

DESIGN & DRAFTING SERVICES PHONE - 0407224563

LEGEND:

BAL = BALCONY
BLD = EXTERNAL BUILDING
BOR = BOTTOM OF ROCK
BW = BOTTOM WALL
CL = CENTRELINE
CON = CONCRETE
DK = DECK
DS = DOOR SILL LEVEL
FL = FLOOR LEVEL
GAFL = GARAGE FLOOR LEVEL
GDN = GARDEN
HL = HOOD LEVEL
MHU = MANHOLE UNKNOWN SPOT
NS = NATURAL SURFACE
PAT = PATIO
RF = TOP OF ROOF
RK = ROCK
RR = ROOF RIDGE
SCN = SCREEN
SIP = SEWER INSPECTION PIT
SL = SILL LEVEL
SMH = SEWER MAN HOLE
STR = STAIRS
TG = TOP OF GUTTER
TKB = TOP OF KERB
TR = TREE
TW = TOP OF WALL

— = ELECTRICITY OVERHEAD
— = SEWER UNDERGROUND

TREE
SPREAD-DIAMETER-HEIGHT

No.37
PRINCESS MARY ST
1 & 2 STOREY
BRICK HOUSE
TILE ROOF

12
D.P.30083

No.35
PRINCESS MARY ST
1 & 2 STOREY
BRICK & RENDERED HOUSE
TILE ROOF

11
D.P.30083

28
D.P.30337

No.13
1 & 2 STOREY
RENDERED & CLAD HOUSE
METAL ROOF

26
D.P.30337

No.17
1 & 2 STOREY
BRICK & CLAD HOUSE
METAL ROOF

27
D.P.30337
650.3 m² CALC

PROPOSED
ADDITION

TITLE INDICATES THAT LOT 27 IN D.P.30337 IS SUBJECT TO:
- LAND EXCLUDES MINERALS AND IS SUBJECT TO RESERVATIONS AND
CONDITIONS IN FAVOUR OF THE CROWN - SEE CROWN GRANT(S).

General Notes

All Dimensions to be checked and verified before work is commenced.
Drawings to be read in conjunction with engineers details.
All work is to be carried out in accordance with councils requirements
and relevant codes and standards.

Project Details

Design :
Style :
Sheet Title:
SITE PLAN

BUILDER:

RAISE THE ROOF
1/101 DARLEY STREET
MONA VALE NSW 2103

PROPOSED ADDITIONS AT
15 COOPER CLOSE
BEACON HILL 2100
DR MARCOS JACKSON

FIRST DRAWN: 06.06.19	ISSUE: B
AMENDED: 25.06.19	SCALE: 1 : 200
FINAL PLAN:	COUNCIL: NTHN BEACHES
DRAWN: MA	SHEET 1 OF 7

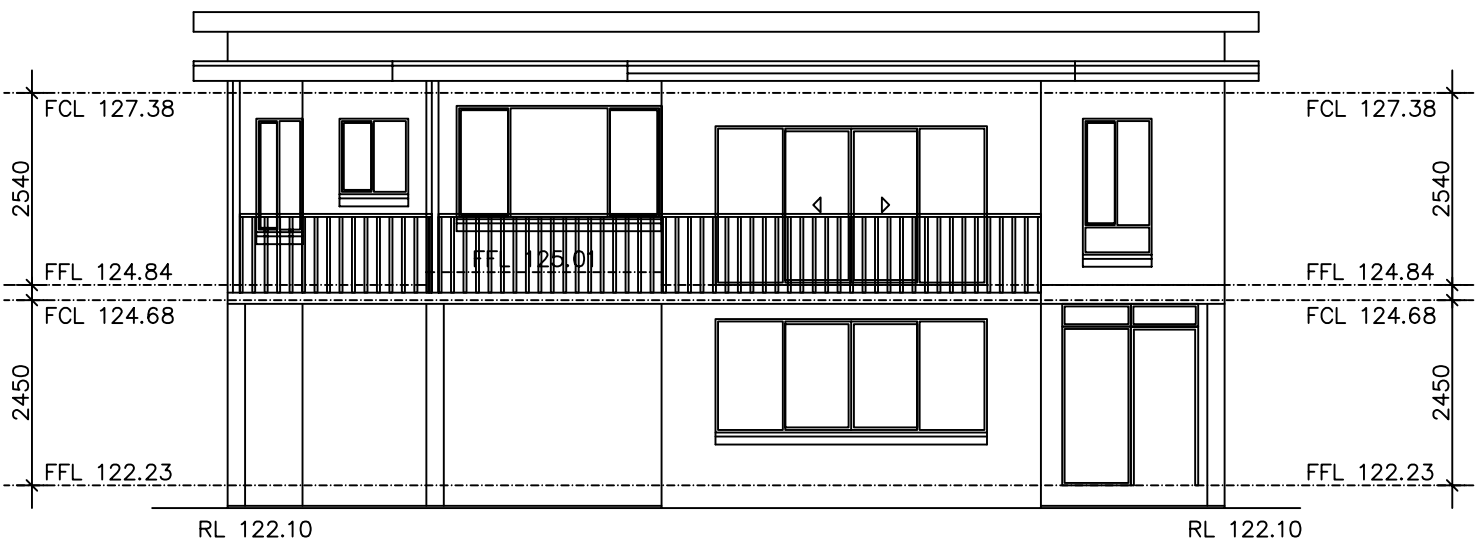
CLOSE

FORMATION

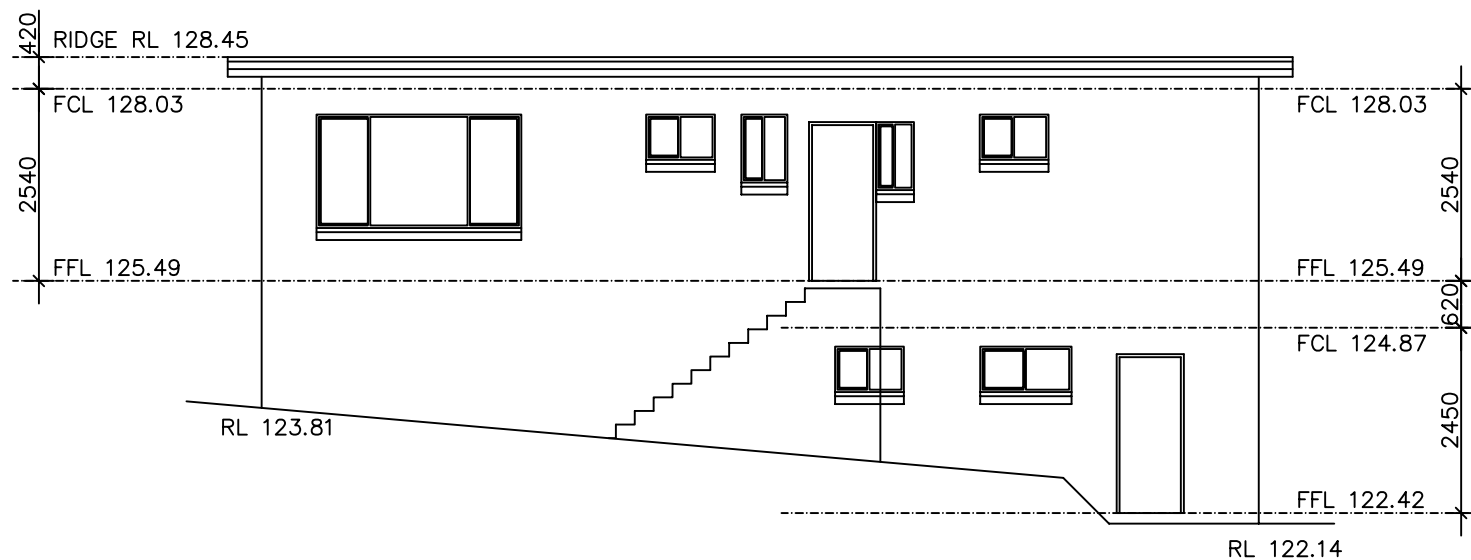
CBITUMEN

COOPER

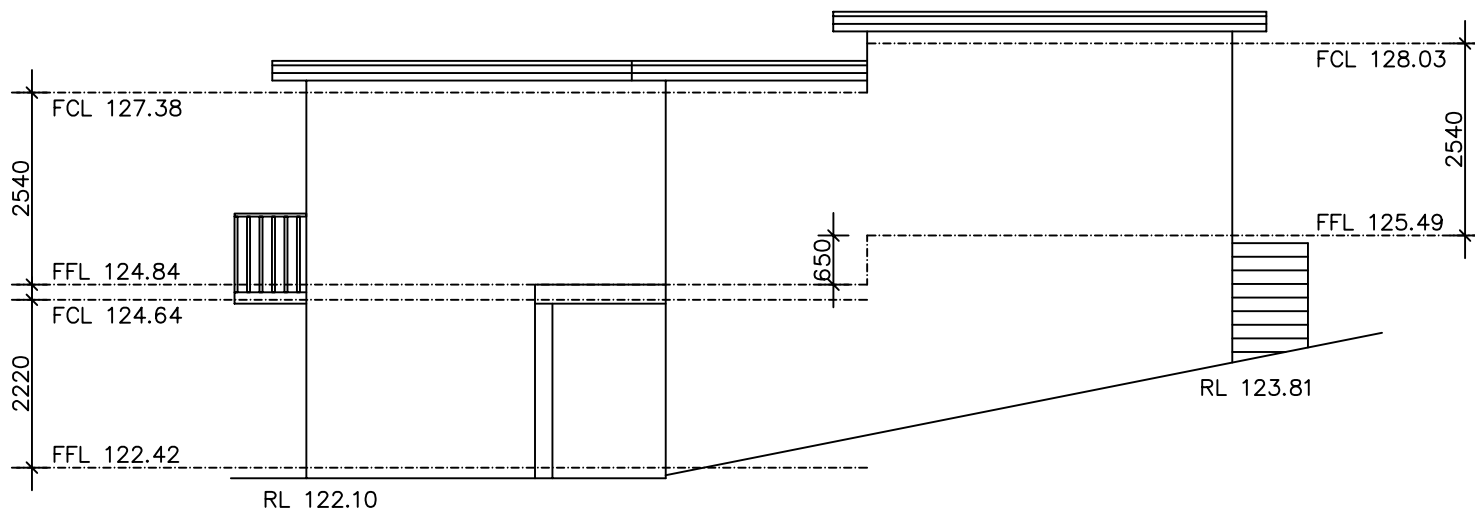
DESIGN & DRAWING SERVICES
PHONE 0402220400



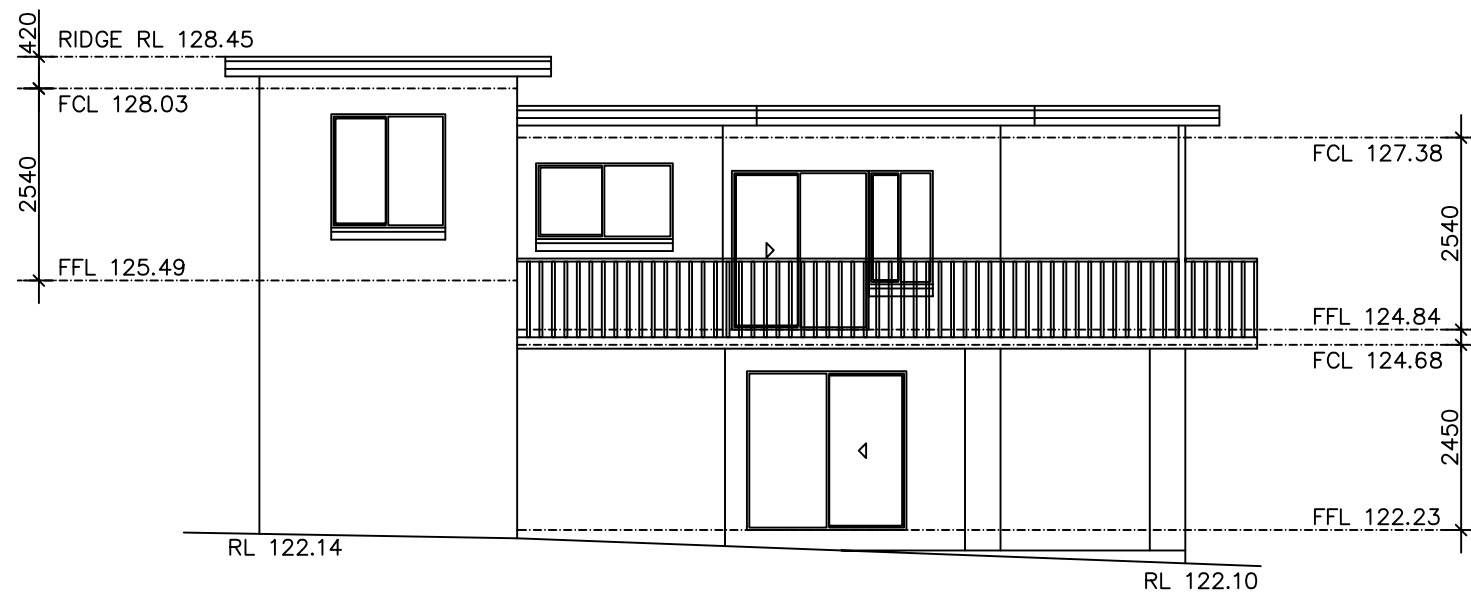
EXISTING FRONT ELEVATION
(north)



EXISTING REAR ELEVATION
(south)



EXISTING RIGHT SIDE ELEVATION (west)



EXISTING LEFT SIDE ELEVATION (east)

© COPYRIGHT

General Notes

All Dimensions to be checked and verified before work is commenced.
Drawings to be read in conjunction with engineers details.
All work is to be carried out in accordance with councils requirements
and relevant codes and standards.

Project Details

Design :
Style :
Sheet Title:
EXISTING ELEVATIONS

BUILDER:

RAISE THE ROOF
1/101 DARLEY STREET
MONA VALE NSW 2103

PROPOSED ADDITIONS AT
15 COOPER CLOSE
BEACON HILL 2100
DR MARCOS JACKSON

FIRST DRAWN:
06.06.19

ISSUE: B

AMENDED:
25.06.19

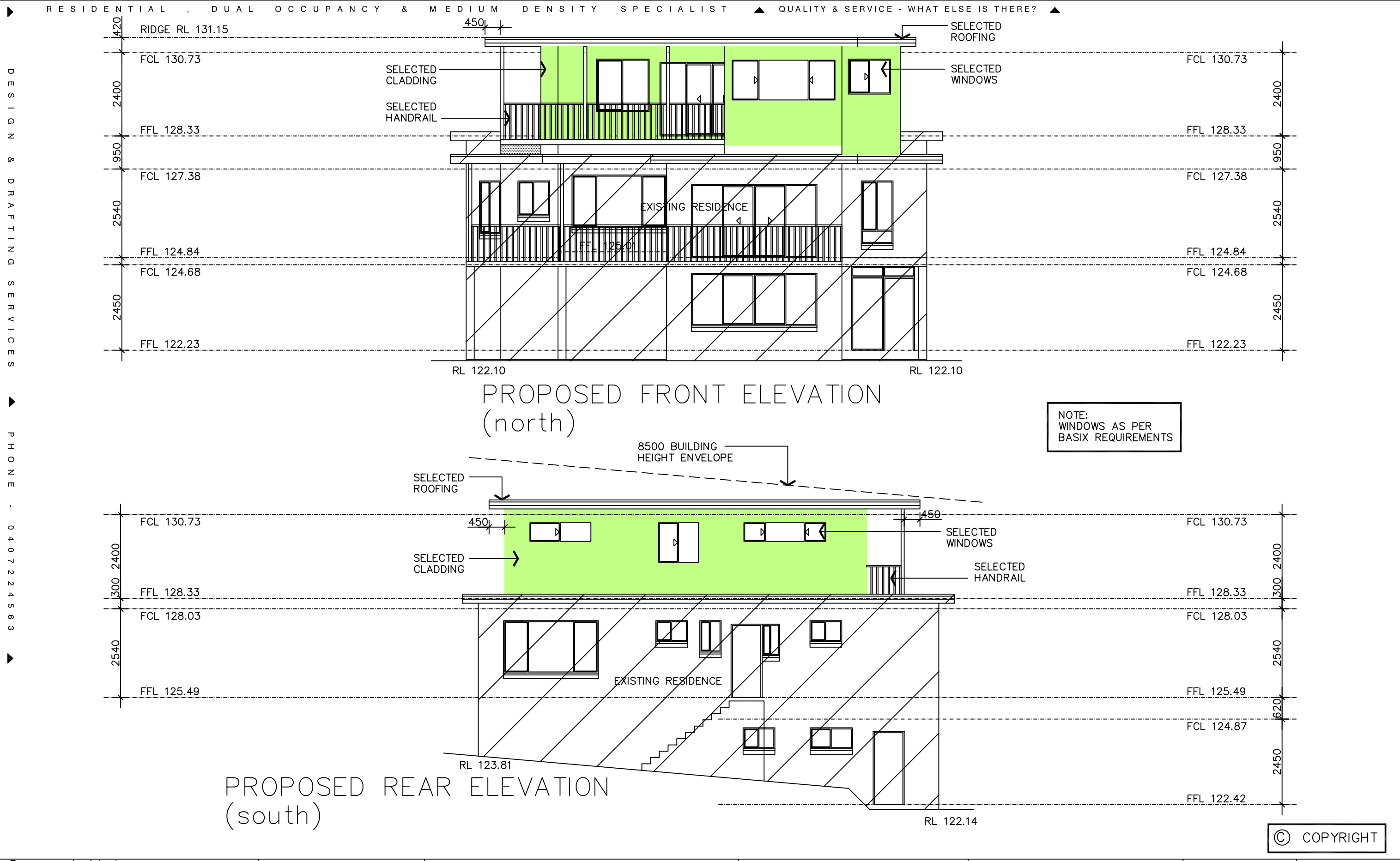
SCALE: 1 : 100

FINAL PLAN:

COUNCIL:
NTHN BEACHES

DRAWN: MA

SHEET 3 OF 7



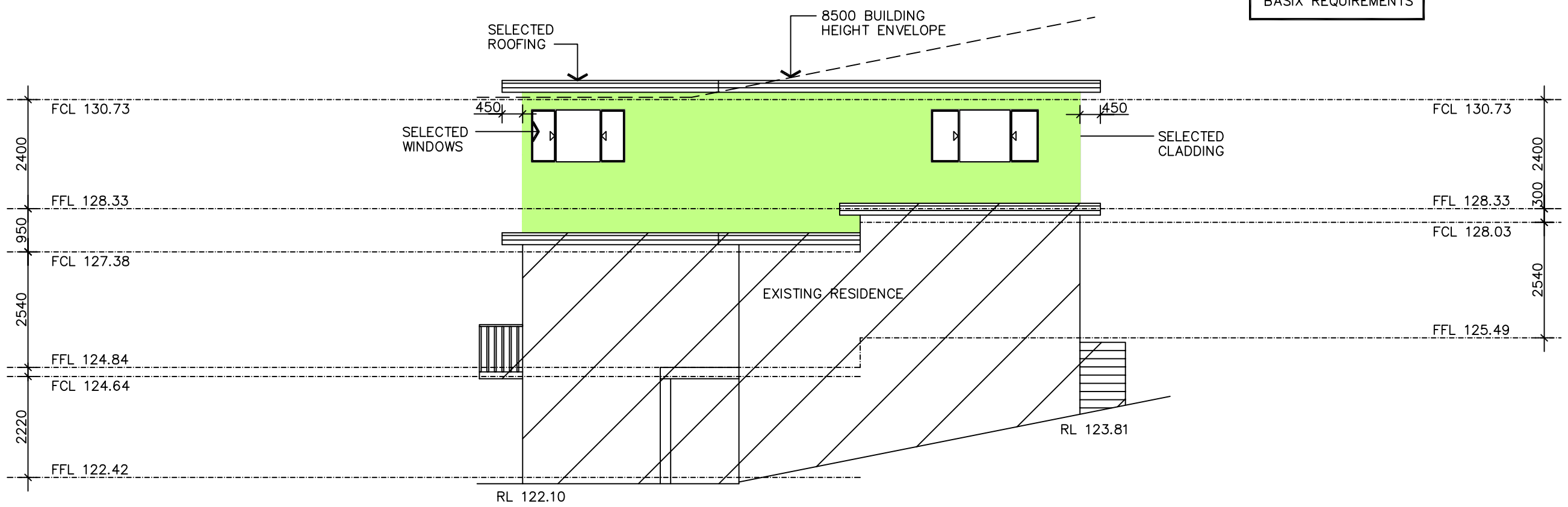
General Notes All Dimensions to be checked and verified before work is commenced. Drawings to be read in conjunction with engineers details. All work is to be carried out in accordance with councils requirements and relevant codes and standards.	Project Details Design : Style : Sheet Title: PROPOSED ELEVATIONS	BUILDER: RAISE THE ROOF 1/101 DARLEY STREET MONA VALE NSW 2103	PROPOSED ADDITIONS AT 15 COOPER CLOSE BEACON HILL 2100 DR MARCOS JACKSON	FIRST DRAWN: 06.06.19	ISSUE: B
				AMENDED: 25.06.19	SCALE: 1 : 100
				FINAL PLAN:	COUNCIL: NTHN BEACHES
				DRAWN: MA	SHEET 5 OF 7

DESIGN & DRAFTING SERVICES PHONE - 0407224563



PROPOSED LEFT SIDE ELEVATION (east)

NOTE:
WINDOWS AS PER
BASIX REQUIREMENTS



PROPOSED RIGHT SIDE ELEVATION (west)

© COPYRIGHT

General Notes All Dimensions to be checked and verified before work is commenced. Drawings to be read in conjunction with engineers details. All work is to be carried out in accordance with councils requirements and relevant codes and standards.	Project Details Design : Style : Sheet Title: PROPOSED ELEVATIONS	BUILDER: RAISE THE ROOF 1/101 DARLEY STREET MONA VALE NSW 2103	PROPOSED ADDITIONS AT 15 COOPER CLOSE BEACON HILL 2100 DR MARCOS JACKSON	FIRST DRAWN:		ISSUE: B	
				AMENDED: 25.06.19		SCALE: 1 : 100	
				FINAL PLAN:		COUNCIL: NTHN BEACHES	
				DRAWN: MA		SHEET 6 OF	

DESIGN & DRAFTING SERVICES
PHONE - 0407224563

LEGEND:

BAL = BALCONY
BLD = EXTERNAL BUILDING
BOR = BOTTOM OF ROCK
BW = BOTTOM WALL
CL = CENTRELINE
CON = CONCRETE
DK = DECK
DS = DOOR SILL LEVEL
FL = FLOOR LEVEL
GAFL = GARAGE FLOOR LEVEL
GDN = GARDEN
HL = HOOD LEVEL
MHU = MANHOLE UNKNOWN SPOT
NS = NATURAL SURFACE
PAT = PATIO
RF = TOP OF ROOF
RK = ROCK
RR = ROOF RIDGE
SCN = SCREEN
SIP = SEWER INSPECTION PIT
SL = SILL LEVEL
SMH = SEWER MAN HOLE
STR = STAIRS
TG = TOP OF GUTTER
TKB = TOP OF KERB
TR = TREE
TW = TOP OF WALL

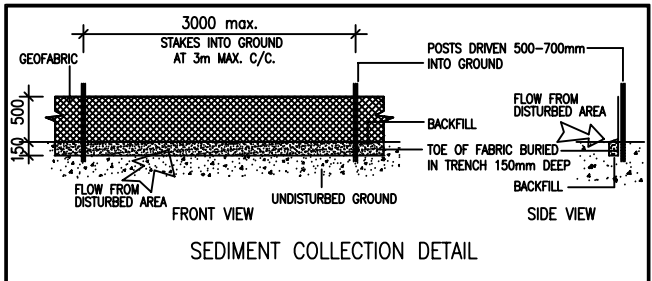
— = ELECTRICITY OVERHEAD
— = SEWER UNDERGROUND

TREE
SPREAD-DIAMETER-HEIGHT

WARNING:

1. ALL WORK IS TO COMPLY WITH WORKCOVER HEALTH AND SAFETY REGULATIONS

2. ALL EROSION AND SEDIMENTATION MEASURES "MUST" BE MAINTAINED THROUGHOUT THE COURSE OF CONSTRUCTION. ANY TRADES NEGLECTING TO COMPLY WITH THIS STATUTORY REGULATION WILL INCUR AN EXTENSIVE FINE.



© COPYRIGHT

TITLE INDICATES THAT LOT 27 IN D.P.30337 IS SUBJECT TO:
- LAND EXCLUDES MINERALS AND IS SUBJECT TO RESERVATIONS AND CONDITIONS IN FAVOUR OF THE CROWN - SEE CROWN GRANT(S).

GEOTEXTILE SEDIMENT FABRIC FILTER FENCE (FINAL EXTENT & LOCATION DETERMINED ON SITE)

GEOTEXTILE TRADE WASTE RECEPTABLE (2.0m x 2.0) (FINAL EXTENT & LOCATION DETERMINED ON SITE)

SITE CALCULATIONS

SITE AREA 650.30m²

EXISTING CARPORT AREA 25.19m²
EXISTING G/FLOOR AREA 78.71m²
EXISTING F/FLOOR AREA 123.63m²
EXISTING BALCONY AREA 36.61m²

TOTAL EXISTING AREAS 264.14m²

PROPOSED F/FLOOR LIVING AREA 92.16m²
PROPOSED BALCONY AREA 33.54m²

PROPOSED TOTAL AREA 389.84m²

PROPOSED LANDSCAPE AREA APPROX. 320m²

PROVISIONAL AREA FOR STOCKPILING OF MATERIALS (FINAL EXTENT & LOCATION DETERMINED ON SITE)

General Notes

All Dimensions to be checked and verified before work is commenced.
Drawings to be read in conjunction with engineers details.
All work is to be carried out in accordance with councils requirements and relevant codes and standards.

Project Details

Design :
Style :
Sheet Title:
SITE ANALYSIS PLAN

BUILDER:

RAISE THE ROOF
1/101 DARLEY STREET
MONA VALE NSW 2103

PROPOSED ADDITIONS AT
15 COOPER CLOSE
BEACON HILL 2100
DR MARCOS JACKSON

FIRST DRAWN: 06.06.19	ISSUE: B
AMENDED: 25.06.19	SCALE: 1 : 200
FINAL PLAN:	COUNCIL: NTHN BEACHES
DRAWN: MA	SHEET 1 OF 1

No.37
PRINCESS MARY ST
1 & 2 STOREY
BRICK HOUSE
TILE ROOF

12
D.P.30083

28
D.P.30337

No.13
1 & 2 STOREY
RENDERED & CLAD HOUSE
METAL ROOF

27
D.P.30337
650.3 m² CALC

11
D.P.30083

No.17
1 & 2 STOREY
BRICK & CLAD HOUSE
METAL ROOF

26
D.P.30337

CLOSE

FORMATION

CBTUMEN

COOPER

DESIGN & DRAFTING SERVICES PHONE - 0407224563

© COPYRIGHT

All Dimensions to be checked and verified before work is commenced.
Drawings to be read in conjunction with engineers details.
All work is to be carried out in accordance with councils requirements and relevant codes and standards.
Copyright to plans remains at all times with Sydney Design & Dev P/L.
These plans shall not be used or be permitted to be used for any other purpose other than for the erection of the home on the subject property.
Design copyrights apply to this design & shall not be used without written permission.

Project Details
Design :
Style :
Sheet Title:
SHADOW PLANS

BUILDER:
RAISE THE ROOF
1/101 DARLEY STREET
MONA VALE NSW 2103

PROPOSED ADDITIONS AT
15 COOPER CLOSE
BEACON HILL 2100
DR MARCOS JACKSON

FIRST DRAWN: 06.06.19	ISSUE: B
AMENDED: 25.06.19	SCALE: 1 : 200
FINAL PLAN:	COUNCIL: NTHN BEACHES
DRAWN: MA	SHEET 1 OF 3

- LEGEND:**
- BAL = BALCONY
 - BLD = EXTERNAL BUILDING
 - BOR = BOTTOM OF ROCK
 - BW = BOTTOM WALL
 - CL = CENTRELINE
 - CON = CONCRETE
 - DK = DECK
 - DS = DOOR SILL LEVEL
 - FL = FLOOR LEVEL
 - GAFL = GARAGE FLOOR LEVEL
 - GDN = GARDEN
 - HL = HOOD LEVEL
 - MHU = MANHOLE UNKNOWN SPOT
 - NS = NATURAL SURFACE
 - PAT = PATIO
 - RF = TOP OF ROOF
 - RK = ROCK
 - RR = ROOF RIDGE
 - SCN = SCREEN
 - SIP = SEWER INSPECTION PIT
 - SL = SILL LEVEL
 - SMH = SEWER MAN HOLE
 - STR = STAIRS
 - TG = TOP OF GUTTER
 - TKB = TOP OF KERB
 - TR = TREE
 - TW = TOP OF WALL
 - = ELECTRICITY OVERHEAD
 - = SEWER UNDERGROUND
- TREE
SPREAD-DIAMETER-HEIGHT

No.37
PRINCESS MARY ST
1 & 2 STOREY
BRICK HOUSE
TILE ROOF

No.35
PRINCESS MARY ST
1 & 2 STOREY
BRICK & RENDERED HOUSE
TILE ROOF

12
D.P.30083

11
D.P.30083

28
D.P.30337

27
D.P.30337
650.3 m² CALC

26
D.P.30337

No.17
1 & 2 STOREY
BRICK & CLAD HOUSE
METAL ROOF

No.13
1 & 2 STOREY
RENDERED & CLAD HOUSE
METAL ROOF

PROPOSED
ADDITION

NOTE: DASHED AREA SHOWING
NEW SHADOW AREA DUE
TO EXTENSION AREA

NOTE: DOTTED AREA SHOWING
EXISTING SHADOW AREA

Shadow outline for JUN21-9AM



CLOSE
FORMATION
COOPER
CITIMEN

DESIGN & DRAFTING SERVICES
PHONE - 0407224563

LEGEND:

- BAL = BALCONY
- BLD = EXTERNAL BUILDING
- BOR = BOTTOM OF ROCK
- BW = BOTTOM WALL
- CL = CENTRELINE
- CON = CONCRETE
- DK = DECK
- DS = DOOR SILL LEVEL
- FL = FLOOR LEVEL
- GAFL = GARAGE FLOOR LEVEL
- GDN = GARDEN
- HL = HOOD LEVEL
- MHU = MANHOLE UNKNOWN SPOT
- NS = NATURAL SURFACE
- PAT = PATIO
- RF = TOP OF ROOF
- RK = ROCK
- RR = ROOF RIDGE
- SCN = SCREEN
- SIP = SEWER INSPECTION PIT
- SL = SILL LEVEL
- SMH = SEWER MAN HOLE
- STR = STAIRS
- TG = TOP OF GUTTER
- TGK = TOP OF KERB
- TR = TREE
- TW = TOP OF WALL
- = ELECTRICITY OVERHEAD
- - - = SEWER UNDERGROUND

TREE
SPREAD-DIAMETER-HEIGHT

No.37
PRINCESS MARY ST
1 & 2 STOREY
BRICK HOUSE
TILE ROOF

12
D.P.30083

No.35
PRINCESS MARY ST
1 & 2 STOREY
BRICK & RENDERED HOUSE
TILE ROOF

11
D.P.30083

28
D.P.30337

NOTE: DASHED AREA SHOWING
NEW SHADOW AREA DUE
TO EXTENSION AREA

27
D.P.30337
650.3 m² CALC

NOTE: DOTTED AREA SHOWING
EXISTING SHADOW AREA

No.17
1 & 2 STOREY
BRICK & CLAD HOUSE
METAL ROOF

No.13
1 & 2 STOREY
RENDERED & CLAD HOUSE
METAL ROOF

26
D.P.30337

PROPOSED
ADDITION



Shadow outline for JUN21-12NOON

© COPYRIGHT

TITLE INDICATES THAT LOT 27 IN D.P.30337 IS SUBJECT TO:
- LAND EXCLUDES MINERALS AND IS SUBJECT TO RESERVATIONS AND
CONDITIONS IN FAVOUR OF THE CROWN - SEE CROWN GRANT(S).

General Notes

All Dimensions to be checked and verified before work is commenced.
Drawings to be read in conjunction with engineers details.
All work is to be carried out in accordance with councils requirements
and relevant codes and standards.
Copyright to plans remains at all times with Sydney Design & Dev P/L.
These plans shall not be used or be permitted to be used for any other
purpose other than for the erection of the home on the subject property.
Design copyrights apply to this design & shall not be used without written
permission.

Project Details

Design :
Style :
Sheet Title:
SHADOW PLANS

BUILDER:

RAISE THE ROOF
1/101 DARLEY STREET
MONA VALE NSW 2103

PROPOSED ADDITIONS AT
15 COOPER CLOSE
BEACON HILL 2100
DR MARCOS JACKSON

FIRST DRAWN: 06.06.19	ISSUE: B
AMENDED: 25.06.19	SCALE: 1 : 200
FINAL PLAN:	COUNCIL: NTHN BEACHES
DRAWN: MA	SHEET 2 OF 3

CLOSE
FORMATION
COOPER

DESIGN & DRAFTING SERVICES
PHONE - 0407224563

LEGEND:

- BAL = BALCONY
- BLD = EXTERNAL BUILDING
- BOR = BOTTOM OF ROCK
- BW = BOTTOM WALL
- CL = CENTRELINE
- CON = CONCRETE
- DK = DECK
- DS = DOOR SILL LEVEL
- FL = FLOOR LEVEL
- GAFL = GARAGE FLOOR LEVEL
- GDN = GARDEN
- HL = HOOD LEVEL
- MHU = MANHOLE UNKNOWN SPOT
- NS = NATURAL SURFACE
- PAT = PATIO
- RF = TOP OF ROOF
- RK = ROCK
- RR = ROOF RIDGE
- SCN = SCREEN
- SIP = SEWER INSPECTION PIT
- SL = SILL LEVEL
- SMH = SEWER MAN HOLE
- STR = STAIRS
- TG = TOP OF GUTTER
- TKB = TOP OF KERB
- TR = TREE
- TW = TOP OF WALL
- = ELECTRICITY OVERHEAD
- - - = SEWER UNDERGROUND

TREE
SPREAD-DIAMETER-HEIGHT

No.37
PRINCESS MARY ST
1 & 2 STOREY
BRICK HOUSE
TILE ROOF

12
D.P.30083

No.35
PRINCESS MARY ST
1 & 2 STOREY
BRICK & RENDERED HOUSE
TILE ROOF

11
D.P.30083

28
D.P.30337

No.13
1 & 2 STOREY
RENDERED & CLAD HOUSE
METAL ROOF

27
D.P.30337
650.3 m² CALC

26
D.P.30337

No.17
1 & 2 STOREY
BRICK & CLAD HOUSE
METAL ROOF

PROPOSED
ADDITION

NOTE: DASHED AREA SHOWING
NEW SHADOW AREA DUE
TO EXTENSION AREA

NOTE: DOTTED AREA SHOWING
EXISTING SHADOW AREA

© COPYRIGHT

TITLE INDICATES THAT LOT 27 IN D.P.30337 IS SUBJECT TO:
- LAND EXCLUDES MINERALS AND IS SUBJECT TO RESERVATIONS AND
CONDITIONS IN FAVOUR OF THE CROWN - SEE CROWN GRANT(S).

Shadow outline for JUN21-3PM

General Notes

All Dimensions to be checked and verified before work is commenced.
Drawings to be read in conjunction with engineers details.
All work is to be carried out in accordance with councils requirements
and relevant codes and standards.
Copyright to plans remains at all times with Sydney Design & Dev P/L.
These plans shall not be used or be permitted to be used for any other
purpose other than for the erection of the home on the subject property.
Design copyrights apply to this design & shall not be used without written
permission.

Project Details

Design :
Style :
Sheet Title:
SHADOW PLANS

BUILDER:

RAISE THE ROOF
1/101 DARLEY STREET
MONA VALE NSW 2103

PROPOSED ADDITIONS AT
15 COOPER CLOSE
BEACON HILL 2100
DR MARCOS JACKSON

FIRST DRAWN: 06.06.19	ISSUE: B
AMENDED: 25.06.19	SCALE: 1 : 200
FINAL PLAN:	COUNCIL: NTHN BEACHES
DRAWN: MA	SHEET 3 OF 3

CLOSE

FORMATION

CBITUMEN

COOPER



adding value & lifestyle

Raise The Roof ABN 69 010 968 706 (Builders Licence No. 104563C)
1/101 Darley Street, Mona Vale NSW 2103 / PO Box 1147 Mona Vale NSW 1660
T 9997 3122 **F** 9997 8679 **E** info@raisetherooft.com.au

24th June, 2019

SCHEDULE OF FINISHES

Address: 15 Cooper Close, Beacon Hill

Roof: Colorbond roof – to matching existing ground floor

External Linings: Insulclad – colour to match existing brickwork on ground floor