

DEVELOPMENT APPLICATION

ALTERATIONS & ADDITIONS@ 4/235 PITTWATER ROAD, MANLY

JANUARY 2025

Sheet No.	Sheet Name	Date	Rev.	Revision Description (edit)
DA - 000	Cover Page	28/01/2025	C	
EX - 01	Existing Unit 4 Plan	28/01/2025	C	
DA - 101	Site Analysis Plan	28/01/2025	C	
DA - 102	Proposed Site/Roof Plan	28/01/2025	C	
DA - 103	Proposed Site Calculations	28/01/2025	C	
DA - 201	Proposed Unit 4 Plan	28/01/2025	C	
DA - 202	Proposed Unit 4 Loft Plan	28/01/2025	C	
DA - 301	Proposed Long Section	28/01/2025	C	
DA - 302	Proposed Cross Section	28/01/2025	C	
DA - 401	Proposed Eastern Elevation	28/01/2025	C	
DA - 402	Proposed Western Elevation	28/01/2025	C	
DA - 403	Proposed Northern & Southern Elevations	28/01/2025	C	



Existing Street Elevation

BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A1781186

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Tuesday, 28 January 2025
To be valid, this certificate must be lodged within 3 months of the date of issue.



page 1/5

Project address	
Project name	Cardigan Alterations & Additions
Street address	235 PITTWATER Road MANLY 2095
Local Government Area	Northern Beaches Council
Plan type and number	Strata Plan SP45983
Lot number	4
Section number	-
Project type	
Dwelling type	Dwelling above existing building
Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more.
N/A	N/A
Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name: Wray and Cutcliffe Architects	
ABN (if applicable):	

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications	
floor above existing dwelling or building.	nil	N/A	
raked ceiling, pitched/skillion roof: framed	ceiling: R0.74 (up), roof: foil backed blanket (100 mm)	medium (solar absorptance 0.475 - 0.70)	

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Skylights			
The applicant must install the skylights in accordance with the specifications listed in the table below.	✓	✓	✓
The following requirements must also be satisfied in relation to each skylight:		✓	✓
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.		✓	✓
Skylights glazing requirements			
Skylight number	Area of glazing inc. frame (m²)	Shading device	Frame and glass type
SK1	1	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.9, SHGC: 0.456)
SK2	1	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.9, SHGC: 0.456)
SK3	1	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.9, SHGC: 0.456)

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✓ in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

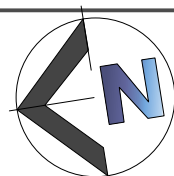
Loft Alterations and Additions

TITLE	Cover Page
CLIENT	Phillipa Hayes
AT	4/235 Pittwater Road, Manly

DATE	28/01/2025
SCALE	AS NOTED
DRAWN	JGW/AC
JOB NO.	#2406

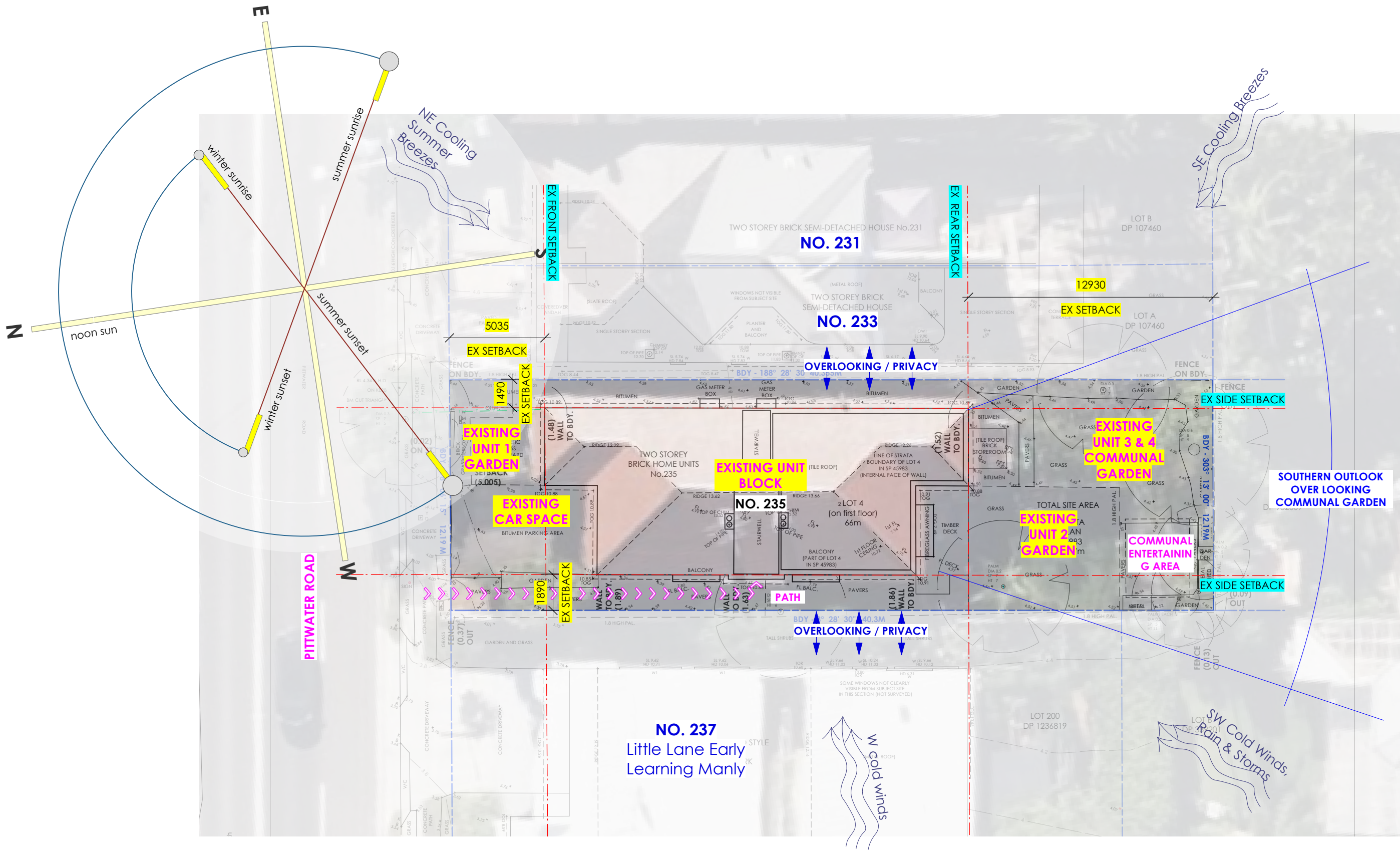
DWG	DA - 000
ISSUE	C

Issue	Description	Date
C	Development Application Draft	28/01/2025
B	Design Development	08/11/2024
A	Schematic Initials	07/08/2024



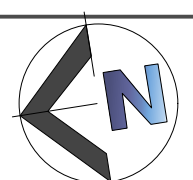
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01 SITE ANALYSIS
Scale: 1:200

1m 2 3 4 5m



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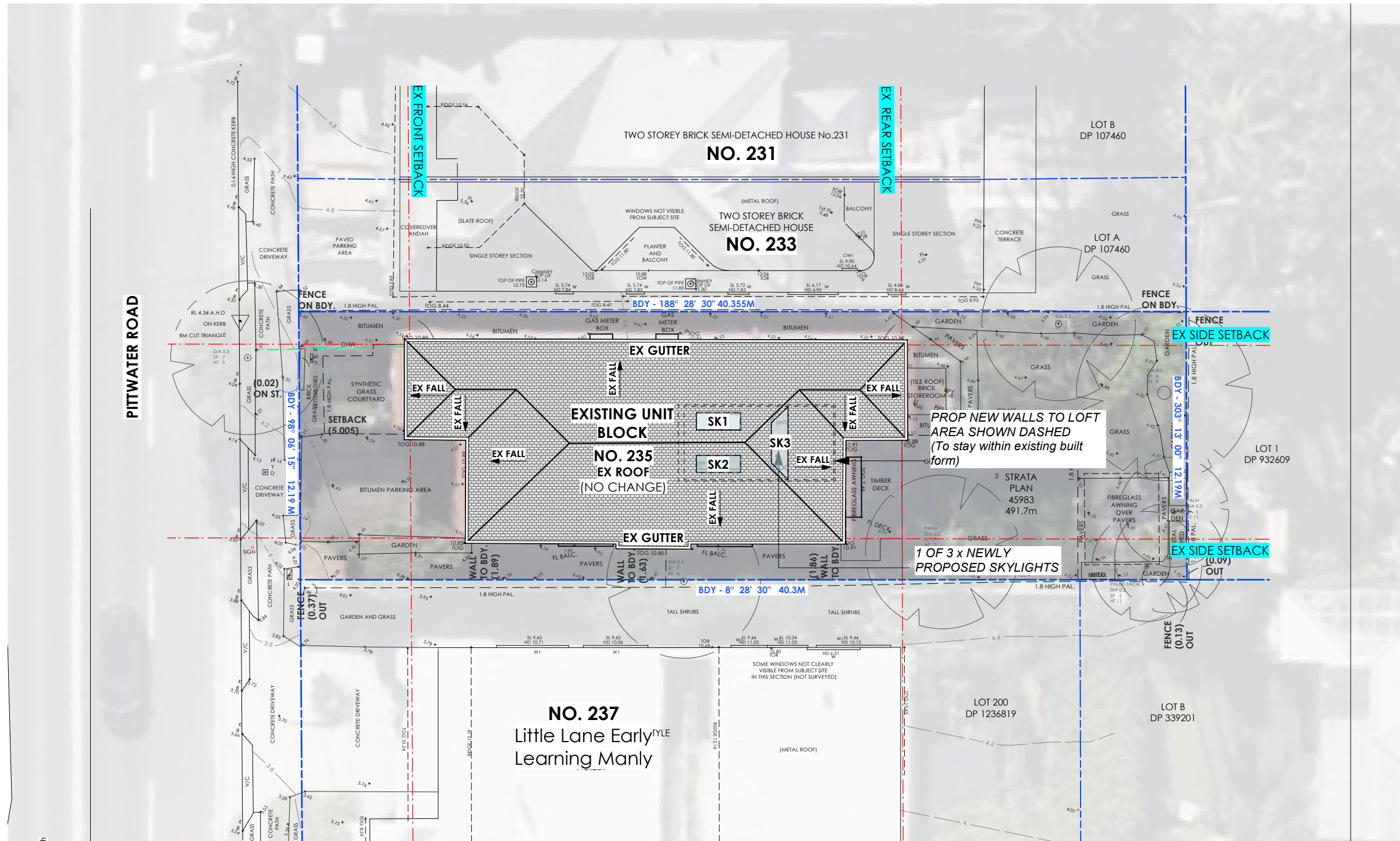
Loft Alterations and Additions

TITLE	Site Analysis Plan
CLIENT	Phillipa Hayes
AT	4/235 Pittwater Road, Manly

DATE	28/01/2025
SCALE	AS NOTED
DRAWN	JGW/AC
JOB NO.	#2406

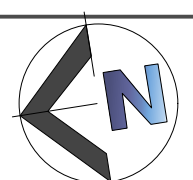
DWG	DA - 101
ISSUE	C

Issue	Description	Date
C	Development Application Draft	28/01/2025
B	Design Development	08/11/2024
A	Schematic Initials	07/08/2024



01 PROPOSED SITE AND ROOF PLAN
Scale: 1:200

1m 2 3 4 5m



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Loft Alterations and Additions

TITLE Proposed Site/Roof Plan
CLIENT Phillipa Hayes
AT 4/235 Pittwater Road, Manly

DATE 28/01/2025
SCALE AS NOTED
DRAWN JGW/AC
JOB NO. #2406

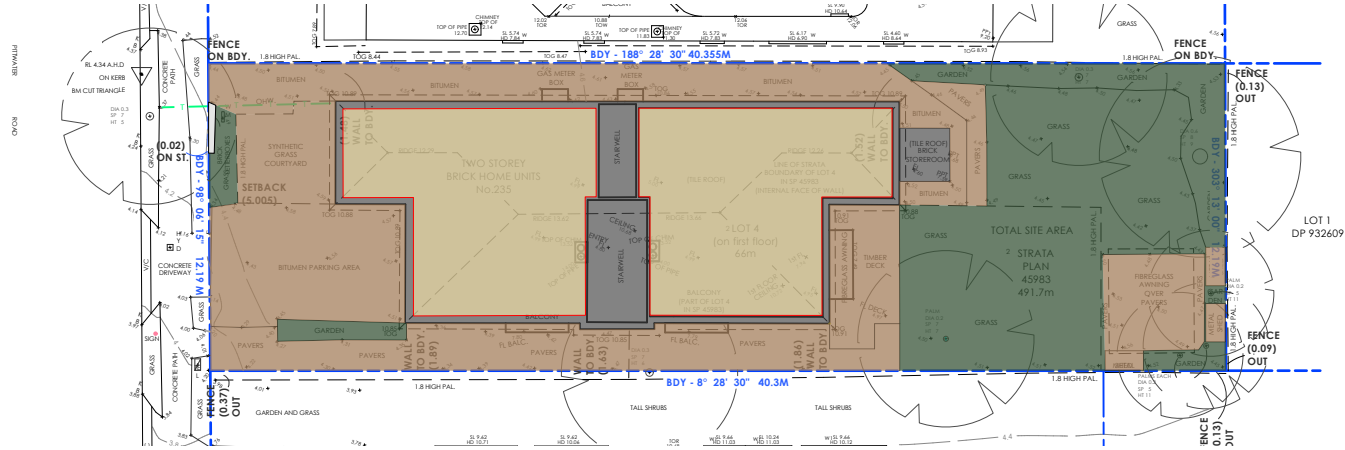
DWG DA - 102
ISSUE C

Issue	Description	Date
C	Development Application Draft	28/01/2025
B	Design Development	08/11/2024
A	Schematic Initials	07/08/2024

01

EXISTING SITE AREA

Scale: 1:300



EXISTING

SITE & LANDSCAPE AREAS

LEGEND



NAME

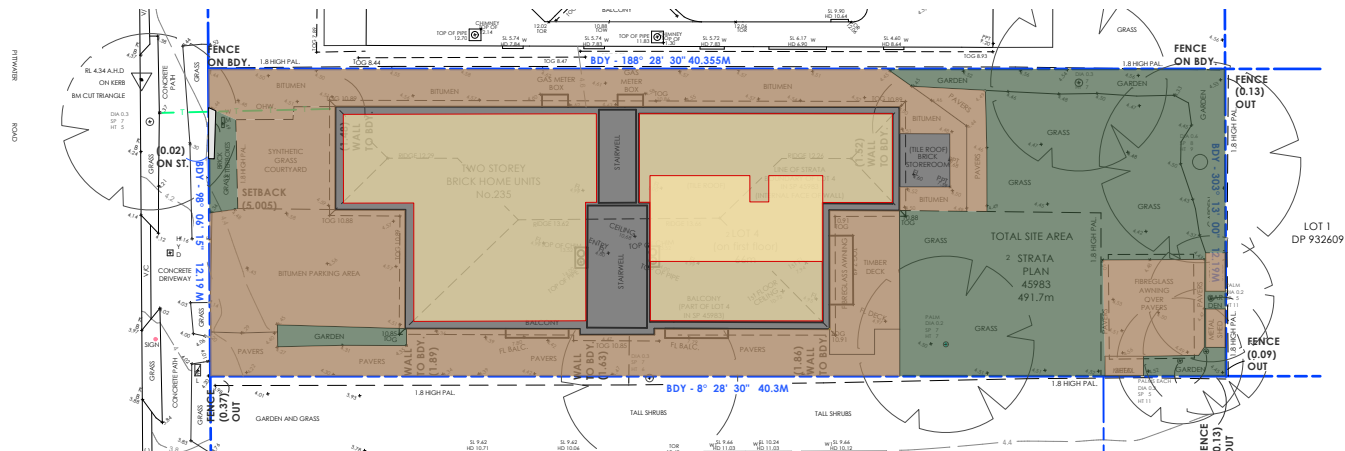
AREA (m2):

Site Area (From Survey)	-	491.70
A Built Form	-	176.02
B Decks & Paving	-	185.52
C Landscape	-	129.79
D Landscape Walls	-	0.50
E Floor Space ((Max 0.6:1)/295sqm)	-	269.63
Total Landscape Area	-	129.79
Total Area	-	491.82
Landscape Area		26.40%

02

PROPOSED SITE AREA

Scale: 1:300



PROPOSED

(no change)

SITE & LANDSCAPE AREAS

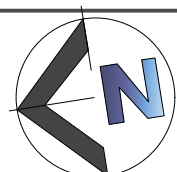
LEGEND



NAME

AREA (m2):

Site Area (From Survey)	-	491.70
A Built Form	-	176.02
B Decks & Paving	-	185.52
C Landscape	-	129.79
D Landscape Walls	-	0.50
E Floor Space ((Max 0.6:1)/295sqm)	-	292.19
Total Landscape Area	-	129.79
Total Area	-	491.82
Landscape Area		26.40%



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Loft Alterations and Additions

TITLE Proposed Site Calculations

CLIENT Phillipa Hayes

AT 4/235 Pittwater Road, Manly

DATE 28/01/2025

SCALE AS NOTED

DRAWN JGW/AC

JOB NO. #2406

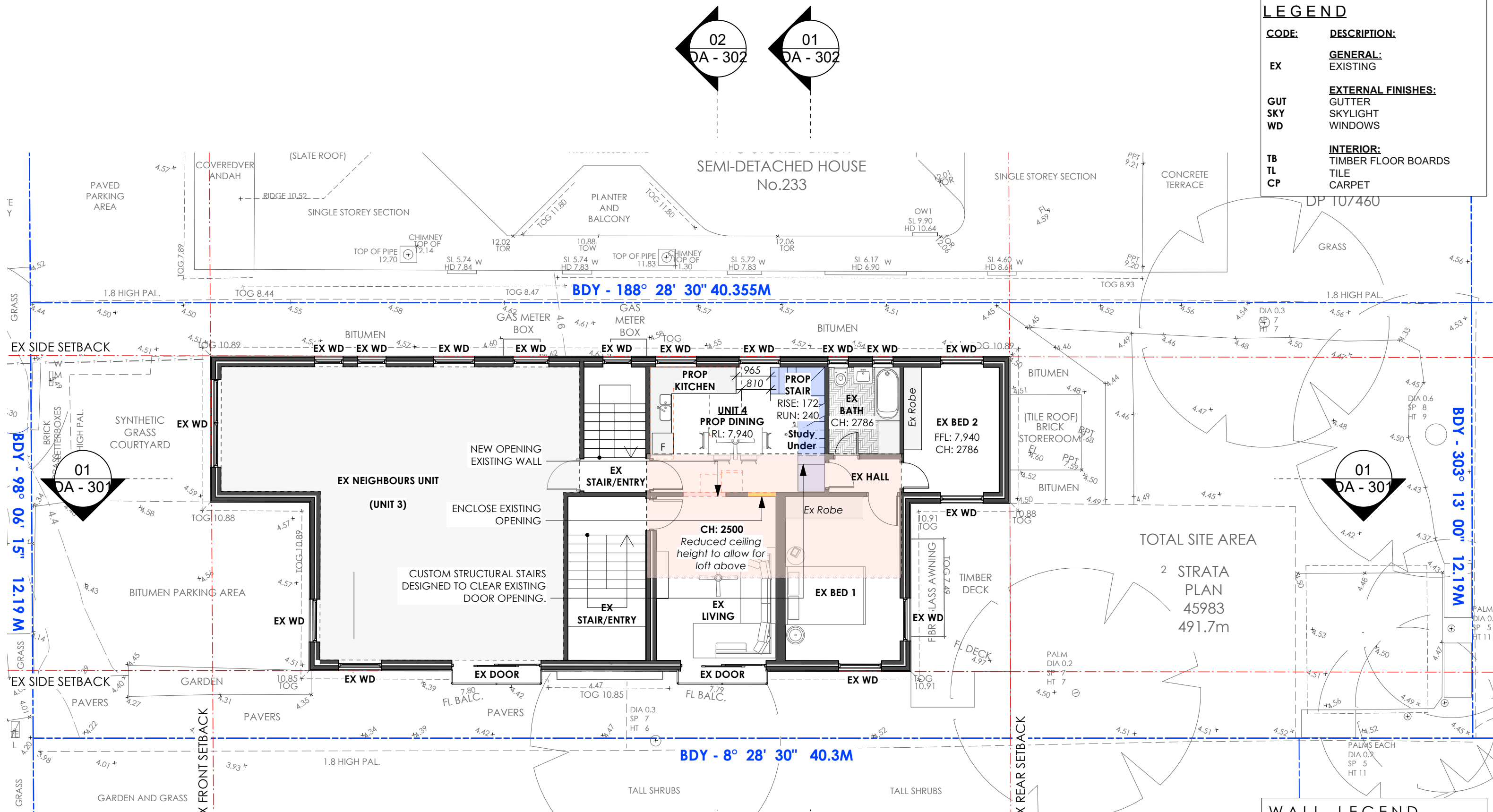
DWG

DA - 103

ISSUE C

C	Development Application Draft	28/01/2025
B	Design Development	08/11/2024
A	Schematic Initials	07/08/2024
Issue	Description	Date

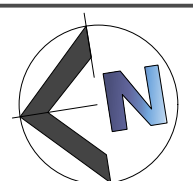
CODE:	DESCRIPTION:
EX	GENERAL: EXISTING
GUT	EXTERNAL FINISHES: GUTTER
SKY	SKYLIGHT
WD	WINDOWS
TB	INTERIOR: TIMBER FLOOR BOARDS
TL	TILE
CP	CARPET



WALL LEGEND	
	NEW TIMBER FRAMING
	EXISTING
	TO BE DEMOLISHED



01 Unit 4 Proposed Plan
Scale: 1:100



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Loft Alterations and Additions

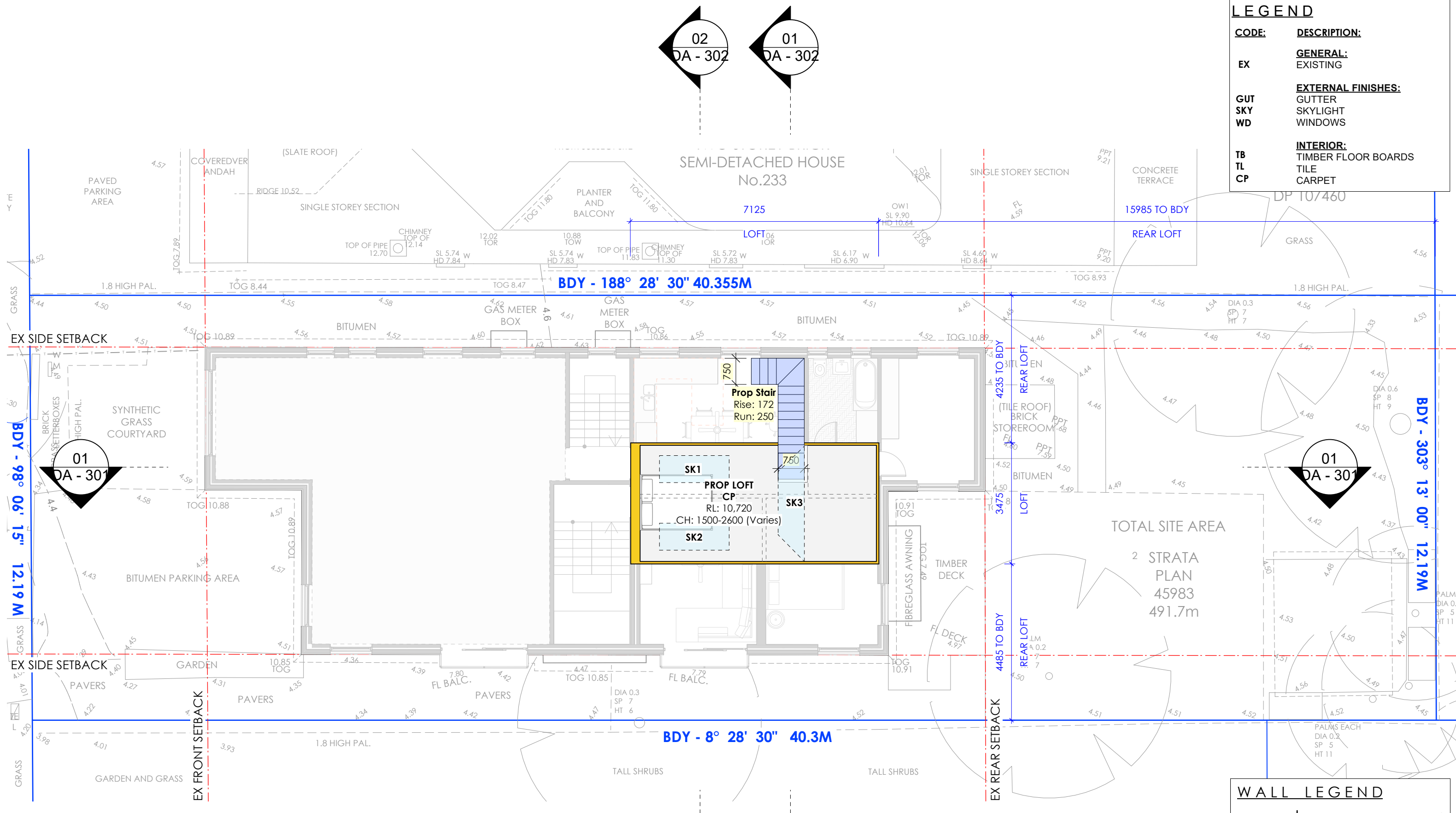
TITLE	Proposed Unit 4 Plan
CLIENT	Phillipa Hayes
AT	4/235 Pittwater Road, Manly

DATE	28/01/2025
SCALE	AS NOTED
DRAWN	JGW/AC
JOB NO.	#2406

DWG	DA - 201
ISSUE	C

Issue	Description	Date
C	Development Application Draft	28/01/2025
B	Design Development	08/11/2024
A	Schematic Initials	07/08/2024

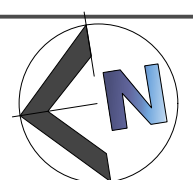
CODE:	DESCRIPTION:
EX	GENERAL: EXISTING
GUT	EXTERNAL FINISHES: GUTTER
SKY	SKYLIGHT
WD	WINDOWS
TB	INTERIOR: TIMBER FLOOR BOARDS
TL	TILE
CP	CARPET



WALL LEGEND	
	NEW TIMBER FRAMING
	EXISTING
	TO BE DEMOLISHED



01 Unit 4 Proposed Loft Plan
Scale: 1:100



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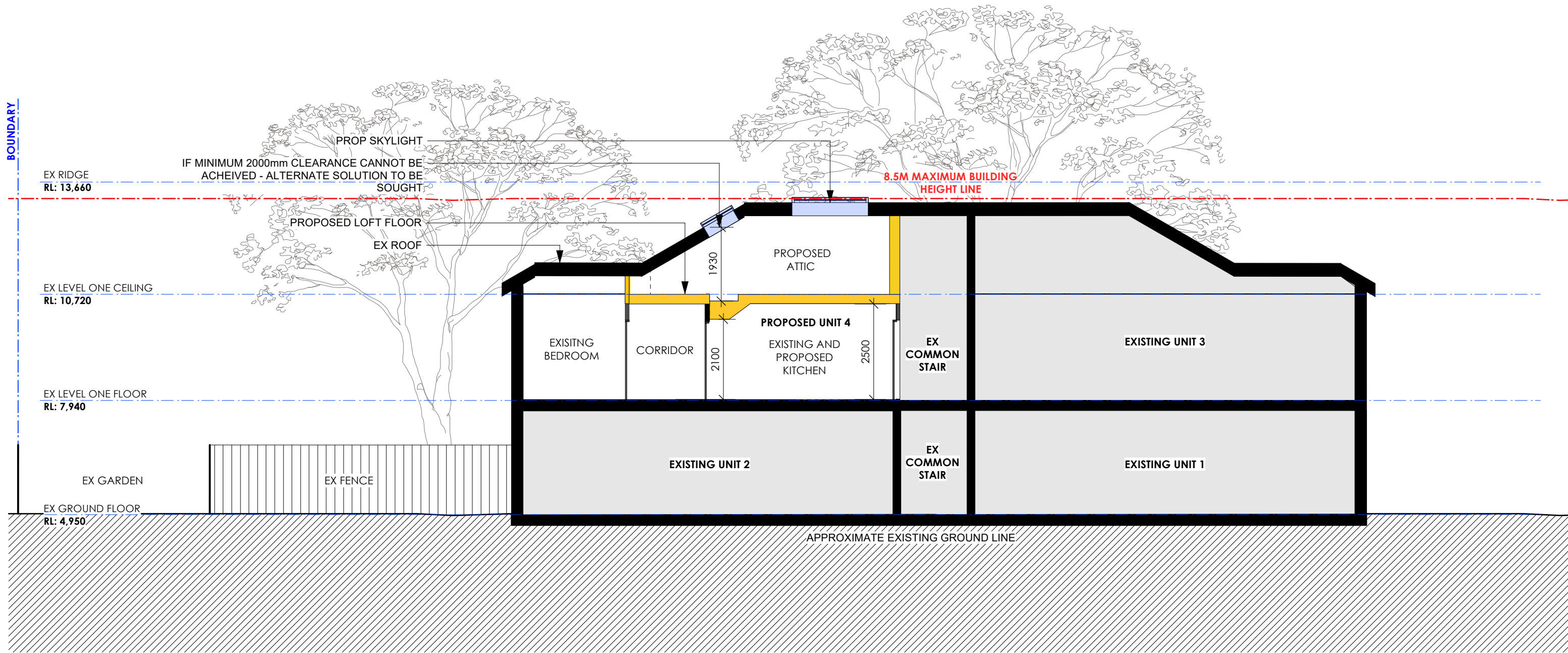
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Loff Alterations and Additions	
TITLE	Proposed Unit 4 Loft Plan
CLIENT	Phillipa Hayes
AT	4/235 Pittwater Road, Manly

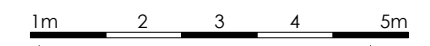
DATE	28/01/2025
SCALE	AS NOTED
DRAWN	JGW/AC
JOB NO.	#2406

DWG	DA - 202
ISSUE	C

Issue	Description	Date
C	Development Application Draft	28/01/2025
B	Design Development	08/11/2024
A	Schematic Initials	07/08/2024



01 Long Section
Scale: 1:100




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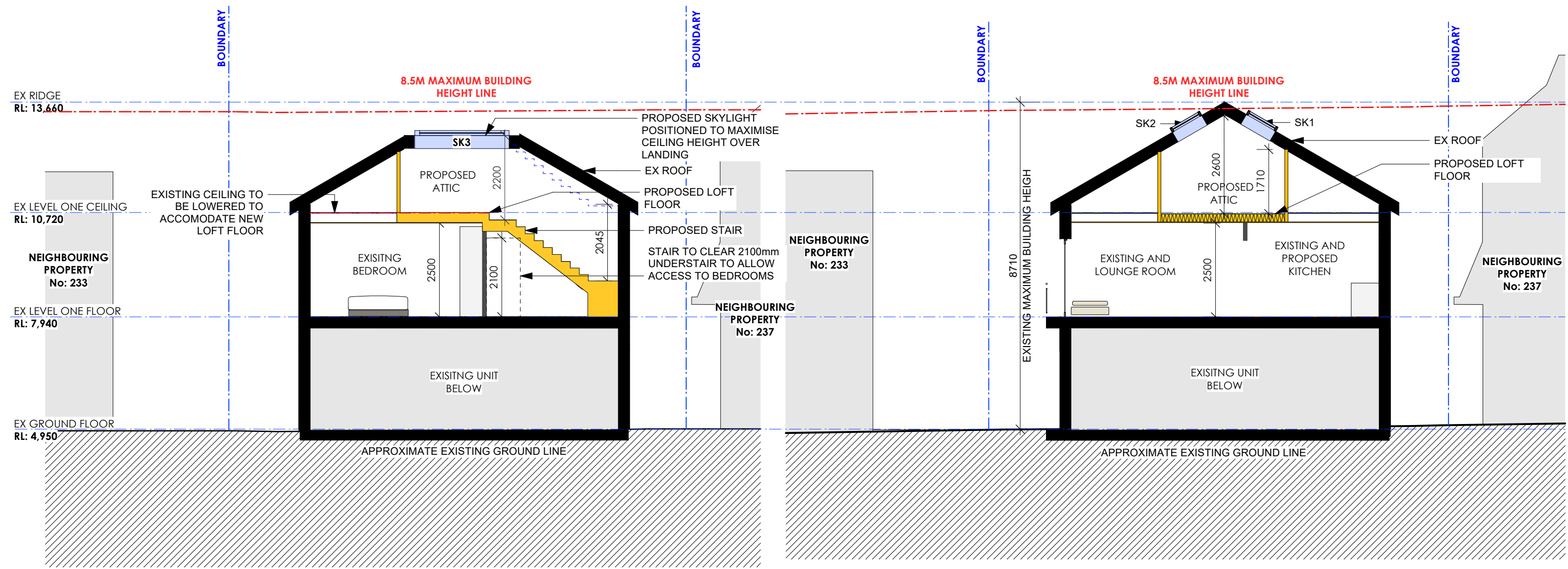
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Loft Alterations and Additions
TITLE Proposed Long Section
CLIENT Phillipa Hayes
 4/235 Pittwater Road, Manly

DATE 28/01/2025
SCALE AS NOTED
DRAWN JGW/AC
JOB NO. #2406

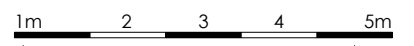
DWG
DA - 301
ISSUE C

Issue	Description	Date
C	Development Application Draft	28/01/2025
B	Design Development	08/11/2024
A	Schematic Initials	07/08/2024



01 Cross Section
Scale: 1:100

02 Cross Section
Scale: 1:100



Issue	Description	Date
C	Development Application Draft	28/01/2025
B	Design Development	08/11/2024
A	Schematic Initials	07/08/2024

BOUNDARY

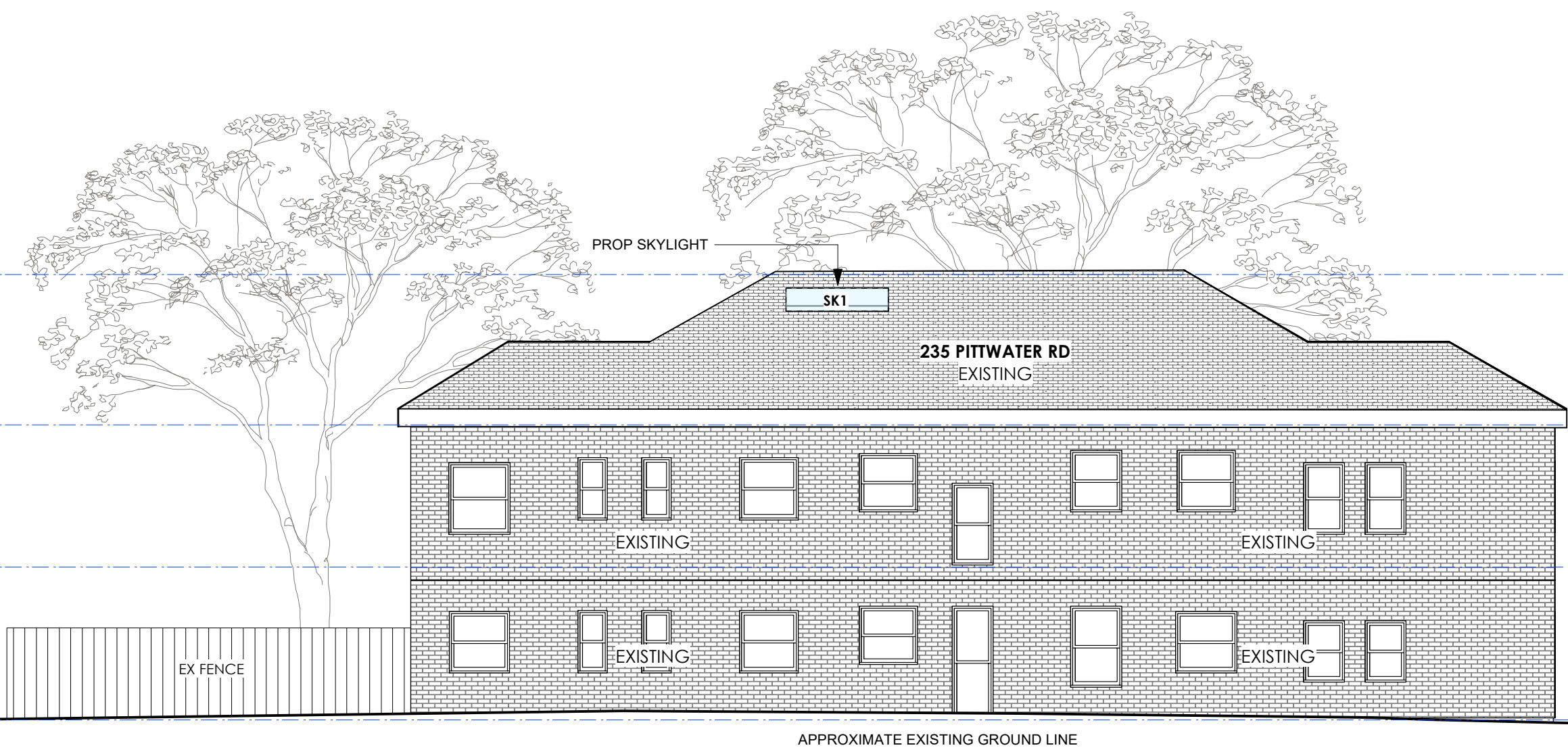
BOUNDARY

EX RIDGE
RL: 13,660

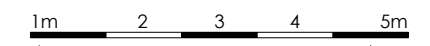
EX LEVEL ONE CEILING
RL: 10,720

EX LEVEL ONE FLOOR
RL: 7,940

EX GROUND FLOOR
RL: 4,950



01 Eastern Elevation
Scale: 1:100



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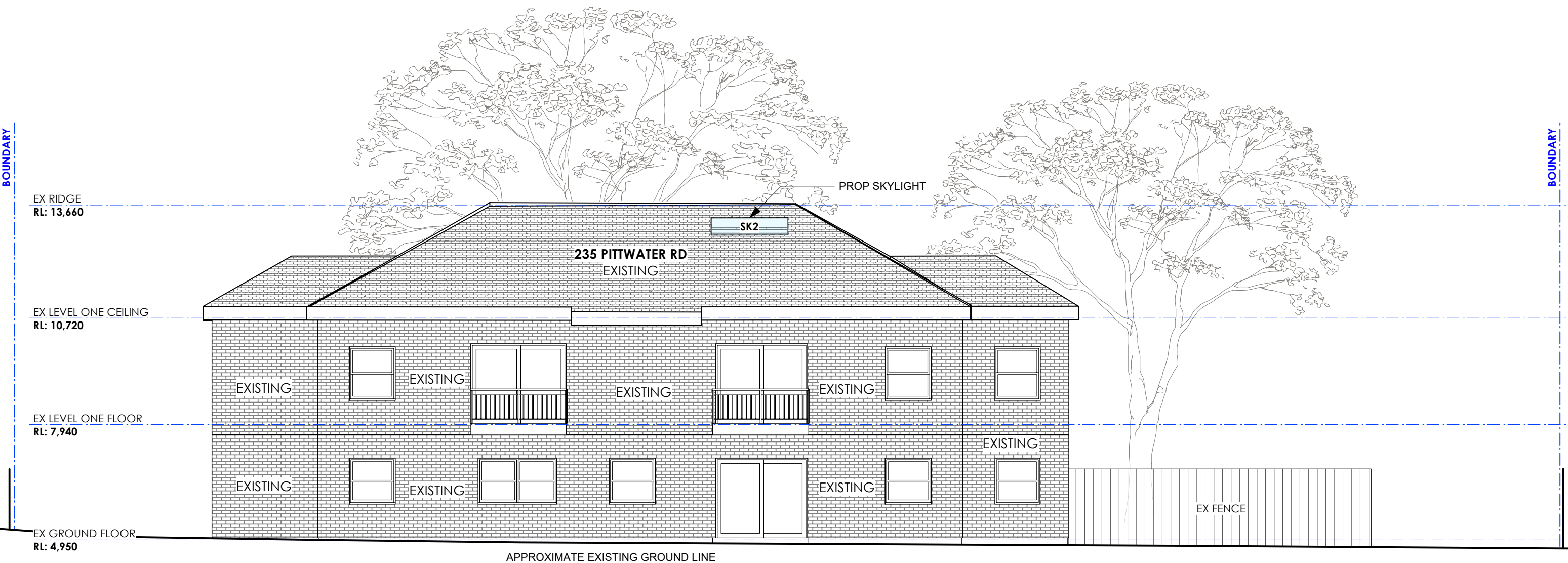
Loft Alterations and Additions

TITLE Proposed Eastern Elevation
CLIENT Phillipa Hayes
AT 4/235 Pittwater Road, Manly

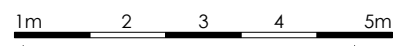
DATE 28/01/2025
SCALE AS NOTED
DRAWN JGW/AC
JOB NO. #2406

DWG
DA - 401
ISSUE C

Issue	Description	Date
C	Development Application Draft	28/01/2025
B	Design Development	08/11/2024
A	Schematic Initials	07/08/2024



01 Western Elevation
Scale: 1:100




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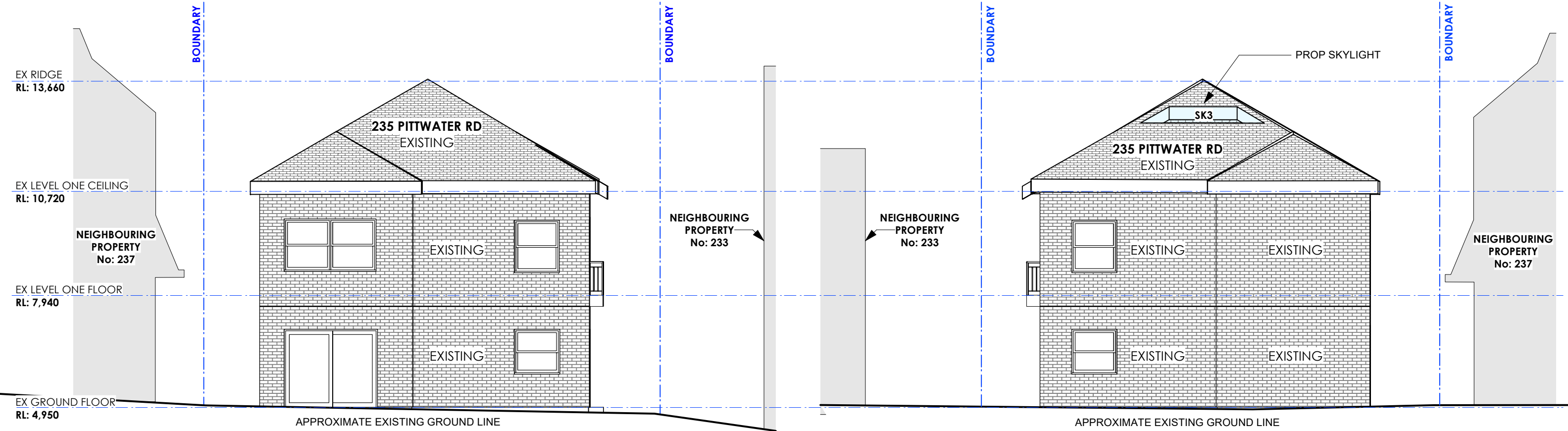
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Loft Alterations and Additions
TITLE Proposed Western Elevation
CLIENT Phillipa Hayes
AT 4/235 Pittwater Road, Manly

DATE 28/01/2025
SCALE AS NOTED
DRAWN JGW/AC
JOB NO. #2406

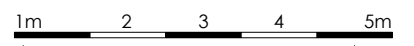
DWG
DA - 402
ISSUE C

Issue	Description	Date
C	Development Application Draft	28/01/2025
B	Design Development	08/11/2024
A	Schematic Initials	07/08/2024



01 Northern Elevation
Scale: 1:100

02 Southern Elevation
Scale: 1:100




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* All work in accordance to BCA - N.C.C., Australian Standards & all relevant authorities.
* Waterproof/ Weatherproofing Details to Master Builders Industry Guidelines and to meet performance standards as well as Australian Standards.

Loft Alterations and Additions

TITLE	Proposed Northern & Southern Elevations
CLIENT	Phillipa Hayes
AT	4/235 Pittwater Road, Manly

DATE	28/01/2025
SCALE	AS NOTED
DRAWN	JGW/AC
JOB NO.	#2406

DWG
DA - 403
 ISSUE **C**

Issue	Description	Date
C	Development Application Draft	28/01/2025
B	Design Development	08/11/2024
A	Schematic Initials	07/08/2024