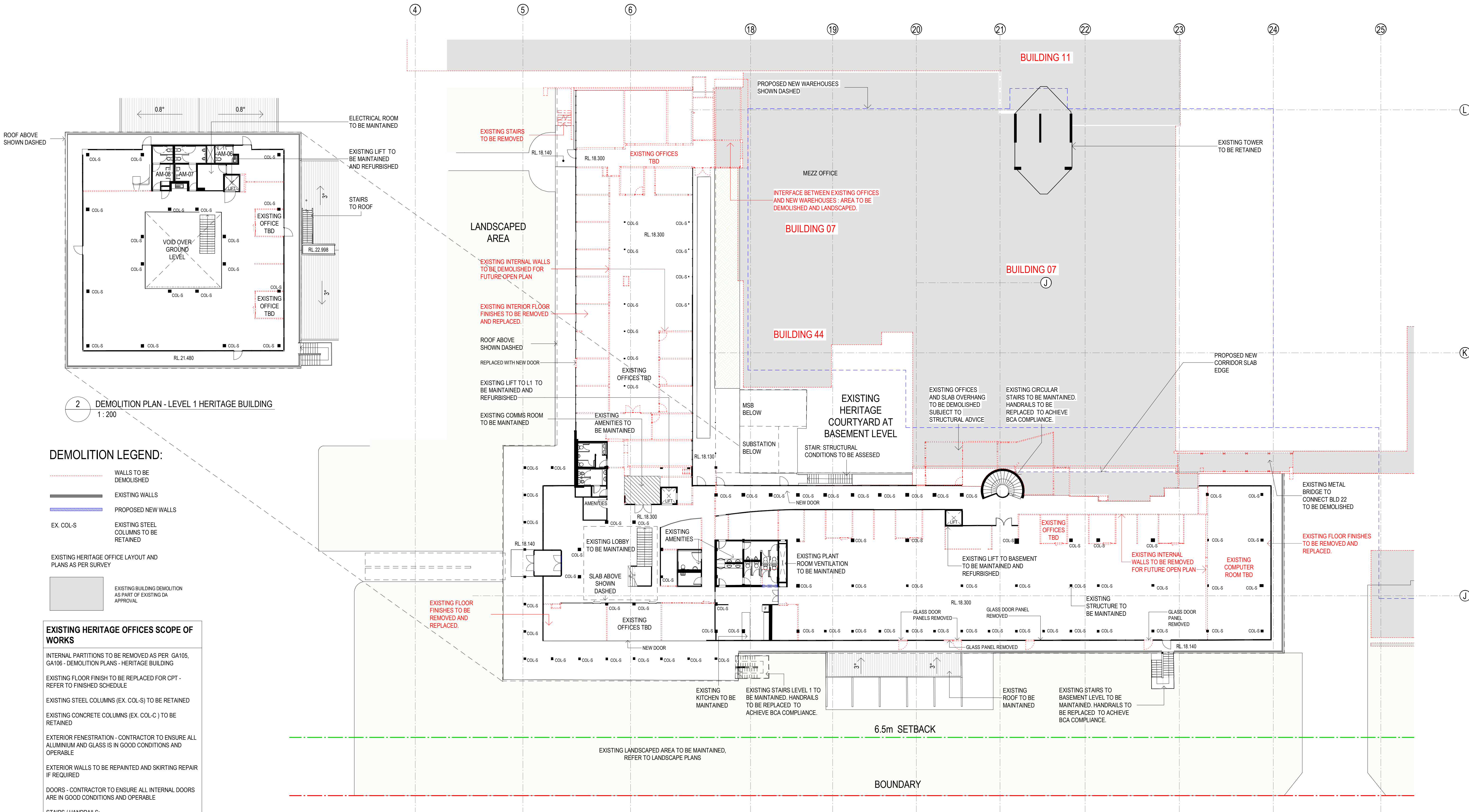


THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2022/0452

SECTION 4.55





DEMOLITION LEGEND:

- WALLS TO BE DEMOLISHED
- EXISTING WALLS
- PROPOSED NEW WALLS
- EX. COL-S
- EXISTING STEEL COLUMNS TO BE RETAINED

EXISTING HERITAGE OFFICE LAYOUT AND PLANS AS PER SURVEY

EXISTING BUILDING DEMOLITION AS PART OF EXISTING DA APPROVAL

EXISTING HERITAGE OFFICES SCOPE OF WORKS

INTERNAL PARTITIONS TO BE REMOVED AS PER GA105, GA106 - DEMOLITION PLANS - HERITAGE BUILDING

EXISTING FLOOR FINISH TO BE REPLACED FOR CPT - REFER TO FINISHED SCHEDULE

EXISTING STEEL COLUMNS (EX. COL-S) TO BE RETAINED

EXISTING CONCRETE COLUMNS (EX. COL-C) TO BE RETAINED

EXTERIOR FENESTRATION - CONTRACTOR TO ENSURE ALL ALUMINIUM AND GLASS IS IN GOOD CONDITIONS AND OPERABLE

EXTERIOR WALLS TO BE REPAINTED AND SKIRTING REPAIR IF REQUIRED

DOORS - CONTRACTOR TO ENSURE ALL INTERNAL DOORS ARE IN GOOD CONDITIONS AND OPERABLE

STAIRS / HANDRAILS - CONTRACTOR TO ENSURE ALL STAIRS TREAD AND HANDRAILS ARE IN GOOD CONDITIONS - BCA CONSULTANT TO REVIEW COMPLIANCE.

REFER TO THE FOLLOWING DOCUMENTS

- CONSERVATION MANAGEMENT PLAN PREPARED BY HERITAGE 21

- HERITAGE OFFICE & CAFE BASE BUILDING PROJECT BRIEF PREPARED BY SBA ARCHITECTS

- EXISTING HERITAGE OFFICE LAYOUT AND PLANS AS PER SURVEY DRAWINGS

1 DEMOLITION PLAN - GROUND FLOOR HERITAGE BUILDING
1 : 200

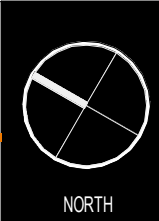
2 DEMOLITION PLAN - LEVEL 1 HERITAGE BUILDING
1 : 200

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
MOD2022/0452

SECTION 4.55

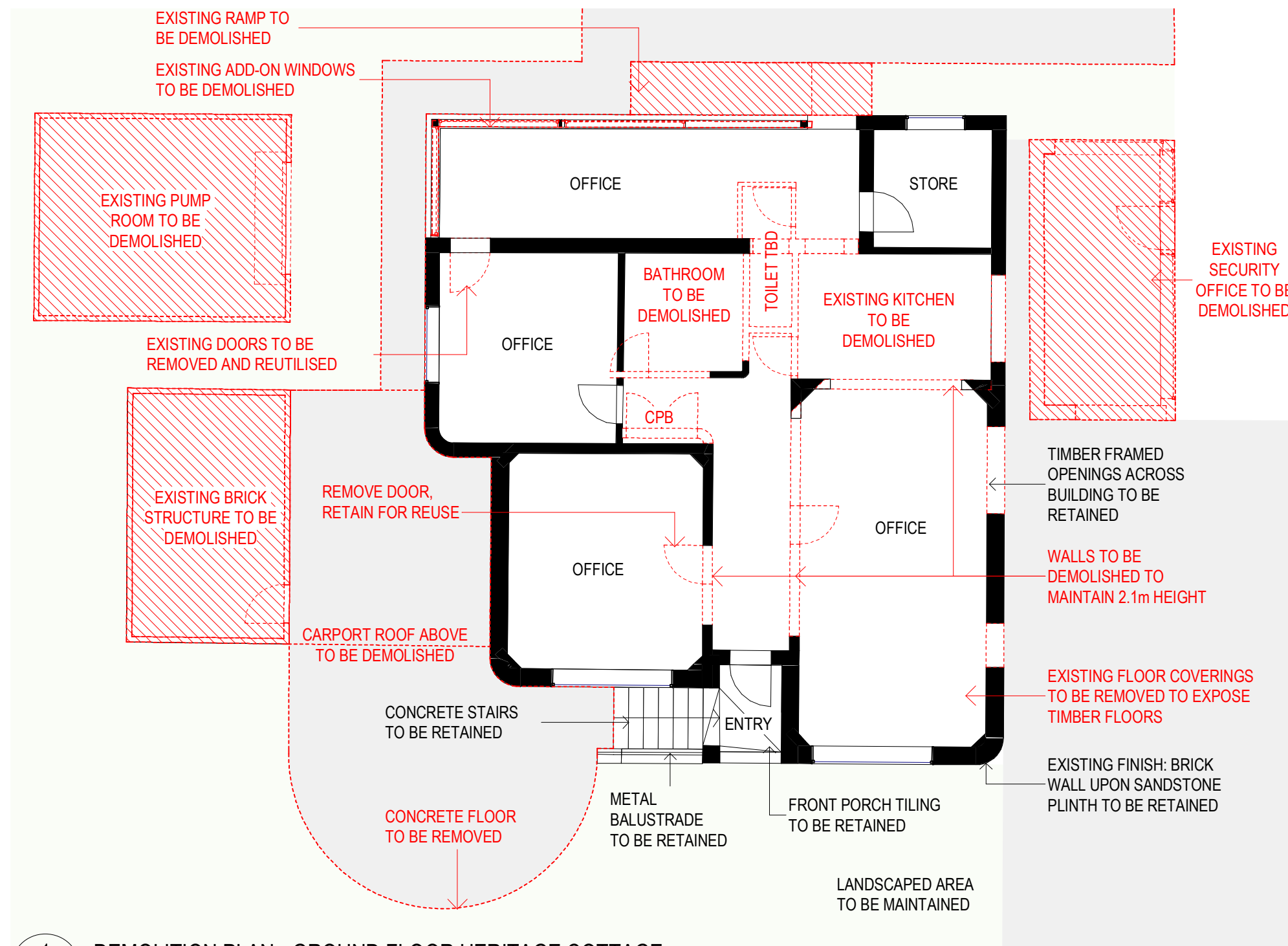
NORTHERN BEACHES BUSINESS PARK

4-10 INMAN ROAD. CROMER

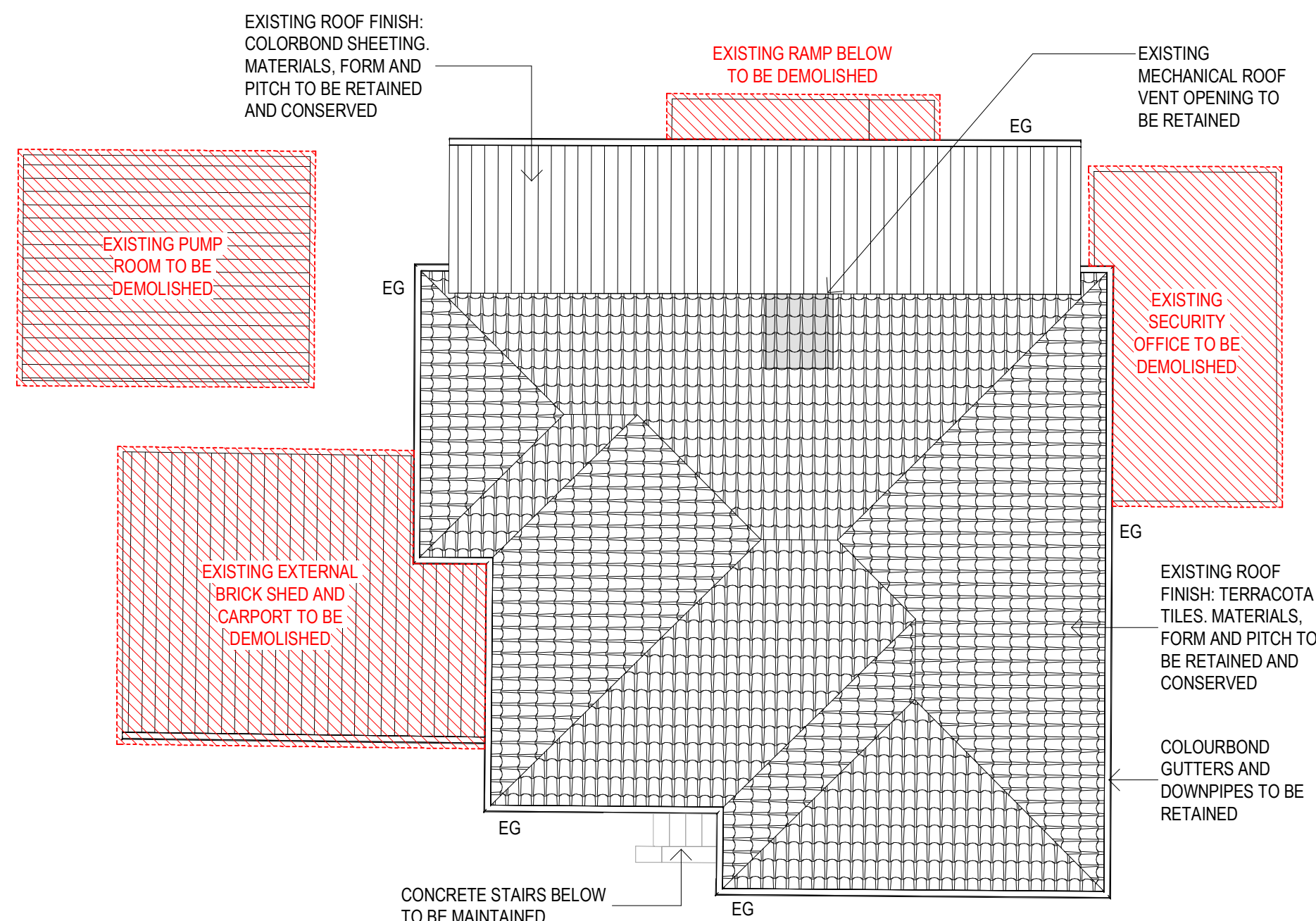


THESE DESIGNS, PLANS & SPECIFICATIONS AND THE COPYRIGHT THEREIN ARE THE PROPERTY OF THE ARCHITECTS AND MUST NOT BE USED, REPRODUCED OR COPIED WHOLLY OR IN PART WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECTS.
FIGURED DIMENSIONS TO BE USED IN PREFERENCE TO SCALING. ALL DIMENSIONS TO BE CHECKED ON SITE.
THIS DOCUMENT NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED & ISSUED FOR CONSTRUCTION.

| TITLE | | | | |
|--|--------------|-------------|---------|----------|
| DEMOLITION PLAN - GROUND & LEVEL 1 - HERITAGE BUILDING | | | | |
| DATE | SCALE | PROJECT NO. | DWG NO. | REVISION |
| 06/07/2022 | 1 : 200 @ A1 | 21178 | DA_M211 | B |



1 DEMOLITION PLAN - GROUND FLOOR HERITAGE COTTAGE
1 : 100



2 DEMOLITION PLAN - ROOF HERITAGE COTTAGE
1 : 100

| DEMOLITION LEGEND: | |
|---|---------------------------|
| | BUILDING TO BE DEMOLISHED |
| | WALLS TO BE DEMOLISHED |
| | EXISTING WALLS |
| | PROPOSED NEW WALLS |
| EXISTING HERITAGE COTTAGE AS PER SURVEY | |

PROPOSED INDICATIVE LAYOUT SUBJECT TO FUTURE TENANT REQUIREMENTS

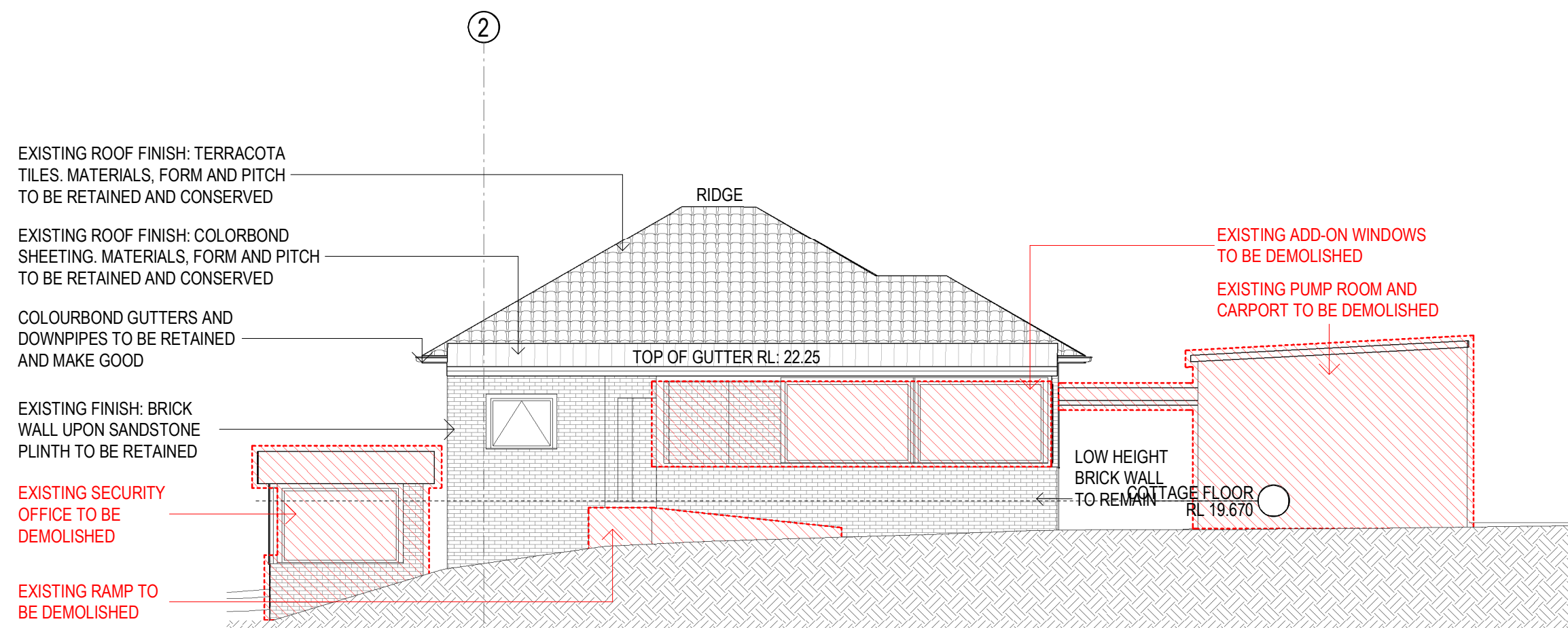
GENERAL NOTES (CAFE):

| | |
|---------------------------|---|
| CEILINGS | - RETAIN AND CONSERVE ORIGINAL. DAMAGED CEILINGS TO BE MADE GOOD |
| DOORS & WINDOWS | - CONTRACTOR TO ENSURE ALL EXISTING DOORS AND WINDOWS ARE OPERABLE AND IN GOOD CONDITIONS |
| ASBESTOS | - ALL ASBESTOS TO BE REMOVED FROM SITE |
| CORNICES | - DAMAGED TO BE REINSTATED TO MATCH ORIGINALS |
| ORIGINAL MASONRY | - EXISTING EXTERNAL BRICK WALLS & SANDSTONE PLINTH TO BE RETAINED AND MAKE GOOD |
| BRICKWORK | - DAMAGED IS TO BE REINSTATED AND MAKE GOOD |
| ARCHITRAVES | - TO BE MAINTAINED AND REPLICATED IN WALL OPENINGS |
| RAINWATER GOODS | - REMOVE ALL COLORBOND AND REINSTATE GALVANISED EAVES GURRERS AND DOWNPIPES |
| ORIGINAL TIMBER ELEMENTS | - TO BE CONSERVED AND MAKE GOOD |
| TERRACOTA VENTS AND HOODS | - ORIGINAL ARE TO BE RETAINED |

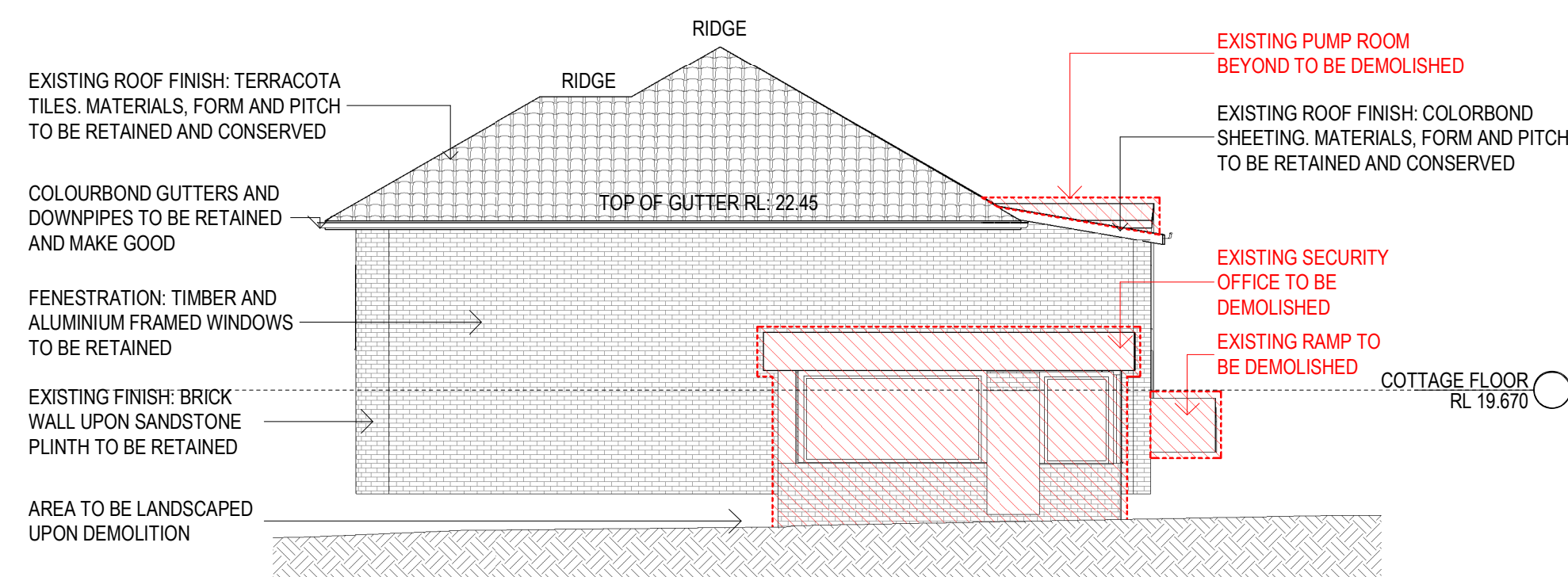
REFER TO HERITAGE REPORT "SCHEDULE OF CONSERVATION WORKS" FOR CONSERVATION ACTIONS AND DETAILS.

ADDITIONAL NOTES:

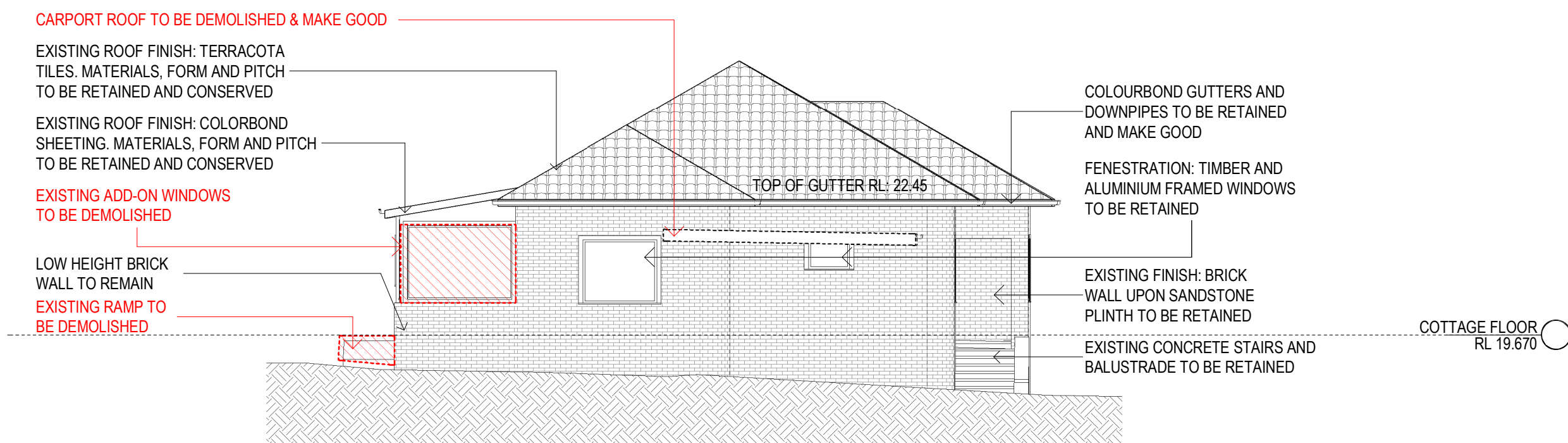
| | |
|--------|--|
| DCX | - EXISTING COTTAGE TIMBER DOORS. ARCHITRAVES AND SKIRTINGS TO BE RETAINED. |
| WX | - EXISTING COTTAGE TIMBER WINDOWS. TIMBER FRAMED OPENINGS TO BE RETAINED. |
| TCT-EZ | - EXISTING TERRACOTA TILES TO BE RETAINED. |



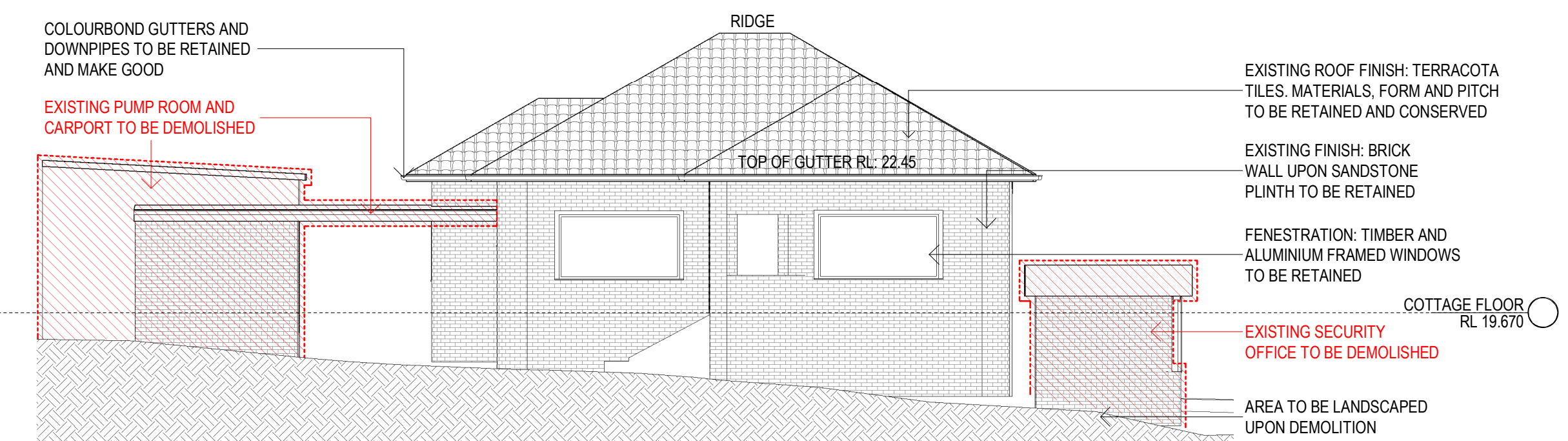
4 HERITAGE COTTAGE - EAST ELEVATION DEMOLITION
1 : 100



6 HERITAGE COTTAGE - SOUTH ELEVATION DEMOLITION
1 : 100



3 HERITAGE COTTAGE - NORTH ELEVATION DEMOLITION
1 : 100

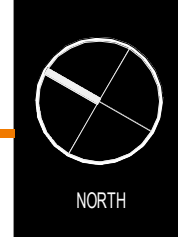


5 HERITAGE COTTAGE - WEST ELEVATION DEMOLITION
1 : 100



NORTHERN BEACHES BUSINESS PARK

4-10 INMAN ROAD. CROMER



THESE DESIGNS, PLANS & SPECIFICATIONS AND THE COPYRIGHT THEREIN ARE THE PROPERTY OF THE ARCHITECTS AND MUST NOT BE USED, REPRODUCED OR COPIED WHOLLY OR IN PART WITHOUT THE WRITTEN PERMISSION OF THIS OFFICE.
FIGURED DIMENSIONS TO BE USED IN PREFERENCE TO SCALINGS. ALL DIMENSIONS TO BE CHECKED ON SITE.
THIS DOCUMENT NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED & ISSUED FOR CONSTRUCTION.

| TITLE | | | | |
|--|-------------------|-------------|---------|----------|
| DEMOLITION PLANS & ELEVATIONS - HERITAGE COTTAGE | | | | |
| DATE | SCALE | PROJECT NO. | DWG NO. | REVISION |
| 06/07/2022 | As indicated @ A1 | 21178 | DA_M213 | B |

SBA
ARCHITECTS

B ISSUED FOR \$4.55 SUBMISSION
A ISSUED FOR \$4.55 MOD 2 SUBMISSION
DESCRIPTION

06/07/2022
20/06/2022
DATE

EG

CLIENT

SECTION 4.55

INTERNAL PARTITIONS TO BE REMOVED AS PER GA105,
GA106 - DEMOLITION PLANS - HERITAGE BUILDING

EXISTING FLOOR FINISH TO BE REPLACED FOR CPT -
REFER TO FINISHED SCHEDULE

EXISTING STEEL COLUMNS (EX. COL-S) TO BE RETAINED

RETAINED

RETAINED

EXTERIOR FENESTRATION - CONTRACTOR TO ENSURE ALL ALUMINIUM AND GLASS IS IN GOOD CONDITIONS AND OPERABLE

EXTERIOR WALLS TO BE REPAINTED AND SKIRTING REPAIR
IF REQUIRED

DOORS - CONTRACTOR TO ENSURE ALL INTERNAL DOORS
ARE IN GOOD CONDITIONS AND OPERABLE

STAIRS / HANDRAILS:

- CONTRACTOR TO ENSURE ALL STAIRS TREAD AND HANDRAILS ARE IN GOOD CONDITIONS.
- BCA CONSULTANT TO REVIEW COMPLIANCE.

- CONSERVATION MANAGEMENT PLAN PREPARED BY
HERITAGE 21

- HERITAGE OFFICE & CAFE BASE BUILDING PROJECT
BRIEF PREPARED BY SBA ARCHITECTS

- HERITAGE OFFICE & CAFE BASE BUILDING PROJECT
BRIEF PREPARED BY SBA ARCHITECTS

- EXISTING HERITAGE OFFICE LAYOUT AND PLANS AS PER SURVEY DRAWINGS

 EXISTING WALLS

 PROPOSED NEW WALLS PROPOSED NEW WALLS

| EX. COL-S | EXISTING STEEL COLUMNS TO BE RETAINED |
|-----------|--|
|-----------|--|

| EX. COL-S | EXISTING STEEL COLUMNS TO BE RETAINED |
|-----------|--|
|-----------|--|

SHADED AREAS PART OF
EXISTING DA

SHADED AREAS PART OF
EXISTING DA



1 HERITAGE OFFICE BASEMENT
1 : 200

EXISTING HERITAGE OFFICES SCOPE OF WORKS

INTERNAL PARTITIONS TO BE REMOVED AS PER GA105, GA106 - DEMOLITION PLANS - HERITAGE BUILDING

EXISTING FLOOR FINISH TO BE REPLACED FOR CPT - REFER TO FINISHED SCHEDULE

EXISTING STEEL COLUMNS (EX. COL-S) TO BE RETAINED

EXISTING CONCRETE COLUMNS (EX. COL-C) TO BE RETAINED

EXTERIOR FENESTRATION - CONTRACTOR TO ENSURE ALL ALUMINIUM AND GLASS IS IN GOOD CONDITIONS AND OPERABLE

EXTERIOR WALLS TO BE REPAINTED AND SKIRTING REPAIR IF REQUIRED

DOORS - CONTRACTOR TO ENSURE ALL INTERNAL DOORS ARE IN GOOD CONDITIONS AND OPERABLE

STAIRS / HANDRAILS:
- CONTRACTOR TO ENSURE ALL STAIRS TREAD AND HANDRAILS ARE IN GOOD CONDITIONS.
- BCA CONSULTANT TO REVIEW COMPLIANCE.

REFER TO THE FOLLOWING DOCUMENTS

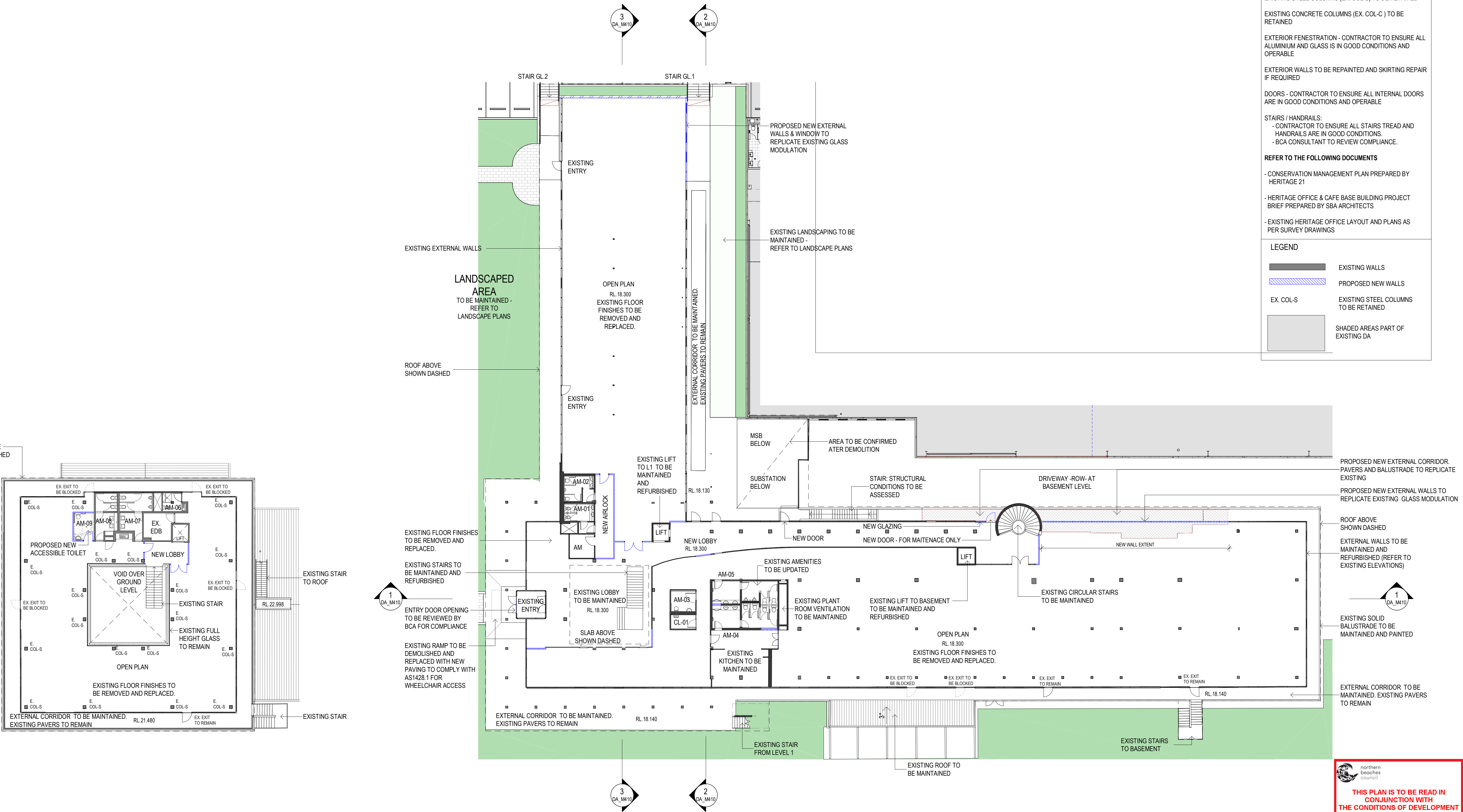
- CONSERVATION MANAGEMENT PLAN PREPARED BY HERITAGE 21

- HERITAGE OFFICE & CAFE BASE BUILDING PROJECT BRIEF PREPARED BY SBA ARCHITECTS

- EXISTING HERITAGE OFFICE LAYOUT AND PLANS AS PER SURVEY DRAWINGS

LEGEND

| | |
|-----------|---------------------------------------|
| | EXISTING WALLS |
| | PROPOSED NEW WALLS |
| EX. COL-S | EXISTING STEEL COLUMNS TO BE RETAINED |
| | SHADED AREAS PART OF EXISTING DA |



1 FIRST FLOOR PLAN
1 : 200

2 GROUND FLOOR PLAN
1 : 200

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
MOD2022/0452

SECTION 4.55

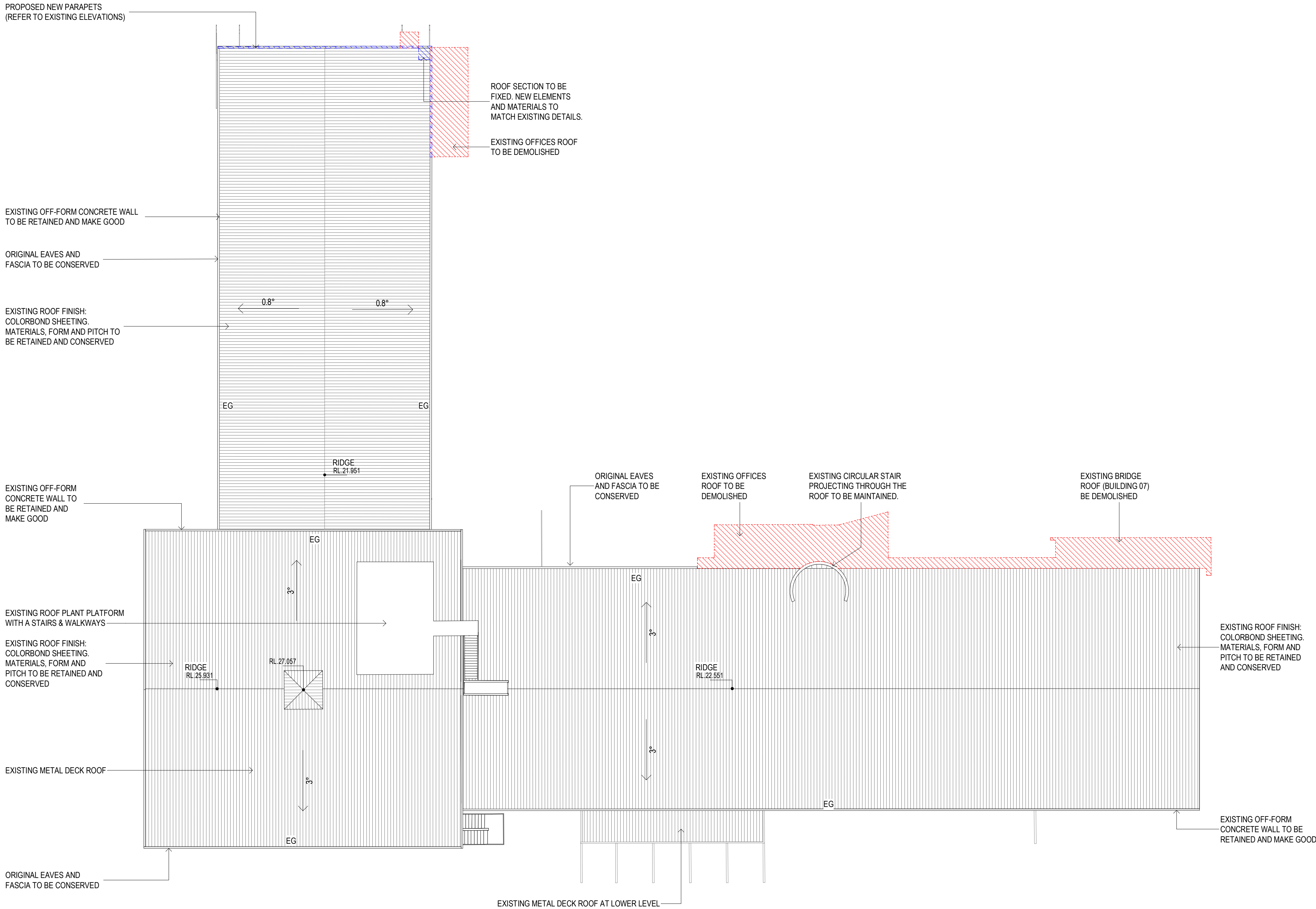
NORTHERN BEACHES BUSINESS PARK

4-10 INMAN ROAD. CROMER



THESE DESIGNS, PLANS & SPECIFICATIONS AND THE COPYRIGHT THEREIN ARE THE PROPERTY OF THE ARCHITECTS AND MUST NOT BE USED, REPRODUCED OR COPIED WHOLLY OR IN PART WITHOUT THE WRITTEN PERMISSION OF THIS OFFICE.
FIGURED DIMENSIONS TO BE USED IN PREFERENCE TO SCALING. ALL DIMENSIONS TO BE CHECKED ON-SITE.
THIS DOCUMENT NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED & ISSUED FOR CONSTRUCTION.

| | | | | |
|--|-----------------------|----------------------|--------------------|---------------|
| TITLE HERITAGE BUILDING - GROUND FLOOR & FIRST FLOOR PLANS | | | | |
| DATE 06/07/2022 | SCALE 1 : 200 @ A1 | PROJECT NO. 21178 | DWG NO. DA_M301 | REVISION B |



EXISTING HERITAGE OFFICES SCOPE OF WORKS

- INTERNAL PARTITIONS TO BE REMOVED AS PER GA105, GA106 - DEMOLITION PLANS - HERITAGE BUILDING
- EXISTING FLOOR FINISH TO BE REPLACED FOR CPT - REFER TO FINISHED SCHEDULE
- EXISTING STEEL COLUMNS (EX. COL-S) TO BE RETAINED
- EXISTING CONCRETE COLUMNS (EX. COL-C) TO BE RETAINED
- EXTERIOR FENESTRATION - CONTRACTOR TO ENSURE ALL ALUMINIUM AND GLASS IS IN GOOD CONDITIONS AND OPERABLE
- EXTERIOR WALLS TO BE REPAINTED AND SKIRTING REPAIR IF REQUIRED
- DOORS - CONTRACTOR TO ENSURE ALL INTERNAL DOORS ARE IN GOOD CONDITIONS AND OPERABLE
- STAIRS / HANDRAILS:
- CONTRACTOR TO ENSURE ALL STAIRS TREAD AND HANDRAILS ARE IN GOOD CONDITIONS.
- BCA CONSULTANT TO REVIEW COMPLIANCE.
- REFER TO THE FOLLOWING DOCUMENTS**
- CONSERVATION MANAGEMENT PLAN PREPARED BY HERITAGE 21
 - HERITAGE OFFICE & CAFE BASE BUILDING PROJECT BRIEF PREPARED BY SBA ARCHITECTS
 - EXISTING HERITAGE OFFICE LAYOUT AND PLANS AS PER SURVEY DRAWINGS

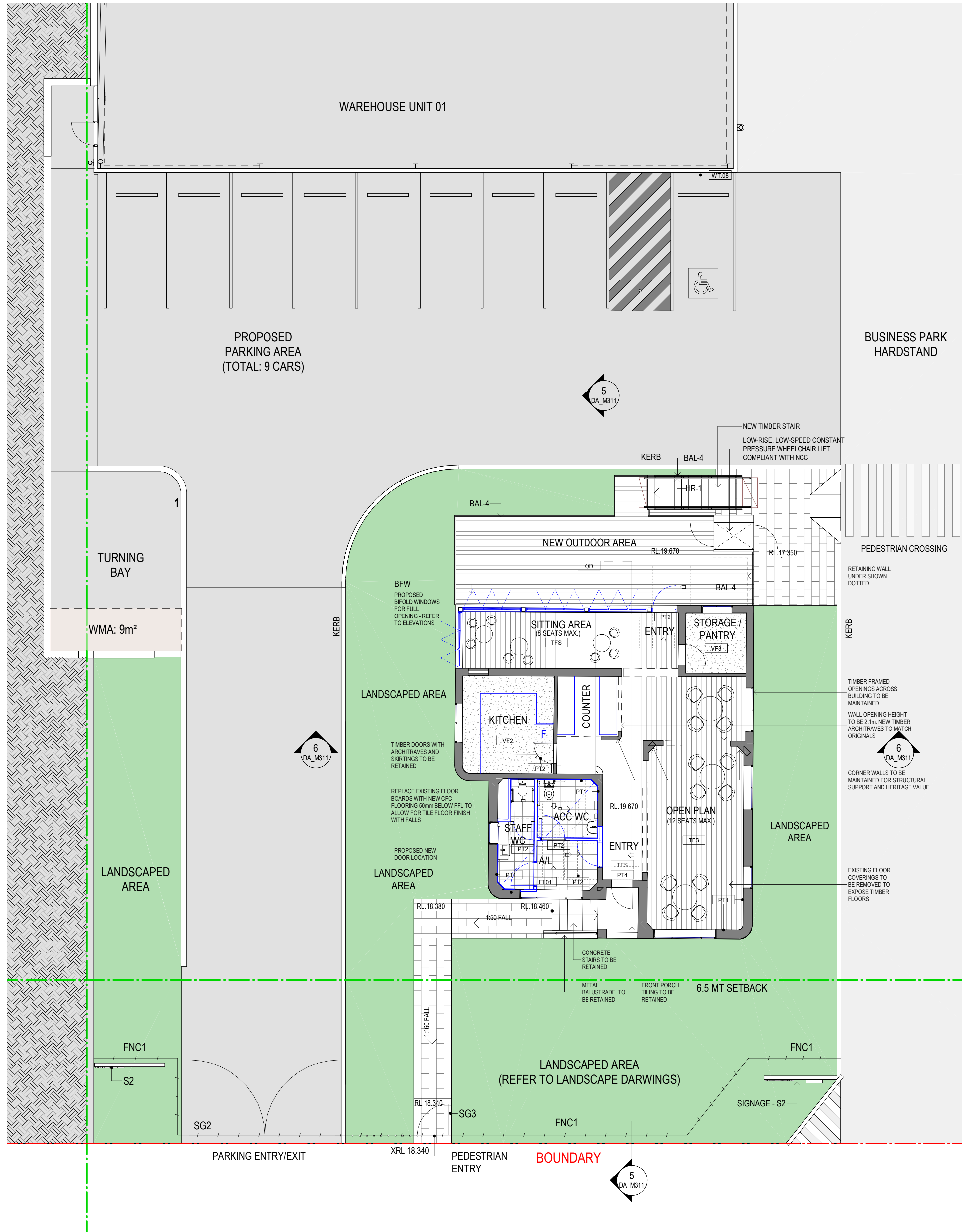


THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

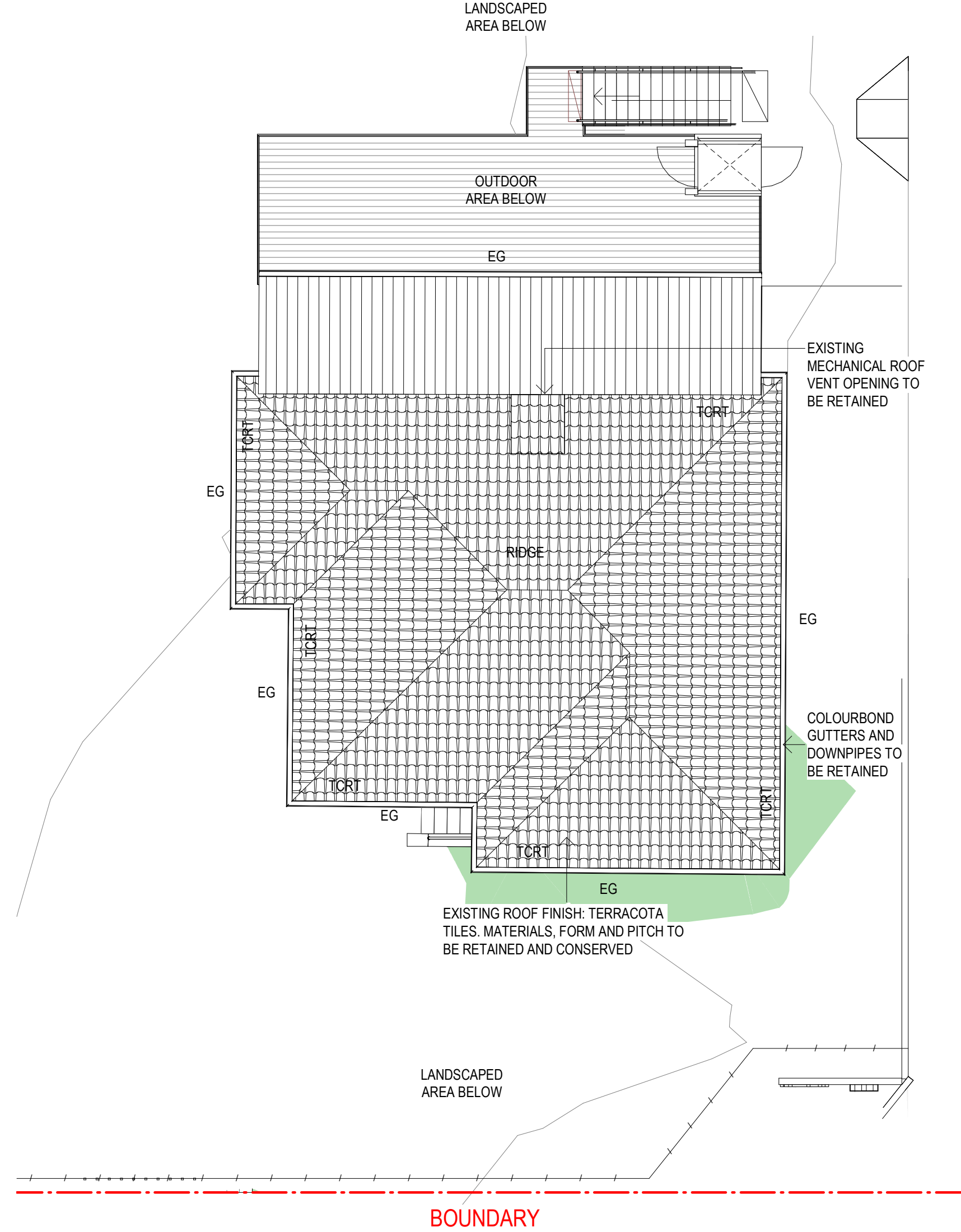
MOD2022/0452

1 HERITAGE BUILDING ROOF PLAN
1 : 200

SECTION 4.55



1 PROPOSED GROUND FLOOR PLAN - CAFE
1: 100



2 PROPOSED ROOF PLAN - CAFE
1: 100

PROPOSED INDICATIVE LAYOUT SUBJECT TO FUTURE TENANT REQUIREMENTS

GENERAL NOTES (CAFE):

- CEILINGS - RETAIN AND CONSERVE ORIGINAL. DAMAGED CEILINGS TO BE MADE GOOD
- DOORS & WINDOWS - CONTRACTOR TO ENSURE ALL EXISTING DOORS AND WINDOWS ARE OPERABLE AND IN GOOD CONDITIONS
- ASBESTOS - ALL ASBESTOS TO BE REMOVED FROM SITE
- CORNICES - DAMAGED TO BE REINSTATED TO MATCH ORIGINALS
- ORIGINAL MASONRY - EXISTING EXTERNAL BRICK WALLS & SANDSTONE PLINTH TO BE RETAINED AND MAKE GOOD
- BRICKWORK - DAMAGED IS TO BE REINSTATED AND MAKE GOOD
- ARCHITRAVES - TO BE MAINTAINED AND REPLICATED IN WALL OPENINGS
- RAINWATER GOODS - REMOVE ALL COLORBOND AND REINSTATE GALVANISED EAVES GUTTERS AND DOWNPIPES
- ORIGINAL TIMBER ELEMENTS - TO BE CONSERVED AND MAKE GOOD
- TERRACOTA VENTS AND HOODS - ORIGINAL ARE TO BE RETAINED

REFER TO HERITAGE REPORT "SCHEDULE OF CONSERVATION WORKS" FOR CONSERVATION ACTIONS AND DETAILS.

- ADDITIONAL NOTES:
- DCX - EXISTING COTTAGE TIMBER DOORS. ARCHITRAVES AND SKIRTINGS TO BE RETAINED.
- WX - EXISTING COTTAGE TIMBER WINDOWS. TIMBER FRAMED OPENINGS TO BE RETAINED.
- TCT-EZ - EXISTING TERRACOTA TILES TO BE RETAINED.

GENERAL NOTES

- FNC1 - NEW PALISADE FENCE, 1.8m HEIGHT. BLACK FINISH TO BE LOCATED AT SAME PLACE THAN EXISTING FENCE
- BOUNDARY LINE
- SETBACK
- S1 - TENANT PYLON SIGN
- S2 - PRECAST CONCRETE (ROCHE LOGO PRECAST PANELS RELOCATED) REFER TO SIGNAGE DETAIL PLAN
- RSD - ROLLER SHUTTER DOOR
- RW - RETAINING WALL PROPOSED
- E.RW - EXISTING RETAINING WALL TO BE RETAINED
- SG1 - SLIDING GATE
- SG2 - SWING GATE
- SG3 - PEDESTRIAN SWING GATE
- APL - ALUMINIUM POWDERCOATED LOUVRES

- LANDSCAPE AREA
- EXISTING TREES TO BE RETAINED
- REFER TO LANDSCAPE PLANS
- ALL DIMENSIONS TO BE CHECKED ON SITE
- INSPECTION WELL TO BE RETAINED

- LEGEND
- EXISTING WALLS
- PROPOSED NEW WALLS
- EX. COL-S
- EXISTING STEEL COLUMNS TO BE RETAINED
- SHADED AREAS PART OF EXISTING DA

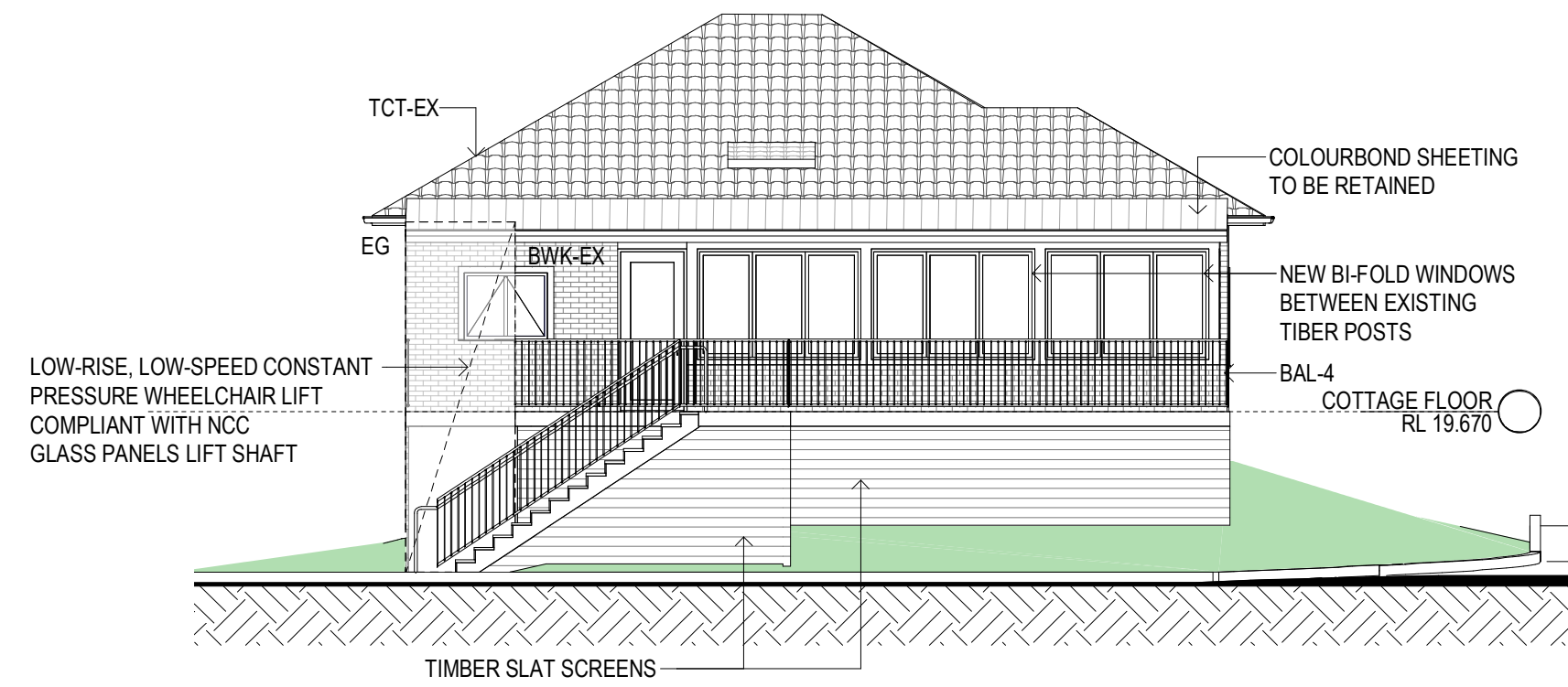
- LEGEND:
- ARM - ARMCO - LIGHTWEIGHT CLADDING PROTECTION
- B1 BOLLARD TYPE 1
- B2 BOLLARD TYPE 2
- BAL-1 BALUSTRADE TYPE 1 - FRAMELESS GLASS
- BAL-2 BALUSTRADE TYPE 2 - GALVANISED STEEL
- BAL-3 BALUSTRADE TYPE 3 - ALUMINIUM
- BFW - BIFOLD WINDOWS
- COL-C - COLUMN-CONCRETE TO STRUCT. ENG. SPECS
- COL-S - COLUMN-STEEL TO STRUCT. ENG. SPECS
- DPX - DOWNPIPE TYPEX TO HYDRAULIC ENG. SPECS
- FHR - FIRE HOSE REEL
- LVB - LOUVRE BLACK POWDERCOATED FINISH
- RSD1 WAREHOUSE ROLLER SHUTTER DOOR (6m x 6m)
- RSD2 SELF-STORAGE ENTRY SHUTTER DOOR (6m x 3m)
- RW - RETAINING WALL
- RWE - RETAINING WALL (EXISTING)
- TORT TERRACOTTA ROOF TILE - EXISTING
- TI.01 TACTILE INDICATOR - WAREHOUSE
- TI.02 TACTILE INDICATOR - OFFICE
- RAL - ROOF ACCESS LADDER
- SPIP - SUB FIRE INDICATOR PANEL/MIMIC PANEL (TO ENG'S SPECS)
- WMA - WASTE MANAGEMENT AREA
- WSx - WALL SECTION

- WALL TYPES:
- WT.01 - PCP - PRECAST CONCRETE PANEL - NATURAL FINISH
- WT.02 - PCP-X - PRECAST CONCRETE PANEL - PAINT FINISH
- WT.03 - BWK-EX - BRICK WALL (TO MATCH HERITAGE BUILDING)
- WT.04 - ALC-1 - SOLID ALUMINIUM CLADDING - LIGHT GREY FINISH
- WT.05 - ALC-2 - SOLID ALUMINIUM CLADDING - DARK GREY FINISH
- WT.06 - CSS - SOLID CLADDING - SIMIL CONCRETE
- WT.07 - PCP - FIRE RATED INTERTENANCY WALL - REFER TO BCA
- WT.08 - PB - PLASTERBOARD BOTH SIDES
- WT.09 - WT - WALL TILES ON PLASTERBOARD
- WT.10 - DINCEL WALL (290mm) TO ENG'S SPECS

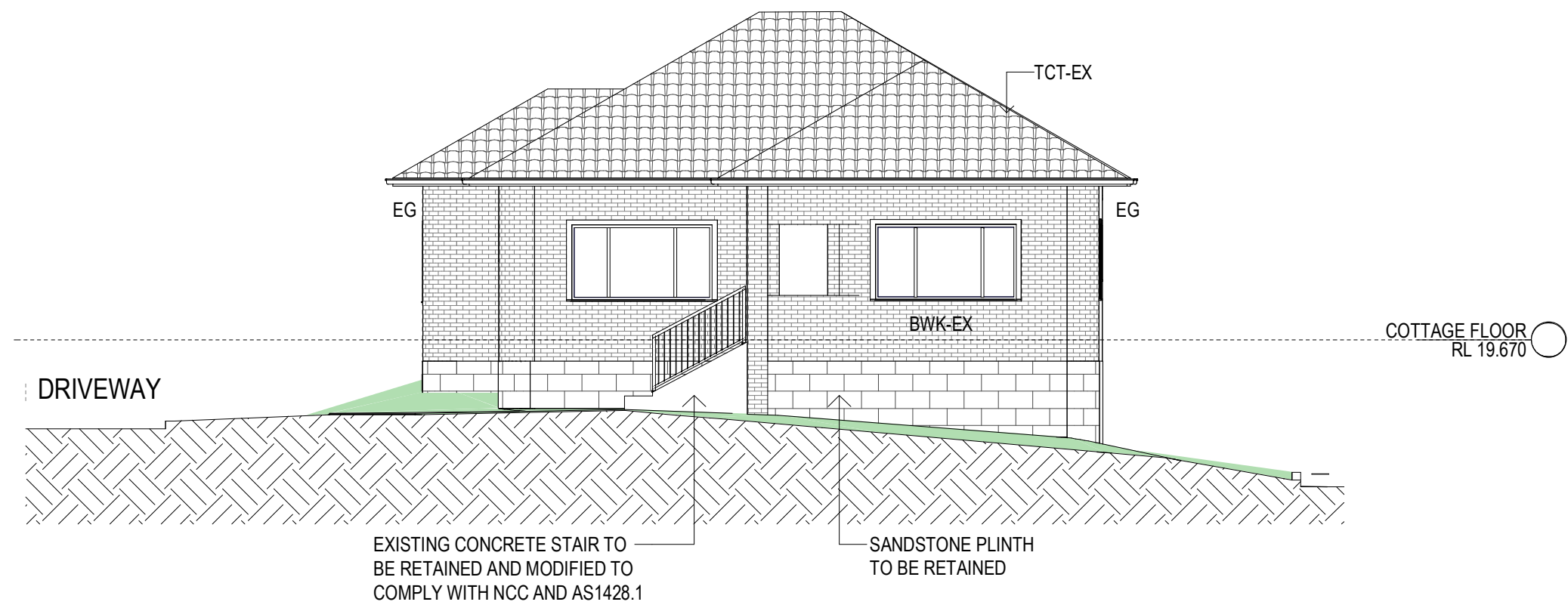
- FLOOR TYPES:
- CONC-1 - CONCRETE SLAB - TO ENG'S SPECS
- CONC-2 - SUSPENDED CONCRETE SLAB - TO ENG'S SPECS
- CONC-BF - CONCRETE BROOM FINISH
- CPT - GENERAL CARPET
- VF1/VF2 - VINYL FLOOR (REFER TO FINISHES SCHEDULE)
- FT.01 - FLOOR TILE 300x300
- FT.02 - FLOOR TILE 200x200
- OD - OUTDOOR DECKING
- PV - PAVING
- PRC - PAVING - REINFORCED CONCRETE PAVER
- TFS - TIMBER FLOOR SEALER - EXISTING TIMBER FLOOR TO BE SANDED & POLISHED



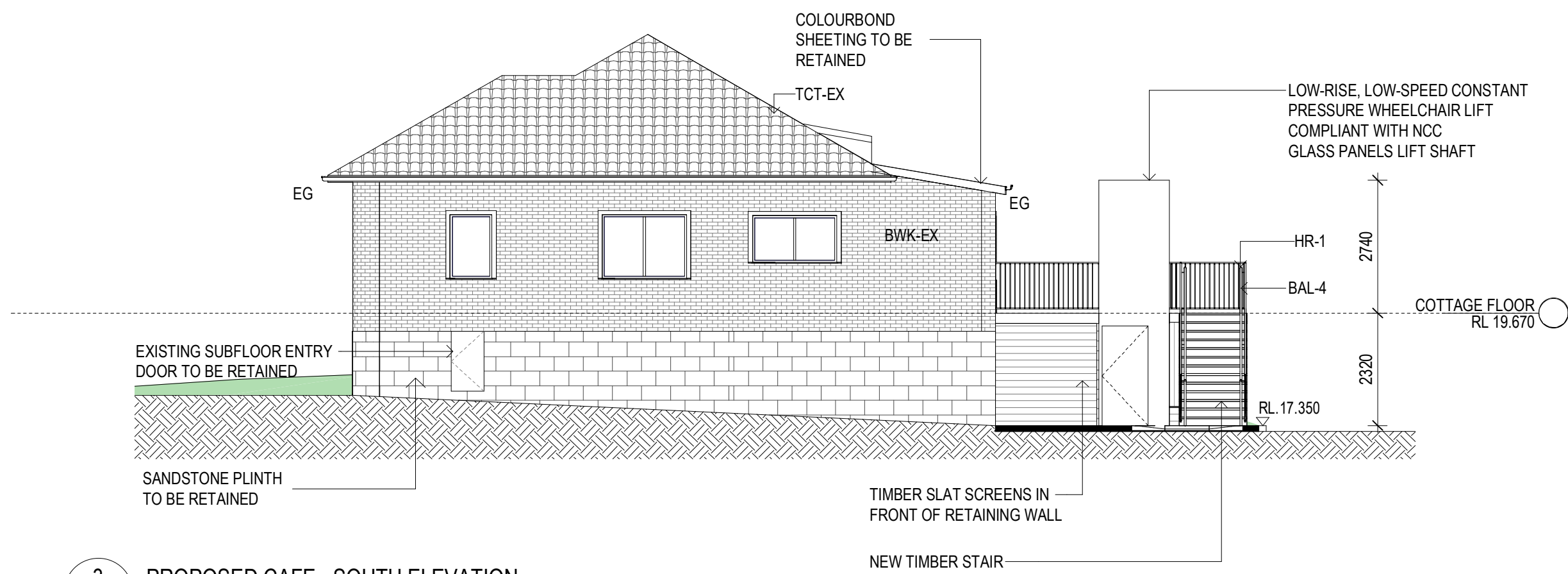
SECTION 4.55



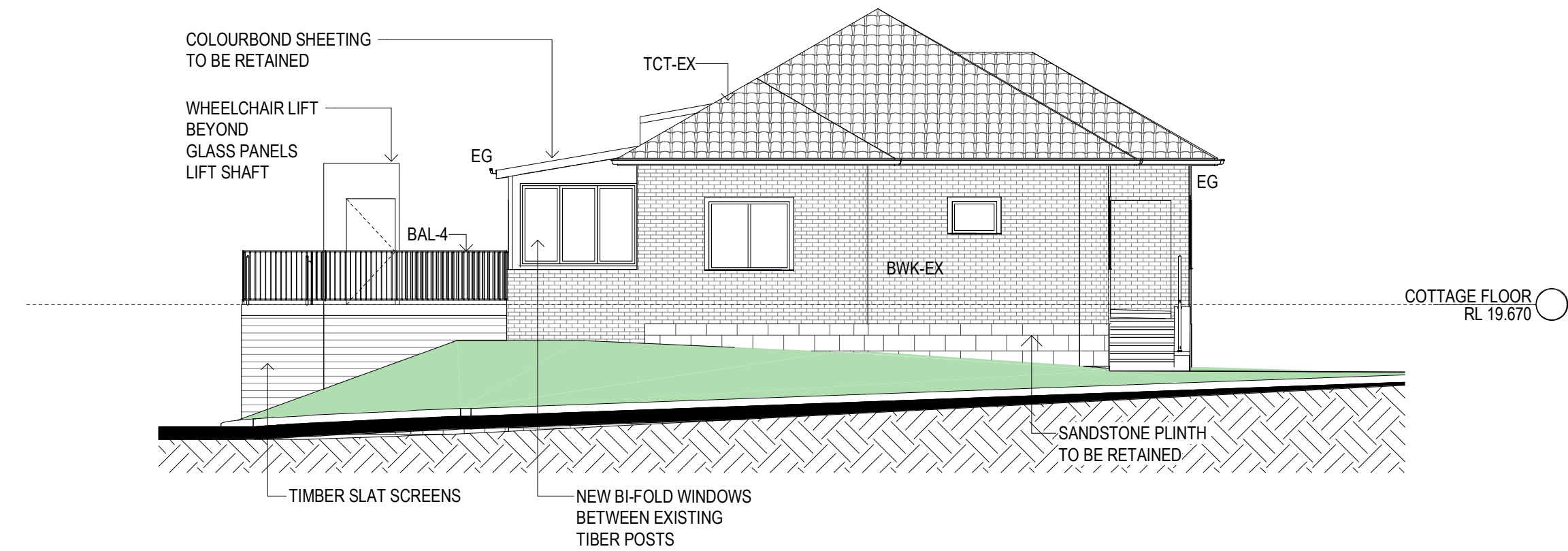
1 PROPOSED CAFE - EAST ELEVATION
1:100



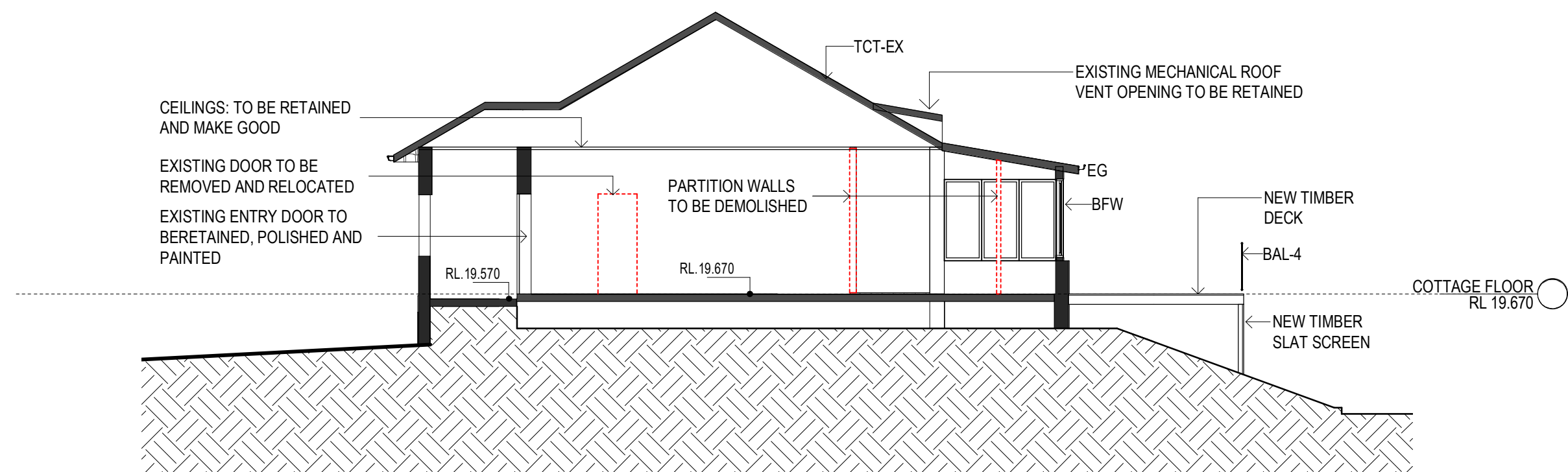
2 PROPOSED CAFE - WEST ELEVATION
1:100



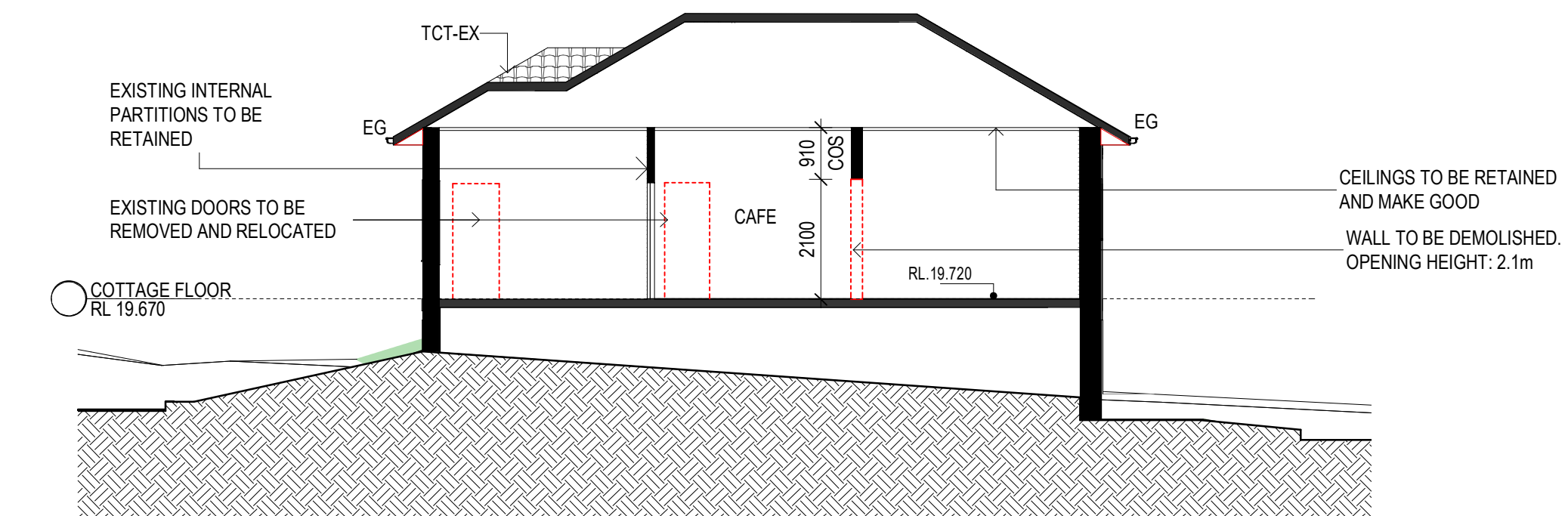
3 PROPOSED CAFE - SOUTH ELEVATION
1:100



4 PROPOSED CAFE - NORTH ELEVATION
1:100



5 PROPOSED CAFE - SECTION A
1:100



6 PROPOSED CAFE - SECTION B
1:100

DEMOLITION LEGEND:

- WALLS TO BE DEMOLISHED
- EXISTING WALLS
- PROPOSED NEW WALLS
- EX. COL-S EXISTING STEEL COLUMNS TO BE RETAINED

EXISTING HERITAGE OFFICE LAYOUT AND PLANS AS PER SURVEY

EXISTING BUILDING DEMOLITION AS PART OF EXISTING DA APPROVAL

PROPOSED INDICATIVE LAYOUT SUBJECT TO FUTURE TENANT REQUIREMENTS

GENERAL NOTES (CAFE):

- CEILINGS - RETAIN AND CONSERVE ORIGINAL. DAMAGED CEILINGS TO BE MADE GOOD
- DOORS & WINDOWS - CONTRACTOR TO ENSURE ALL EXISTING DOORS AND WINDOWS ARE OPERABLE AND IN GOOD CONDITIONS
- ASBESTOS - ALL ASBESTOS TO BE REMOVED FROM SITE
- CORNICES - DAMAGED TO BE REINSTATED TO MATCH ORIGINALS
- ORIGINAL MASONRY - EXISTING EXTERNAL BRICK WALLS & SANDSTONE PLINTH TO BE RETAINED AND MAKE GOOD
- BRICKWORK - DAMAGED IS TO BE REINSTATED AND MAKE GOOD
- ARCHITRAVES - TO BE MAINTAINED AND REPLICATED IN WALL OPENINGS
- RAINWATER GOODS - REMOVE ALL COLORBOND AND REINSTAE GALVANISED EAVES GURRERS AND DOWNPIPES
- ORIGINAL TIMBER ELEMENTS - TO BE CONSERVED AND MAKE GOOD
- TERRACOTA VENTS AND HOODS - ORIGINAL ARE TO BE RETAINED

REFER TO HERITAGE REPORT "SCHEDULE OF CONSERVATION WORKS" FOR CONSERVATION ACTIONS AND DETAILS.

ADDITIONAL NOTES:

- DCX - EXISTING COTTAGE TIMBER DOORS. ARCHITRAVES AND SKIRTINGS TO BE RETAINED.
- WX - EXISTING COTTAGE TIMBER WINDOWS. TIMBER FRAMED OPENINGS TO BE RETAINED.
- TCT-EZ - EXISTING TERRACOTA TILES TO BE RETAINED.

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
MOD2022/0452

SECTION 4.55

NORTHERN BEACHES BUSINESS PARK

4-10 INMAN ROAD. CROMER

SBA
ARCHITECTS

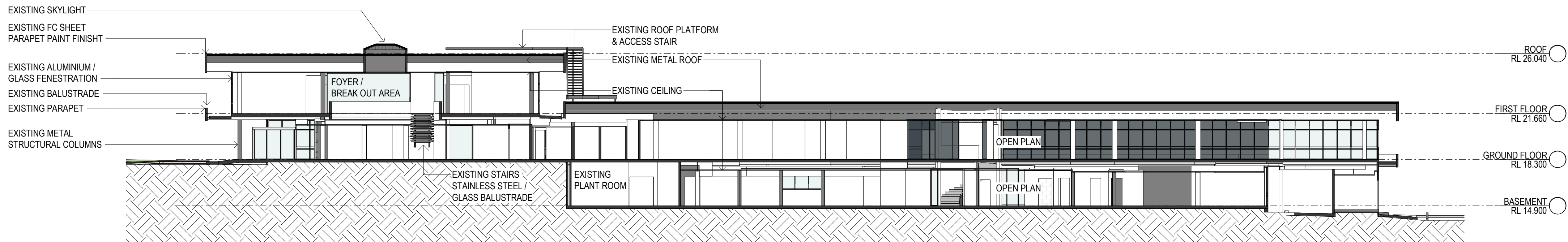
E ISSUED FOR S4.55 SUBMISSION 19/07/2022
D ISSUED FOR S4.55 SUBMISSION 15/07/2022
C ISSUED FOR S4.55 SUBMISSION 14/07/2022
B ISSUED FOR S4.55 SUBMISSION 06/07/2022
A ISSUED FOR S4.55 MOD 2 SUBMISSION 20/06/2022
DESCRIPTION DATE

CLIENT

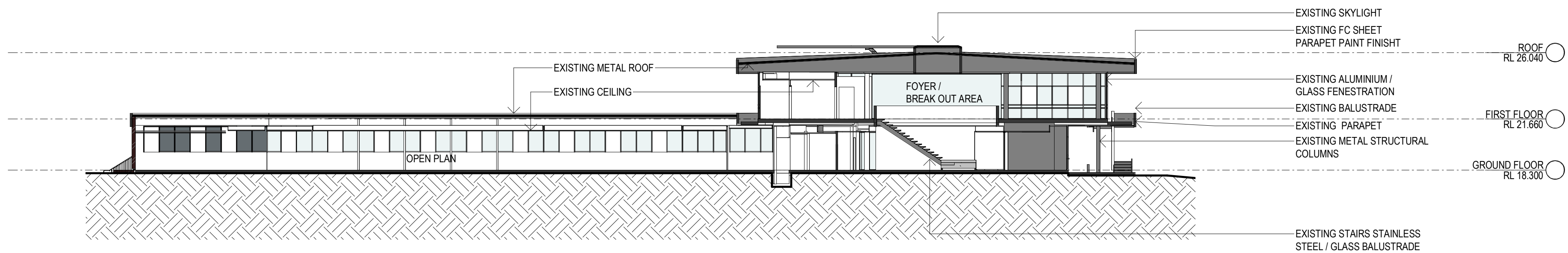
EG

THESE DESIGNS, PLANS & SPECIFICATIONS AND THE COPYRIGHT THEREIN ARE THE PROPERTY OF THE ARCHITECTS AND MUST NOT BE USED, REPRODUCED OR COPIED WHOLLY OR IN PART WITHOUT THE WRITTEN PERMISSION OF THIS OFFICE.
FIGURED DIMENSIONS TO BE USED IN PREFERENCE TO SCALING. ALL DIMENSIONS TO BE CHECKED ON SITE.
THIS DOCUMENT NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED & ISSUED FOR CONSTRUCTION.

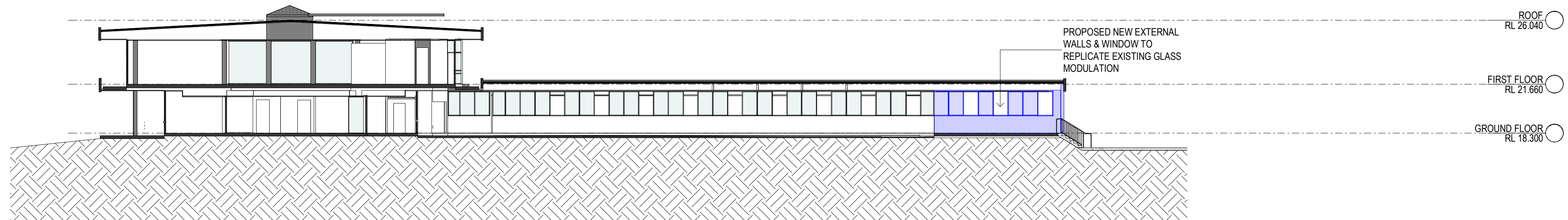
HERITAGE COTTAGE CAFE - ELEVATIONS AND SECTIONS
DATE 18/07/2022 SCALE As indicated @ A1 PROJECT NO. 21178 DWG NO. DA_M311 REVISION E



1 HERITAGE BUILDING - SECTION 1
DA_M300 1 : 200



3 HERITAGE BUILDING - SECTION 3
DA_M301 1 : 200



2 HERITAGE BUILDING - SECTION 2
DA_M301 1 : 200

DEMOLITION LEGEND:

- WALLS TO BE DEMOLISHED
- EXISTING WALLS
- PROPOSED NEW WALLS
- EX. COL-S EXISTING STEEL COLUMNS TO BE RETAINED

EXISTING HERITAGE OFFICE LAYOUT AND PLANS AS PER SURVEY

EXISTING BUILDING DEMOLITION AS PART OF EXISTING DA APPROVAL

EXISTING HERITAGE OFFICES SCOPE OF WORKS

INTERNAL PARTITIONS TO BE REMOVED AS PER GA105, GA106 - DEMOLITION PLANS - HERITAGE BUILDING

EXISTING FLOOR FINISH TO BE REPLACED FOR CPT - REFER TO FINISHED SCHEDULE

EXISTING STEEL COLUMNS (EX. COL-S) TO BE RETAINED

EXISTING CONCRETE COLUMNS (EX. COL-C) TO BE RETAINED

EXTERIOR FENESTRATION - CONTRACTOR TO ENSURE ALL ALUMINIUM AND GLASS IS IN GOOD CONDITIONS AND OPERABLE

EXTERIOR WALLS TO BE REPAINTED AND SKIRTING REPAIR IF REQUIRED

DOORS - CONTRACTOR TO ENSURE ALL INTERNAL DOORS ARE IN GOOD CONDITIONS AND OPERABLE

STAIRS / HANDRAILS:
- CONTRACTOR TO ENSURE ALL STAIRS TREAD AND HANDRAILS ARE IN GOOD CONDITIONS.
- BCA CONSULTANT TO REVIEW COMPLIANCE.

REFER TO THE FOLLOWING DOCUMENTS

- CONSERVATION MANAGEMENT PLAN PREPARED BY HERITAGE 21
- HERITAGE OFFICE & CAFE BASE BUILDING PROJECT BRIEF PREPARED BY SBA ARCHITECTS
- EXISTING HERITAGE OFFICE LAYOUT AND PLANS AS PER SURVEY DRAWINGS



SECTION 4.55

NORTHERN BEACHES BUSINESS PARK

4-10 INMAN ROAD. CROMER

THESE DESIGNS, PLANS & SPECIFICATIONS AND THE COPYRIGHT THEREIN ARE THE PROPERTY OF THE ARCHITECTS AND MUST NOT BE USED, REPRODUCED OR COPIED WHOLLY OR IN PART WITHOUT THE WRITTEN PERMISSION OF THIS OFFICE.
FIGURED DIMENSIONS TO BE USED IN PREFERENCE TO SCALING. ALL DIMENSIONS TO BE CHECKED ON-SITE.
THIS DOCUMENT NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED & ISSUED FOR CONSTRUCTION.

TITLE
HERITAGE BUILDING - SECTIONS

DATE 06/07/2022 SCALE 1 : 200 @ A1 PROJECT NO. 21178 DWG NO. DA_M410 REVISION B

SBA
ARCHITECTS

B ISSUED FOR \$4.55 SUBMISSION
A ISSUED FOR \$4.55 MOD 2 SUBMISSION
DESCRIPTION

06/07/2022
20/06/2022
DATE

EG