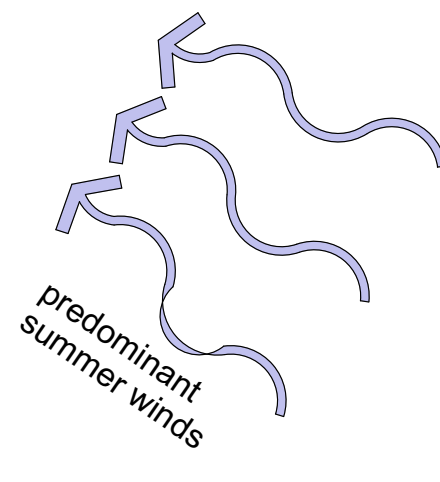
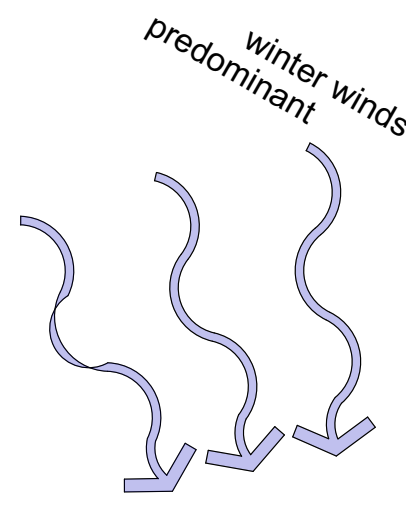
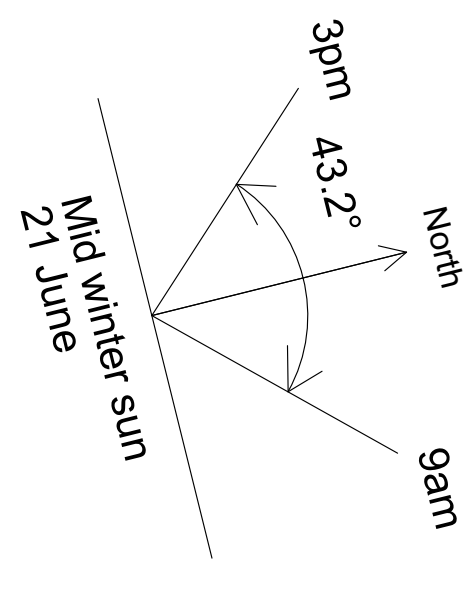
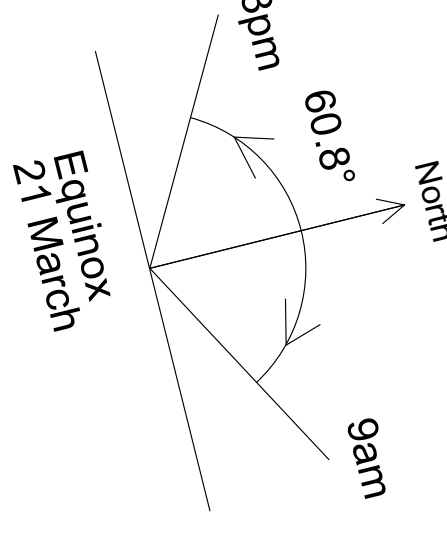
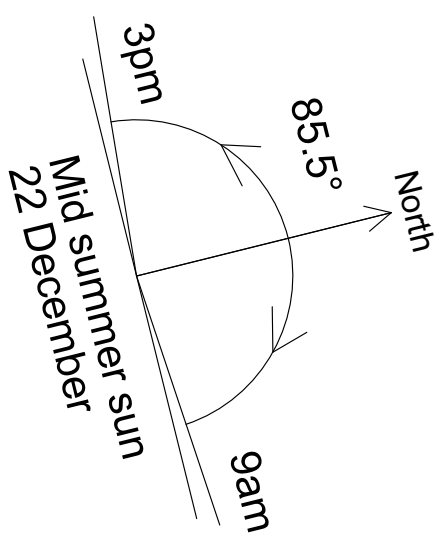
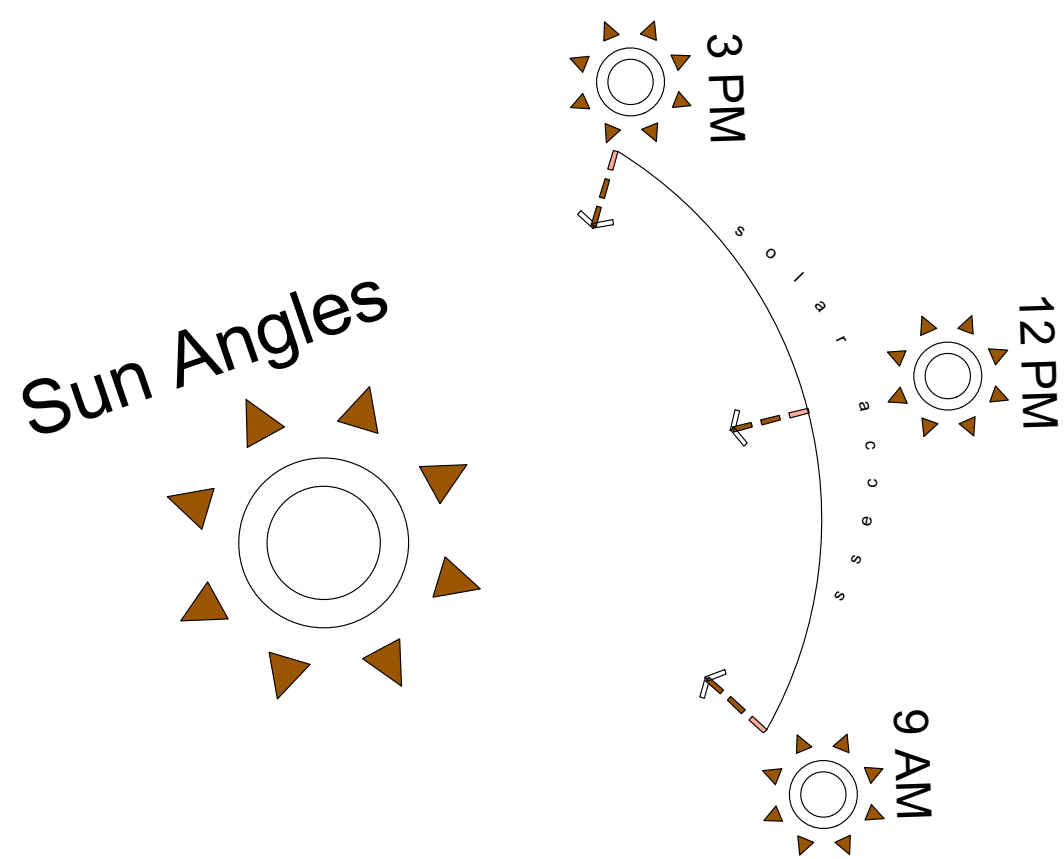
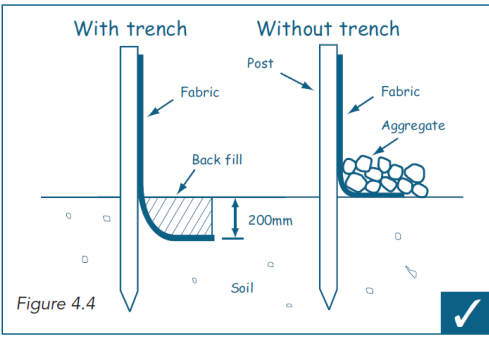
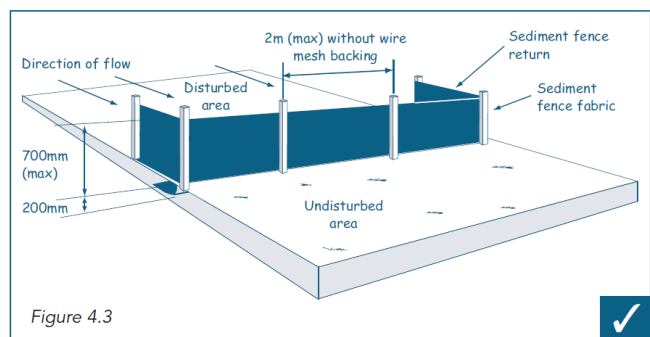
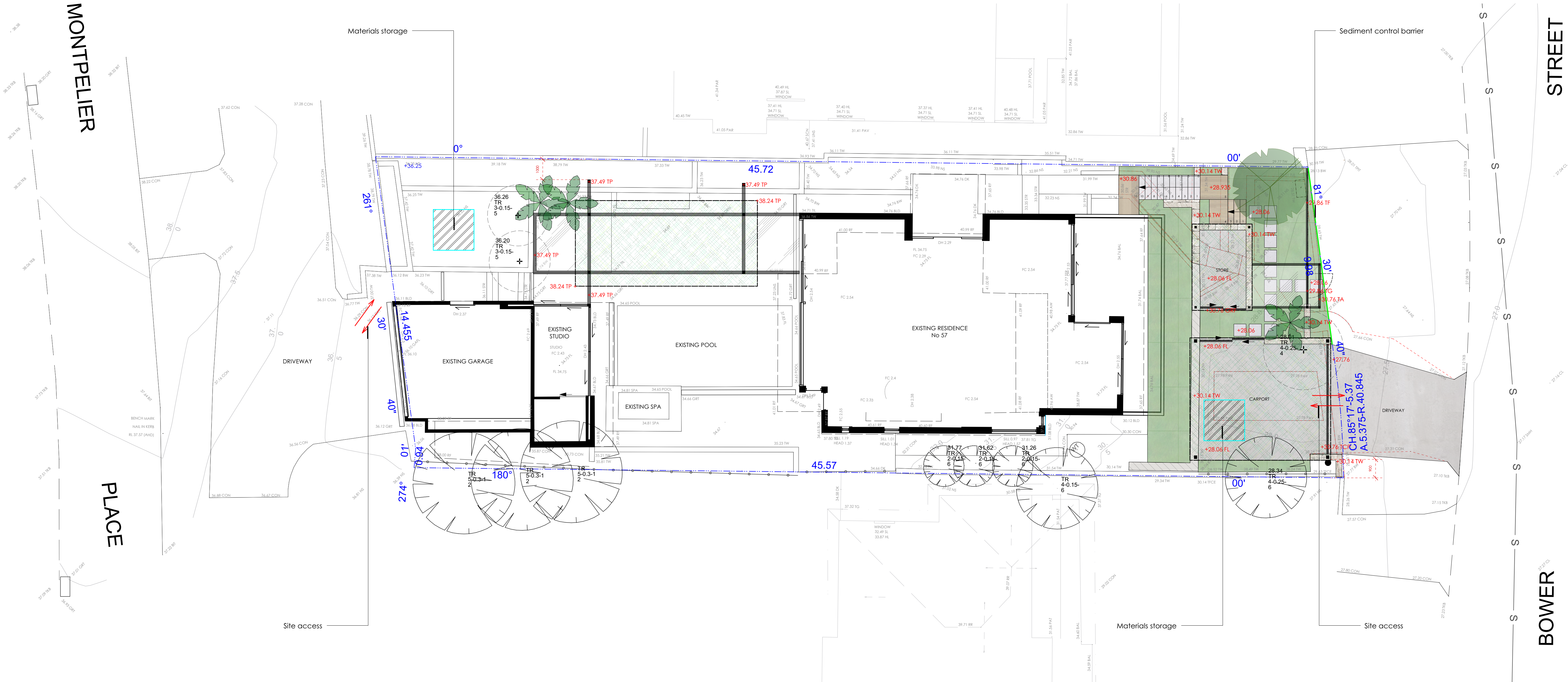
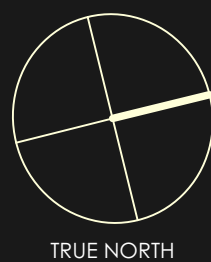
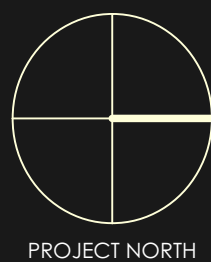




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CLIENT
Mr & Mrs Harrison
PROJECT
57 Bower Street MANLY
LOT 64 - DP 8075 - 696sqm

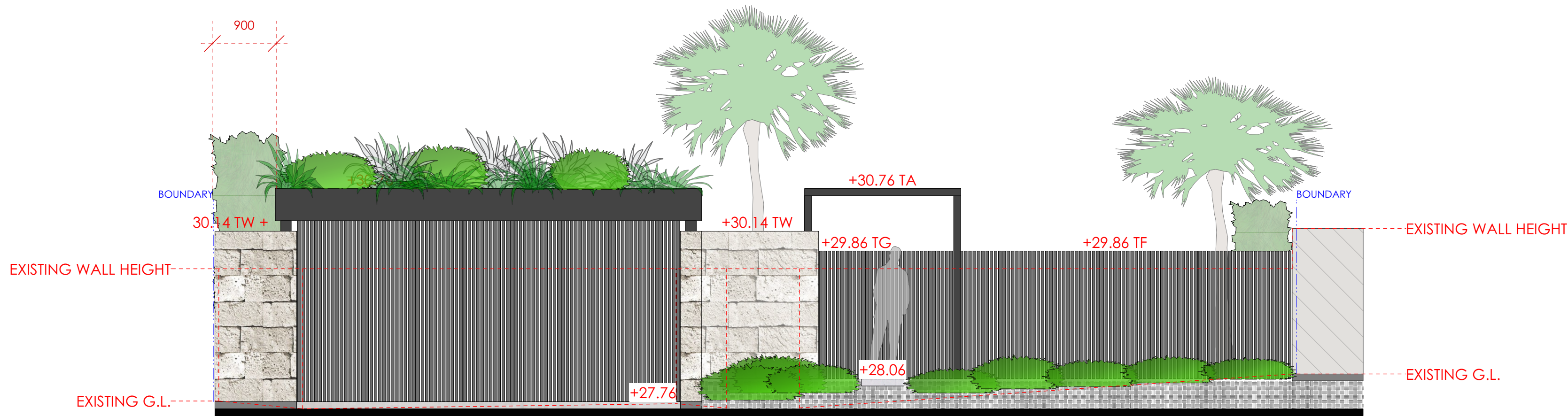
SITE ANALYSIS & SEDIMENT CONTROL PLAN
18/03/20
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TW
SCALE
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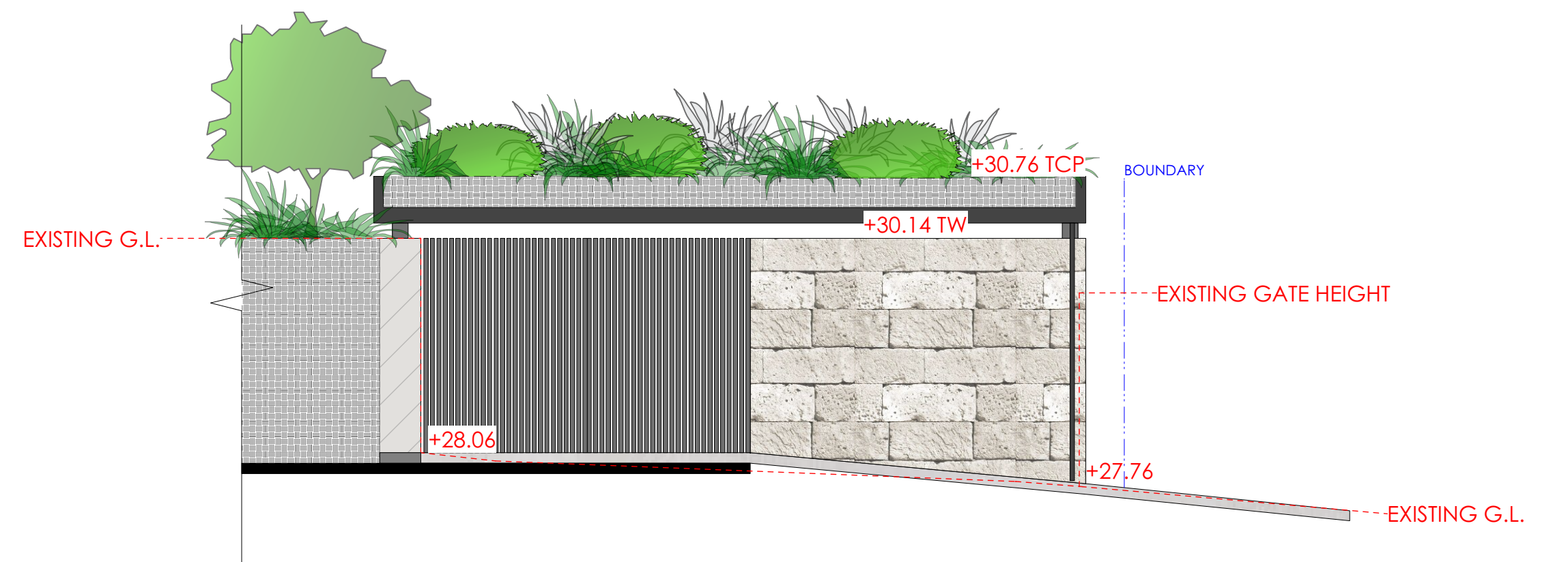
SAP 01

REVISION

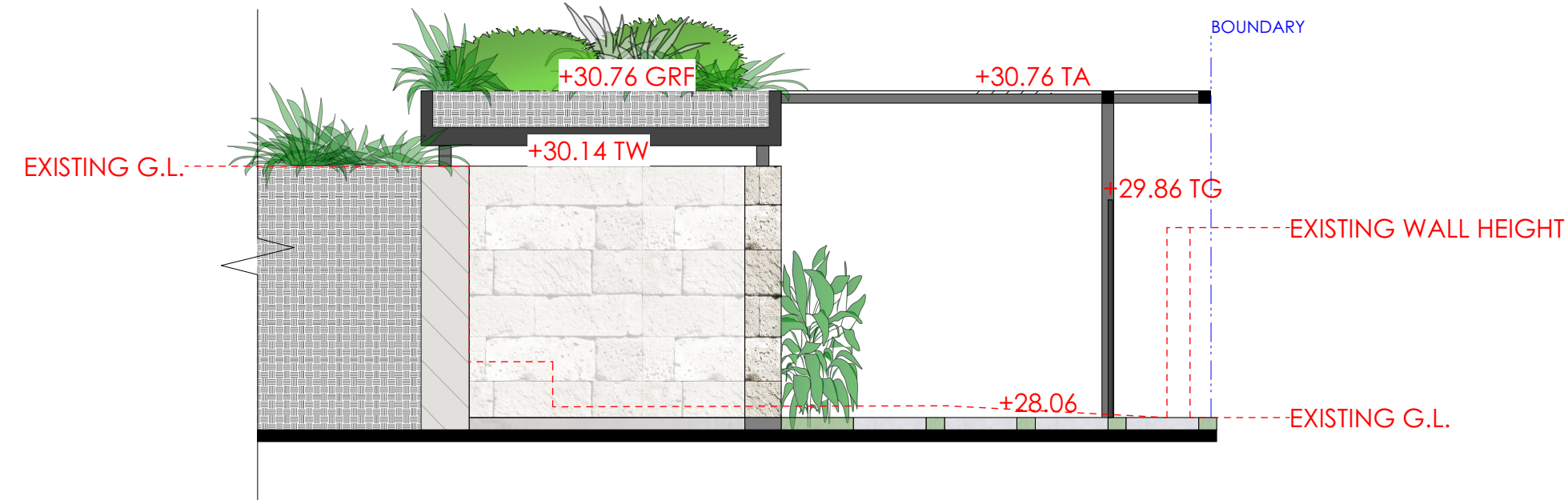
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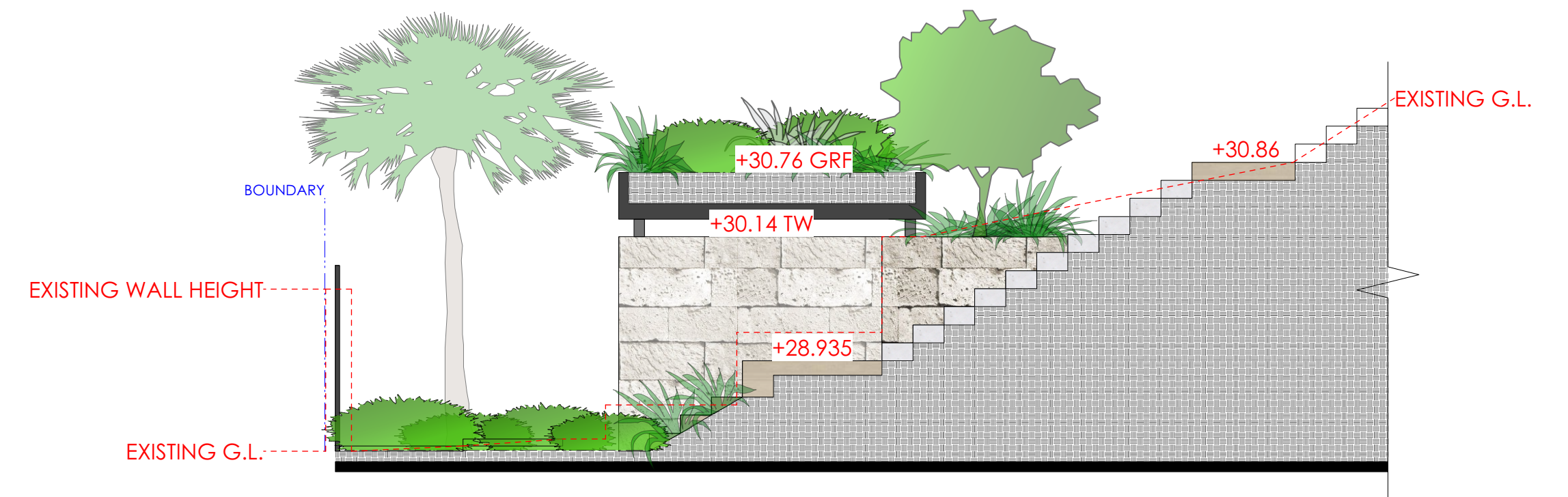
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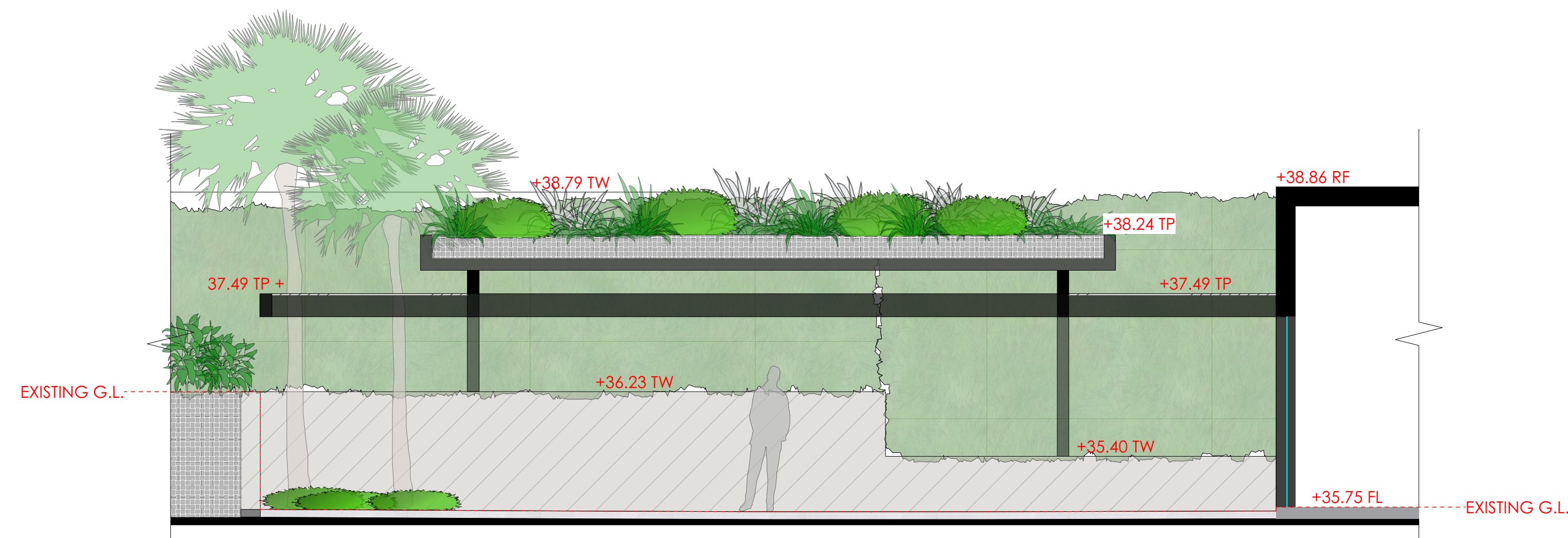
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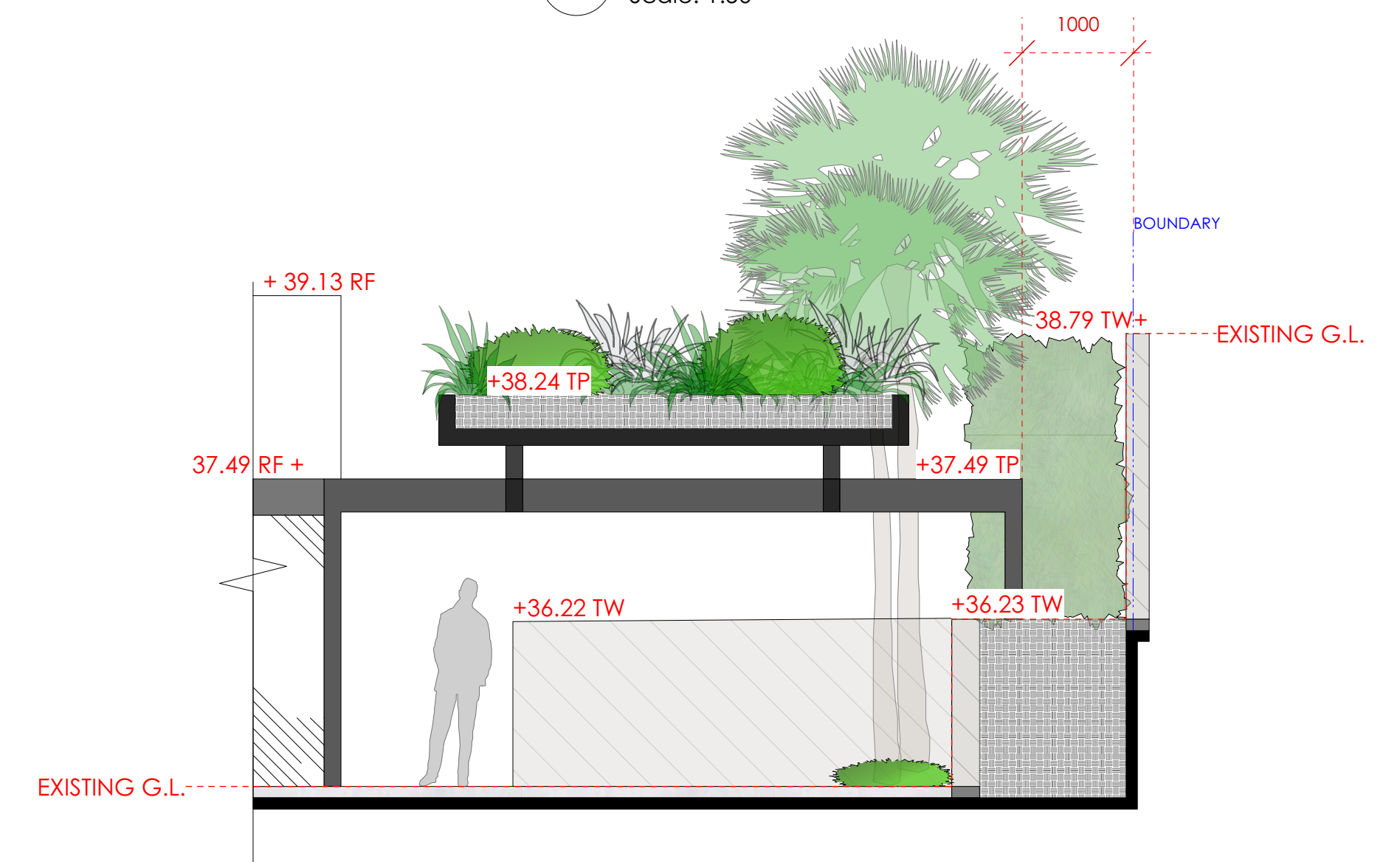
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5 SECTION D-D
Scale: 1:50



6 SECTION E-E
Scale: 1:50



7 SECTION F-F
Scale: 1:50



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CLIENT Mr & Mrs Harrison	SECTIONAL ELEVATIONS			DWG NO SE 01	REVISION A
PROJECT 57 Bower Street MANLY LOT 64 - DP 8075 - 696sqm	18/03/20	DRAWN TW	SCALE 1:50@A1		

MONTPELIER

PLACE

STREET

BOWER

Proposed steel pergola structure with cantilvered end
- fixed glass roof to both ends with raised green roof section
to middle - pergola attaches to rear of house & corner of
studio with further post in existing elevated garden bed

2 x Howea Forsteriana to meet
native tree requirements (3 total)

Remove 2 x Cupaniopsis anacardioides

Rosmarinus prostratus around perimeter of green roof
with mass planted Poa labillardierei to centre

Pergola ties into facade
of dwelling at this end

Elaeagnus macrophylla hedge down Western side
to screen boundary wall & create privacy

New tiled stairs with black steel balustrade
lead up to existing stairs to access entry

Proposed timber landing to provide break
in materials & connection to existing stairs

Extend length of existing stone clad masonry wall
& return alongside new stairs - propose to re-use
stone from removed walls on new wall extension
- height to continue as existing

Hardwood timber steps & landings
conenct to stairs leading to entry

New stone clad masonry wall returns to meet extension
of existing wall & matches height - wall provides support
for proposed entry arbour & backdrop for planting

Tiled steppers in planting from entry gate to steps

New landscaped gardens with
Dichondra, Philodendron & Alpinia

Relocated Pandanus

Remove existing masonry rendered wall on
front boundary & replace with vertical painted
primed pine fence with new gate access

Proposed wall creates convenient store room
for bikes/ surfboards/gardening equipment etc
- concrete floor & green roof to soften structure

Proposed vertical painted primed pine gate with
new steel arbour with fixed glass roof over to create
covered entry - arbour supported by post off new
stone clad wall, green roof over storage & post
adjacent to new gate

Remove existing masonry rendered wall & entry gate

1 x Howea Forsteriana to meet
native tree requirements (3 total)

Retain & relocate
existing Pandanus

Install turf to verge where
driveway has been altered

Remove existing vergola & replace with
solid roof to same height & footprint

Replace existing louvred screen with
solid wall screen for privacy

Proposed new retractable vergola to line
up with extent of other roof structures &
to not exceed existing height

New post to support proposed vergola
from top of existing masonry wall

Existing stone clad masonry wall to be retained
- wall to provide support for proposed carport roof

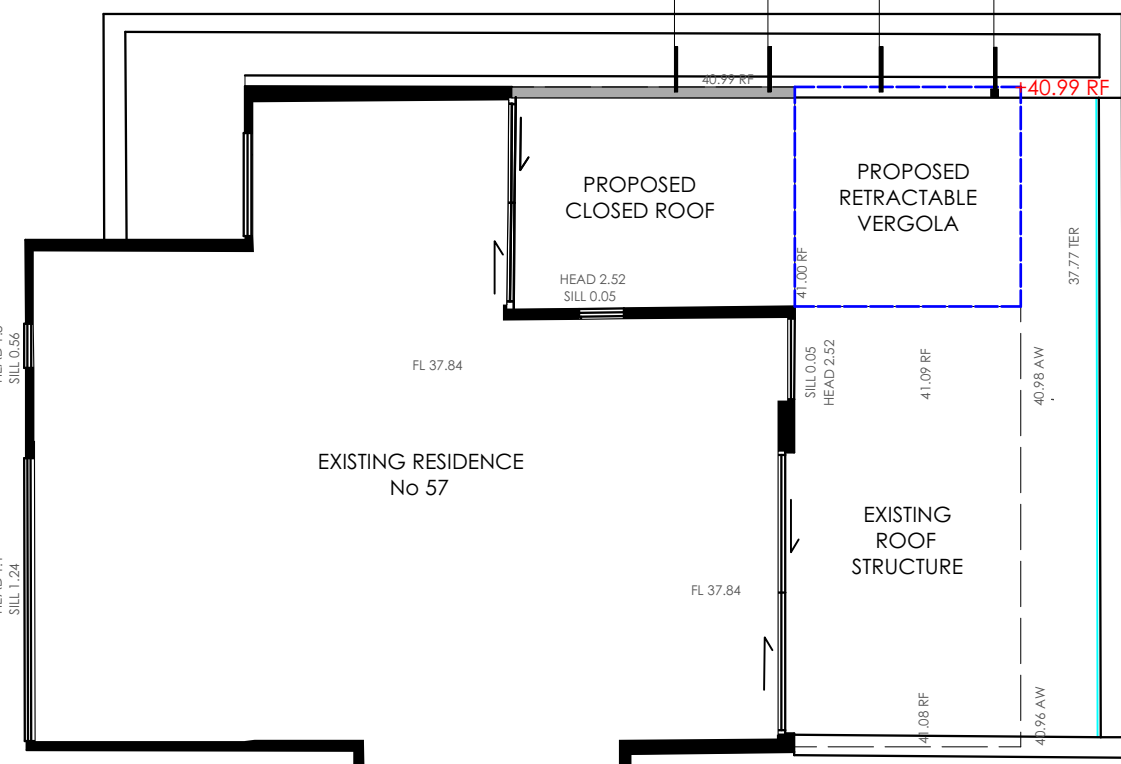
Proposed new carport with stone clad blade
walls to front, vertical painted pine door & side
access, steel posts, concrete floor & green roof
to soften structure

Rosmarinus prostratus
around perimeter of
green roofs with mass
planted Poa labillardierei
to centre

Remove existing driveway gate & adjacent walls
& install new stone clad blade wall to support
proposed carport + install new vertical timber door

Reconfigure & replace driveway to suit
proposed new carport - material to match
that of new carport floor

1 LEVEL 1 - PROPOSED WORKS
Scale: 1:100



LEGEND

- EXISTING SPOT LEVEL / PROPOSED SPOT LEVEL
- BOUNDARY LINE (APPROX LOCATION)
- EXISTING TREE TO RELOCATE/RETAIN
- LINE OF ROOF OVER
- PROPOSED VERGOLA
- PROPOSED GREEN ROOF
- GLASS ROOF
- BLACK STEEL BEAMS & POSTS
- EXISTING HARDSCAPE TO REMOVE
- PROPOSED SOLID PRIVACY SCREEN

- PROPOSED NEW STONE CLAD MASONRY WALL TO MATCH EXISTING TO BE RETAINED
- EXISTING MASONRY STONE CLAD WALL TO BE RETAINED/ADDED TO (TW= TOP OF WALL)
- VERTICAL TIMBER FENCE/GARAGE DOOR /GATE - 40x40mm PAINTED PRIMED PINE
- TILED SURFACE
- SPOTTED GUM HARDWOOD 90 x 19MM DECKING BOARDS
- GARDEN AREA
- EXPOSED AGGREGATE CONCRETE DRIVEWAY
- BLACK STEEL BALUSTRADE (NOM 1000MM HIGH)
- EXISTING HARDSCAPE TO RETAIN
- EXISTING GLASS BALUSTRADE

PLANT SCHEDULE

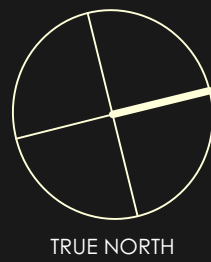
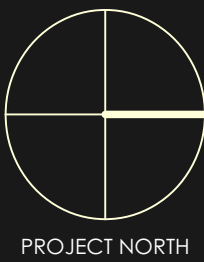
Botanical name	Common Name	Size	Qty
Alpinia malaccensis	Alpinia malaccensis	200mm	8
Dichondra repens	Dichondra repens	100mm	200
Elaeagnus macrophylla	Russian Olive	200mm	28
Howea forsteriana	Kentia Palm	100L	3
Lomandra longifolia 'Tanika'	Lomandra 'Tanika'	140mm	101
Philodendron 'Xanadu'	Xanadu	200mm	62
Poa labillardierei 'Eskdale'	Blue Poa	140mm	291
Rosmarinus officinalis prostratus	Prostrate rosemary	200mm	102

- GREEN ROOF
- GREEN ROOF

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LOT 64 - DP 8075 - 696sqm

LANDSCAPE MASTER PLAN

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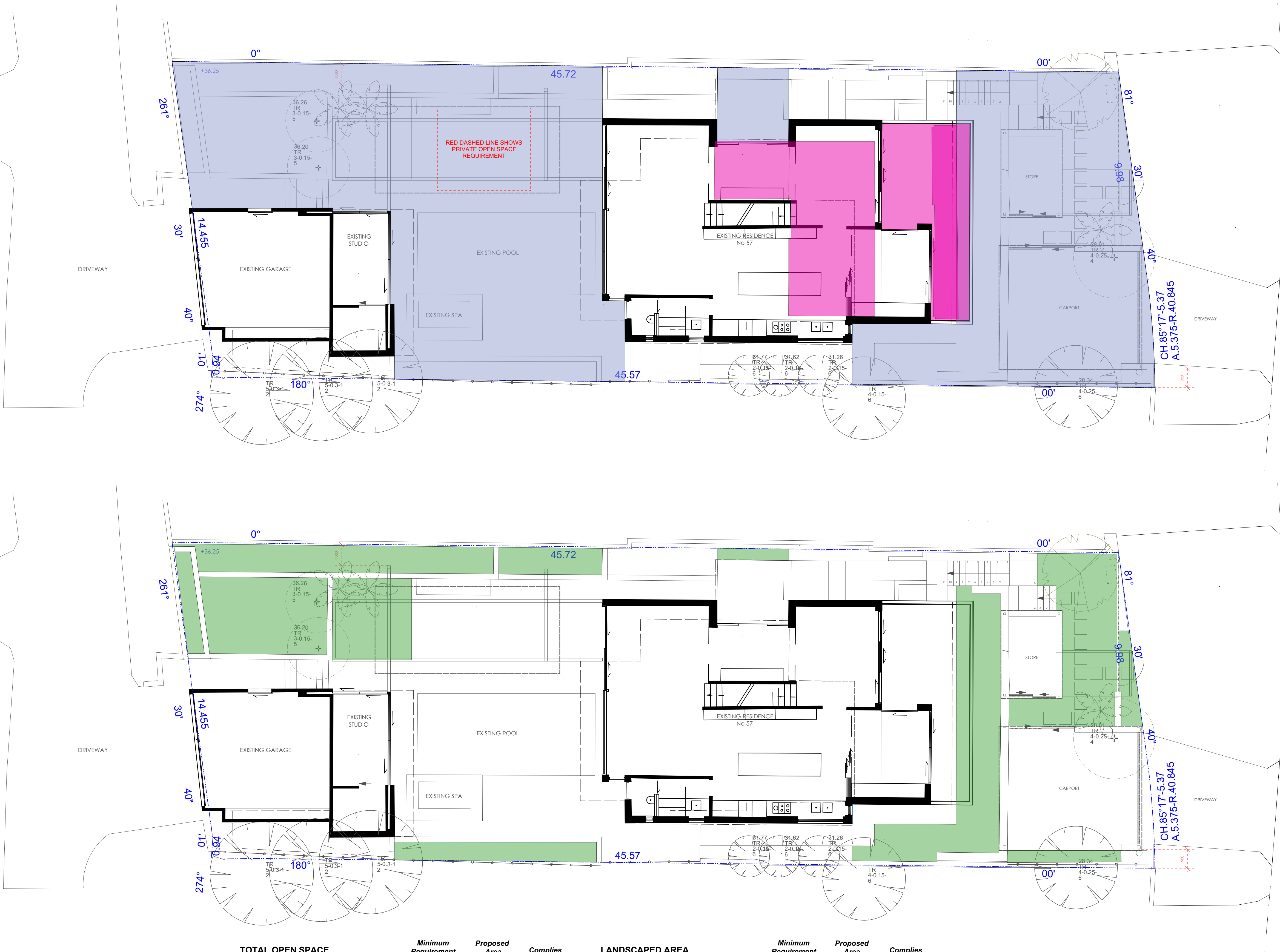
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PLACE

IER

PLACE



TOTAL OPEN SPACE	Minimum Requirement	Proposed Area	Complies
Minimum 55% of site Site area - 696m2	382.8m2 55%	392.7m2 56%	YES

LANDSCAPED AREA	Minimum Requirement	Proposed Area	Complies
Minimum 35% of the actual (proposed) total open space	137.4m2 35%	146.1m2 37%	YES

TOTAL OPEN SPACE ABOVE GROUND	Maximum Permissible	Proposed Area	Complies
Maximum 25% of required total open space	95.7m2 25%	85.5m2 22%	YES

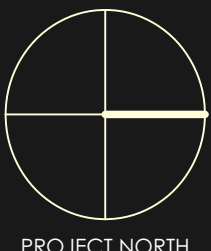
PRIVATE OPEN SPACE Minimum requirement - 18m2 (meets requirement)

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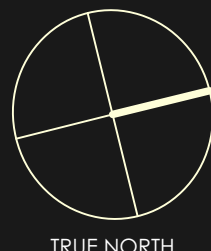
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PROJECT NORTH



TRUE NORTH

CLIENT
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PROJECT
57 Bower Street MANLY
LOT 64 - DP 8075 - 696sqm

LANDSCAPED AREA CALCULATIONS

18/03/20

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