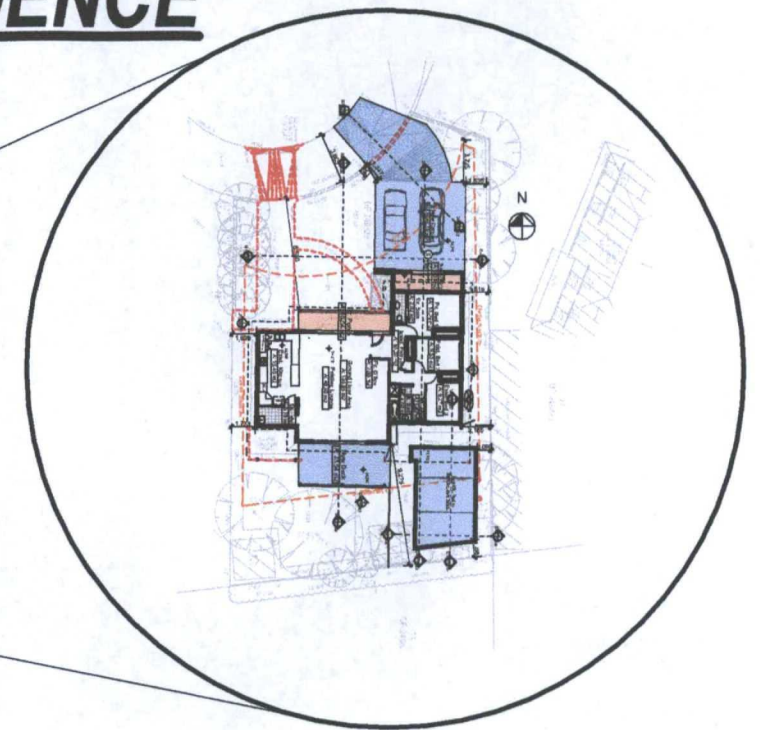


## Section 96 Modification To DA2014/0837 ALTERATIONS & ADDITIONS TO EXISTING RESIDENCE

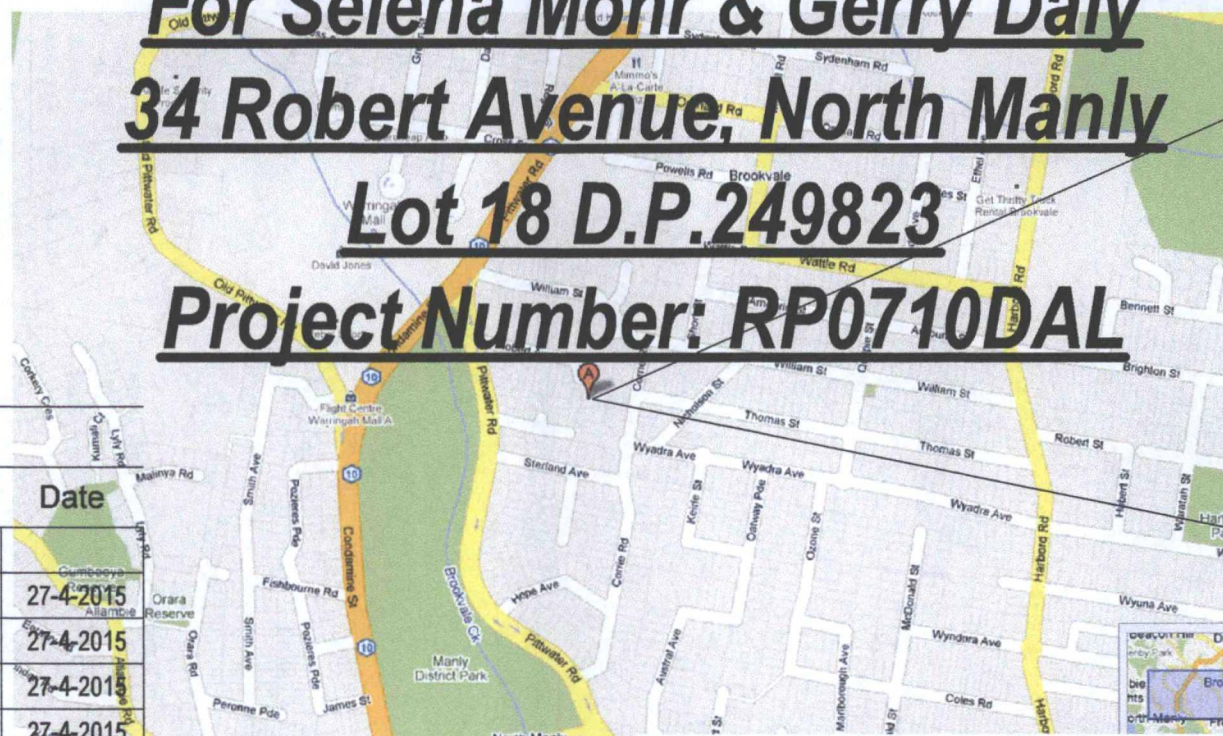
For Selena Mohr & Gerry Daly  
34 Robert Avenue, North Manly

Lot 18 D.P.249823

Project Number: RP0710DAL



Rapid Plans [www.rapidplans.com.au](http://www.rapidplans.com.au)  
P.O. Box 6193 Frenchs Forest DC NSW 2086  
Fax: (02) 9905-8865 Mobile: 0414-945-024  
Email: [gregg@rapidplans.com.au](mailto:gregg@rapidplans.com.au)



### Layout Index

Layout No:	Layout Name	Rev	Description	Date
	Cover Sheet			
DAMod1001	A4 Notification Plan			27-4-2015
DAMod1002	Survey Plan			27-4-2015
DAMod1003	Site Plan			27-4-2015
DAMod1004	Existing Floor Plan			27-4-2015
DAMod1005	Demolition Plan			27-4-2015
DAMod1006	Landscape Open Space Plan			27-4-2015
DAMod1007	Sediment & Erosion Control Plan			27-4-2015
DAMod1008	Waste Management Plan			27-4-2015
DAMod2001	Ground Floor			27-4-2015
DAMod2002	Roof			27-4-2015
DAMod3001	Section 1			27-4-2015
DAMod3002	Section 2			27-4-2015
DAMod3003	Section Drive			27-4-2015
DAMod3004	Sections Pool			27-4-2015
DAMod4001	Elevation 1			27-4-2015
DAMod4002	Elevations 2			27-4-2015
DAMod5001	21 June 9am			27-4-2015
DAMod5002	21 June 12pm			27-4-2015
DAMod5003	21 June 3pm			27-4-2015
DAMod5004	Shadow Wall Elevation			27-4-2015
DAMod5005	Colours & Finishes Sample Board			27-4-2015

### BASIX Certificate

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

#### Alterations and Additions

Certificate number: A194619\_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 18/09/2014 published by Planning & Infrastructure. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

This certificate is a revision of certificate number A194619 lodged with the consent authority or certifier on 25 Jul 2014 with application DA2014/0837.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Sch 1 Cl 2A, 4A or 6A of the Environmental Planning and Assessment Regulation 2000

Director-General

Date of issue: Thursday, 23, April 2015

To be valid, this certificate must be lodged within 3 months of the date of issue.



BUILDING  
DESIGNERS  
AUSTRALIA NSW



Planning &  
Infrastructure

### Description of project

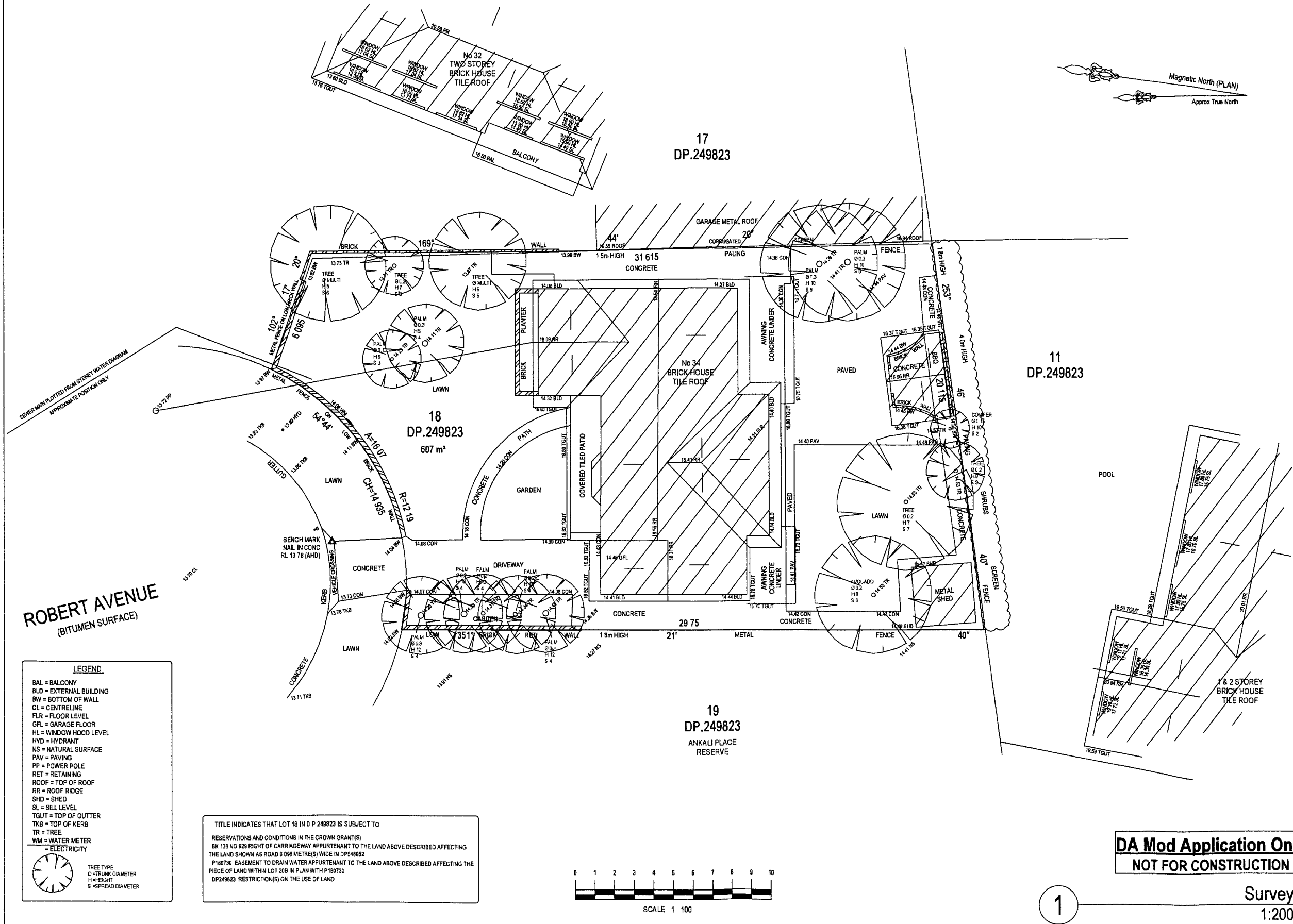
Project address	
Project name	Mohr-Garage_02
Street address	34 Robert Avenue North Manly 2100
Local Government Area	Warringah Council
Plan type and number	Deposited Plan 249823
Lot number	18
Section number	0
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).

### Certificate Prepared by (please complete before submitting to Council or PCA)

Name / Company Name: Rapid Plans

ABN (if applicable): 43150064592





**NOTES**

BOUNDARIES HAVE NOT BEEN DEFINED (TITLE DIMENSIONS ONLY)  
BOUNDARY DEFINITION IS SUBJECT TO FURTHER SURVEY

IF CONSTRUCTION ON OR NEAR BOUNDARIES IS REQUIRED IT IS  
RECOMMENDED THAT THE BOUNDARIES OF THE LAND BE MARKED  
TREE SIZES ARE ESTIMATES ONLY

THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF RAPID  
PLANS

RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS  
DIAGRAMMATIC ONLY WHERE OFFSETS ARE CRITICAL THEY  
SHOULD BE CONFIRMED BY FURTHER SURVEY

EXCEPT WHERE SHOWN BY DIMENSION LOCATION OF DETAIL WITH  
RESPECT TO BOUNDARIES IS INDICATIVE ONLY

ONLY VISIBLE SERVICES HAVE BEEN LOCATED UNDERGROUND  
SERVICES HAVE NOT BEEN LOCATED DIAL BEFORE YOU DIG SERVICES  
(BY 1100) SHOULD BE USED AND A FULL UTILITY INVESTIGATION  
INCLUDING A UTILITY LOCATION SURVEY SHOULD BE UNDERTAKEN  
BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR  
THE SURVEYED AREA

SEWER MAIN PLOTTED FROM SYDNEY WATER SEWER DIAGRAM  
LOCATION SHOULD BE MARKED ON SITE IF CRITICAL

CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR

THIS PLAN IS ONLY TO BE USED FOR THE PURPOSE OF DESIGNING  
NEW CONSTRUCTIONS

POSITION OF RIDGE LINES ARE DIAGRAMMATIC ONLY (NOT TO  
SCALE)

THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF  
1:100

DO NOT SCALE OFF THIS PLAN / FIGURED DIMENSIONS TO BE TAKEN  
IN PREFERENCE TO SCALED READINGS

IF ACCURATE TRUE NORTH IS REQUIRED A FURTHER SURVEY WOULD  
BE NECESSARY

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PRINT COPY OR REPRODUCTION OF THIS SURVEY SHOULD CONTAIN  
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THIS NOTICE MUST NOT BE ERASED

**HORIZONTAL DATUM**  
CO-ORDINATE SYSTEM ASSUMED

**VERTICAL DATUM**  
DATUM AUSTRALIAN HEIGHT DATUM (AHD)  
B M ADOPTED PM 559  
R L 11.830 (ORDER L1)  
SOURCE S C I M S (27/08/09)


1 FIRST ISSUE 18/06/10

LGA WARRINGAH SHEET OF 1

**CLIENT**

RAPID PLANS  
PO BOX 6193  
FRENCHS FOREST DC NSW 2086


**PLAN**

SHOWING DETAIL & LEVELS  
OVER LOT 18 IN DP 249823  
BEING 34 ROBERT AVENUE  
NORTH MANLY NSW 2100


<b>CMS Surveyors Pty Limited</b>			
CMS SURVEYORS			
ACN 096 240 201			
PO Box 403 One Why NSW 2095			
102 Curlew Avenue One Why NSW 2095			
Telephone (02) 9971 4022			
Facsimile (02) 9971 4022			
E-mail: info@cmsurveyors.com.au			
SURVEYED LJ	DRAWN VS	CHECKED LJ	APPROVED SM
SURVEY INSTRUCTION 6836	SCALE 1:100	DATE OF SURVEY 09/06/10	
DRAWING NAME 6836detail			ISSUE 1
CAD FILE 6836detail.dwg			

**DA Mod Application Only**  
**NOT FOR CONSTRUCTION**

1 Survey 1:200



Rapid Plans  
www.rapidplans.com.au  
PO Box 6193 Frenchs Forest  
DC NSW 2086  
Fax (02) 9905-8865  
Mobile 0414-945 024  
Email gregg@rapidplans.com.au



**BDA** BUILDING DESIGNERS AUSTRALIAN  
Project North

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The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client  
Selena Mohr & Gerry Daly

Project Name  
**Alterations & Additions**  
34 Robert Avenue, North Manly  
2100

Lot 18 DP 249823  
Drawing Title  
**Site Plans - Survey Plan**  
Survey

Scale A3 as noted  
Status **DA MOD2**  
Project No **RP0710DAL**

Date 27-4-2015  
Checked By GBJ  
Drawing No **DAMod100**

Plot Date

**NOTES**  
34 Robert Avenue, North Manly is in Locality R2 Low Density Residential  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Blue  
34 Robert Avenue North Manly is not considered a heritage item

**Construction**  
Brick Veneer Walls Timber Framed Floor & Roof  
Roof Metal Deck to have min R0.95 Insulation  
Insulation to External Framed & Brick Walls min R1.7  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia

**Basic**  
Basic Certificate Number A194619\_02  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below  
Relevant overshadowing specifications must be satisfied for each window and glazed door  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony, or awning must be no more than 500 mm above the head of the window or glazed door, and no more than 2400 mm above the sill  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Project North  
Z

**DA MOD Application Only**  
**NOT FOR CONSTRUCTION**

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Client  
Selena Mohr & Gerry Daly  
Project Name  
**Alterations & Additions**  
34 Robert Avenue North Manly  
2100

Lot 18 D P 249823  
Drawing Title  
Site Plans - Sediment & Erosion Control Plan  
Sediment & Erosion Control Plan

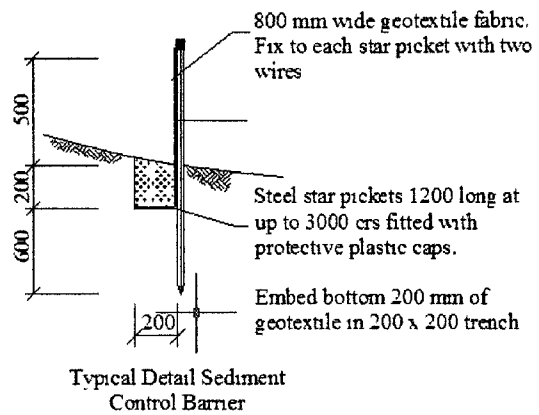
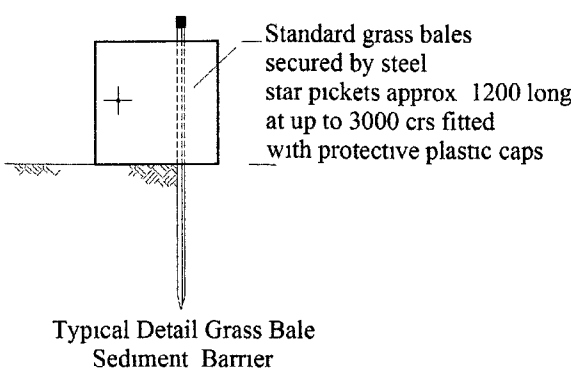
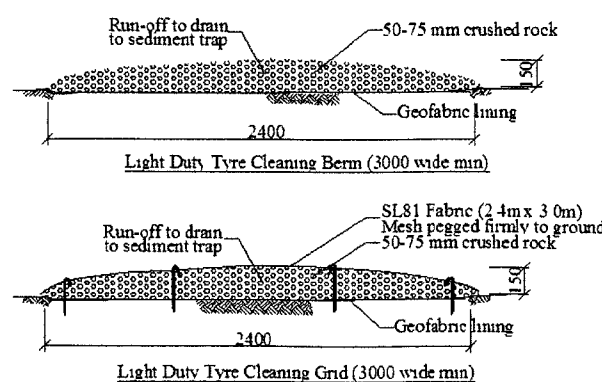
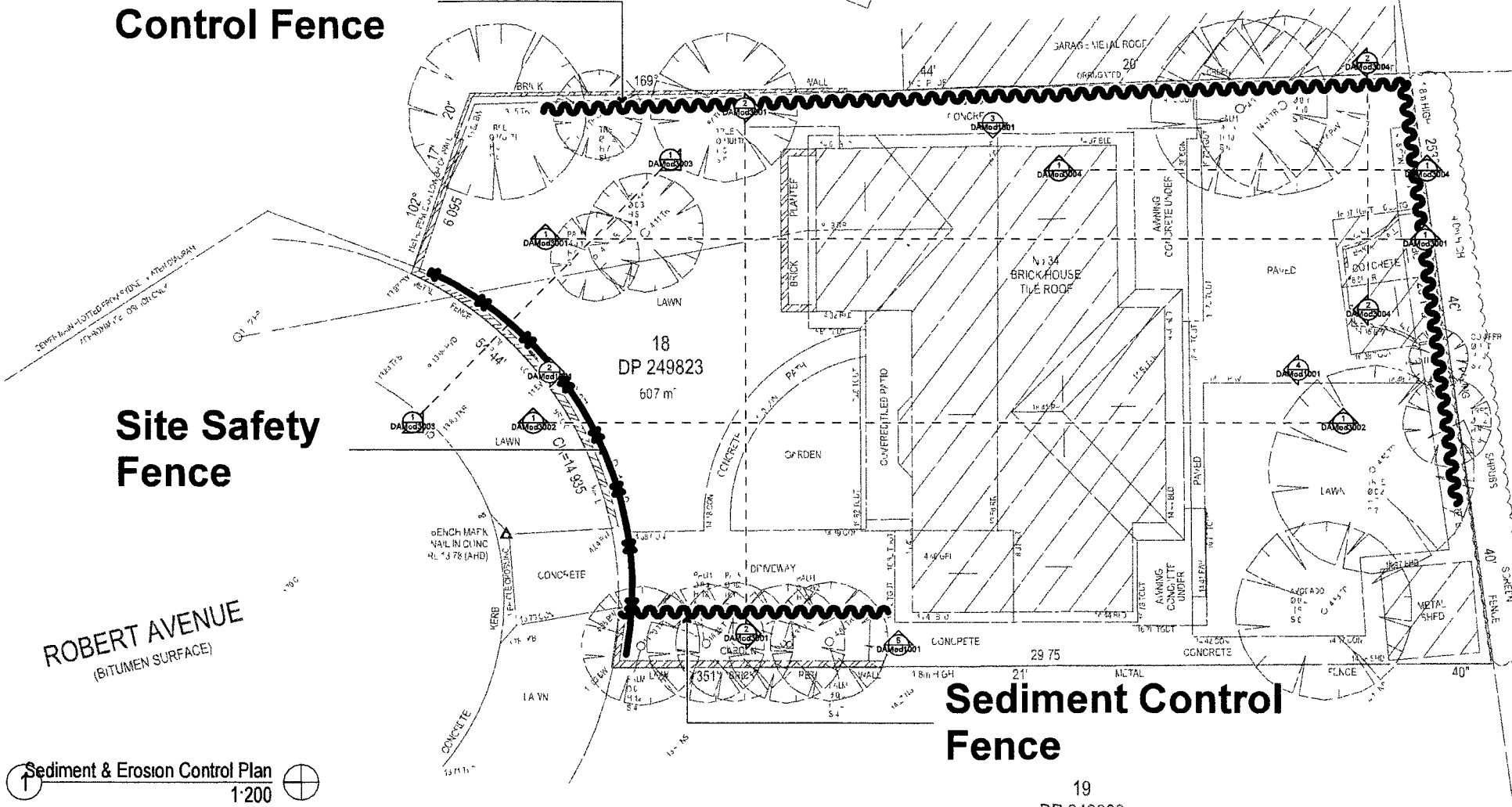
Scale A3 as noted Date 27-4-2015  
Status DA MOD2 Checked By GBJ

Project No Drawing No  
RP0710DAL DAMod1007

## Sediment Control Fence

## Site Safety Fence

## Sediment Control Fence



Site Information	Proposed	Compliance
Site Area	607m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min)	6.5m	Yes
Rear Setback (Min)	6.0m	Yes
Minimum side boundary setback (Min)	0.9m	Yes
Building envelope	4m@45	Yes
% of landscape open space (40% min)	42%	Yes
Impervious area (m <sup>2</sup> )	352.37m <sup>2</sup>	Yes
Maximum cut into ground (m)	2m	Yes
Maximum depth of fill (m)	x	Yes
Number of car spaces provided	2	Yes

**NOTES**  
34 Robert Avenue, North Manly is in Locality R2 Low Density Residential  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Blue  
34 Robert Avenue North Manly is not considered a heritage item

**Construction**  
Brick Veneer Walls Timber Framed Floor & Roof  
Roof Metal Deck to have min R0.95 Insulation  
Insulation to External Framed & Brick Walls min R1.7  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS 1288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia

**Basic**  
Basic Certificate Number A194619\_02  
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The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists  
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For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door, and no more than 2400 mm above the sill  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door

Project North  
N

**DA MOD Application Only**  
**NOT FOR CONSTRUCTION**

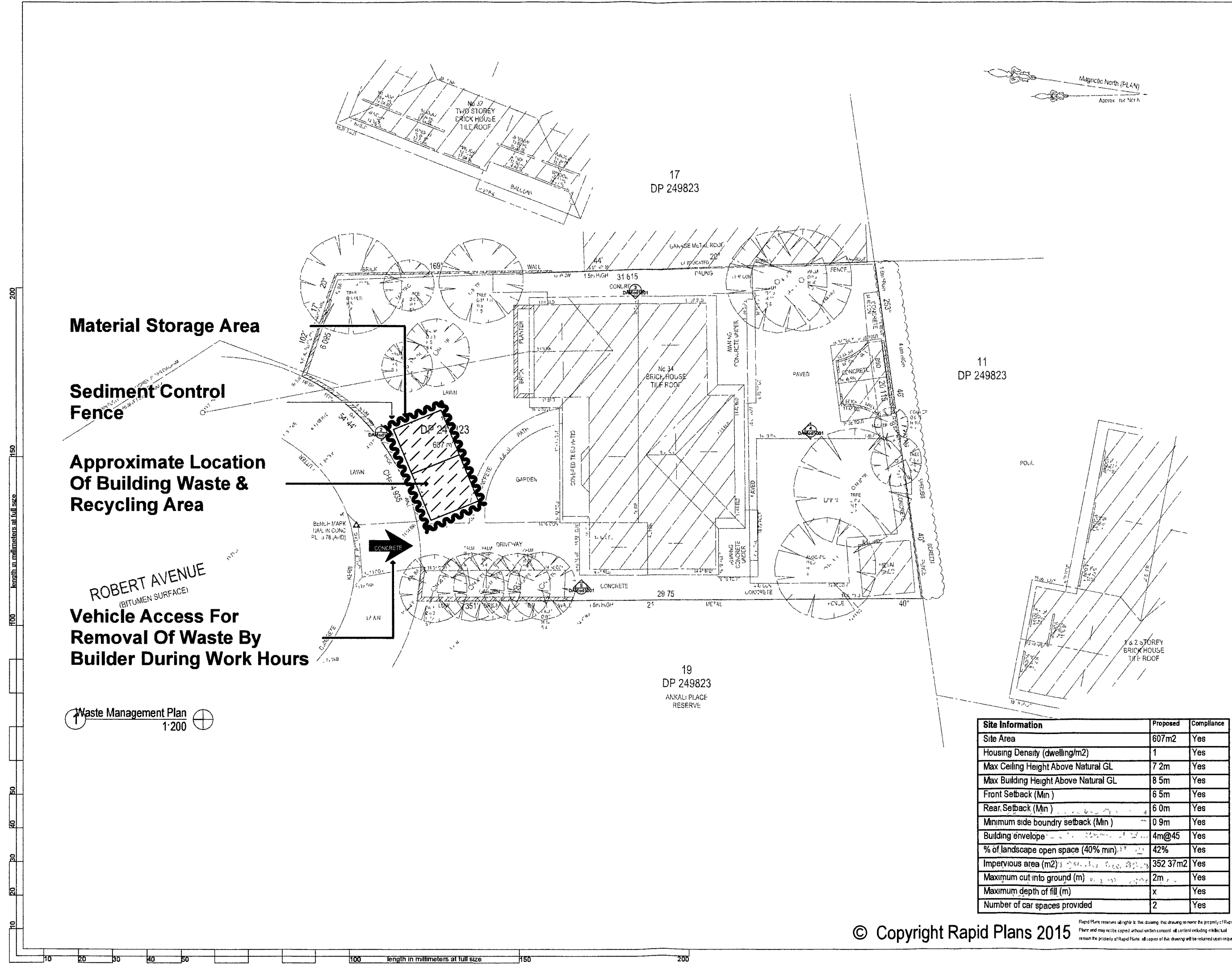
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Client  
Selena Mohr & Gerry Daly  
Project Name  
**Alterations & Additions**  
34 Robert Avenue North Manly  
2100

Lot 18 D P 249823  
Drawing Title  
Site Plans - Waste Management Plan  
Waste Management Plan

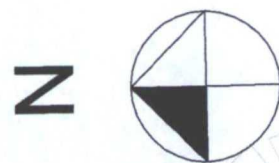
Scale A3 as noted Date 27-4-2015  
Status DA MOD2 Checked By GBJ

Project No  
RP0710DAL  
Drawing No  
DAMod1008



Site Information	Proposed	Compliance
Site Area	607m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min)	6.5m	Yes
Rear Setback (Min)	6.0m	Yes
Minimum side boundary setback (Min)	0.9m	Yes
Building envelope	4m@45	Yes
% of landscape open space (40% min)	42%	Yes
Impervious area (m <sup>2</sup> )	352.37m <sup>2</sup>	Yes
Maximum cut into ground (m)	2m	Yes
Maximum depth of fill (m)	x	Yes
Number of car spaces provided	2	Yes





Denotes New Works Approved Under DA2014/0837

Denotes New Works Under This Modification

### Wall Legend

Denotes Existing Wall



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PO Box 6193 Frenchs Forest NSW 2086  
Fax: (02) 9905-8865  
Mobile: 0414-945-024  
Email: greg@rapidplans.com.au



**NOTES**  
34 Robert Avenue, North Manly is in Locality R2 Low Density Residential.  
All Plans to be read in conjunction with Basic Certificate.  
New Works to be constructed shown in Blue.  
34 Robert Avenue North Manly is not considered a heritage item.

**Construction**  
Brick Veneer Walls, Timber Framed Floor & Roof, Roof Metal Deck to have min. R0.95 Insulation Insulation to External Framed & Brick Walls min. R1.7 Refer to Engineers drawings for structural details All work to Engineers Specification and BCA Timber framing to BCA and AS 1684 Termite Management to BCA and AS 3660.1 Glazing to BCA and AS01288-2047 Waterproofing to BCA and AS 3740 New Lighting to have minimum of 40% compact fluorescent lamps All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Basix**  
Basix Certificate Number A194619\_02 All Plans to be read in conjunction with Basic Certificate.  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North



**DA MOD Application Only**

**NOT FOR CONSTRUCTION**

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client  
Selena Mohr & Gerry Daly  
Project Name  
**Alterations & Additions**  
34 Robert Avenue North Manly  
2100

Lot 18 D.P.249823  
Drawing Title:  
Floor Plans - Roof  
Roof Plan

Scale: A3 as noted Date: 27-4-2015  
Status: DA MOD2 Checked By: GBJ

Project No:  
RP0710DAL  
Drawing No.:  
DAMod2002

### West Roof Area For Basix

A: 90.89 m<sup>2</sup>

Extend Pitched Gable Roof To Match Existing Roof Pitch Using Steel Post & Trussed Frame To Eng/Manufacturers Details

6.5m Front Setback Line

Demolished Items Shown In Red Dashed Lines

Existing Roofs To Be Retained

Line Of Existing Roof

New Metal Cladded Timber Framed Roof To AS1684 Pitch 5°

Skylights To Manufacturers Details

Suntuff Cladded Timber Framed Roof To AS1684 Pitch 5° Over Existing Paved Area Under This Application

### Construction

### Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R value)	Other specifications
concrete slab on ground floor.	nil	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Site Information	Proposed	Compliance
Site Area	607m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4m@45	Yes
% of landscape open space (40% min)	42%	Yes
Impervious area (m <sup>2</sup> )	352.37m <sup>2</sup>	Yes
Maximum cut into ground (m)	2m	Yes
Maximum depth of fill (m)	x	Yes
Number of car spaces provided	2	Yes

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**NOTES**  
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All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Blue  
34 Robert Avenue North Manly is not considered a heritage item

**Construction**  
Brick Veneer Walls, Timber Framed Floor & Roof  
Roof Metal Deck to have min. R0.95 Insulation  
Insulation to External Framed & Brick Walls min. R1.7  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
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**Basic**  
Basic Certificate Number A194619\_02  
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North  
N

**DA MOD Application**  
**Only**  
**NOT FOR CONSTRUCTION**

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client  
Selena Mohr & Gerry Daly  
Project Name  
**Alterations & Additions**  
34 Robert Avenue North Manly  
2100

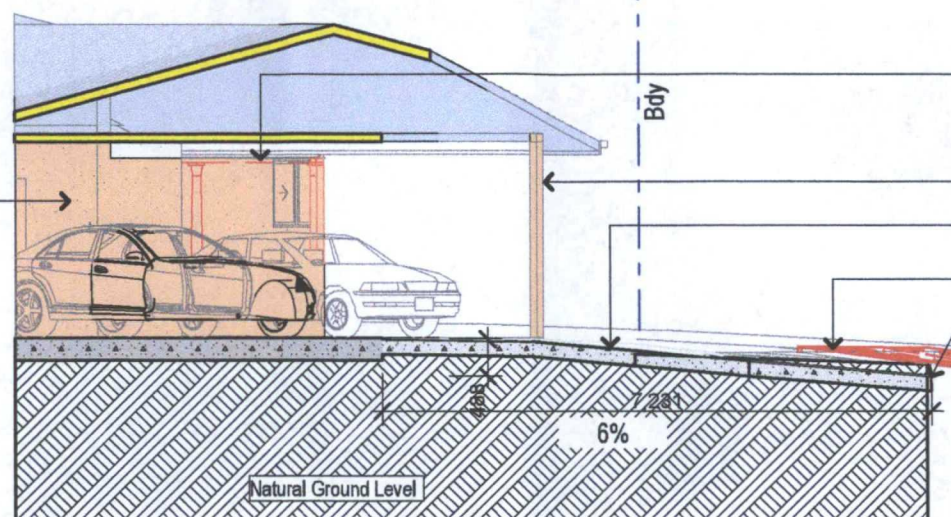
Lot 18 D.P.249823  
Drawing Title:  
Sections - Section Drive  
Section 3

Scale: A3 as noted Date: 27-4-2015

Status: DA MOD2 Checked By: GBJ

Project No: RP0710DAL Drawing No.: DAMod3003

Approved Rend. Bk. Veneer Wall Line To Remain & Used For Lockable Carport Storage Under This Application



Demolish Post & Beams & Replace With Steel Beam Over & Posts To Eng. Details Under This Application

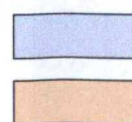
Steel Post

Concrete Drive To Engineering Details

New Crossover To Warringah Council Regulations & Engineering Details

Gutter Invert

1 Section 3  
1:100



Denotes New Works Approved Under DA2014/0837

Denotes New Works Under This Modification

**Construction**

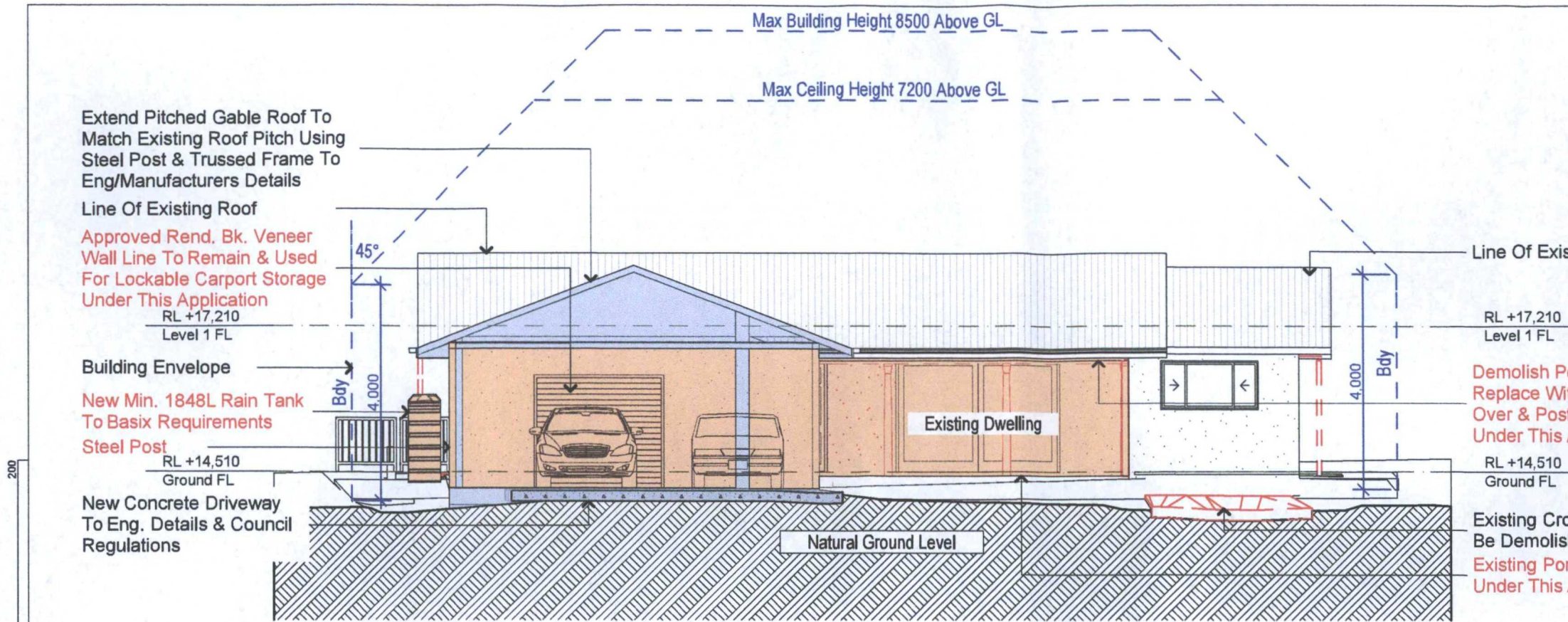
**Insulation requirements**

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R value)	Other specifications
concrete slab on ground floor.	nil	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

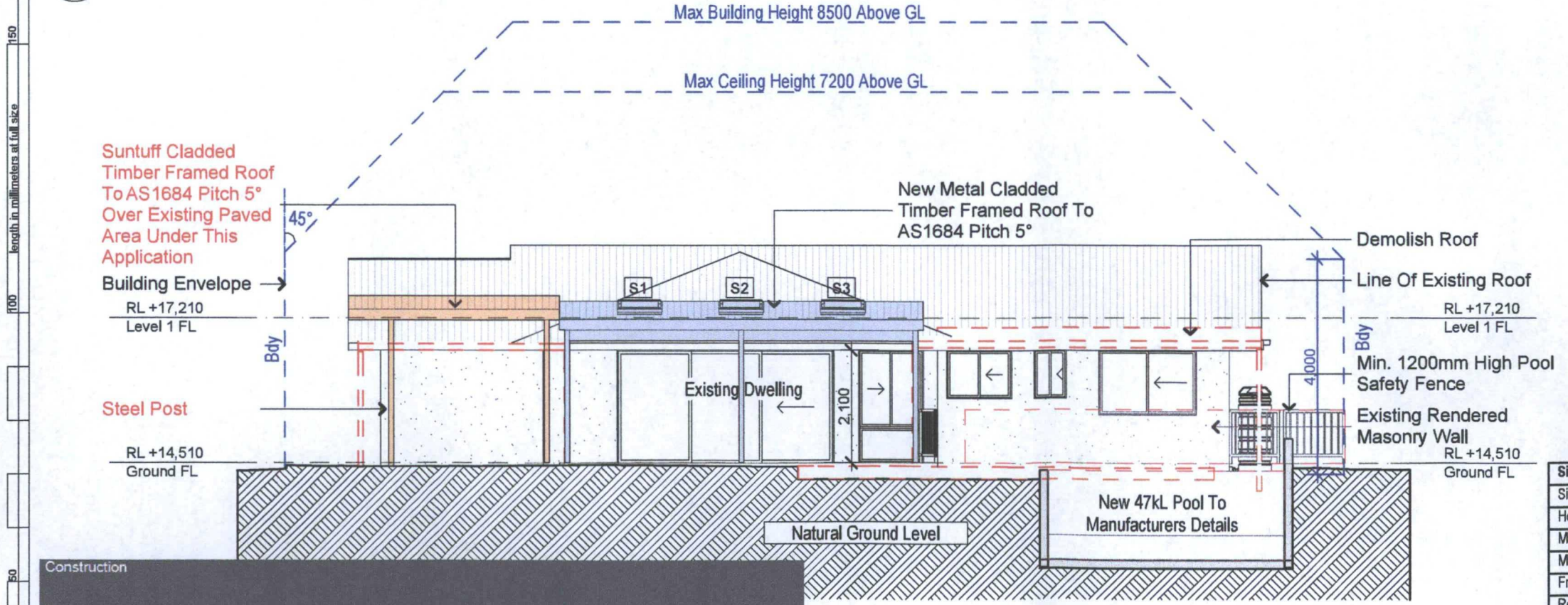
Site Information	Proposed	Compliance
Site Area	607m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4m@45	Yes
% of landscape open space (40% min)	42%	Yes
Impervious area (m <sup>2</sup> )	352.37m <sup>2</sup>	Yes
Maximum cut into ground (m)	2m	Yes
Maximum depth of fill (m)	x	Yes
Number of car spaces provided	2	Yes





1

North  
1:100



2

South  
1:100

**Construction**

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Denotes New Works Approved Under DA2014/0837

Denotes New Works Under This Modification

**Rapid Plans**  
Building Design and Architectural Drafting

Rapid Plans www.rapidplans.com.au  
PO Box 6193 Trenchers Forest DC NSW 2086  
Fax : (02) 9905-8865  
Mobile: 041 4-945-024  
Email : gregg@rapidplans.com.au



**NOTES**

34 Robert Avenue, North Manly is in Locality R2 Low Density Residential.

All Plans to be read in conjunction with Basix Certificate.

New Works to be constructed shown in Blue.

34 Robert Avenue North Manly is not considered a heritage item.

**Construction**

Brick Veneer Walls, Timber Framed Floor & Roof.

Roof Metal Deck to have min. R0.95 Insulation.

Insulation to External Framed & Brick Walls min. R1.7.

Refer to Engineers drawings for structural details.

All work to Engineers Specification and BCA.

Timber framing to BCA and AS 1684.

Termite Management to BCA and AS 3660.1.

Glazing to BCA and AS1288-2047.

Waterproofing to BCA and AS 3740.

New Lighting to have minimum of 40% compact fluorescent lamps.

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Basix**

Basix Certificate Number A194619\_02

All Plans to be read in conjunction with Basix Certificate.

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



**DA MOD Application Only**

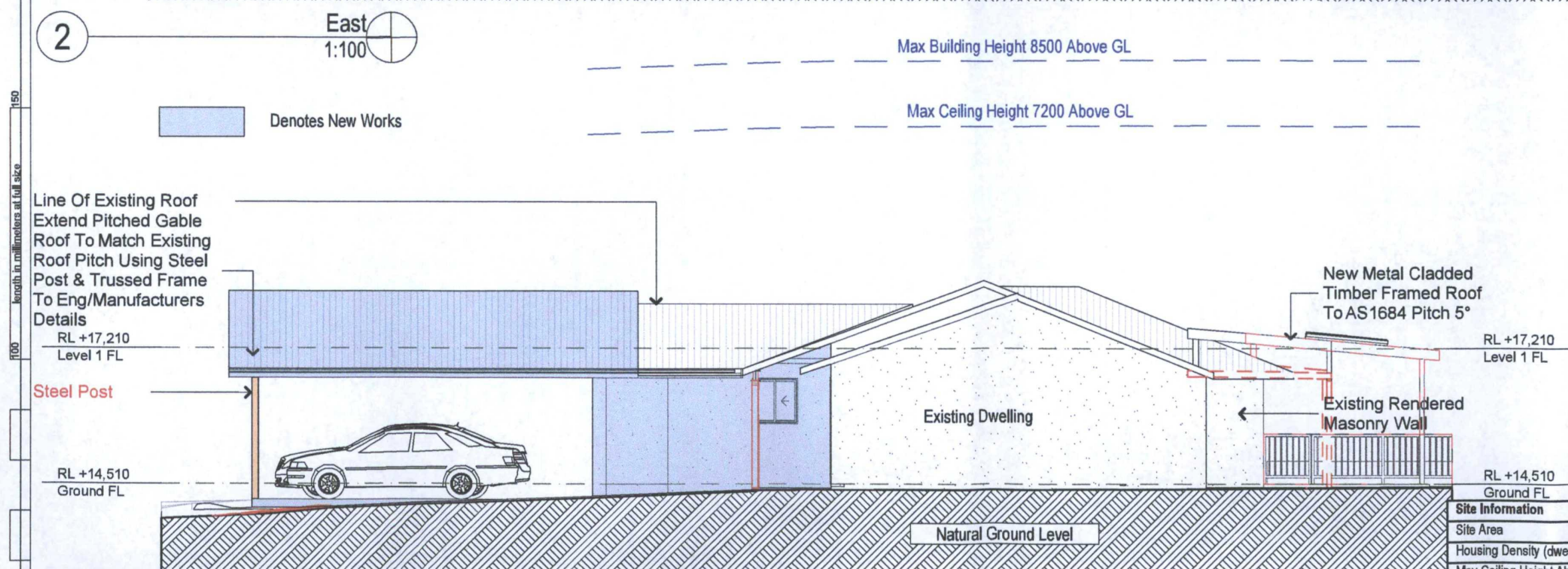
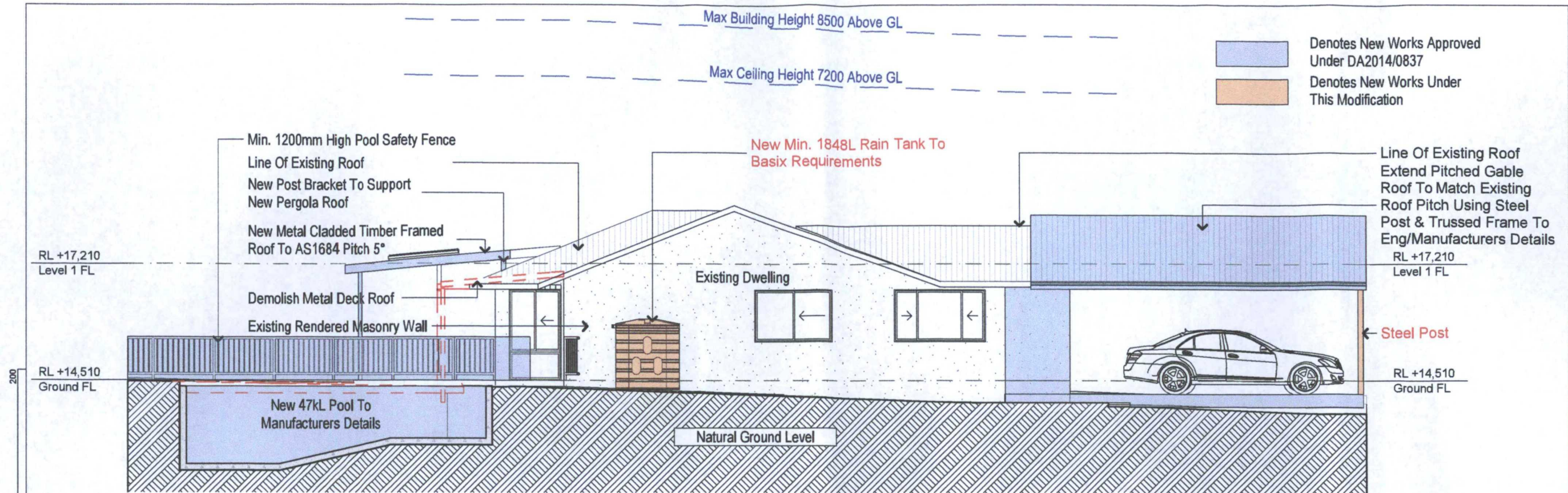
**NOT FOR CONSTRUCTION**

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client	Selena Mohr & Gerry Daly
Project Name	Alterations & Additions
	34 Robert Avenue North Manly
	2100
Lot 18 D.P.249823	
Drawing Title:	Elevations - Elevation 1
	North, South
Scale: A3 as noted	Date: 27-4-2015
Status: DA MOD2	Checked By: GBJ
Project No:	Drawing No.:
RP0710DAL	DAMod4001

Site Information	Proposed	Compliance
Site Area	607m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4m@45°	Yes
% of landscape open space (40% min)	42%	Yes
Impervious area (m <sup>2</sup> )	352.37m <sup>2</sup>	Yes
Maximum cut into ground (m)	2m	Yes
Maximum depth of fill (m)	x	Yes
Number of car spaces provided	2	Yes





#### Construction

#### Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R value)	Other specifications
concrete slab on ground floor.	nil	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

Site Information	Proposed	Compliance
Site Area	607m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
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Impervious area (m <sup>2</sup> )	352.37m <sup>2</sup>	Yes
Maximum cut into ground (m)	2m	Yes
Maximum depth of fill (m)	x	Yes
Number of car spaces provided	2	Yes

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**NOTES**  
34 Robert Avenue, North Manly is in Locality R2 Low Density Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Blue  
34 Robert Avenue North Manly is not considered a heritage item.

**Construction**  
Brick Veneer Walls, Timber Framed Floor & Roof, Roof Metal Deck to have min. R0.95 Insulation Insulation to External Framed & Brick Walls min. R1.7 Refer to Engineers drawings for structural details All work to Engineers Specification and BCA Timber framing to BCA and AS 1684 Termite Management to BCA and AS 3660.1 Glazing to BCA and AS1288-2047 Waterproofing to BCA and AS 3740 New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Basix**  
Basix Certificate Number A194619\_02  
All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.  
Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



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Client  
Selena Mohr & Gerry Daly  
Project Name  
**Alterations & Additions**  
34 Robert Avenue North Manly  
2100

Lot 18 D.P.249823

Drawing Title:  
Elevations - Elevations 2  
West, East

Scale: A3 as noted Date: 27-4-2015

Status: DA MOD2 Checked By: GBJ

Project No:

Drawing No.: RP0710DAL DAMod4002



**NOTES**  
34 Robert Avenue, North Manly is in Locality R2 Low Density Residential  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Blue  
34 Robert Avenue North Manly is not considered a heritage item

**Construction**  
Brick Veneer Walls, Timber Framed Floor & Roof  
Roof Metal Deck to have min. R0.95 Insulation  
Insulation to External Framed & Brick Walls min. R1.7  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Basic**  
Basic Certificate Number A194619\_02  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.  
Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North  
N

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Client:  
Selena Mohr & Gerry Daly  
Project Name:  
**Alterations & Additions**  
34 Robert Avenue North Manly  
2100

Lot 18 D.P.249823

Drawing Title:  
Shadow Diagrams - Colours & Finishes Sample Board

Scale: A3 as noted Date: 27-4-2015

Status: DA MOD2 Checked By: GBJ

Project No: Drawing No:

RP0710DAL DAMod5005



Typical Dark Brown Tiled Garage Roof To Match Existing



Typical Wall Render. Owner To Confirm Colour



Typical Concrete Slab For Garage



Typical Timber Deck. Owner To Confirm Timber Type & Colour



Typical Colorbond Roof Over Rear Deck. Owner To Confirm Colour

#### Glazing requirements

#### Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

#### Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m <sup>2</sup> )	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W1	E	2.5	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	W	0.9	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	W	0.4	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	N	4	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W5	W	1.9	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

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Impervious area (m <sup>2</sup> )	352.37m <sup>2</sup>	Yes
Maximum cut into ground (m)	2m	Yes
Maximum depth of fill (m)	x	Yes
Number of car spaces provided	2	Yes