

**Photo 1**

This photo shows the view from south east to south west from 29 Wandeen Rd Clareville at Level 2 of the existing residence.

The residence at 31 Wandeen Rd has a large deck and room located across the south and south western portion of the dwelling which would benefit from superior views given height of that property and trajectory.

These views will not be impugned if the development application at 29 Wandeen Rd is approved.





## Photo 2

This photo shows the view from south to south west from 29 Wandeen Rd Clareville at Level 2 of the existing residence, including into Refuge Cove at the bottom of Hudson Pde.

The residence at 31 Wandeen Rd has a large deck and room located across the south and south western portion of the dwelling which would benefit from superior views given height of that property and trajectory.

These views will not be impugned if the development application at 29 Wandeen Rd is approved.





### Photo 3

This photo shows the third floor room located in the mid section and deck located on the western façade of 31 Wandeen Rd. The canopy below the deck in the mid section of the photo sits above the kitchen window of 31 Wandeen Rd.

The photo is taken from the North Eastern section of 29 Wandeen Rd (driveway).

It is envisaged that views similar or superior to those in **photos 7, and 8** would be obtained from these westerly facing windows and decking area.

The photo shows that the deck section and windows in this room sit above the existing ride line of 29 Wandeen Rd (which will be reduced in height by 500mm) and as such if the DA is approved then these views will not be impugned.





#### Photo 4

This photo shows the third floor room located in the mid section and deck located on the western façade of 31 Wandeen Rd. The canopy below the deck in the mid section of the photo sits above the kitchen window of 31 Wandeen Rd.

The photo is taken from the North Eastern section of 29 Wandeen Rd (driveway).

It is envisaged that views similar or superior to those in **photos 7, and 8** would be obtained from these westerly facing windows and decking area.

The photo shows that the deck section and windows in this room sit above the existing ride line of 29 Wandeen Rd (which will be reduced in height by 500mm) and as such if the DA is approved then these views will not be impugned.



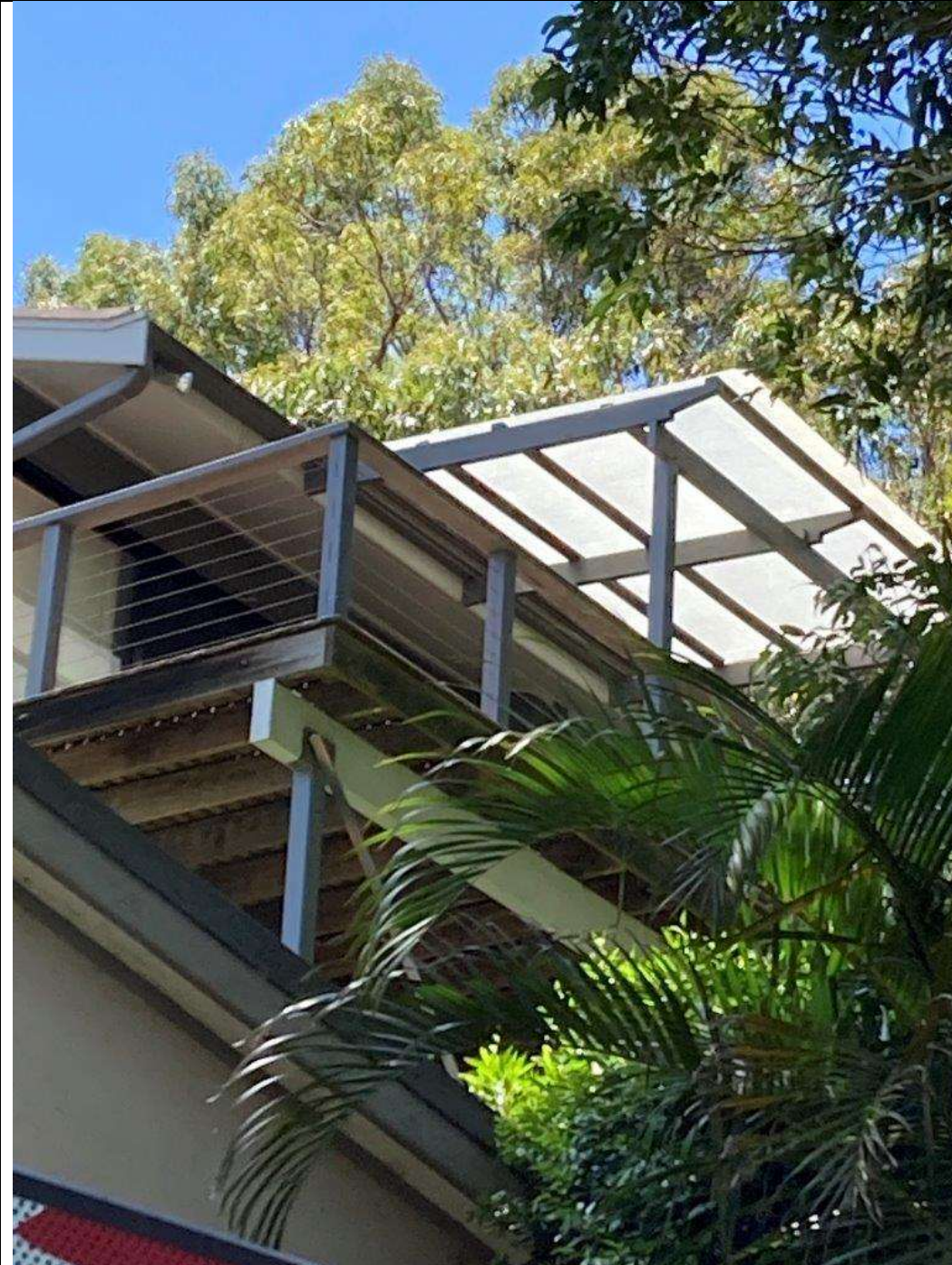


**Photo 5**

This photo shows the deck extended to the south of the third floor of 31 Wandeen Rd when viewed from the southern garden of 29 Wandeen Rd.

It is envisaged that views similar or superior to those depicted in **Photos 1,2,7** would be obtained from this location.

Views from this location will not be impugned should the DA at 29 Wandeen Rd be approved.





#### Photo 6

This photo shows the rear deck and mid located room situated at 31 Wandeen Rd when viewed from the south eastern yard space at 29 Wandeen Rd.

The photo depicts the extension of the deck which traverses nearly the entire western façade of 31 Wandeen Rd above the existing ridgeline of 29 Wandeen Rd.

The large westerly facing windows sit above the existing ridgeline of 29 Wandeen Rd.

It is envisaged that views similar or superior to **photos 1, 2, and 7** would be obtained from the southern facing windows and deck. Further views similar or superior to **photos 1,2,7, and 8** would be obtained from the western facing windows and western facing deck.

These views will not be impugned should the DA at 29 Wandeen Rd be approved.



**Photo 7**

This photo is taken from under the existing eaves at the south of the 2<sup>nd</sup> floor of 29 Wandeen Rd facing west.

It is envisaged that similar or superior views to these would be obtainable from various locations at 31 Wandeen Rd (notably those locations on the third floor facing west and south west) and will not be impugned should the DA at 29 Wandeen Rd be approved.





**Photo 8**

This photo is taken at ground level from the North Western front yard of 29 Wandeen Rd looking North West.

It is envisaged that similar or superior views to these would be obtainable from various locations at 31 Wandeen Rd (notably the large front deck on the second floor of the property facing north west) and will not be impugned should the DA at 29 Wandeen Rd be approved.





**Photo 9**

This photo is taken of the North Western facing deck located on the property situate at 31 Wandeen Rd, it is taken from the existing covered deck of 29 Wandeen Rd.

It is envisaged that similar or superior views to those depicted in **photo 8** would be obtainable from this location and will not be impugned should the DA at 29 Wandeen Rd be approved.



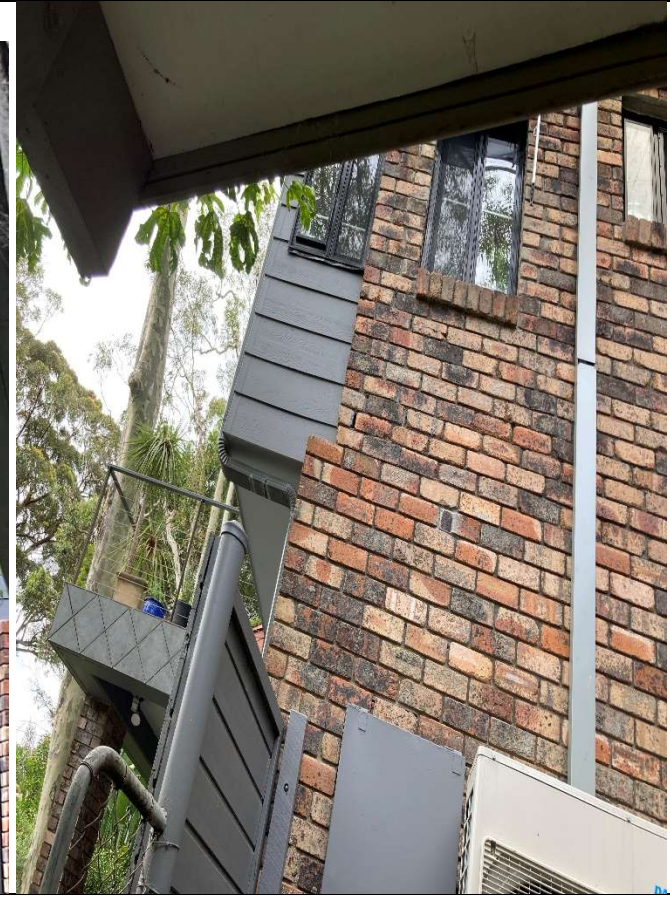


**Photo 10 & Photo 11**

These photos are provided for context. They show the two kitchen windows located on the second floor of the property located at 31 Wandeen Rd, are taken from under the existing cover of the deck situated at 29 Wandeen Rd and show that they project above that existing height line, and in the case of the northern most window projects beyond the existing building line of 29 Wandeen Rd.

It is notable that the proposed extension to the third floor of 29 Wandeen Rd does not project over this existing verandah roof.

Views from 31 Wandeen Rd to the west and west south west will be retained should the DA at 29 Wandeen Rd be approved.





### Photo 12

This photo provides context to the westerly and south westerly views that are obtained from the existing deck of 29 Wandeen Rd. The proposed extension above this floor sits 1000mm to the south of the wall on the left of the photo and will not inhibit the westerly or west south westerly views obtained from the Kitchen windows located on the western side of 31 Wandeen Rd which has a superior location in height and projection.

