



BELROSE PAVILIONS
171 FOREST WAY BELROSE

LIST OF DRAWINGS

- A01 LOCATION DIAGRAM
- A02 SITE PLAN
- A03 LEVEL 1 PLAN
- A04 LEVEL 2 PLAN
- A05 LEVEL 3 PLAN
- A06 LEVEL 4 PLAN
- A07 LEVEL 5 PLAN
- A08 LEVEL 6 PLAN
- A09 LEVEL 7 PLAN
- A10 LEVEL 8 PLAN
- A11 LEVEL 9 PLAN
- A12 ROOF PLAN
- A13 ELEVATIONS EAST & WEST
- A14 ELEVATIONS NORTH & SOUTH
- A15 SECTIONS AA & BB
- A16 SECTIONS CC, DD, EE & FF
- A17 TYPICAL UNIT PLANS SHEET 1
- A18 TYPICAL UNIT PLANS SHEET 2
- A19 DEMOLITION PLAN
- A20 SITE ANALYSIS
- A21 EXTERNAL COLOUR SCHEDULE
- A22 DRIVEWAY PLAN AND SECTION
- A23 LANDSCAPE AREA PLAN
- A24 EXCAVATION PLAN
- A25 SEDIMENT CONTROL PLAN
- A26 ACCESSIBLE FOOTPATH TO BUS STOP PLAN

LOCATION DIAGRAM



LEGEND

ISSUE	DATE	AMENDMENTS



Barry Rush & Associates Pty Ltd
Architects
Suite 25A, 2 Beattie Street, Balmah,
NSW, Australia, 2041
Phone: (612) 9555 8028 Fax: (612) 9810 0161
Email: info@barryrush.com.au
www.barryrush.com.au

Client

BELROSE PAVILIONS

Project
**171 FOREST WAY
BELROSE**

LOT 9 IN DP 737255

Drawing
LOCATION DIAGRAM

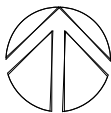
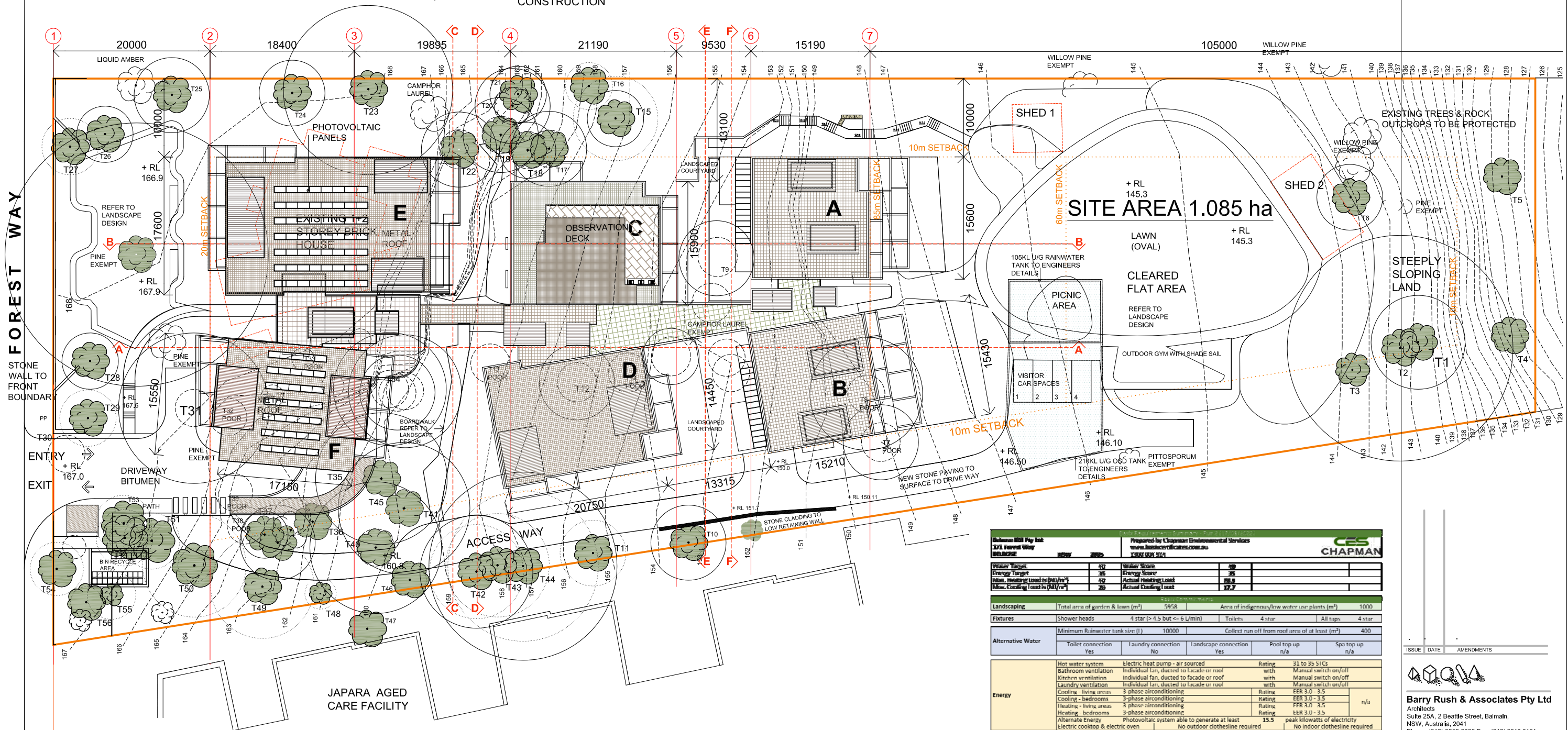
Scale	NTS	Drawn	BR
File	DA Pavilions May 2022.dwg	BR	
Plotted	24/05/2022 2:42 PM		
Job No	2101		
Version	DA	Drawing No:	A01

© COPYRIGHT BR&A PTY LTD
Do not scale off this drawing. Use figured dimensions only.
Verify all dimensions on site.

FOREST WAY

MULTI LEVEL
HOUSE UNDER
CONSTRUCTION

LEGEND



SITE PLAN

SCALE (METRES) 1:500 AT A3

NORTH



TOTAL NUMBER OF UNITS 35
(12 x 2 BED, 23 x 3 BED)
TOTAL CAR SPACES - 72 SPACES
(DOUBLE GARAGES - 23)
(VISITOR SPACES - 17)
1x AMBULANCE & 1x SERVICE SRV VEHICLE

SITE AREA 10,854 sq.m. 50% = 5427 sq.m.
GROSS FLOOR AREA (LEP) 4805 sq.m.
FSR 0.44: 1

LANDSCAPE AREA 6304 sq.m. 62%

Chapman Hill Pay Lab		Prepared by Chapman Environmental Services		www.barryrush.com.au		CHAPMAN	
171 Forest Way		171 FOREST WAY		171 FOREST WAY		171 FOREST WAY	
BELROSE		BELROSE		BELROSE		BELROSE	
Water Target	40	Water Score	40				
Energy Target	35	Energy Score	35				
Non-Heating Load to (kW/m²)	40	Actual Heating Load	28.6				
Non-Cooling Load to (kW/m²)	20	Actual Cooling Load	27.7				
Landscaping							
Total area of garden & lawn (m²)		1958		Area of indigenous/low water use plants (m²)		1000	
Fixtures	Shower heads	4 star (> 4.5 but < 6 l/min)		Toilets	4 star	All taps 4 star	
Alternative Water	Minimum Rainwater tank size (l)	10000		Collect run off from roof area of at least (m²)		400	
	Toilet connection	No	Landscape connection	Yes	Pool top up	n/a	Spa top up n/a
Energy	Hot water system	Electric heat pump - air sourced		Rating	3.1 to 3.5 S1CS		
	Bathroom ventilation	Individual fan, ducted to facade or roof		with	Manual switch on/off		
	Kitchen ventilation	Individual fan, ducted to facade or roof		with	Manual switch on/off		
	Laundry ventilation	Individual fan, ducted to facade or roof		with	Manual switch on/off		
	Cooling - living areas	3-phase airconditioning		Rating	FEE 3.0 - 3.5		
	Cooling - bedrooms	3-phase airconditioning		Rating	FEE 3.0 - 3.5		
	Heating - living areas	3-phase airconditioning		Rating	FEE 3.0 - 3.5		
	Heating - bedrooms	3-phase airconditioning		Rating	FEE 3.0 - 3.5		
	Alternate Energy	Photovoltaic system able to generate at least		15.5	peak kilowatts of electricity		
	Electric cooktop & electric oven	No outdoor clothesline required			No indoor clothesline required		
Floor Types							
	Concrete slab on ground	with		No insulation required			
	Suspended concrete slab	with		R1.2 Foilboard insulation to Units above Basement carports (U10: R1.9)			
Floor Coverings	Tiles	Wet Areas	Carpet	Timber	Concrete	Living & Bedrooms	Basement
External Walls	100mm Hebel (AAC) on battens	with	Sarking and R2.5 bulk insulation	Colour	Medium		
	Timber framed Metal clad Direct Fix	with	Sarking and R2.5 bulk insulation	Colour	Medium		
	190mm Concrete block lined	with	Sarking and R2.5 bulk insulation	Colour	Medium		
Internal Walls	90mm Blockwork	with	Nil				
	Plasterboard	with	No insulation required				
Party Walls	162mm AFS or similar	with	Nil				
Ceiling (floor over)	Concrete above plasterboard	with	Nil				
Ceilings (roof over)	Concrete above plasterboard	with	R3.5 foilboard insulation				
	Timber above plasterboard	with	R3.5 bulk insulation				
Roof	Concrete	0 degrees	with	Waterproof membrane only	Colour	Medium	Medium
	Metal	> 2 degrees	with	R1.3 roof blanket	Colour	Medium	Medium
Windows and Doors	AF single glazed clear Louvres	Group B ALM-002-01 U-Value 6.0 or less SHGC 0.70 +/- 5%					
	AF double glazed clear	Group A ALM-003-01 U-Value 4.80 or less SHGC 0.51 +/- 5%					
		Group B ALM-004-01 U-Value 4.80 or less SHGC 0.59 +/- 5%					
	AF double glazed LowE	Group B ALM-004-03 U-Value 4.30 or less SHGC 0.53 +/- 5%					
		Group B ALM-004-04 U-Value 4.90 or less SHGC 0.33 +/- 5%					
	AF double glazed LowE	Group B ALM-004-03 U-Value 4.30 or less SHGC 0.53 +/- 5%					
		Group B ALM-004-04 U-Value 4.90 or less SHGC 0.33 +/- 5%					
	AF double glazed LowE	Group B ALM-004-03 U-Value 4.30 or less SHGC 0.53 +/- 5%					
		Group B ALM-004-04 U-Value 4.90 or less SHGC 0.33 +/- 5%					
		Group B ALM-004-03 U-Value 4.30 or less SHGC 0.53 +/- 5%					
Notes							
1. U10: U10 = 1.00 W/m²K or less, U10 = 1.00 W/m²K or less, U10 = 1.00 W/m²K or less, U10 = 1.00 W/m²K or less							



LEGEND

ISSUE	DATE	AMENDMENTS
1		

Barry Rush & Associates Pty Ltd
Architects
Suite 25A, 2 Beattie Street, Balmalm,
NSW, Australia, 2041
Phone: (612) 9555 8028 Fax: (612) 9810 0161
Email: info@barryrush.com.au
www.barryrush.com.au

Client
BELROSE PAVILIONS

Project
**171 FOREST WAY
BELROSE**

LOT 9 IN DP 737255

Drawing
**LEVEL 1 FLOOR PLAN
1:200**

Scale	1:200	Drawn	BR
File	DA Pavilions May 2022.dwg	BR	
Plotted	24/05/2022 2:42 PM		
Job No	2101		
Version	DA	Drawing No:	A03

© COPYRIGHT BR&A PTY LTD
Do not scale off this drawing. Use figured dimensions only.
Verify all dimensions on site.



Barry Rush & Associates Pty Ltd
Architects
Suite 25A, 2 Beattie Street, Balmalm,
NSW, Australia, 2041
Phone: (612) 9555 8028 Fax: (612) 9810 0161
Email: info@barryrush.com.au
www.barryrush.com.au

lient

ELROSE PAVILIONS

71 FOREST WAY
ELROSE

OT 9 IN DP 737255

rawing
LEVEL 2 FLOOR PLAN
:200

Scale 1:200 Drawn BR

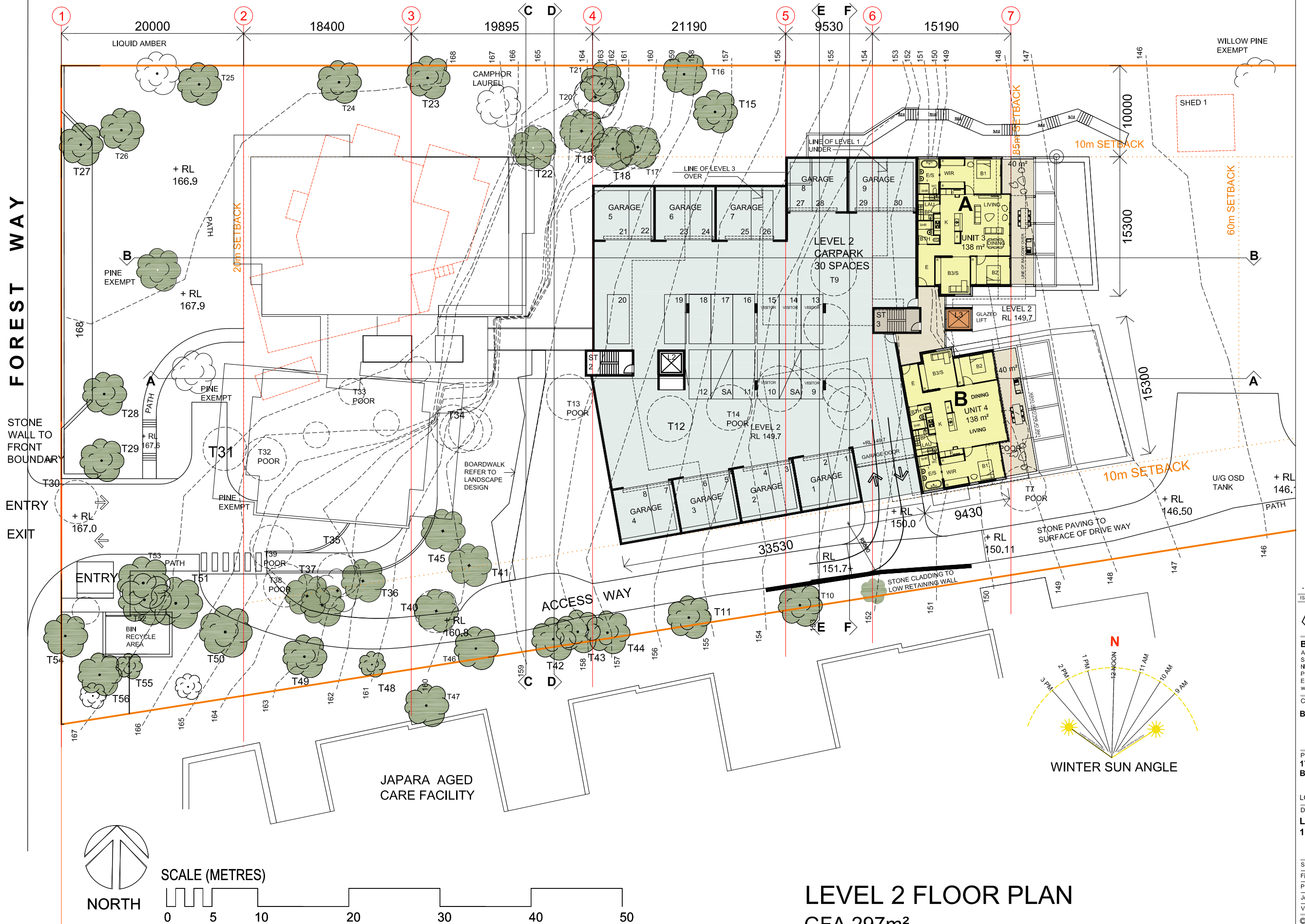
DA Pavilion May 2022.indd BR

Printed on 24/05/2022 2:42 PM

Job No 2101

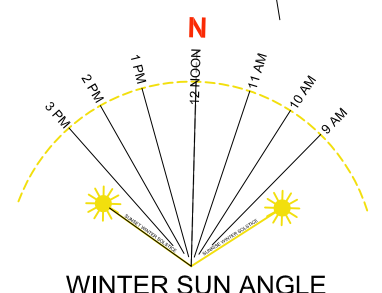
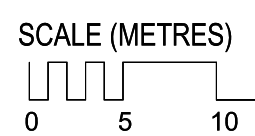
Drawing No: **A04**

COPYRIGHT BR&A P/L
Do not scale off this drawing. Use figured dimensions only.
Verify all dimensions on site.



LEVEL 2 FLOOR PLAN
GFA 297m²

FOREST WAY



LEVEL 3 FLOOR PLAN

GFA 665m²

LEGEND

ISSUE	DATE	AMENDMENTS
1	2022/05/24	Initial Issue

Barry Rush & Associates Pty Ltd
Architects
Suite 25A, 2 Beattie Street, Balmalm,
NSW, Australia, 2041
Phone: (612) 9555 8028 Fax: (612) 9810 0161
Email: info@barryrush.com.au
www.barryrush.com.au

Client
BELROSE PAVILIONS

Project
**171 FOREST WAY
BELROSE**

Lot 9 in DP 737255

Drawing
**LEVEL 3 FLOOR PLAN
1:200**

Scale	1:200	Drawn	BR
File	DA Pavilions May 2022.dwg	BR	
Plotted	24/05/2022 2:42 PM		
Job No	2101		
Version	DA	Drawing No:	A05

© COPYRIGHT BR&A PTY LTD
Do not scale off this drawing. Use figured dimensions only.
Verify all dimensions on site.



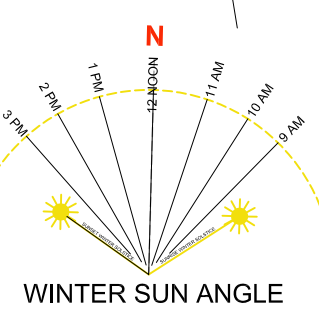
71 FOREST WAY
ELROSE

OT 9 IN DP 737255

rawing
LEVEL 4 FLOOR PLAN
:200

Scale	1:200	Drawn	BR
Title	DA Villions May 2022.dwg		
Plotted	24/05/2022 2:42 PM		
Job No	2102		
Version	DA	Drawing No:	A06

COPYRIGHT BR&A P/L
Do not scale off this drawing. Use figured dimensions only.
Verify all dimensions on site.



LEVEL 4 FLOOR PLAN
GFA 716m²



Barry Rush & Associates Pty Ltd
Architects
Suite 25A, 2 Beattie Street, Balmalm,
Perth, Western Australia, 2041
Phone: (612) 9555 8028 Fax: (612) 9810 0161
Email: info@barryrush.com.au
www.barryrush.com.au

lient

ELROSE PAVILIONS

71 FOREST WAY
ELROSE

OT 9 IN DP 737255

rawing
LEVEL 5 FLOOR PLAN
:200

Scale	1:200	Drawn	BR
Title	DA Pavilions May 2022.kwg BR		
Plotted	24/05/2022 2:42 PM		
Job No	2101		
Version	DA	Drawing No:	A07

COPYRIGHT BR&A P/L
Do not scale off this drawing. Use figured dimensions only.
Verify all dimensions on site.



LEVEL 5 FLOOR PLAN
GFA 571m²

**lient**

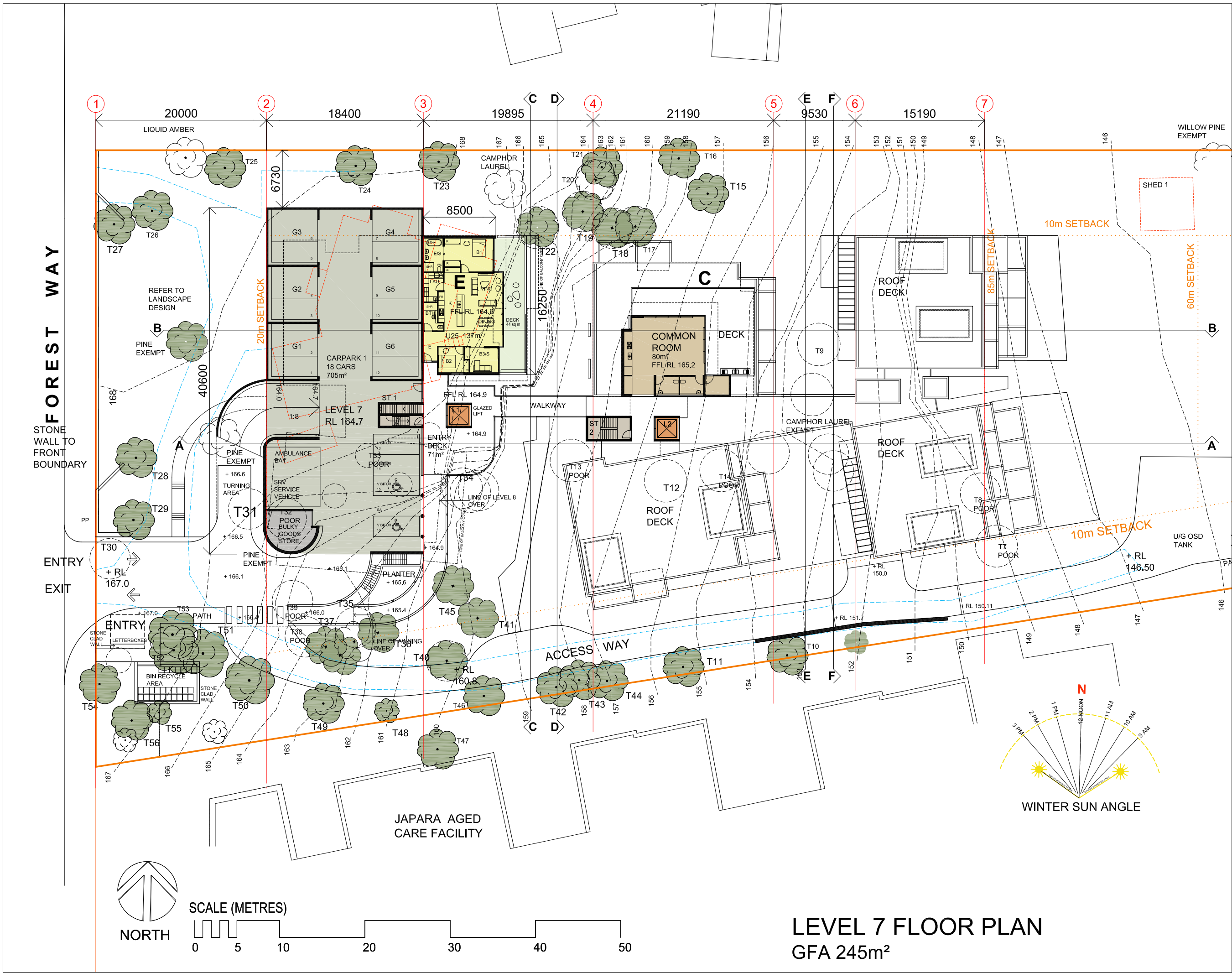
ELROSE PAVILIONS

OT 9 IN DP 737255

Scale	1:200	Drawn	BR
File	DA Pavilion May 2022.dwg		BR
Plotted	24/05/2022 2:42 PM		
Job No	2102		
Version	DA	Drawing No:	A08

COPYRIGHT BR&A P/L
Do not scale off this drawing. Use figured dimensions only.
Verify all dimensions on site.





LEGEND

ISSUE	DATE	AMENDMENTS
1	24/05/2022	Initial Issue

Barry Rush & Associates Pty Ltd
Architects
Suite 25A, 2 Beattie Street, Balmah,
NSW, Australia, 2041
Phone: (612) 9555 8028 Fax: (612) 9810 0161
Email: info@barryrush.com.au
www.barryrush.com.au

Client
BELROSE PAVILIONS

Project
**171 FOREST WAY
BELROSE**

Lot 9 in DP 737255

Drawing
**LEVEL 7 FLOOR PLAN
1:200**

Scale	1:200	Drawn	BR
File	DA Pavilions May 2022.dwg	BR	
Plotted	24/05/2022 2:42 PM		
Job No	2102		
Version	DA	Drawing No:	A09

© COPYRIGHT BR&A P/L
Do not scale off this drawing. Use figured dimensions only.
Verify all dimensions on site.

LEVEL 7 FLOOR PLAN
GFA 245m²





LEGEND

ISSUE DATE AMENDMENTS

Barry Rush & Associates Pty Ltd
Architects
Suite 25A, 2 Beattie Street, Balmah,
NSW, Australia, 2041
Phone: (612) 9555 8028 Fax: (612) 9810 0161
Email: info@barryrush.com.au
www.barryrush.com.au

Client
BELROSE PAVILIONS

Project
**171 FOREST WAY
BELROSE**

Lot 9 in DP 737255

Drawing
**LEVEL 9 FLOOR PLAN
1:200**

Scale 1:200 Drawn BR
File DA Pavilions May 2022.dwg BR
Plotted 24/05/2022 2:42 PM
Job No 2102
Version DA Drawing No: **A11**

© COPYRIGHT BR&A P/L
Do not scale off this drawing. Use figured dimensions only.
Verify all dimensions on site.



ISSUE DATE AMENDMENTS

Barry Rush & Associates Pty Ltd
Architects
Suite 25A, 2 Beattie Street, Balmalm,
NSW, Australia, 2041
Phone: (612) 9555 8028 Fax: (612) 9810 0161
Email: info@barryrush.com.au
www.barryrush.com.au

Client
BELROSE PAVILIONS

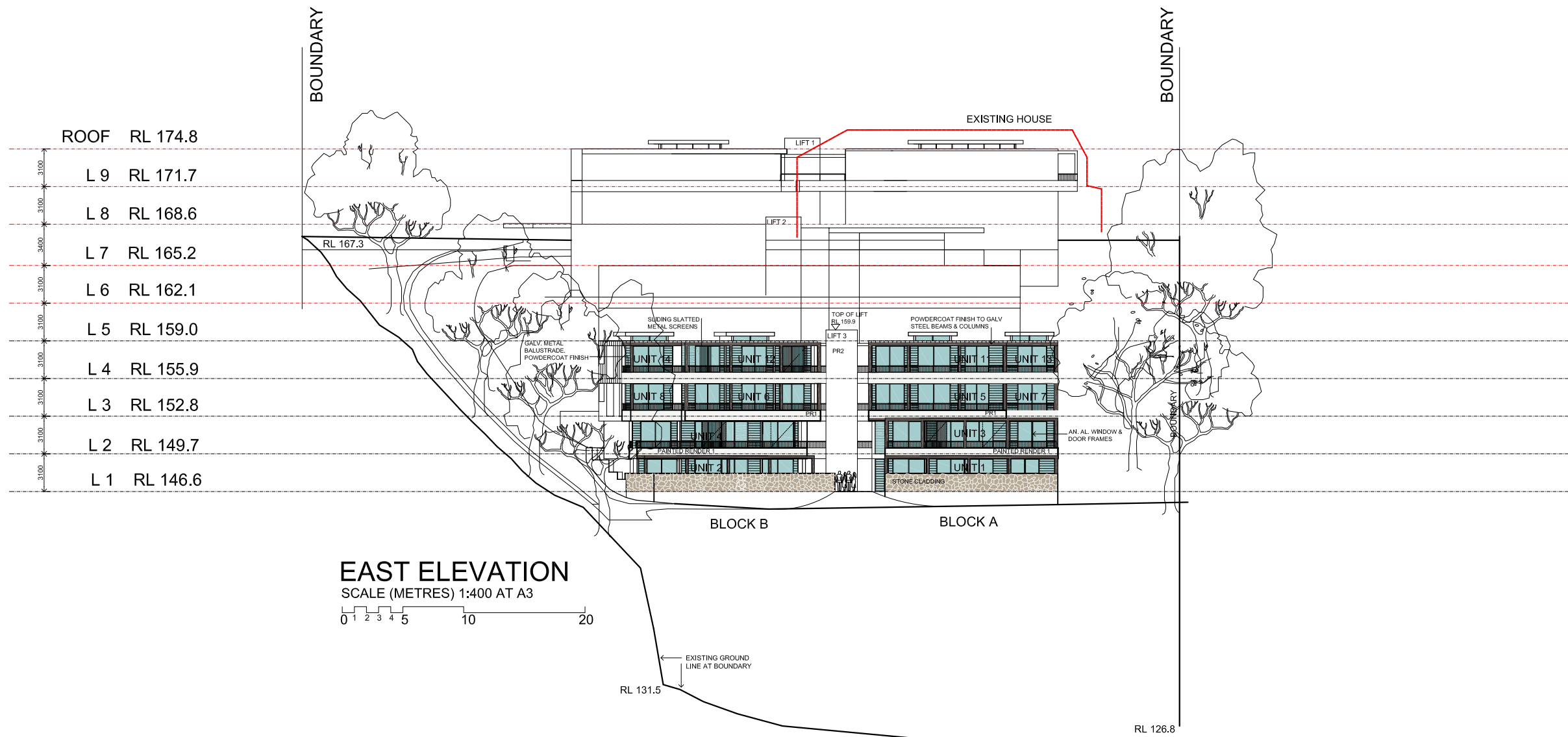
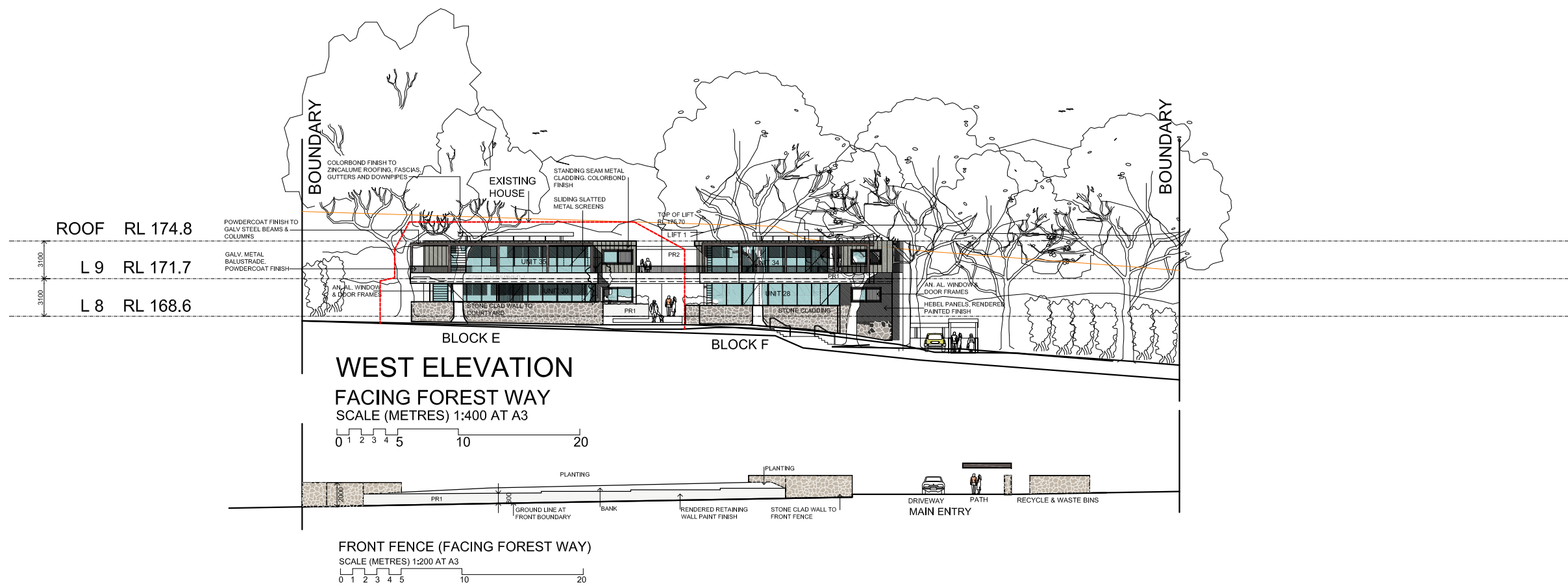
Project
**171 FOREST WAY
BELROSE**

LOT 9 IN DP 737255

Drawing
**ROOF PLAN
1:200**

Scale 1:200 Drawn BR
File DA Pavilions May 2022.dwg BR
Plotted 24/05/2022 2:42 PM
Job No 2102
Version DA Drawing No: **A12**

© COPYRIGHT BR&A P/L
Do not scale off this drawing. Use figured dimensions only.
Verify all dimensions on site.



LEGEND

ISSUE DATE AMENDMENTS



Barry Rush & Associates Pty Ltd
Architects
Suite 25A, 2 Beattie Street, Balmah,
NSW, Australia, 2041
Phone: (612) 9555 8028 Fax: (612) 9810 0161
Email: info@barryrush.com.au
www.barryrush.com.au

Client

BELROSE PAVILIONS

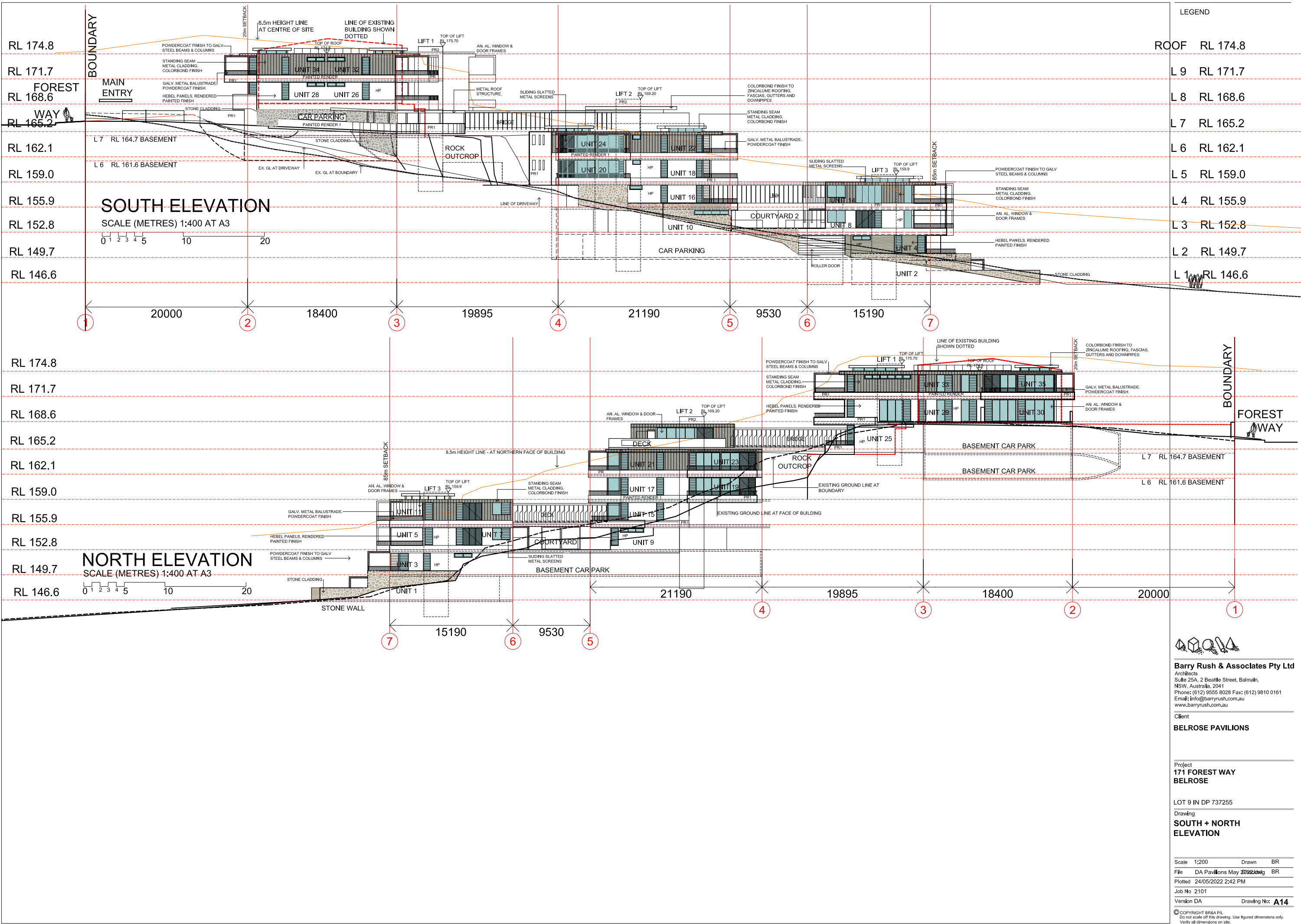
Project
**171 FOREST WAY
BELROSE**

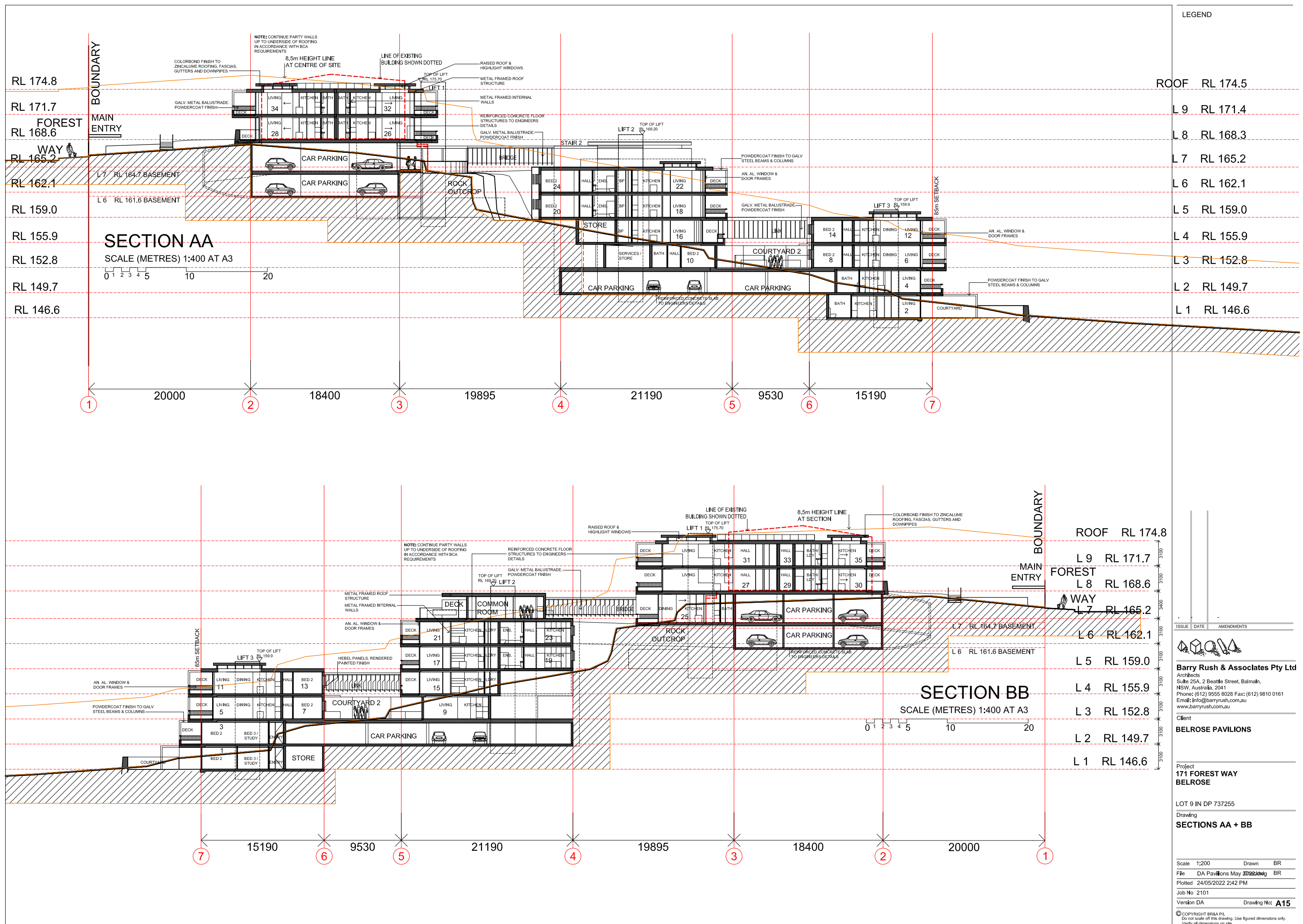
Lot 9 in DP 737255

Drawing
**ELEVATIONS
EAST & WEST**

Scale 1:200 Drawn BR
File DA Pavilions May 2022.dwg BR
Plotted 24/05/2022 2:42 PM
Job No 2101
Version DA Drawing No: **A13**

© COPYRIGHT BR&A P/L
Do not scale off this drawing. Use figured dimensions only.
Verify all dimensions on site.





LEGEND

ROOF	RL 174.5
L 9	RL 171.4
L 8	RL 168.3
L 7	RL 165.2
L 6	RL 162.1
L 5	RL 159.0
L 4	RL 155.9
L 3	RL 152.8
L 2	RL 149.7
L 1	RL 146.6

Level	Relative Level (RL)
ROOF	174.8
L 9	171.7
REST	
L 8	168.6
WAY	
L 7	165.2
L 6	162.1
L 5	159.0
L 4	155.9
L 3	152.8
L 2	149.7
L 1	146.6

ISSUE	DATE	AMENDMENTS
-------	------	------------



Barry Rush & Associates Pty Ltd
Architects
Suite 25A, 2 Beattie Street, Balmaln,
NSW, Australia, 2041
Phone: (612) 9555 8028 Fax: (612) 9810 0161
Email: info@barryrush.com.au
www.barryrush.com.au

Client

BELROSE PAVILIONS

Project
171 FOREST WAY
BELROSE

LOT 9 IN DP 737255

Drawing

SECTIONS AA + BB

Scale	1:200	Drawn	BR
File	DA Pavilions May 2022.dwg		BR
Plotted	24/05/2022 2:42 PM		
Job No	2101		
Version	DA	Drawing No:	A15

© COPYRIGHT BR&A P/L
Do not scale off this drawing. Use figured dimensions only.
Verify all dimensions on site.

LEGEND

ISSUE	DATE	AMENDMENTS



Barry Rush & Associates Pty Ltd
Architects
Suite 25A, 2 Beattie Street, Balmah,
NSW, Australia, 2041
Phone: (612) 9555 8028 Fax: (612) 9810 0161
Email: info@barryrush.com.au
www.barryrush.com.au

Client

BELROSE PAVILIONS

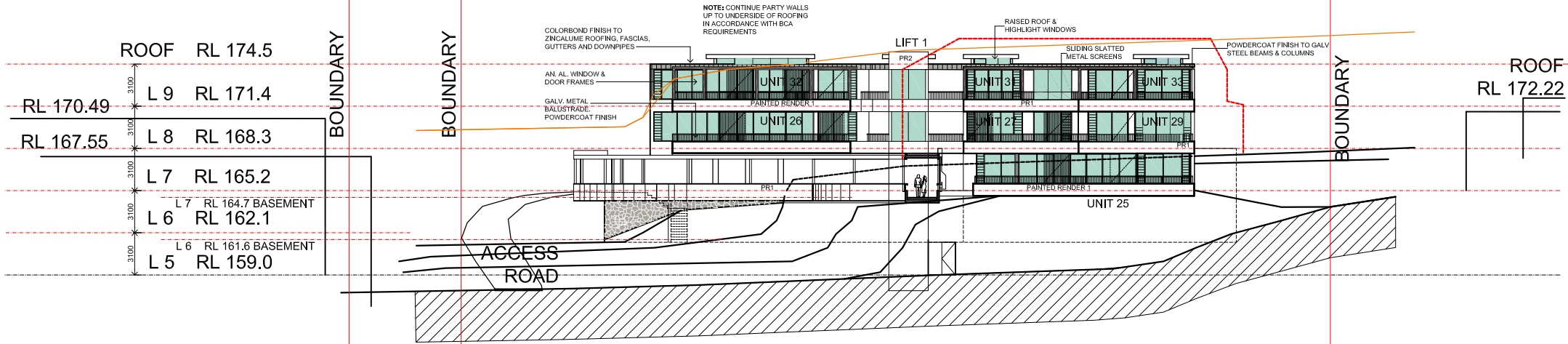
Project
**171 FOREST WAY
BELROSE**

LOT 9 IN DP 737255

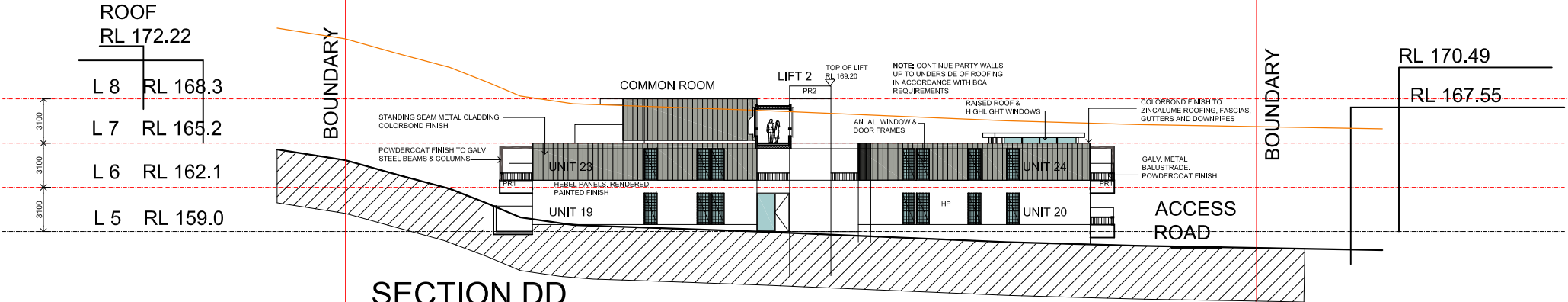
Drawing
SECTIONS CC, DD, EE + FF

Scale	1:200	Drawn	BR
File	DA Pavilions May 2022.dwg	BR	
Plotted	24/05/2022 2:42 PM		
Job No	2101		
Version	DA	Drawing No:	A16

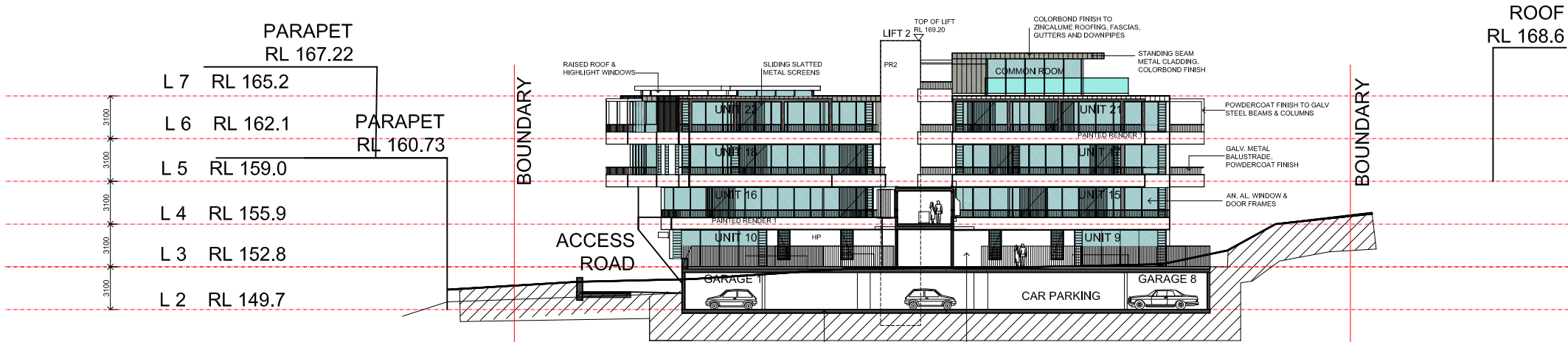
© COPYRIGHT BR&A P/L
Do not scale off this drawing. Use figured dimensions only.
Verify all dimensions on site.



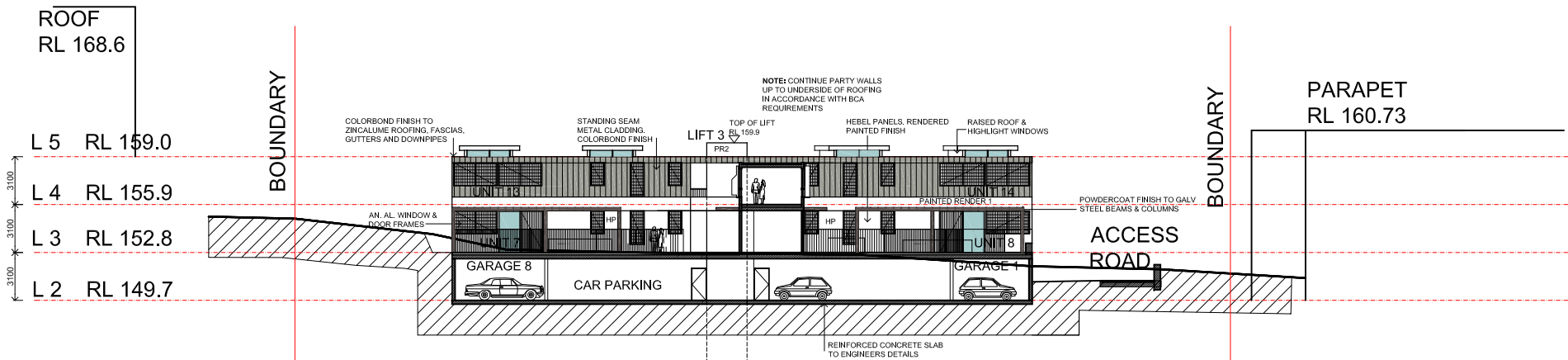
SECTION CC



SECTION DD

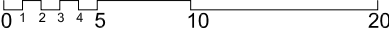


SECTION EE



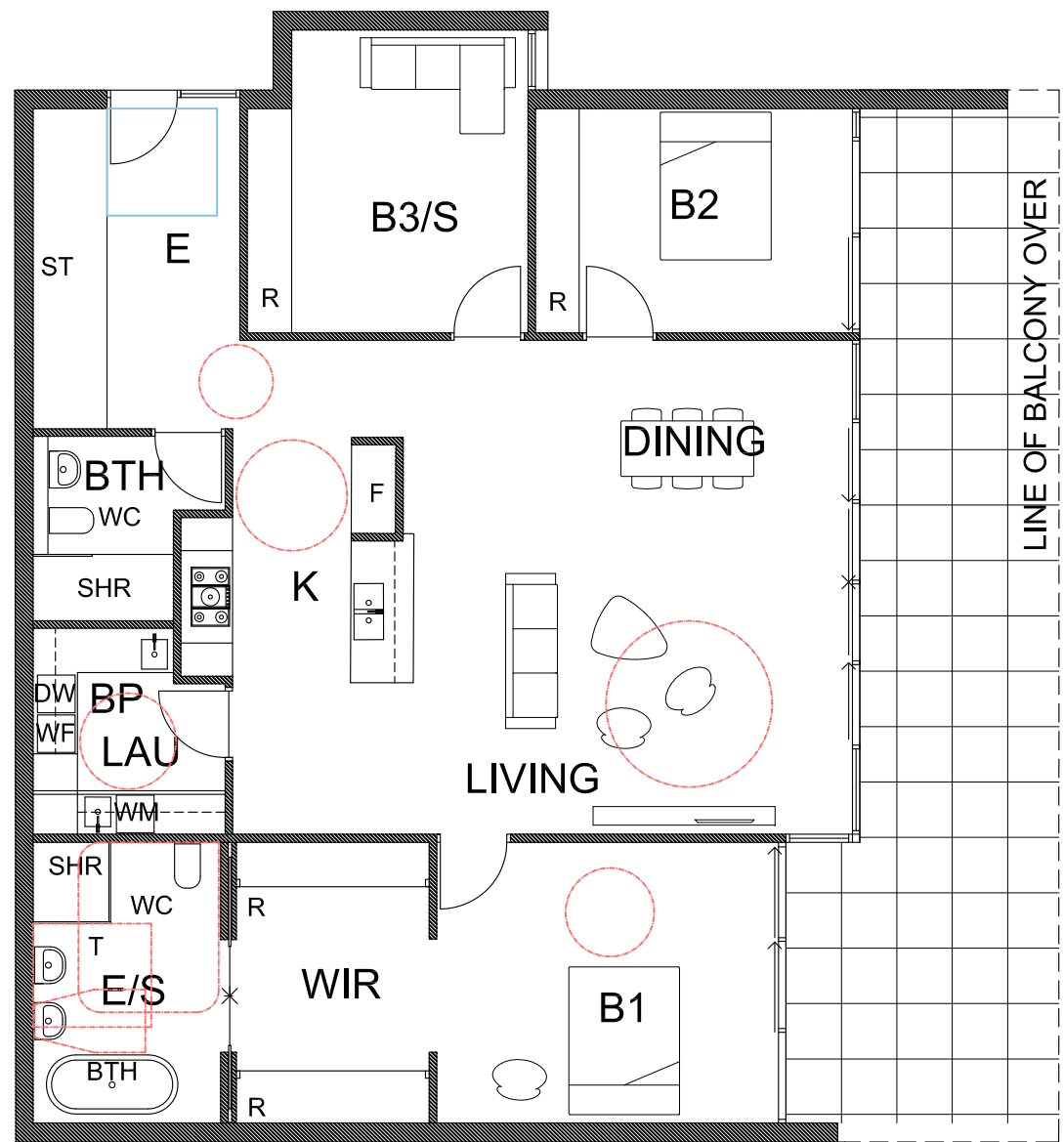
SECTION FF

SCALE (METRES) 1:400 AT A3

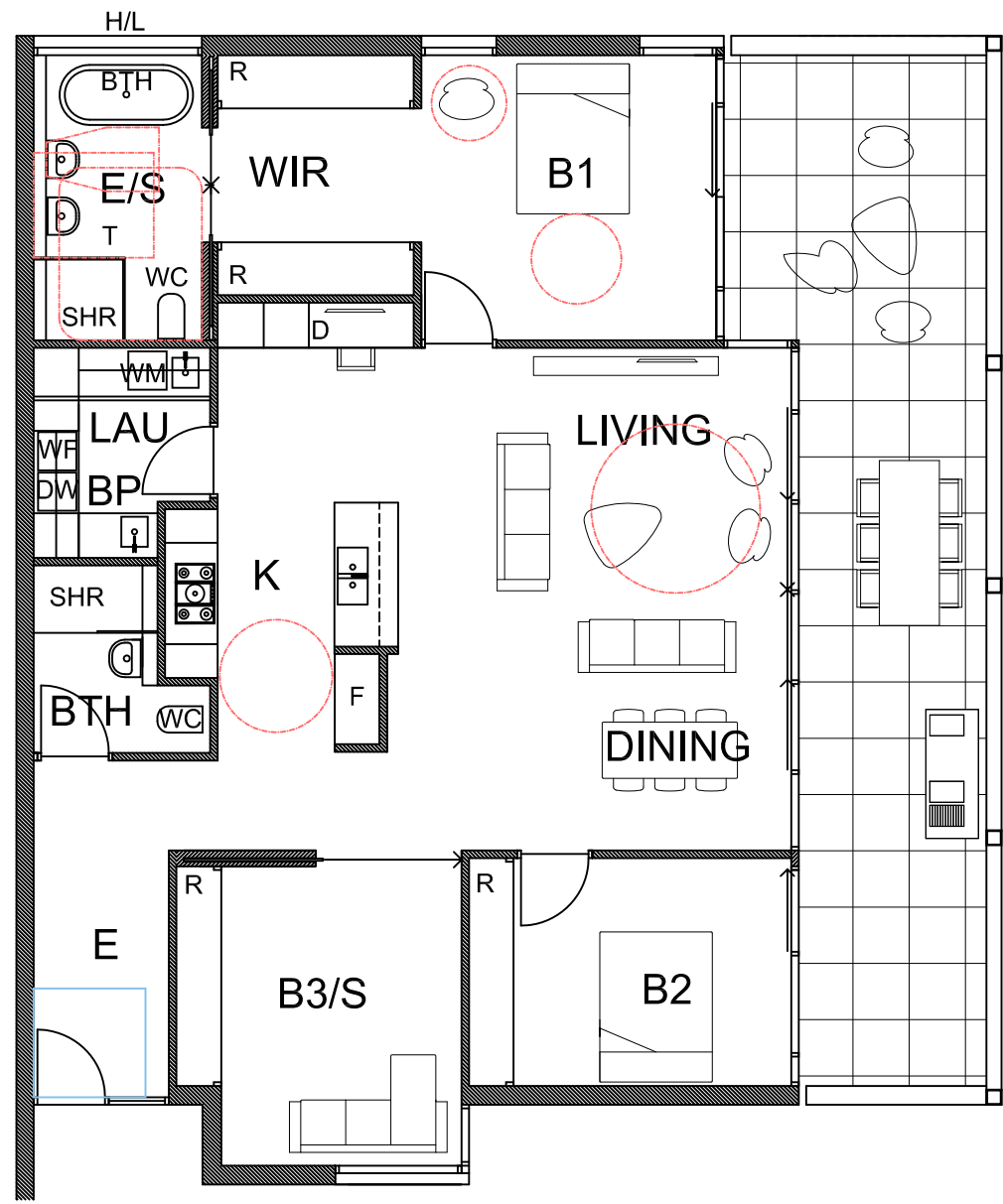




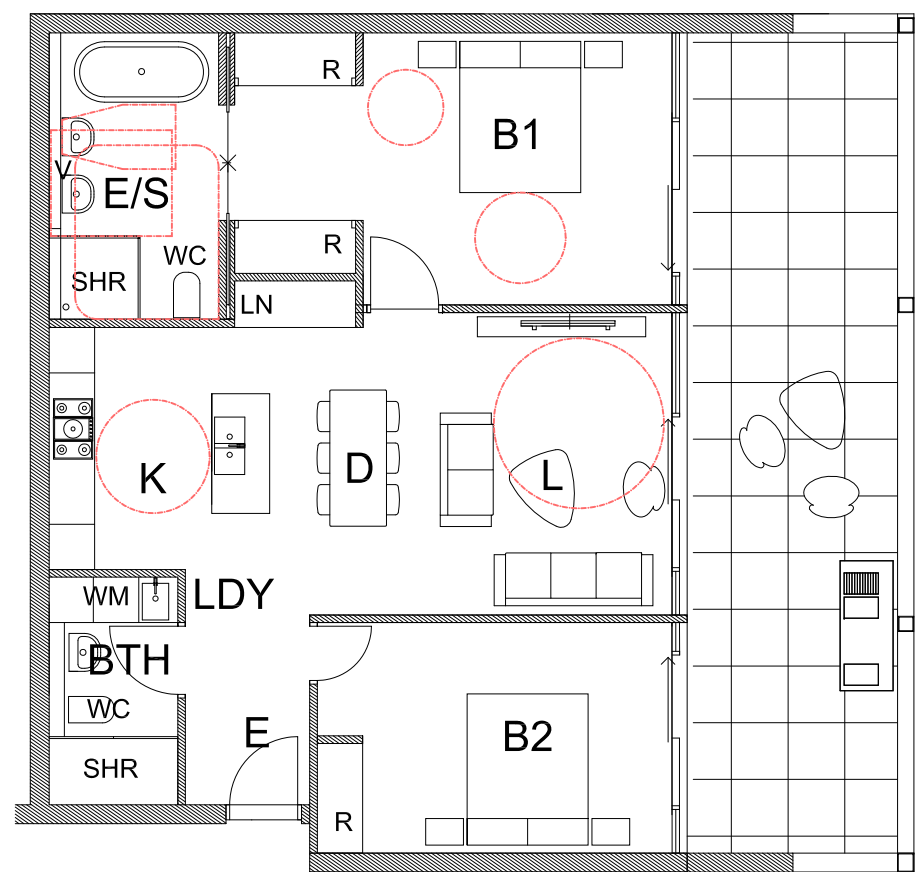
Type A1 Unit -
3 Bedroom
Unit 1 (170m²).



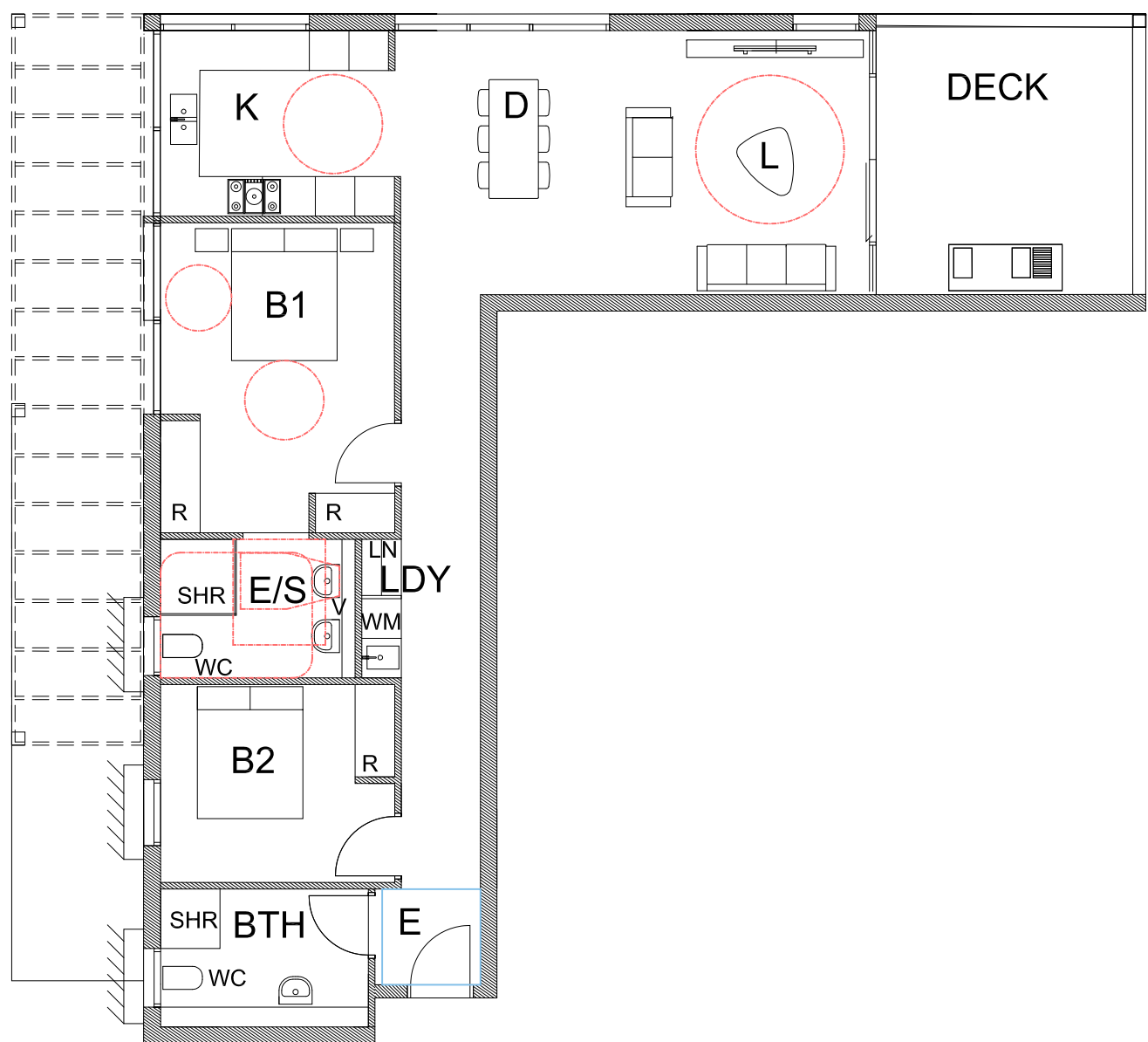
Type A2 Unit -
2 Bedroom + Third Bedroom/Study
Unit 2 (152m²)



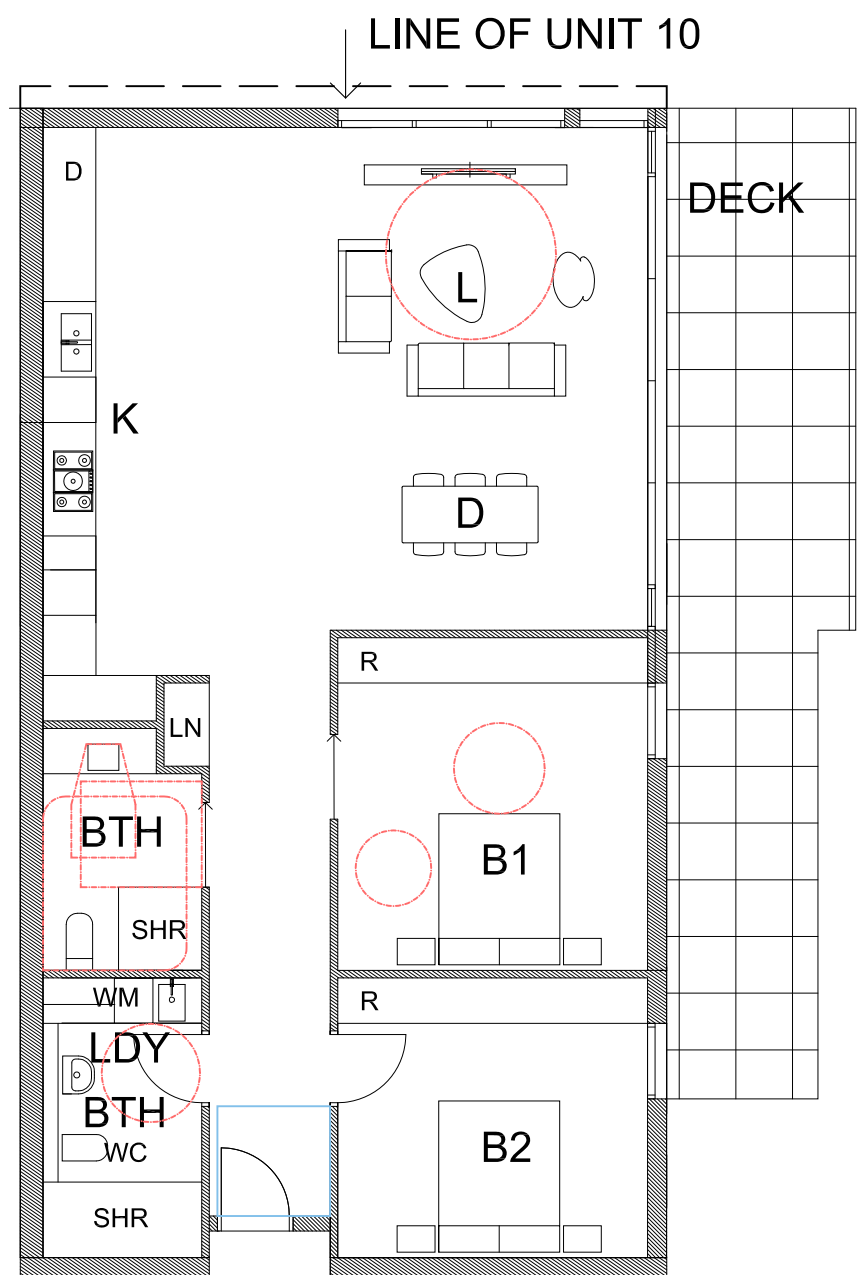
Typical Type B Unit -
2 Bedroom + Third Bedroom/Study
Unit 3 (138m²).
Unit 4 similar (138m²)



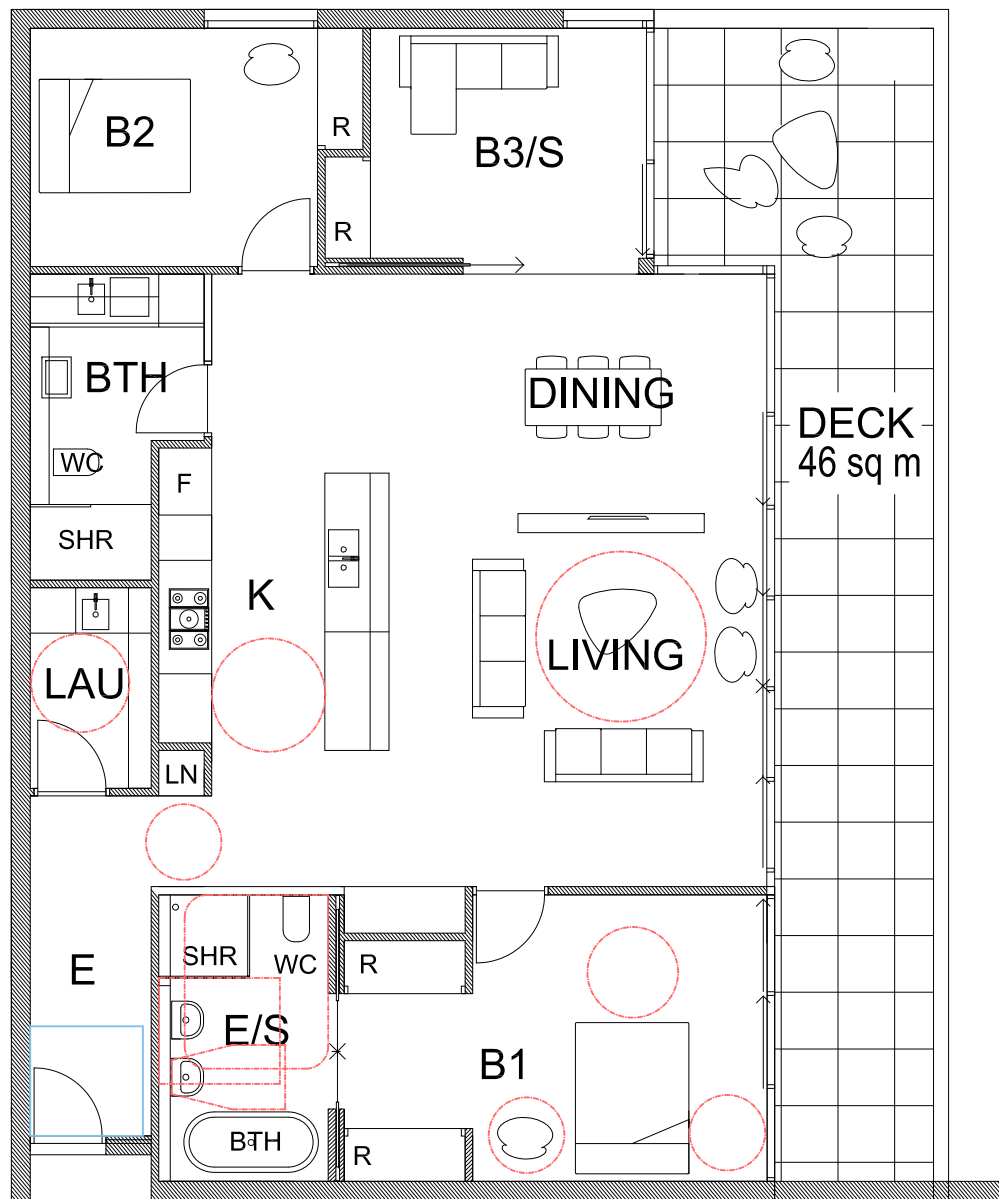
Typical Type C Unit -
2 Bedroom
Unit 5 (88m²).
Units 6 (88m²), 11 (88m²)
& 12 similar (88m²)



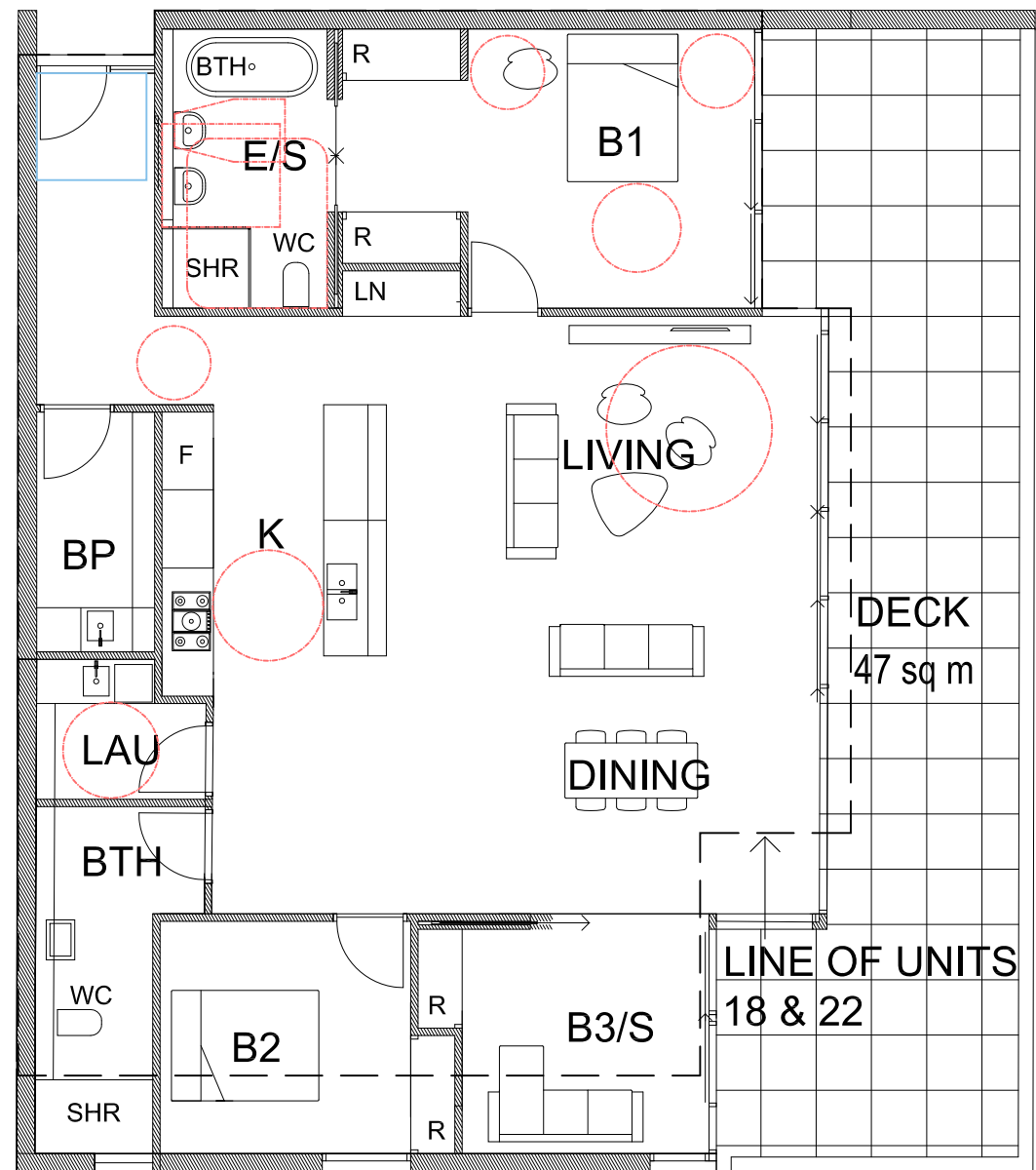
Typical Type D Unit -
2 Bedroom
Unit 7 (95m²).
Units 8 (95m²), 13 (95m²) & 14 similar (95m²)



Typical Type E Unit -
2 Bedroom
Unit 9 (118m²).
Unit 10 similar (120m²)



Typical Type F Unit -
2 Bedroom + Third Bedroom/Study
Unit 15 (140m²).
Units 17 (138m²) & 21 (138m²) similar



Typical Type G Unit -
2 Bedroom + Third Bedroom/Study
Unit 16 (153m²).
Units 18 (140m²) & 22 (140m²) similar

LEGEND

ISSUE DATE AMENDMENTS



Barry Rush & Associates Pty Ltd
Architects
Suite 25A, 2 Beattie Street, Balmain,
NSW, Australia, 2041
Phone: (612) 9555 8028 Fax: (612) 9810 0161
Email: info@barryrush.com.au
www.barryrush.com.au

Client

BELROSE PAVILIONS

Project
**171 FOREST WAY
BELROSE**

LOT 9 IN DP 737255

Drawing
**TYPICAL UNIT PLANS -
SHEET 1**

Scale 1:100

Drawn BR

File DA Pavilions UNIT PLANS No 171 2021.c

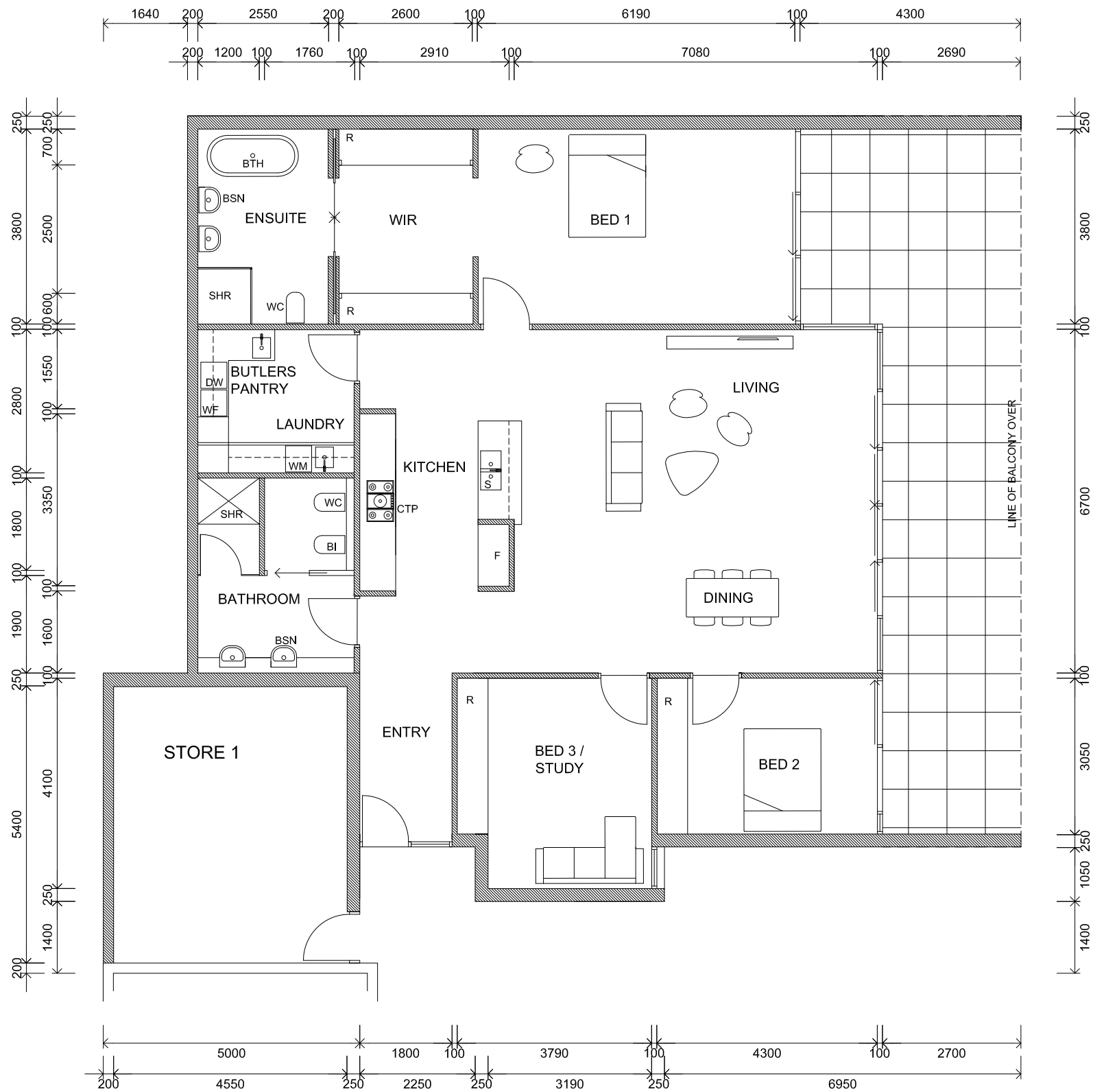
Plotted 8/12/2021 11:40 AM

Job No 2101

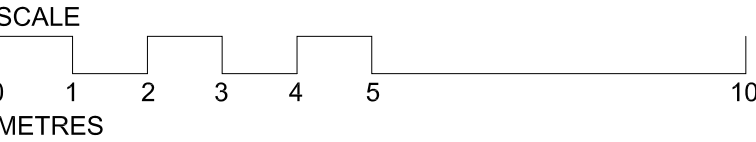
Version DA

Drawing No: **A17**

© COPYRIGHT BR&A P/L
Do not scale off this drawing. Use figured dimensions only.
Verify all dimensions on site.



Type A1 Unit
3 Bedroom
Unit 1 (170m²).



ISSUE	DATE	AMENDMENTS

Barry Rush & Associates Pty Ltd
Architects
Suite 25A, 2 Beattie Street, Balmalm,
NSW, Australia, 2041
Phone: (612) 9555 8028 Fax: (612) 9810 0161
Email: info@barryrush.com.au
www.barryrush.com.au

Client
BELROSE PAVILIONS

Project
**171 FOREST WAY
BELROSE**

LOT 9 IN DP 737255

Drawing
UNIT PLANS - UNIT 1A

Scale 1:50 Drawn BR

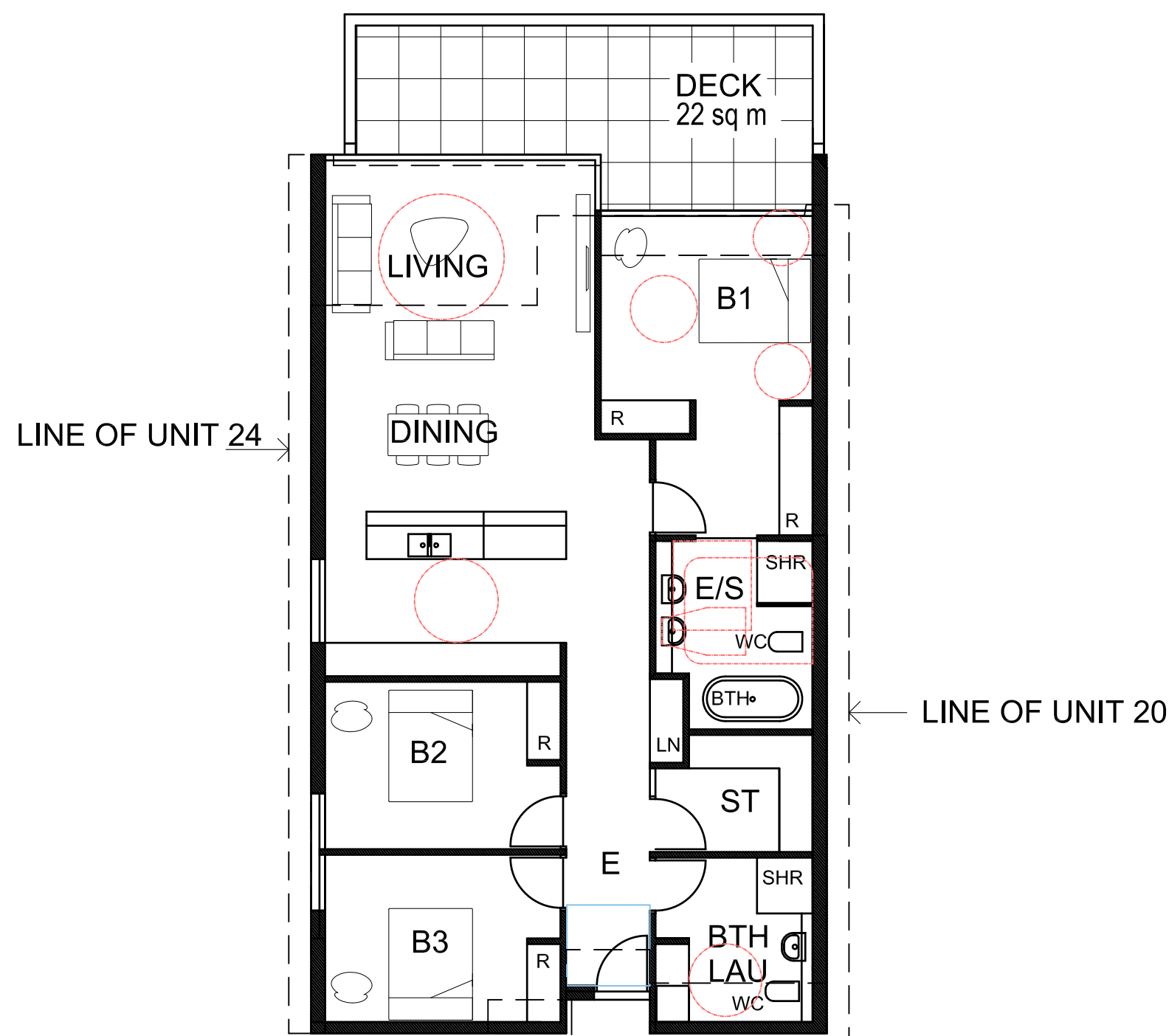
File DA Pavilions UNIT 1A PLAN APR 2022.dwg

Plotted 26/04/2022 10:47 AM

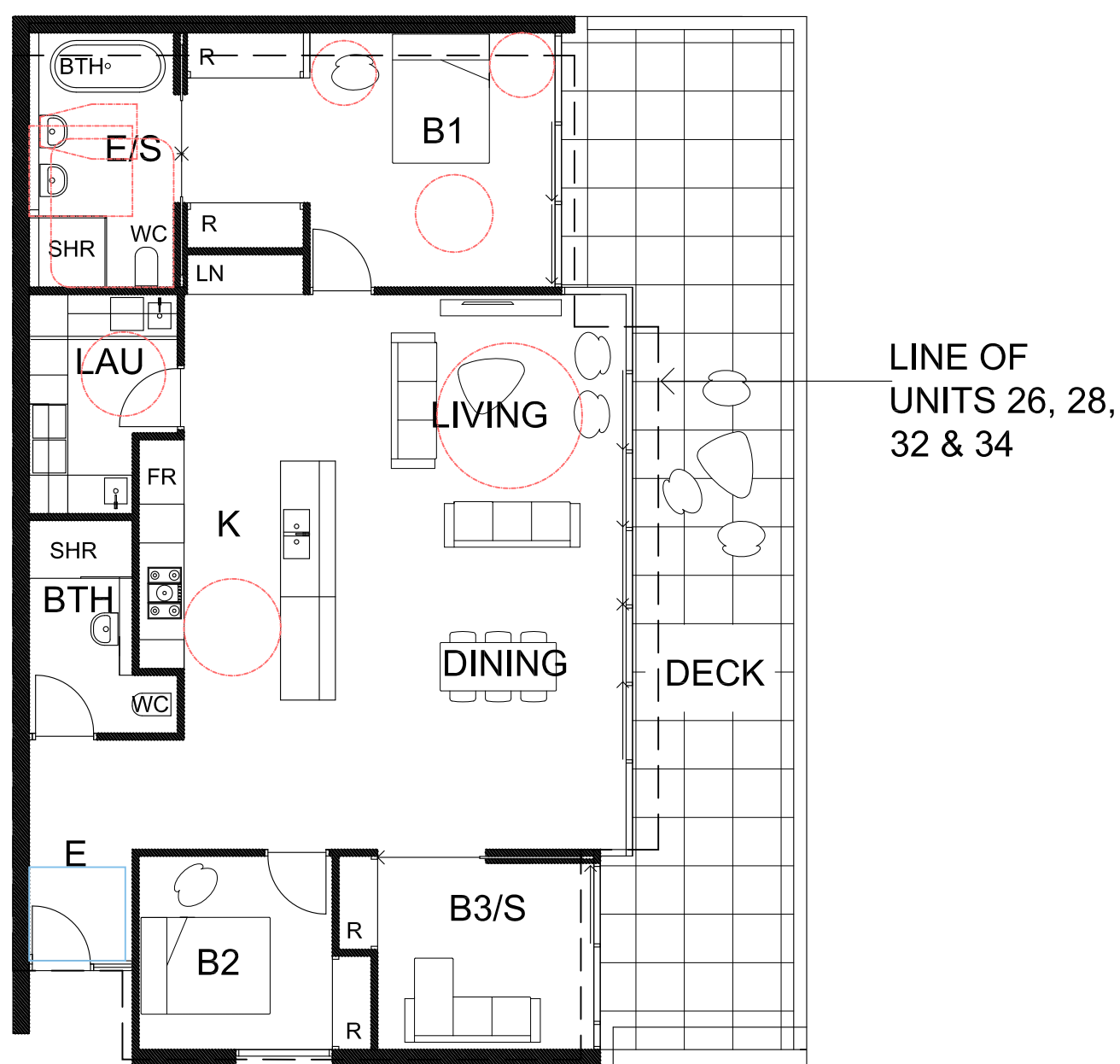
Job No 2101

Version DA Drawing No: **U-A1**

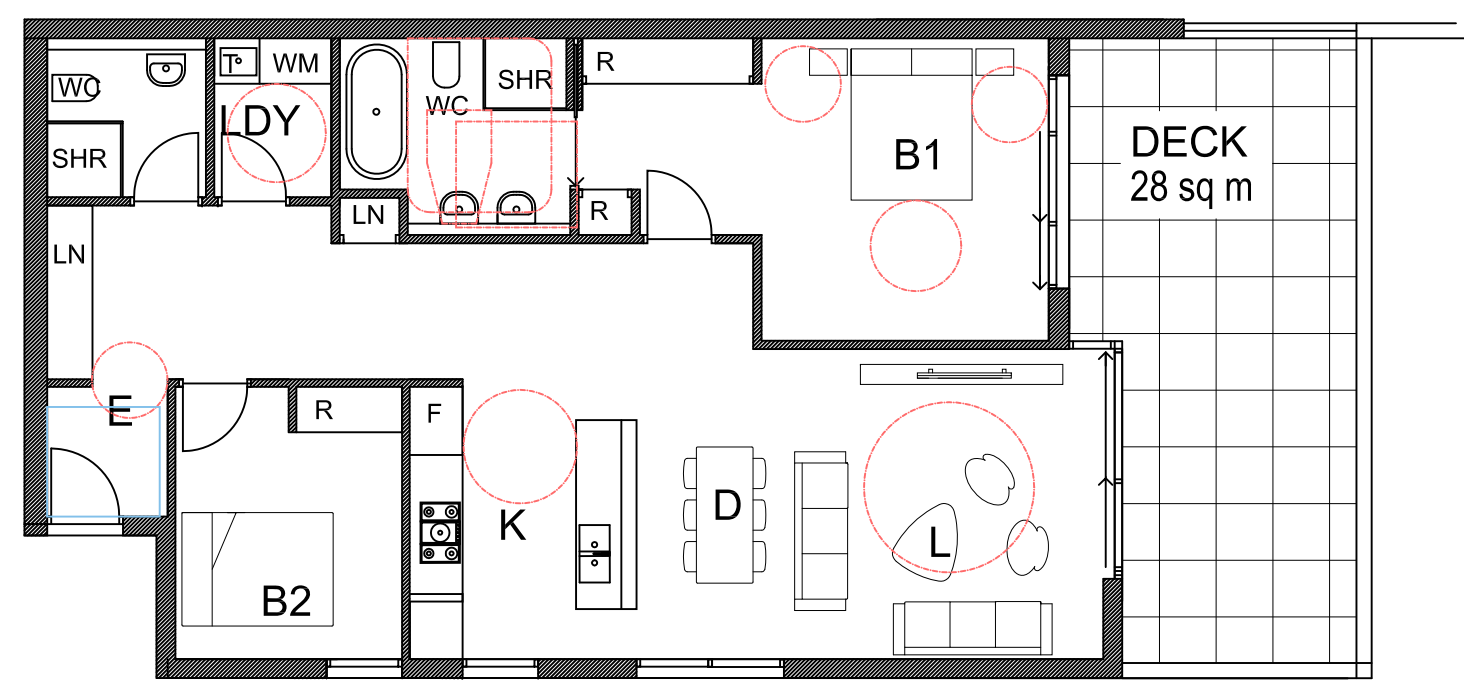
© COPYRIGHT BR&A PT
Do not scale off this drawing. Use figured dimensions only.
Verify all dimensions on site.



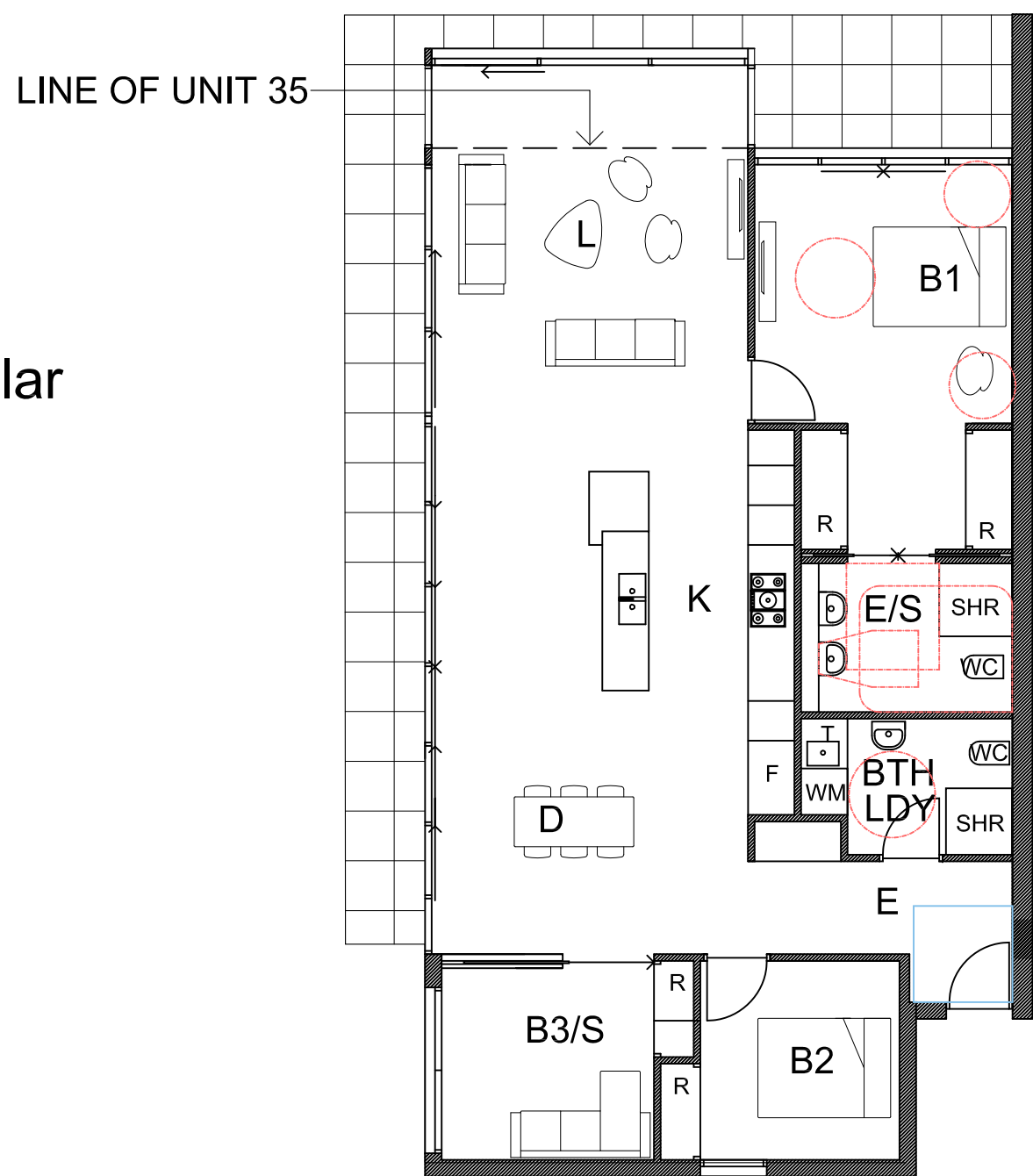
Typical Type H Unit -
3 Bedroom
Unit 19 (130m²).
Units 20 (128m²), 23 (130m²) &
24 (128m²) similar.
No store to units 20 & 24



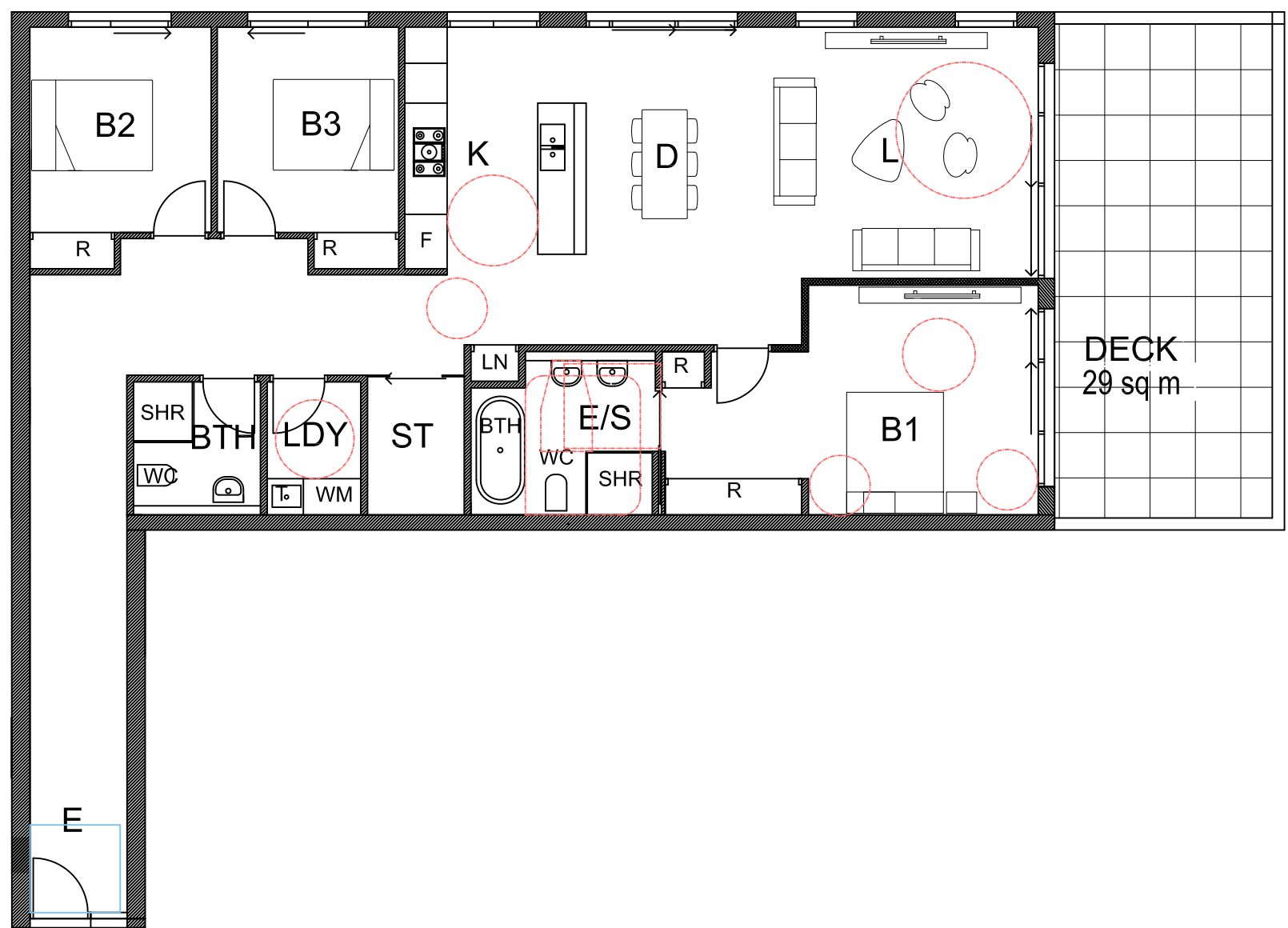
Typical Type I Unit -
2 Bedroom + Third Bedroom/Study
Unit 25 (137m²).
Units 26 (133m²), 28, 32 & 34 (133m²) similar



Typical Type J Unit -
2 Bedroom
Unit 27 (108m²).
Unit 31 similar (108m²)



Typical Type L Unit -
2 Bedroom + Third Bedroom/Study
Unit 30 (134m²).
Unit 35 (126m²) similar



Typical Type K Unit -
3 Bedroom
Unit 29 (145m²).
Unit 33 (145m²) similar

NOTE:
PRIVATE OPEN SPACE LAYOUT
AND SIZE VARIES PER UNIT

LEGEND

ISSUE	DATE	AMENDMENTS
-------	------	------------



Barry Rush & Associates Pty Ltd
Architects
Suite 25A, 2 Beattie Street, Balmain,
NSW, Australia, 2041
Phone: (612) 9555 8028 Fax: (612) 9810 0161
Email: info@barryrush.com.au
www.barryrush.com.au

Client

BELROSE PAVILIONS

Project
**171 FOREST WAY
BELROSE**

LOT 9 IN DP 737255

Drawing
**TYPICAL UNIT PLANS -
SHEET 2**

Scale 1:100 Drawn BR

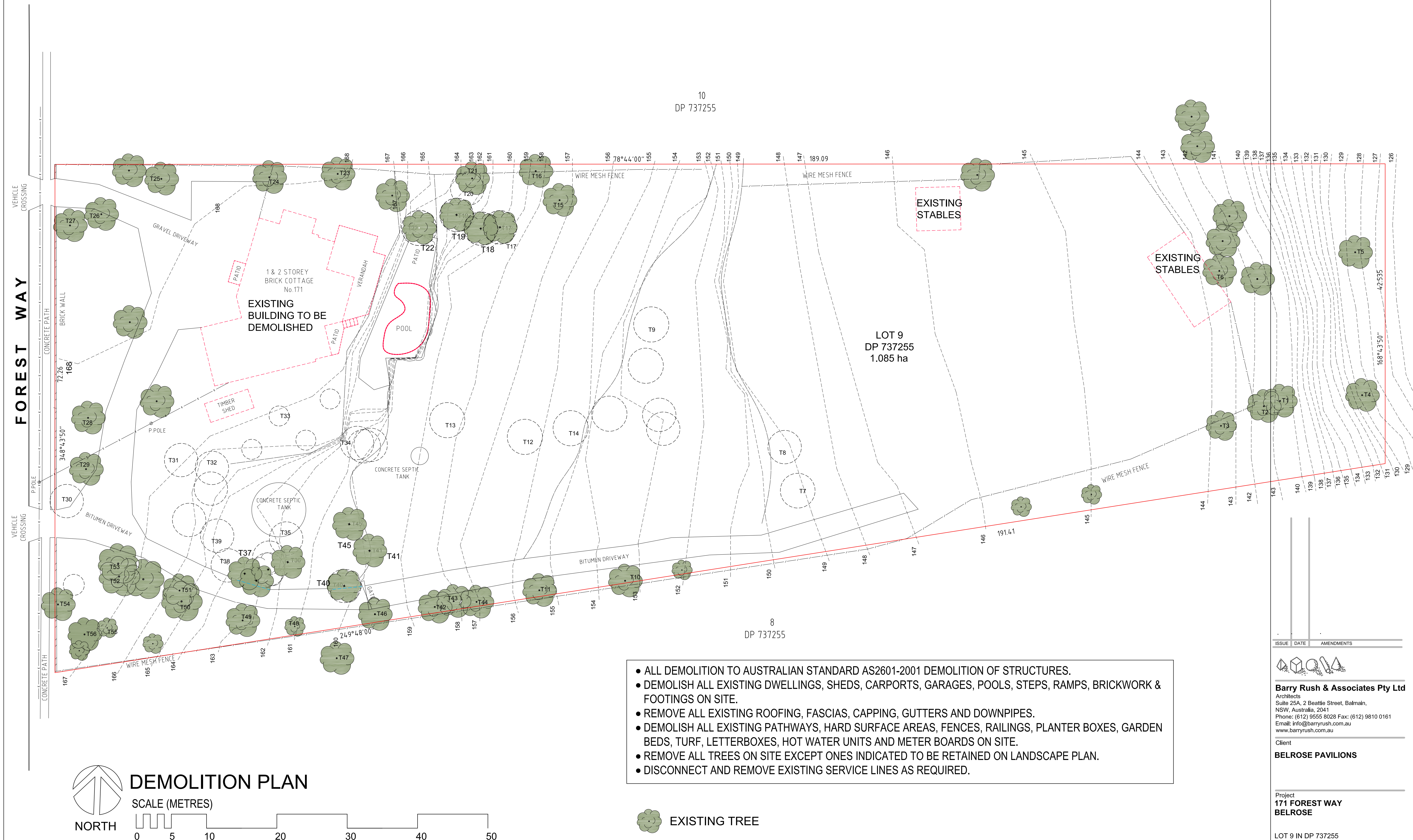
File DA Pavilions UNIT PLANS 2021.c

Plotted 8/12/2021 11:40 AM

Job No 2101

Version DA Drawing No: **A18**

© COPYRIGHT BR&A P/L
Do not scale off this drawing. Use figured dimensions only.
Verify all dimensions on site.



ISSUE	DATE	AMENDMENTS
-------	------	------------



Barry Rush & Associates Pty Ltd
Architects
Suite 25A, 2 Beattie Street, Balmain,
NSW, Australia, 2041
Phone: (612) 9555 8028 Fax: (612) 9810 0161
Email: info@barryrush.com.au
www.barryrush.com.au

Client

BELROSE PAVILIONS

Project
171 FOREST WAY
BELROSE

LOT 9 IN DP 737255

Drawing

DEMOLITION PLAN

Scale	1:250	Drawn	BR
File	DA Pavilions November 2021 A3.dwg		
Plotted	8/12/2021 10:10 AM		
Job No	2101		
Version	DA	Drawing No:	A19

© COPYRIGHT BR&A P/L
Do not scale off this drawing. Use figured dimensions only.
Verify all dimensions on site.



1 EXISTING RESIDENCE
LARGE 2 STOREY BRICK & TILE HOUSE.
HIDDEN FROM FOREST WAY BY EXISTING TREES.



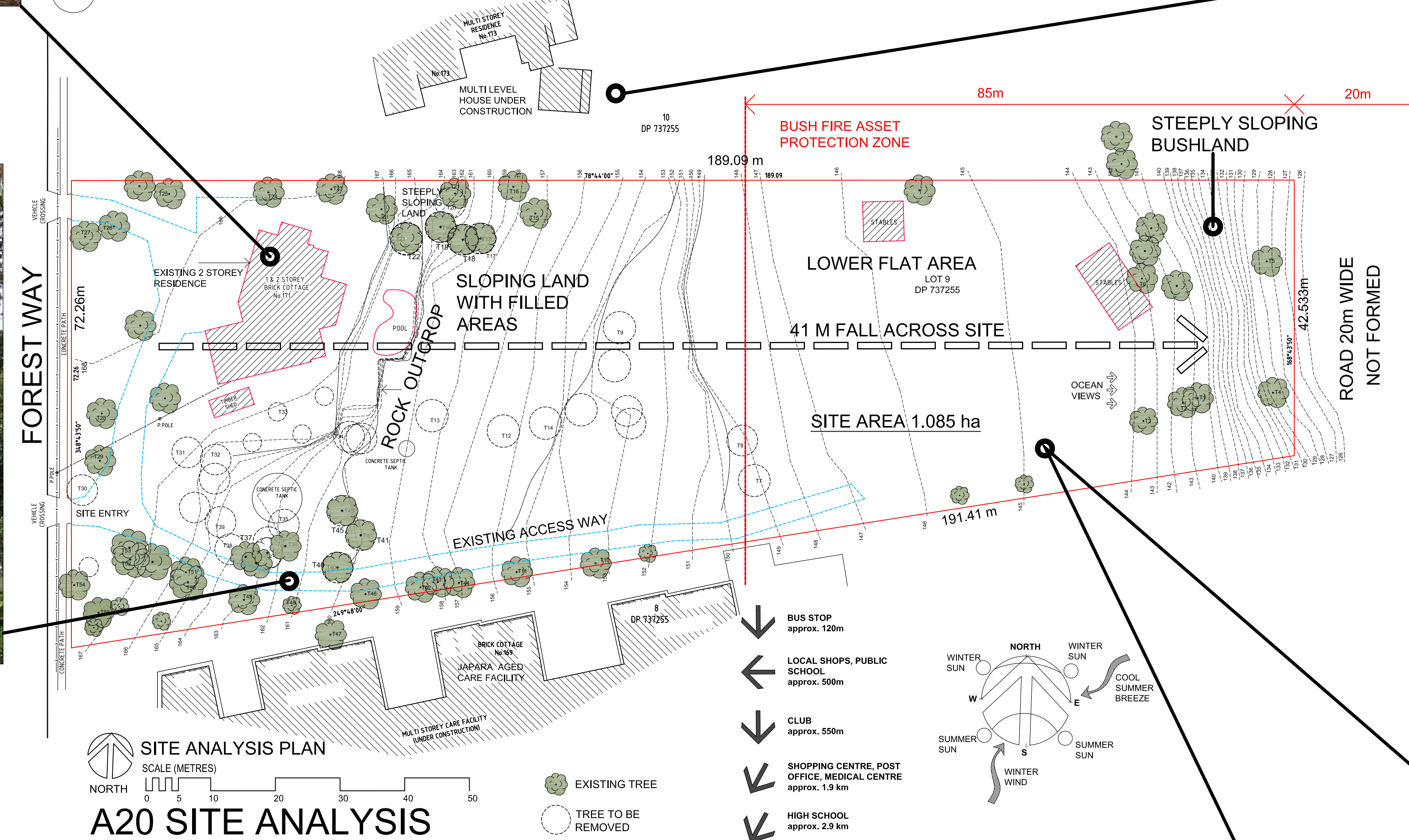
7 LARGE TREES ALONG ACCESS
DRIVEWAY
TALL NATIVE TREES PROVIDING A HIGH CANOPY.



2 VIEW OF SITE ALONG FOREST WAY VIEW OF SITE IN BUSHLAND SETTING. SIGNIFICANT TREE CANOPY



3 NEW MULTI-LEVEL HOUSE



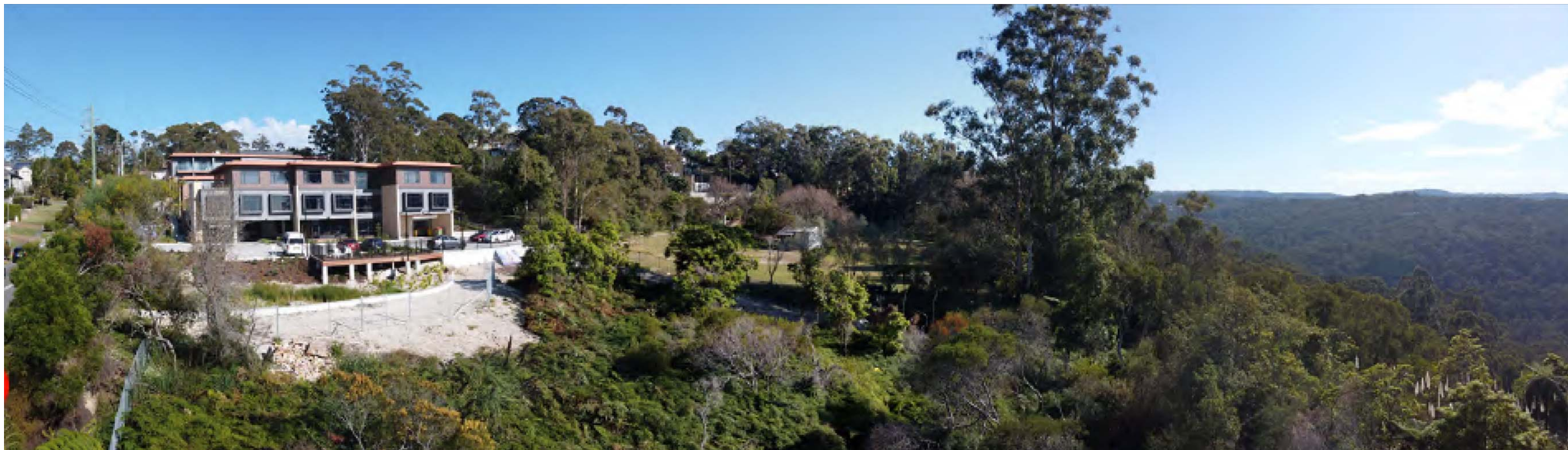
A20 SITE ANALYSIS



4 ROCK OUTCROP ACROSS SITE



5 LOWER FLAT AREA



6 VIEW OF SITE FROM CHILDS CRESCENT SHOWING THE EXTENSIVE EASTERLY VIEWS OVER THE GARIGAL NATIONAL PARK



LOWER FLAT AREA WITH HORSES

LEGEND

Barry Rush & Associates Pty Ltd
Architects
Suite 25A, 2 Beattie Street, Balmain,
NSW Australia, 2041
Phone: (612) 9555 8028 Fax: (612) 9810 0161
Email: info@barryrush.com.au
www.barryrush.com.au

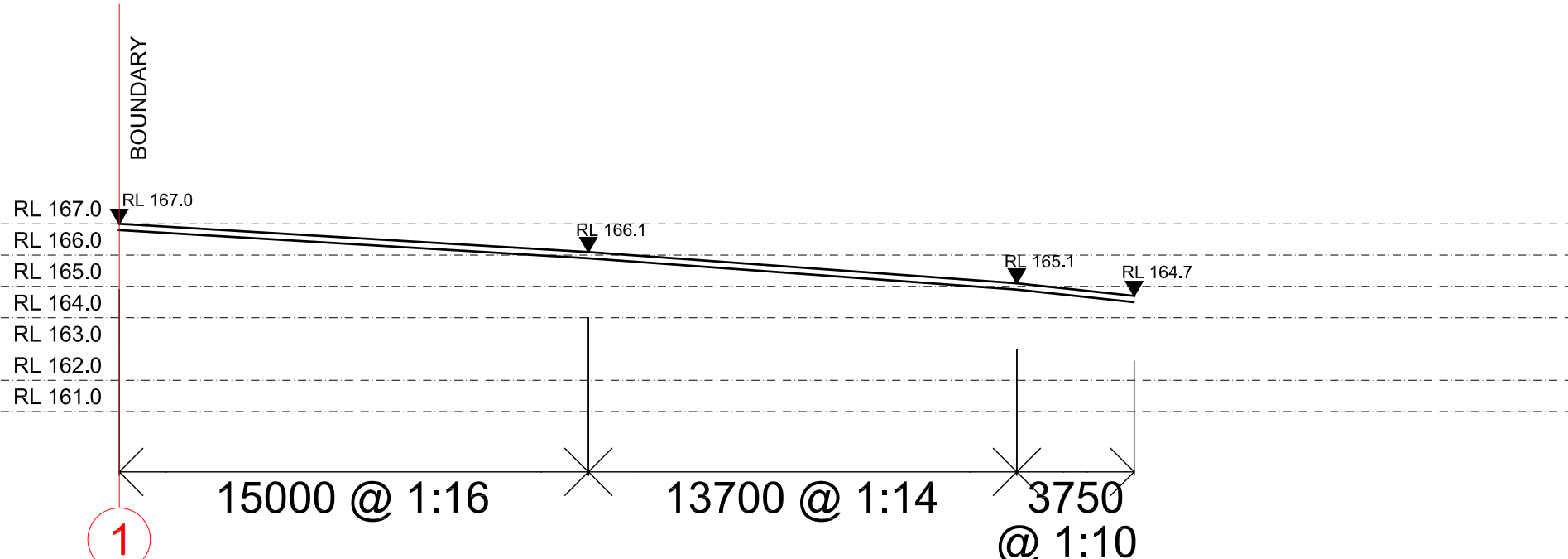
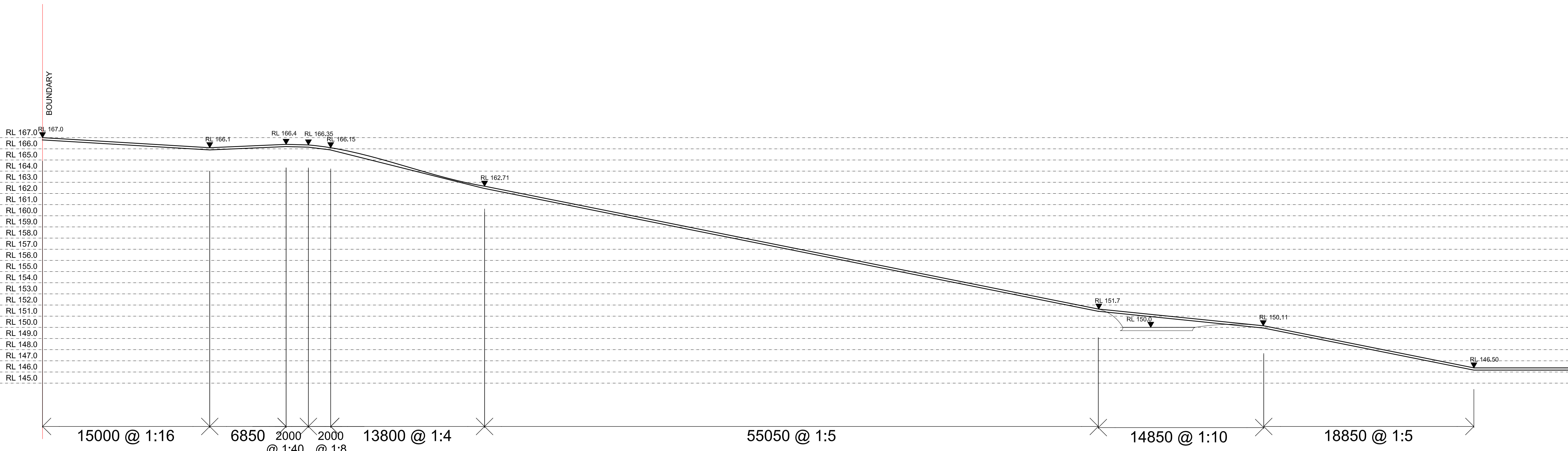
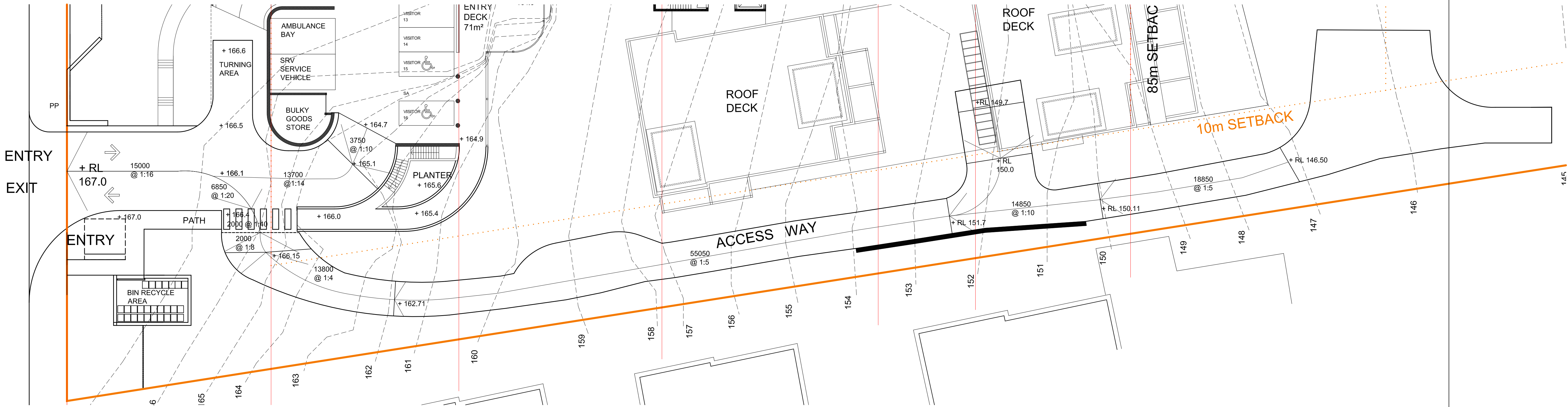
Client
BELROSE PAVILIONS

Project
**171 FOREST WAY
BELROSE**

Lot 9 in DP 737255
Drawing
SITE ANALYSIS PLAN

Scale NTS Drawn BR
File DA Pavilions November 2021
Plotted 8/12/2021 10:10 AM
Job No 2101
Version DA Drawing No: **A20**

© COPYRIGHT BR&A P/L
Do not scale off this drawing. Use figured dimensions only.
Verify all dimensions on site.



DRIVEWAY TO LEVEL 7 CARPARK

LEGEND

ISSUE	DATE	AMENDMENTS

Barry Rush & Associates Pty Ltd
Architects
Suite 25A, 2 Beattie Street, Balmain,
NSW, Australia, 2041
Phone: (612) 9555 8028 Fax: (612) 9810 0161
Email: info@barryrush.com.au
www.barryrush.com.au

Client
BELROSE PAVILIONS

Project
**171 FOREST WAY
BELROSE**

Lot 9 IN DP 737255

Drawing
**DRIVEWAY PLAN
AND SECTIONS
1:200**

Scale	1:200	Drawn	BR
File	DA Driveway A 22 November 2021.dwg		
Plotted	8/12/2021 11:47 AM		
Job No	2102		
Version	DA	Drawing No:	A22

© COPYRIGHT BR&A P/L
Do not scale off this drawing. Use figured dimensions only.
Verify all dimensions on site.



LEGEND



Barry Rush & Associates Pty Ltd
Architects
Suite 25A, 2 Beattie Street, Balmain,
NSW, Australia, 2041
Phone: (612) 9555 8028 Fax: (612) 9810 0161
Email: info@barryrush.com.au
www.barryrush.com.au

Client

BELROSE PAVILIONS

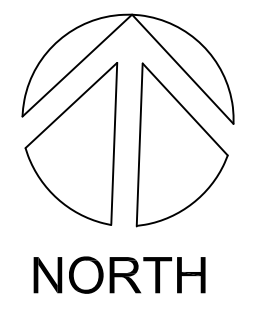
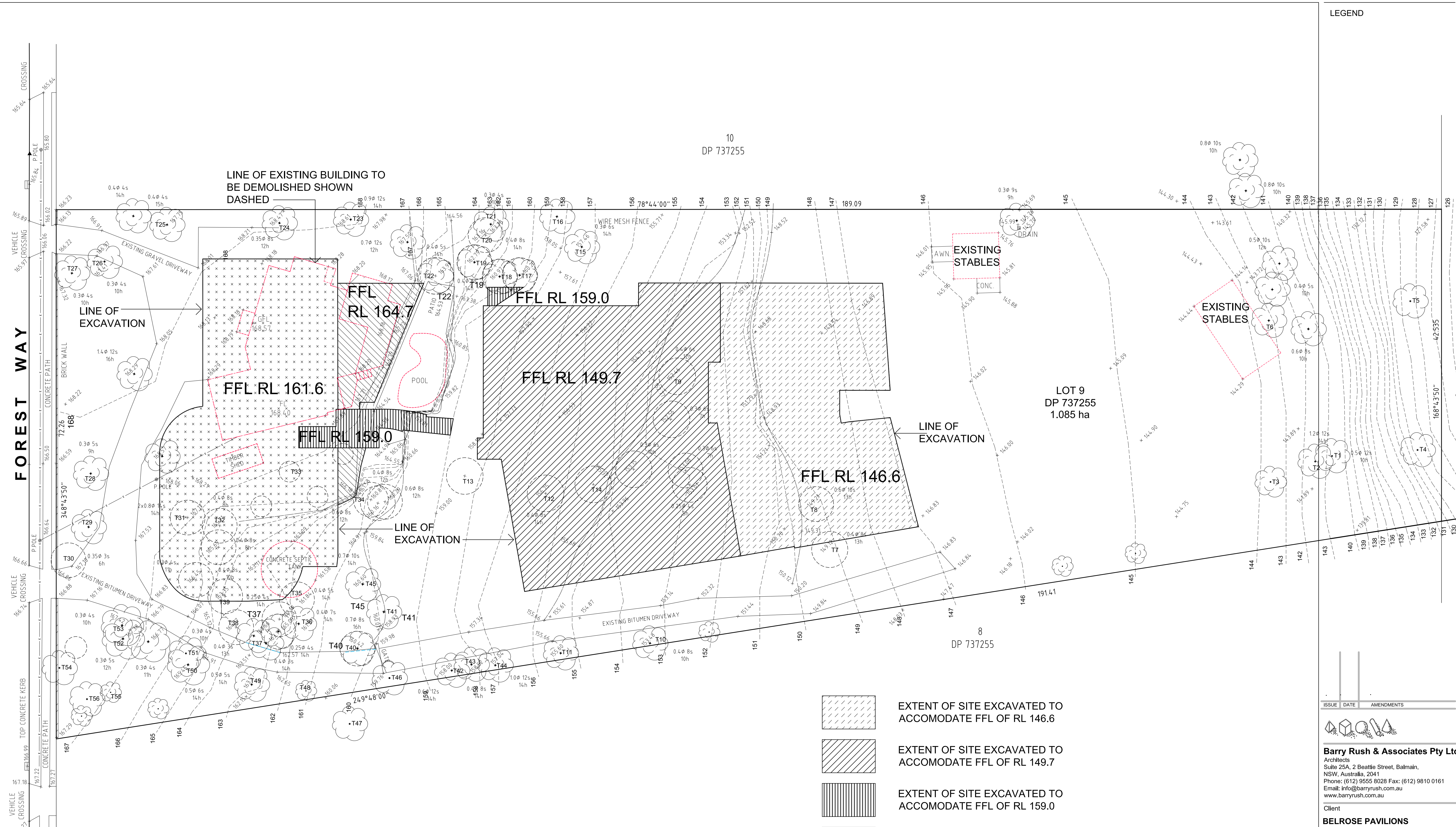
Project
**171 FOREST WAY
BELROSE**

LOT 9 IN DP 737255

Drawing
LANDSCAPE AREA

Scale	NTS	Drawn	BR
File	DA Pavilions November 2021 BRwg		
Plotted	8/12/2021 10:10 AM		
Job No	2101		
Version	DA	Drawing No:	A23

© COPYRIGHT BR&A P/L
Do not scale off this drawing. Use figured dimensions only.
Verify all dimensions on site.



EXCAVATION PLAN

SCALE (METRES)



- EXTENT OF SITE EXCAVATED TO ACCOMODATE FFL OF RL 146.6
- EXTENT OF SITE EXCAVATED TO ACCOMODATE FFL OF RL 149.7
- EXTENT OF SITE EXCAVATED TO ACCOMODATE FFL OF RL 159.0
- EXTENT OF SITE EXCAVATED TO ACCOMODATE FFL OF RL 161.6
- EXTENT OF SITE EXCAVATED TO ACCOMODATE FFL OF RL 164.7

LEGEND

ISSUE	DATE	AMENDMENTS

Barry Rush & Associates Pty Ltd
Architects
Suite 25A, 2 Beattie Street, Balmain,
NSW, Australia, 2041
Phone: (612) 9555 8028 Fax: (612) 9810 0161
Email: info@barryrush.com.au
www.barryrush.com.au

Client
BELROSE PAVILIONS

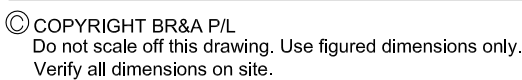
Project
**171 FOREST WAY
BELROSE**

LOT 9 IN DP 737255

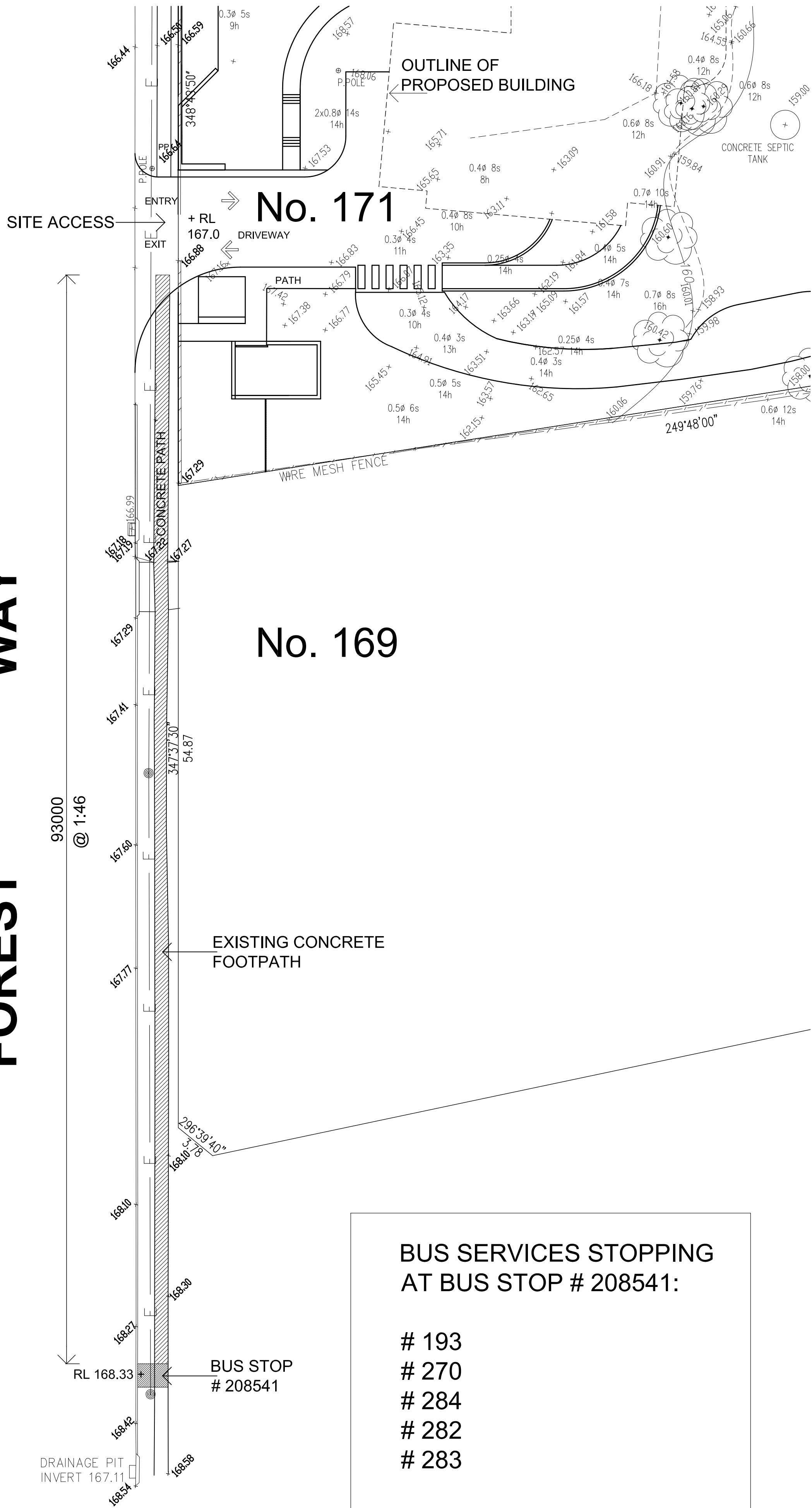
Drawing
EXCAVATION PLAN

Scale	1:250	Drawn	LP
File	DA24 Excavation Plan.dwg		
Plotted	8/12/2021 11:35 AM		
Job No	2101		
Version	DA	Drawing No:	A24

© COPYRIGHT BR&A PT.
Do not scale off this drawing. Use figured dimensions only.
Verify all dimensions on site.



FOREST WAY



BUS SERVICES STOPPING
AT BUS STOP # 208541:

- # 193
- # 270
- # 284
- # 282
- # 283

LEGEND

ISSUE	DATE	AMENDMENTS



Barry Rush & Associates Pty Ltd
Architects
Suite 25A, 2 Beattie Street, Balmain,
NSW, Australia, 2041
Phone: (612) 9555 8028 Fax: (612) 9810 0161
Email: info@barryrush.com.au
www.barryrush.com.au

Client
BELROSE PAVILIONS

Project
**171 FOREST WAY
BELROSE**

Lot 9 IN DP 737255
Drawing
**ACCESSIBLE FOOTPATH
TO BUS STOP PLAN**

Scale	1:250	Drawn	LP
File	DA26 Accessible Footpath to Bus Stop Plan.		
Plotted	8/12/2021 11:38 AM		
Job No	2101		
Version	DA	Drawing No:	A26

© COPYRIGHT BR&A P/L
Do not scale off this drawing. Use figured dimensions only.
Verify all dimensions on site.