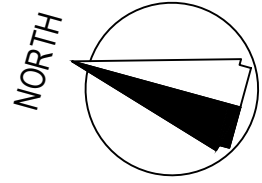


LEGEND

EB - EDGE OF BITUMEN
EC - EDGE OF CONCRETE
TB - TOP OF BANK
BB - BOTTOM OF BANK
WT - TOP OF WINDOW
WB - BOTTOM OF WINDOW
TG - TOP OF GUTTER
RR - ROOF RIDGE
FL - FLOOR LEVEL
INV - INVERT LEVEL
ELEC - ELECTRICAL PIT
Ø4/S10/H16 - TREE DIAMETER/SPREAD/HEIGHT



LEGEND

BENCH MARK	▲
TELSTRA PIT	⊠ TEL
ELECTRIC LIGHT POLE	⊕ LP
POWER POLE	⊙ PP
SIGN POST	⊙ SP
SEWER INSPECTION PIT	⊙ SIP
SEWER VENT	⊕ SEWER
MANHOLE	⊙ MH
SEWER MANHOLE	⊙ SMH
STOP VALVE	⊠ SV
WATER HYDRANT	⊠ HYD
WATER METER	⊠ WM
GAS METER	⊠ GM
STATE SURVEY MARK	⊠ SSM

BOUNDARIES HAVE BEEN DETERMINED BY SURVEY ON 24/03/23.

PRIOR TO ANY CONSTRUCTION WORK, SURVEY MARKS SHOULD BE PLACED TO DEFINE THE PROPERTY BOUNDARIES.

SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SURFACE INDICATOR(S) LOCATED DURING FIELD SURVEY. CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.

LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (AHD) USING SSM 71243 WITH RL 148.827 (AHD).

RIDGE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY INDIRECT METHOD AND ARE ACCURATE TO ± 0.05m.

CONTOURS SHOWN DEPICT THE TOPOGRAPHY. EXCEPT AT SPOT LEVELS SHOWN THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. THE SPOT LEVELS ARE TRUE FOR THEIR POSITION, AND ARE INTENDED TO BE USEFUL TO REPRESENT THE GENERAL TERRAIN. CARE SHOULD BE TAKEN IF EXTRAPOLATING.

EASEMENT(S) AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM CREATED BY:

(A) DP857519 RIGHT OF CARRIAGEWAY VARIABLE WIDTH AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM

(A) DP857519 RIGHT OF CARRIAGEWAY VARIABLE WIDTH APPURTENANT TO THE LAND ABOVE DESCRIBED

(B) DP857519 EASEMENT TO DRAIN WATER 1.5 WIDE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
DP857519 RESTRICTION(S) ON THE USE OF LAND

O953295 CROSS EASEMENTS (S181 B CONVEYANCING ACT, 1919) AFFECTING THE PARTY WALL(S) SHOWN ON THE COMMON BOUNDARY OF LOTS 1321 AND 1322 IN DP857519

REVISION No.	REVISION DATE:	COMMENT:



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PLAN SHOWING DETAIL & FEATURES
OVER LOT 1322 IN D.P. 857519

KNOWN AS No. 4A GUARDIAN PARADE, BEACON HILL.

L.G.A.: NORTHERN BEACHES

CLIENT KIM & DAVID DUFFIN			REF No.
PROPERTY No. 4A GUARDIAN PARADE, BEACON HILL			23046
DATUM A.H.D.	SCALE 1:100 @ A2	DATE 27-03-2023	SHEET No. 1 of 1
SURVEYED FS	DRAWN FS	DWG No. 23046-1	REV No. 00

Timothy A.J. Michael
Timothy A.J. Michael
Registered Surveyor
Nº 9114

