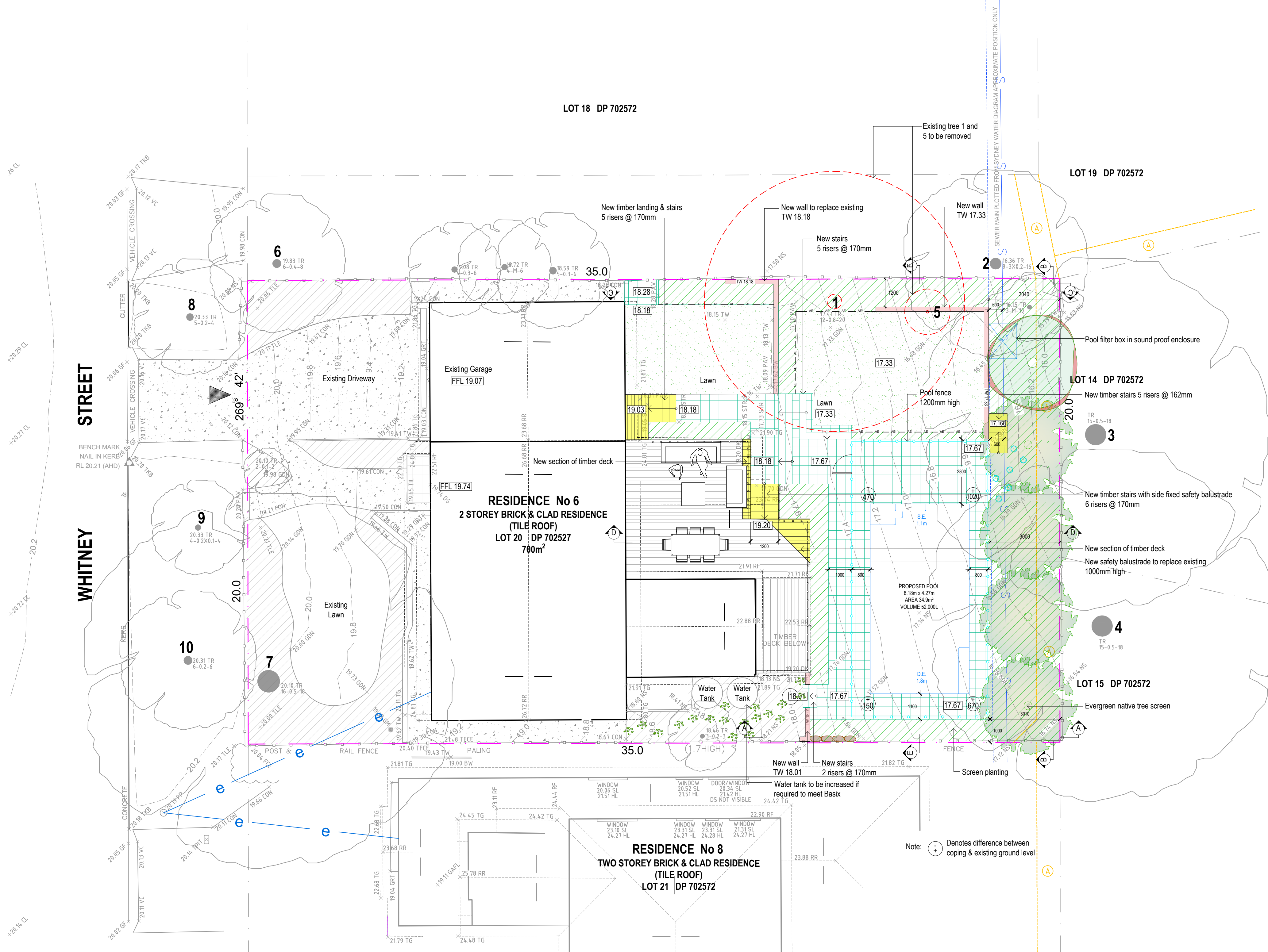


- LEGEND**
- BOUNDARY
 - EASEMENT
 - SEWER
 - 600mm SEWER SETBACK
 - TO BE REMOVED
 - EXISTING CONTOURS
 - ALUMINIUM EDGE
 - EXISTING CONCRETE
 - EXISTING FENCE
 - EXISTING TIMBER DECK
 - PROPOSED FENCE
 - PROPOSED SAFETY BALUSTRADE
 - PROPOSED POOL FENCE
 - PROPOSED PAVING
 - PROPOSED TIMBER DECK
 - PROPOSED WALL
 - PROPOSED TURF
 - EXISTING PLANTING TO BE RETAINED
 - PROPOSED PLANTING
 - PROPOSED LEVELS
 - TREE TO BE RETAINED
 - TREE TO BE REMOVED
REFER TO ARBORIST REPORT



SITE ANALYSIS LEGEND	
	SITE VEHICLE ENTRY
NEW WORKS COLOURS	
	TIMBER
	GLASS
	BRICK
	CONCRETE
	METAL

BASIX REQUIREMENTS

RAINWATER TANK
THE APPLICANT MUST INSTALL A RAINWATER TANK OF AT LEAST 2013 LITRES ON THE SITE. THIS RAINWATER TANK MUST MEET, AND BE INSTALLED IN ACCORDANCE WITH, THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES. THE APPLICANT MUST CONFIGURE THE RAINWATER TANK TO COLLECT RAINWATER RUNOFF FROM AT LEAST 100 SQUARE METRES OF ROOF AREA. THE APPLICANT MUST CONNECT THE RAINWATER TANK TO A TAP LOCATED WITHIN 10 METRES OF THE EDGE OF THE POOL.

OUTDOOR SWIMMING POOL
THE SWIMMING POOL MUST BE OUTDOORS. THE SWIMMING POOL MUST NOT HAVE A CAPACITY GREATER THAN 52 KILOLITRES. THE SWIMMING POOL MUST HAVE A POOL COVER. THE APPLICANT MUST INSTALL A POOL PUMP/TIMER FOR THE SWIMMING POOL. THE APPLICANT MUST INSTALL THE FOLLOWING HEATING SYSTEM FOR THE SWIMMING POOL THAT IS PART OF THIS DEVELOPMENT: ELECTRIC HEAT PUMP.

TITLE INDICATES THAT LOT 20 IN D.P.702572 IS SUBJECT TO:

- RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- DP702572 EASEMENT TO DRAIN WATER 1 WIDE AND VARIABLE AFFECTING THE PART OF THE LAND ABOVE DESCRIBED SHOWN SO BURDENED IN THE TITLE DIAGRAM
- DP702572 EASEMENT TO DRAIN WATER VARIABLE WIDTH APPURTENANT TO THE LAND ABOVE DESCRIBED
- DP702572 RESTRICTION(S) ON THE USE OF LAND
- DP702572 EASEMENT TO DRAIN WATER 1 WIDE APPURTENANT TO THE LAND ABOVE DESCRIBED

NOTES:

Consultors to check and verify all dimensions and all levels on site prior to any works.
Any discrepancies should be immediately referred to Space Landscape Designs.
All work to comply with N.C.A. Statutory Authorities and relevant Australian Standards.
Dimensions designed over existing. All measurements are in millimetres.

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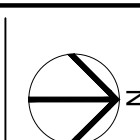
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SPACE
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Brookvale NSW 2100

PROJECT:
Pool & landscaping
SITE ADDRESS:
6 Whitney Street,
MONA VALE NSW 2103

CLIENT: Jameson
DRN: C.Wallace (B.LArch)
SCALE: 1:100@A1
PROJECT NO: 232094

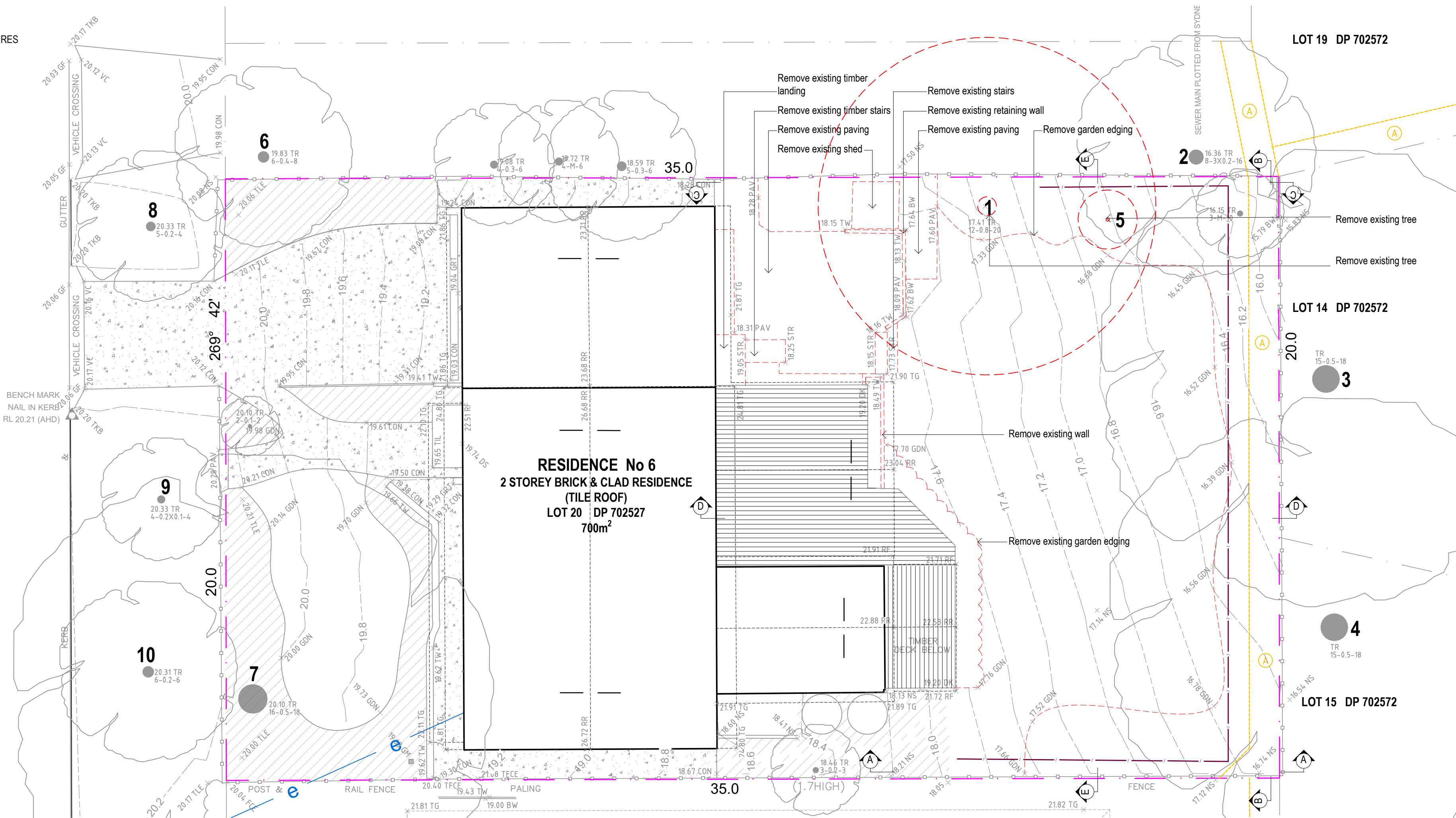


DRAWING TITLE:

SITE PLAN / SITE ANALYSIS
DRAWING NO:
DA-01

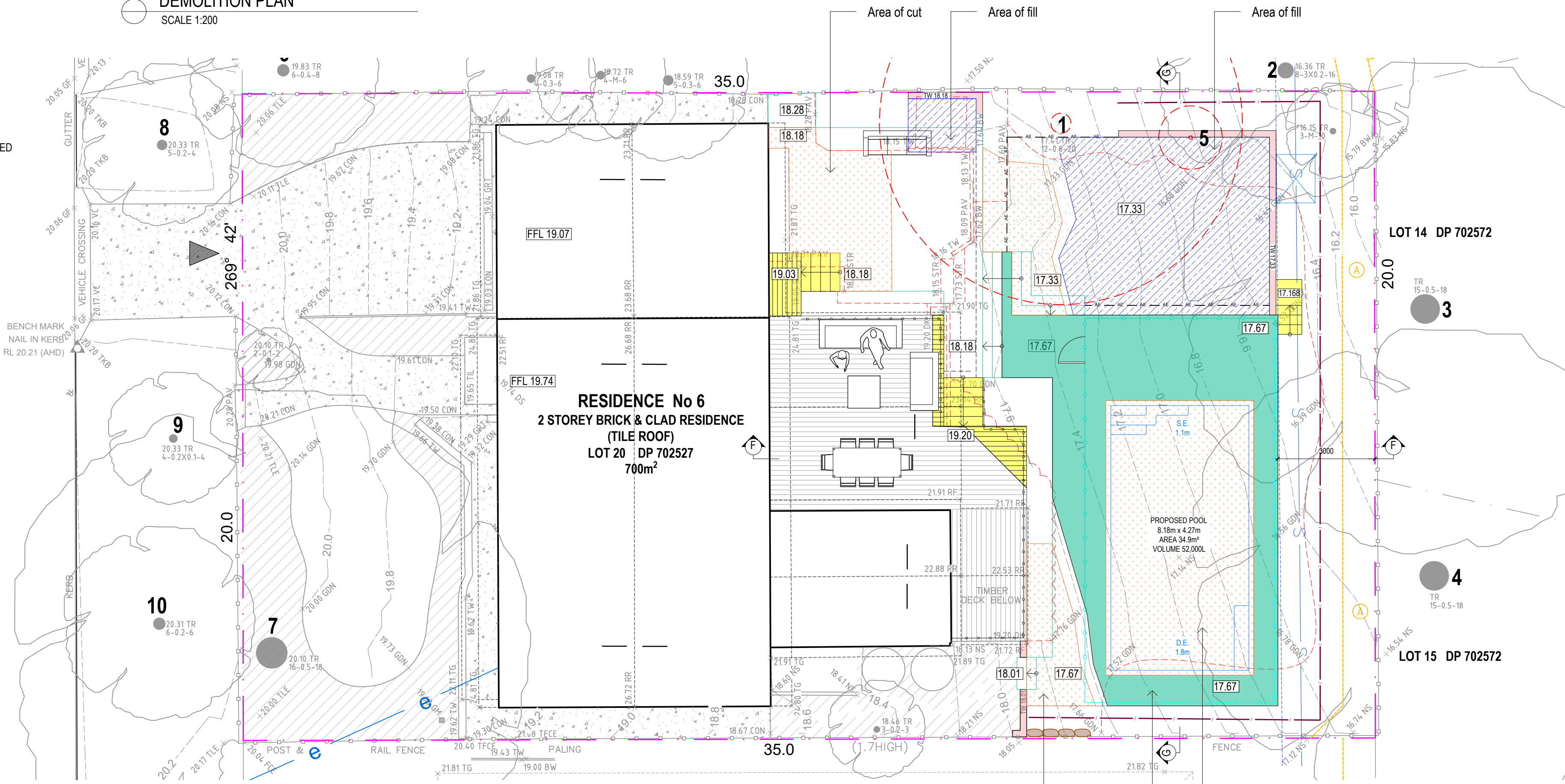
Rev: D

LEGEND
EXISTING STRUCTURES
TO BE REMOVED

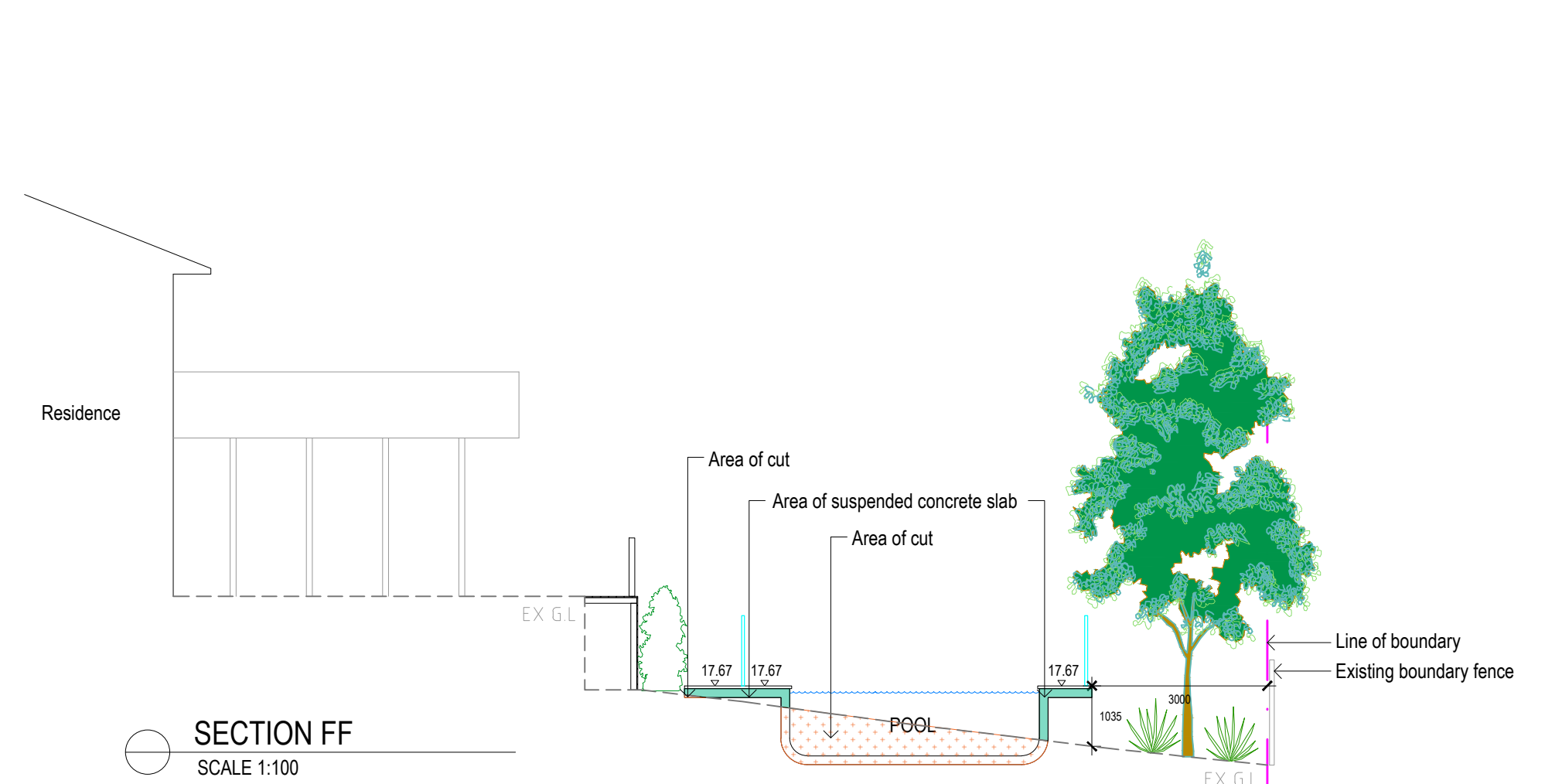


DEMOLITION PLAN
SCALE 1:200

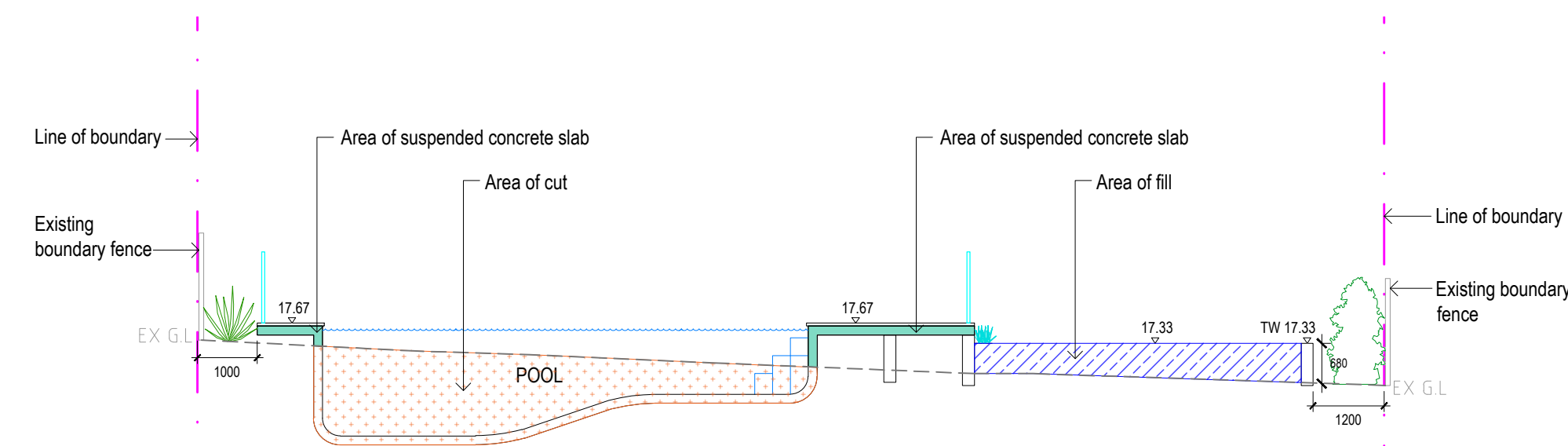
LEGEND
AREA OF CUT
AREA OF FILL
AREA OF SUSPENDED
CONCRETE SLAB



EXCAVATION AND FILL PLAN
SCALE 1:100



SECTION FF
SCALE 1:100



SECTION GG
SCALE 1:100

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6 Whitney Street,
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CLIENT: Jameson
DRN: C.Wallace (B.LArch)
SCALE: 1:100@A1
PROJECT NO: 232094

DRAWING TITLE:
DEMOLITION PLAN /
EXCAVATION & FILL PLAN
DRAWING NO:
DA-02
Rev: C

Existing pergola
Existing timber deck
New safety balustrade to replace existing 1000mm high
Residence
Proposed planting to front of timber deck
Access path
Glass pool fence with S/C and S/L gate 1200mm high
Pool concourse
POOL
New wall TW 81.01
New stairs 2 risers @ 170mm
Extent of pool shell to rear
Proposed screen planting
Line of boundary
Existing boundary fence

This site plan illustrates the proposed landscaping and pool area for the rear garden. Key features include:

- Pool Area:** A rectangular pool with a glass fence (1200mm high) and a pool filter box in a soundproof enclosure. The pool is surrounded by a pool concourse.
- Landscaping:** New planting, including a large tree, is shown. The plan also indicates existing trees and a line of boundary.
- Stairs and Decking:** New stairs and landing to the pool concourse/lawn (5 risers @ 170mm) and new timber stairs and landing to replace existing (5 risers @ 170mm) are shown. A new timber deck extension, stairs, and safety balustrade (1000mm high) are also indicated.
- Residence:** The residence is shown on the right side of the plan, with a new screen planting on the existing grade to the side boundary.
- Levels and Dimensions:** Various levels (e.g., TW 17.33, TW 17.67, TW 18.18, TW 18.28) and dimensions (e.g., 3040, 1000) are provided for the pool area and surrounding landscape.

Residence

Existing pergola

Existing timber deck

Proposed timber deck extension

Safety balustrade
1000mm high

Proposed planting to front of timber deck

Access path

Glass pool fence with S/C and S/L gate
1200mm high

Pool concourse

Proposed screen planting

Line of boundary

Existing boundary fence

SECTION DD

SCALE 1:100

Extent of pool shell to engineers details

EX G.L.

EX G.L.

1000

1000

800

4270

900

17.67

17.67

1035

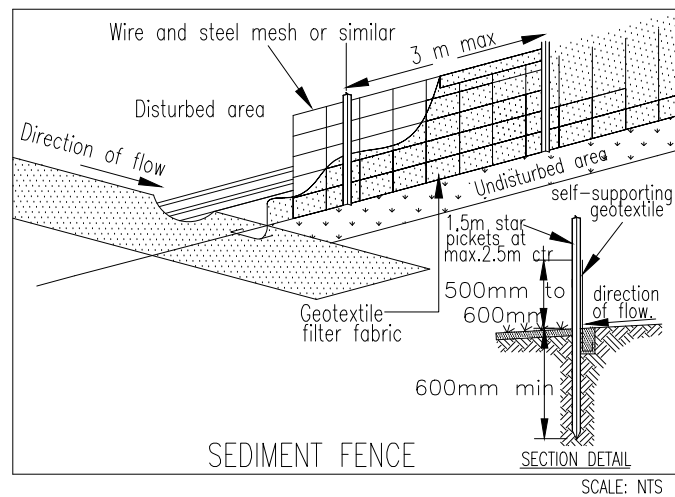
3000

POOL

[illegible]

Rev: C

	BOUNDARY
	EASEMENT
	SEWER
	600mm SEWER SETBACK
	TO BE REMOVED
	EXISTING CONTOURS
	SEDIMENT CONTROL FENCE
	ALUMINIUM EDGE
	EXISTING CONCRETE
	EXISTING FENCE
	EXISTING TIMBER DECK
	PROPOSED FENCE
	PROPOSED SAFETY BALUSTRADE
	PROPOSED POOL FENCE
	PROPOSED PAVING
	PROPOSED TIMBER DECK
	PROPOSED WALL
	PROPOSED TURF
	EXISTING PLANTING TO BE RETAINED
	PROPOSED PLANTING
	PROPOSED LEVELS

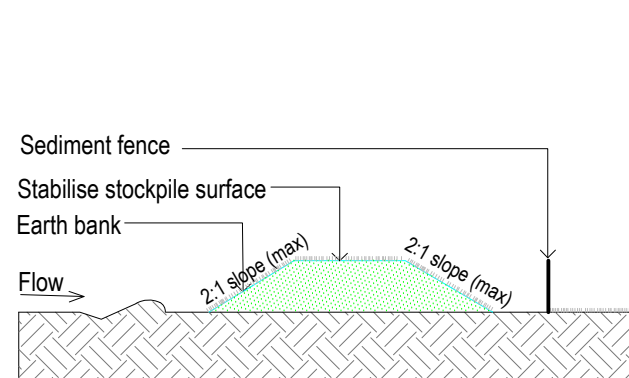


During earthworks the following procedures shall be followed:

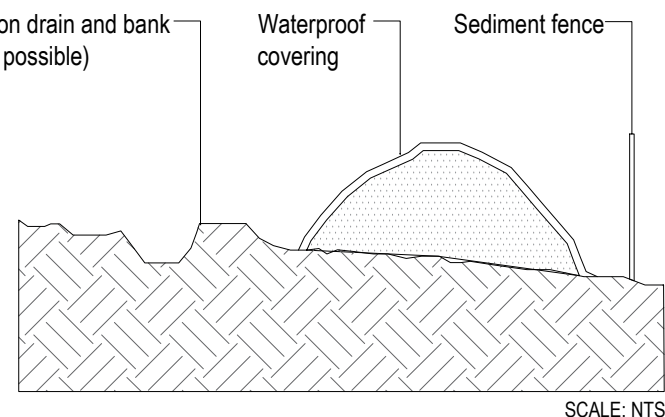
1. Install silt barriers where shown on plan prior to commencement of works.
2. Silt barriers to be maintained regularly & after heavy rain by removal of built up silt & spreading silt on existing site when 50% capacity.
3. Repair any damages to fence immediately.
4. Clean up spillages outside silt fence immediately.
5. Sediment control measures to be left in place until works completed.
6. Topsoil from the work's area will be stockpiled for later use in landscaping if necessary.
7. Approved bins for building waste, concrete and mortar slurries, paints and acid washings will be provided by contractor.

Prior to any works commencing on site, including demolition, sediment and erosion controls must be installed in accordance with Landcom's 'Managing Stormwater: Soils and Construction' (2004). Techniques used for erosion and sediment control on site are to be adequately maintained and monitored at all times, particularly after periods of heavy rain, and shall remain in proper operation until all development activities have been completed and the site is sufficiently stabilised with vegetation across 70 percent of the site, and the remaining areas have been stabilised with ongoing measures such as jute meshing or matting.

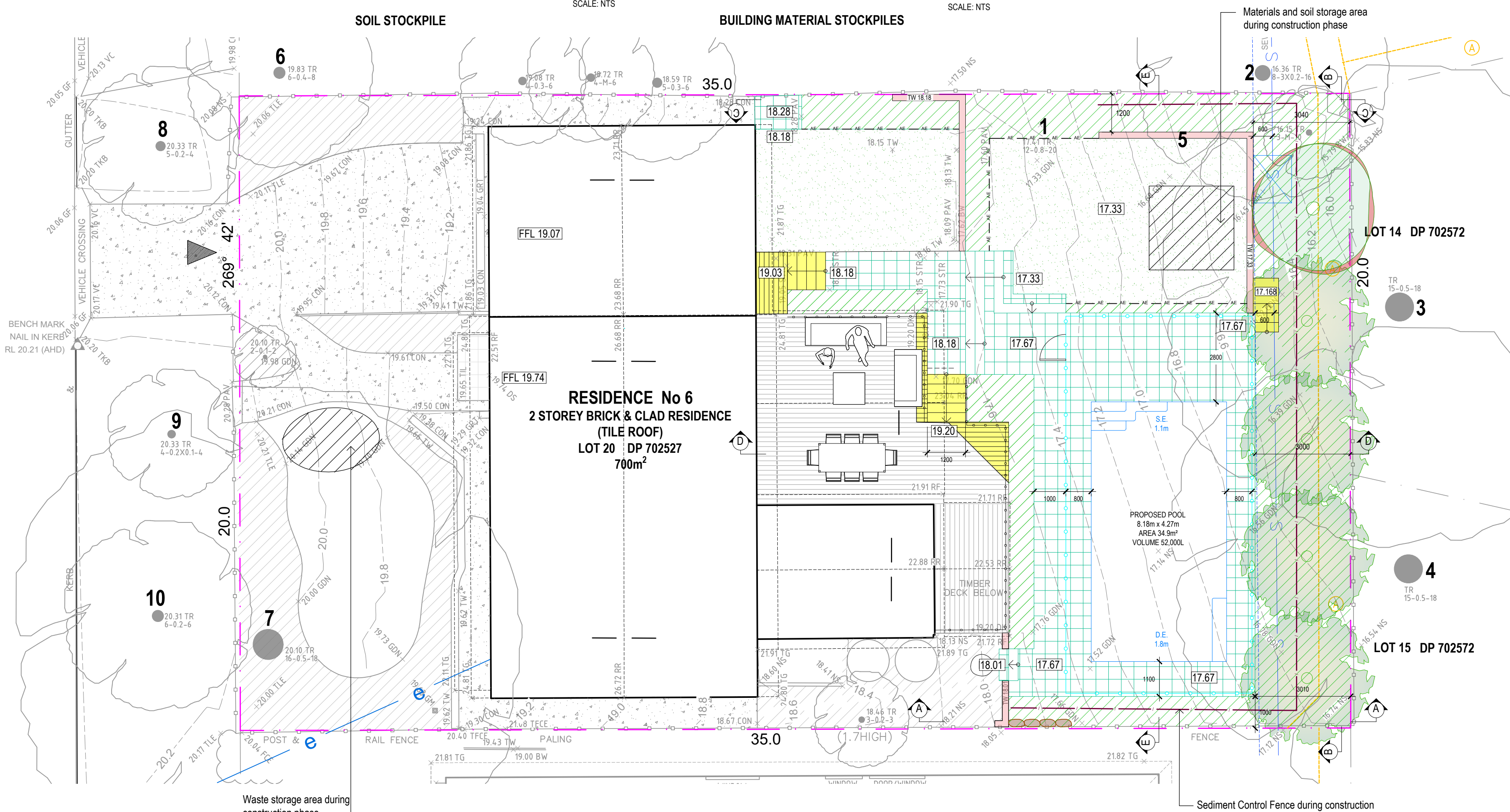
The public footways and roadways adjacent to the site shall be maintained in a safe condition at all times during the course of the works.



SOIL STOCKPILE



BUILDING MATERIAL STOCKPILES



Should any hazardous materials be identified by the contractor, contact SafeWork NSW to find a licensed removalist and assessor.

Notify SafeWork NSW five calendar days before undertaking any licenced asbestos removal work.

The site must be fenced prior to demolition and must comply with Safework NSW requirements. Demolition to be carried out in accordance with AS 2601-2001, *The Demolition of Structures*.

The person responsible for the development site is to erect or install on or around the development area such temporary structures or appliances (wholly within the development site) as are necessary to protect persons or property and to prevent unauthorised access to the site in order for the land or premises to be maintained in a safe or healthy condition.

- No demolition material shall be placed on Council's footpath, road or grass verges without Council Approval.
- Upon completion of the development, such temporary structures or appliances are to be removed within 7 days.
- Demolition works are restricted to 8am to 5pm Monday to Friday Only
- Where demolition works have been completed and new construction works have not commenced within 4 weeks of completion of the demolition works that area affected by the demolition works shall be maintained in a safe and clean state until such time new construction works commence.

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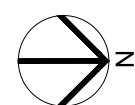
S P A C E
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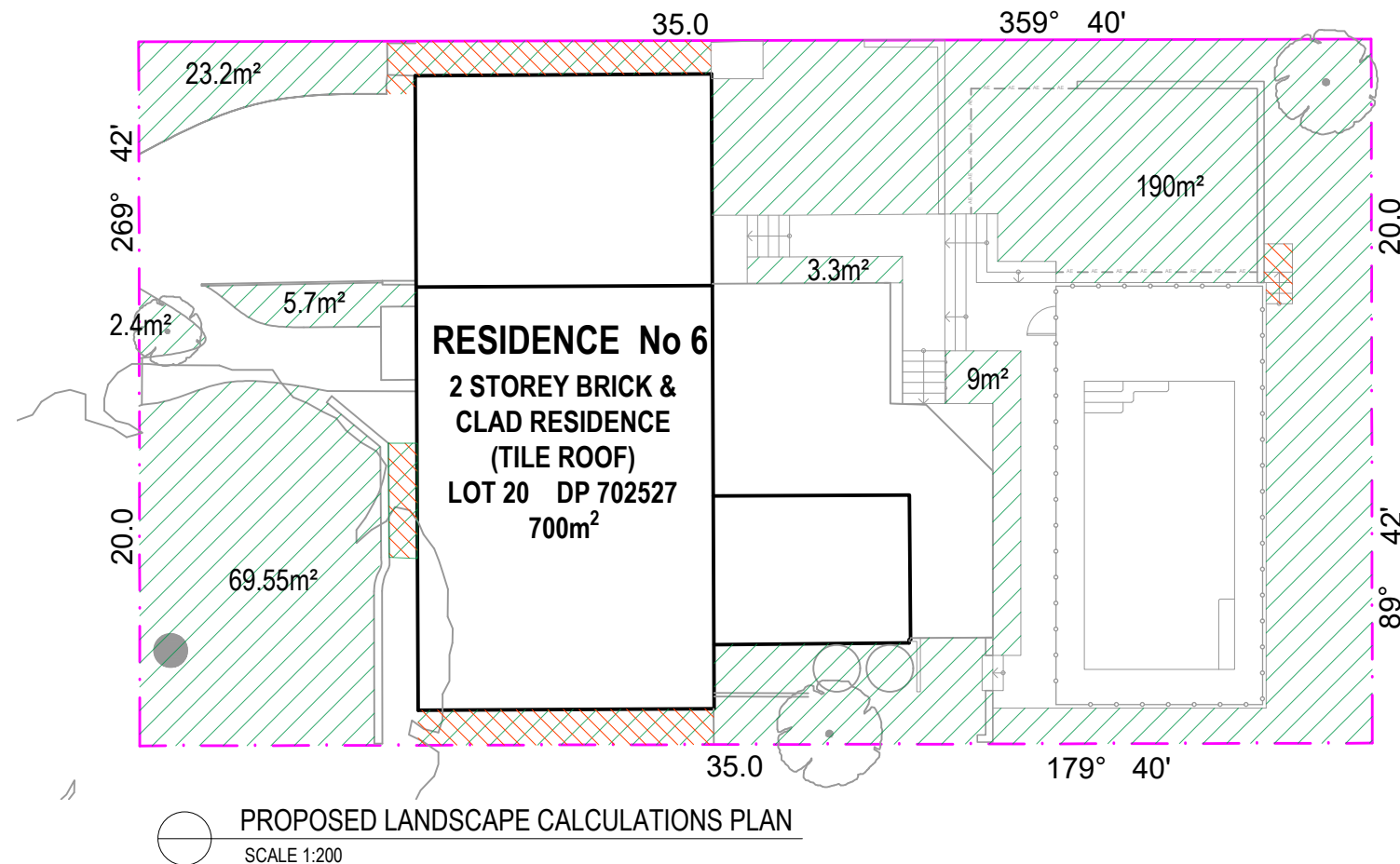
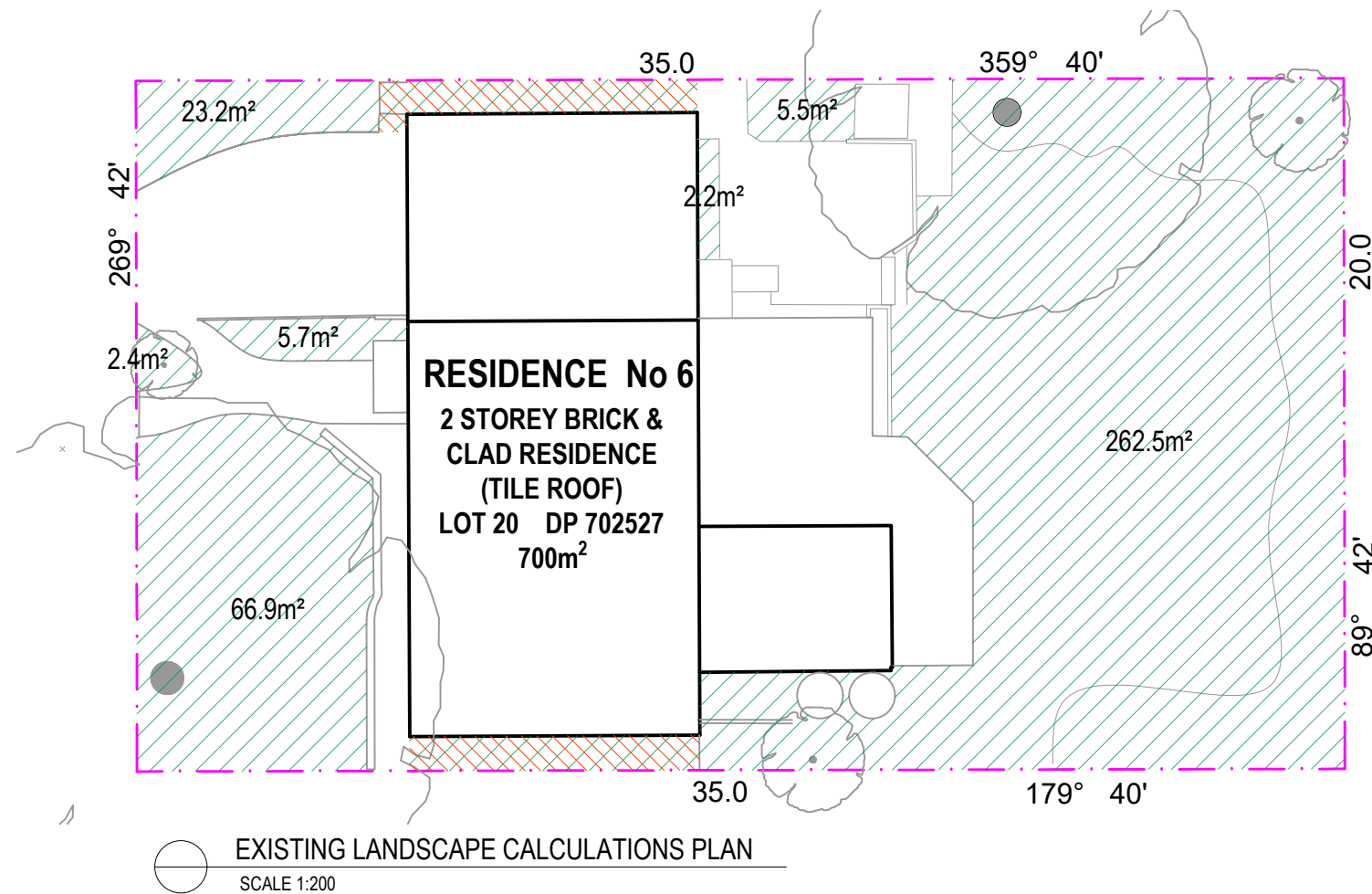
CLIENT:	Jameson
DRN:	C.Wallace (B.LArch)
SCALE:	1:100@A2
PROJECT NO:	232094



DRAWING TITLE:
**EROSION & SEDIMENT
CONTROL PLAN**

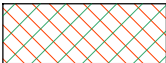
DRAWING No:
DA-04

Rev: D



LANDSCAPE AREA CALCULATIONS FOR R2 LOW DENSITY RESIDENTIAL
LANDSCAPE AREA 3

Site Area	700m ²	
Required Landscape Area	350m ²	(50%)
Existing Landscape Area	368.5m ²	(52.6%)
Proposed Landscape Area	303.2m ²	(43.3%)
add 6% allowance	42m ²	(6%)
Total Landscape Area	345.2m ²	(49.9%)

	DENOTES LANDSCAPE AREA
	DENOTES PATHS <1M

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SCALE: 1:200@A3
PROJECT NO: 232094



DRAWING TITLE:
SITE CALCULATION PLAN
DRAWING No:
DA-05

Rev: **D**