Rapid Plans www.rapidplans.com.au P.O. Box 6193 Frenchs Forest DC NSW 2086 Fax: (02) 9905-8865 Mobile: 0414-945-024 Email: gregg@rapidplans.com.au

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DAMod1002	Survey Plan			27-4-2015	
DAMod1003	Site Plan			27-4-2015	
DAMod1004	Existing Floor Plan			27-4-2015	
DAMod1005	Demolition Plan	1		27-4-2015	
DAMod1006	Landscape Open Space Plan			27-4-2015	
DAMod1007	Sediment & Erosion Control Plan			27-4-2015	
DAMod1008	Waste Management Plan			27-4-2015	
DAMod2001	Ground Floor			27-4-2015	
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DAMod4002	Elevations 2			27-4-2015	
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# Lot 18 D.P.249823 Project Number: RP0710DAL

Building Design and Architectural Drafting

Section 96 Modification To DA2014/0837

For Selena Mohr & Gerry Daly

34 Robert Avenue, North Manly

## **BASI** Certificate

Building Sustainability Index www.basix.nsw.gov.au

## Alterations and Additions

Certificate number: A194619\_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 18/09/2014 published by Planning & Infrastructure. This document is available at www.basix.nsw.gov.au

This certificate is a revision of certificate number A194619 lodged with the consent authority or certifier on 25 Jul 2014 with application DA2014/0837.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Sch 1 Ci 2A, 4A or 6A of the Environmental Planning and Assessment Regulation 2000

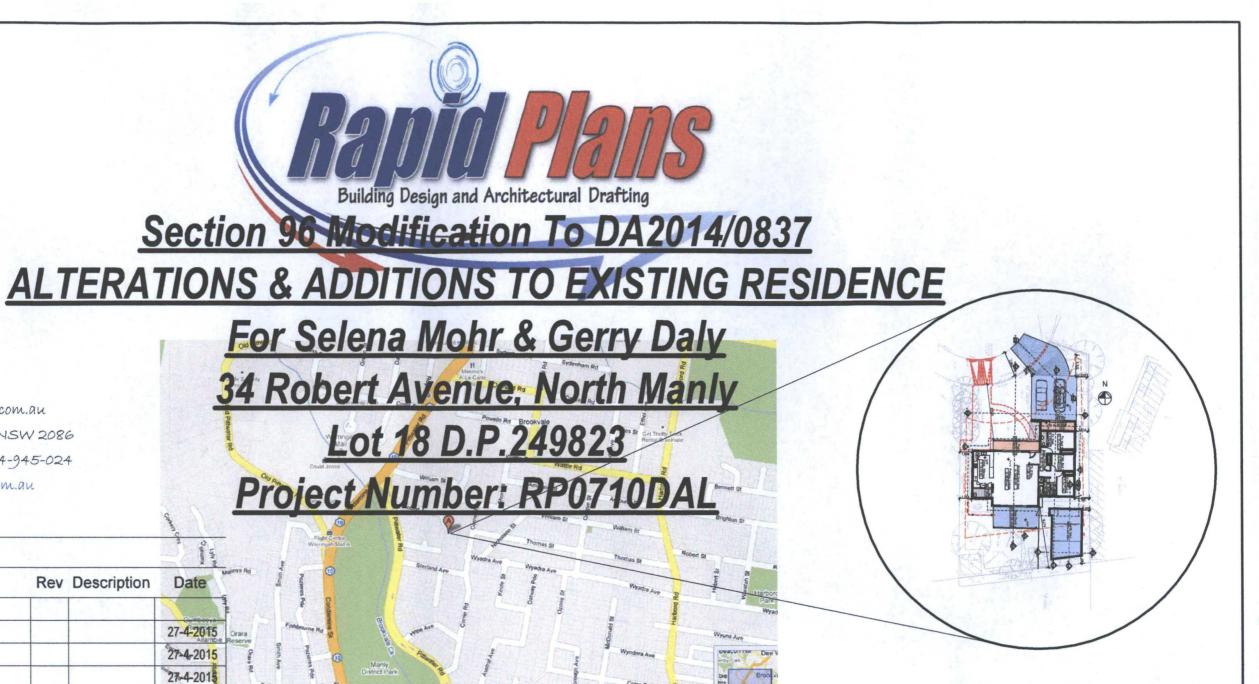
Director-General

BUILDING DESIGNERS

AUSTRALIA NSW

Date of issue: Thursday, 23, April 2015 a valid, this certificate must be lodged within 3 months of the date of issue





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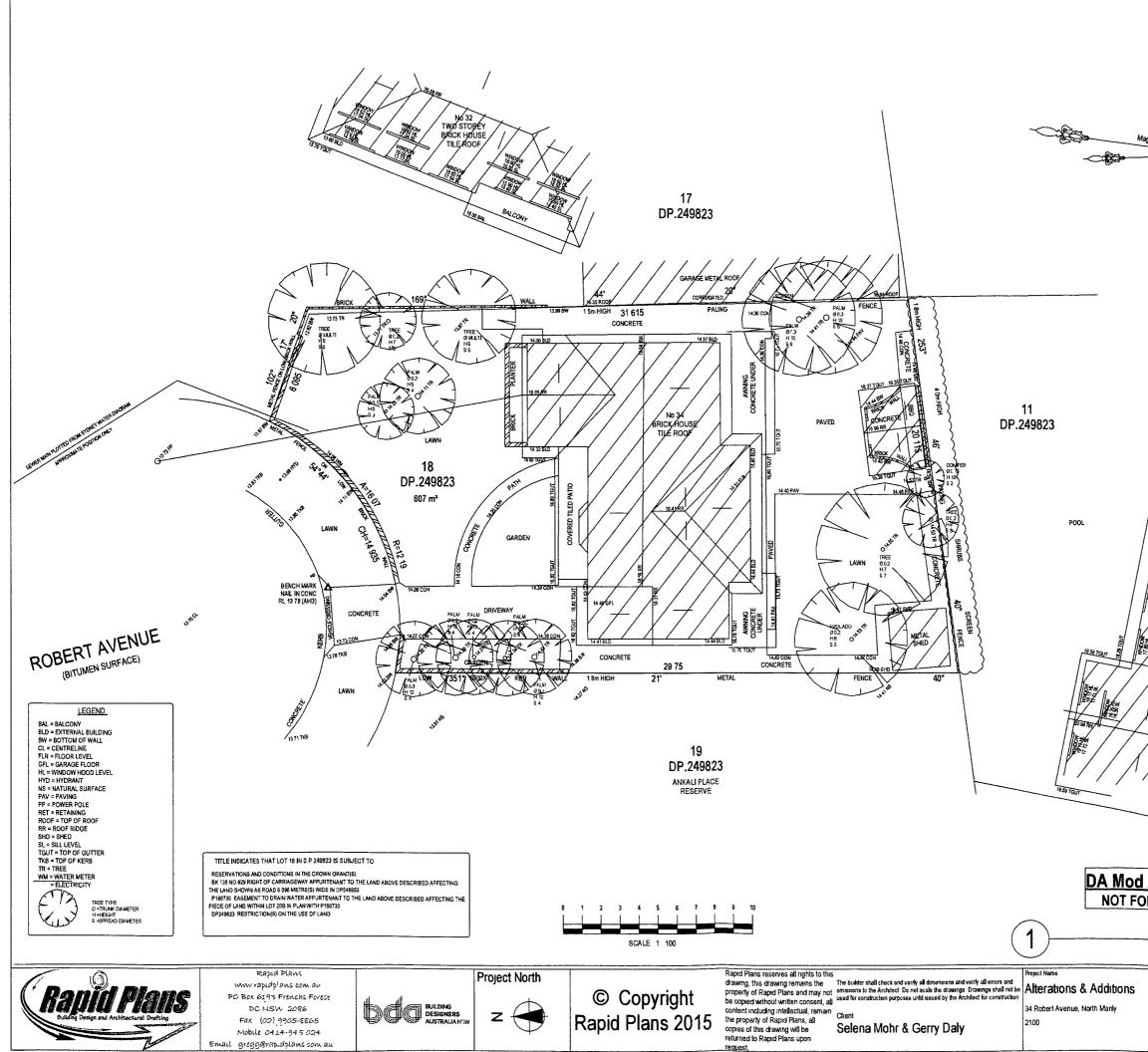
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Project address					
Project name	Mohr-Garage_02				
Street address	34 Robert Avenue North Manly 2100				
Local Government Area	Warringah Council				
Plan type and number	Deposited Plan 249823				
Lot number	18				
Section number	0				
Project type					
Dwelling type	Separate dwelling house				
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).				

Certificate Prepared by (please complete before submitting to Council or PCA)

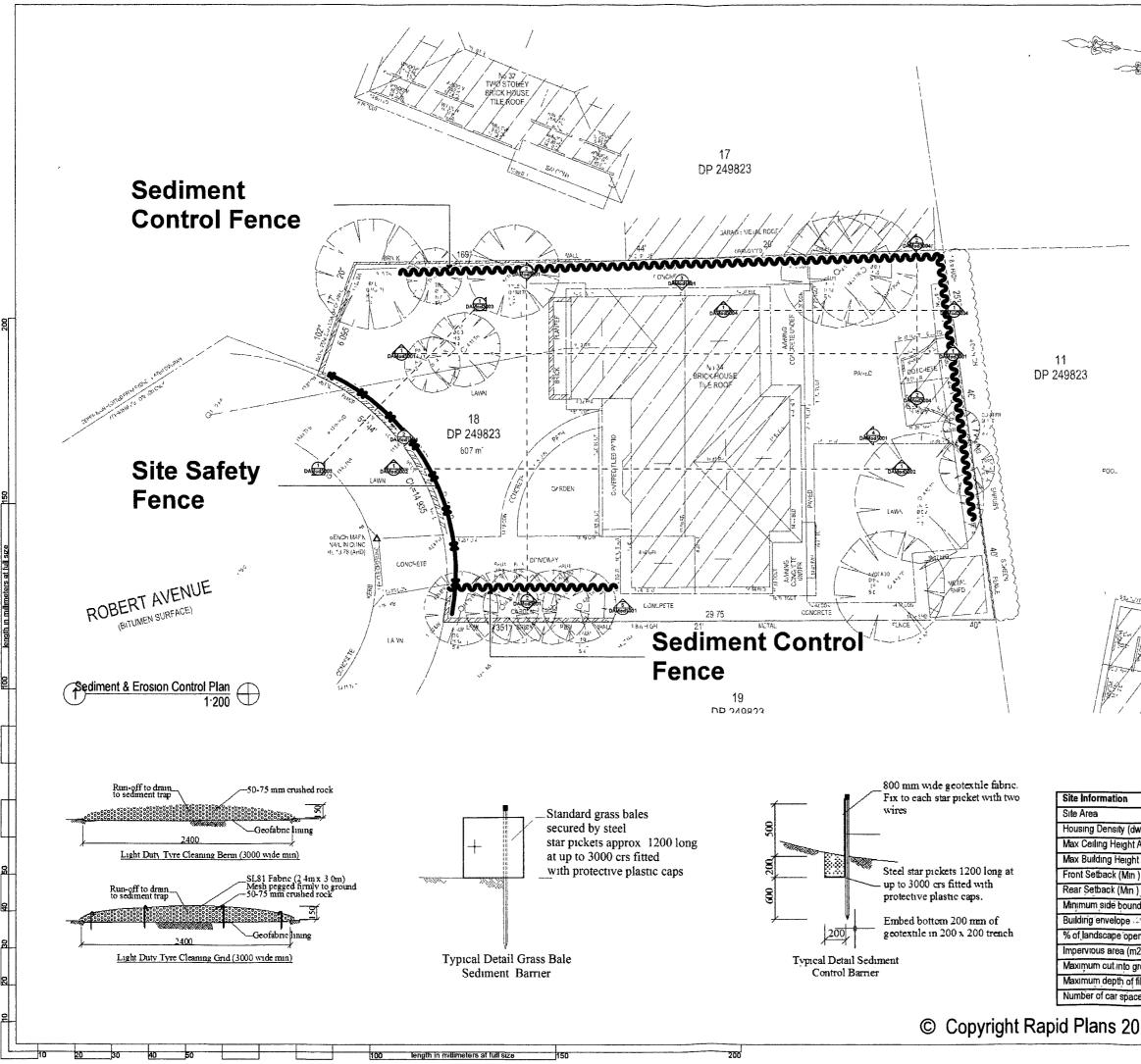
Name / Company Name: Rapid Plans

ABN (if applicable): 43150064592

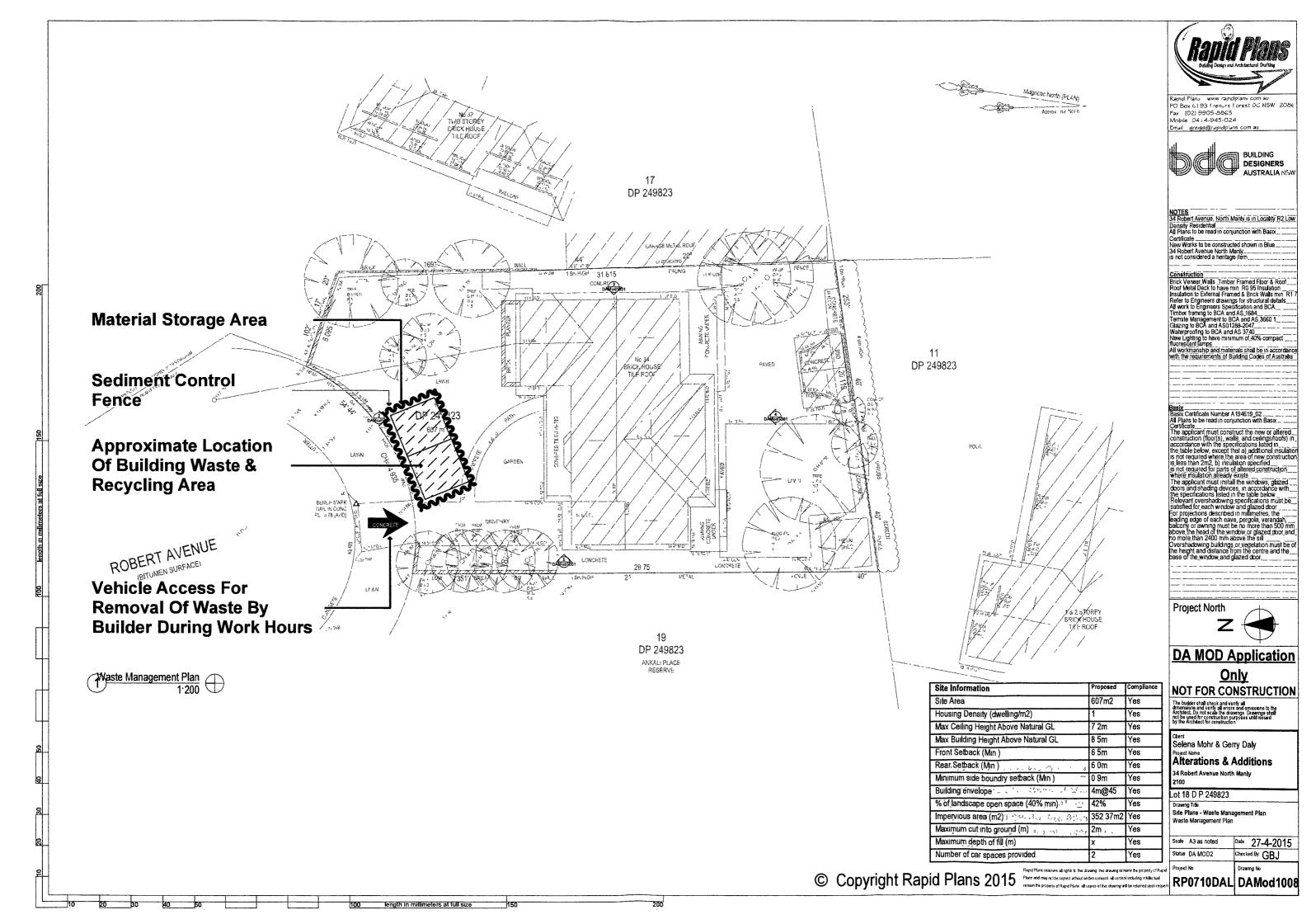


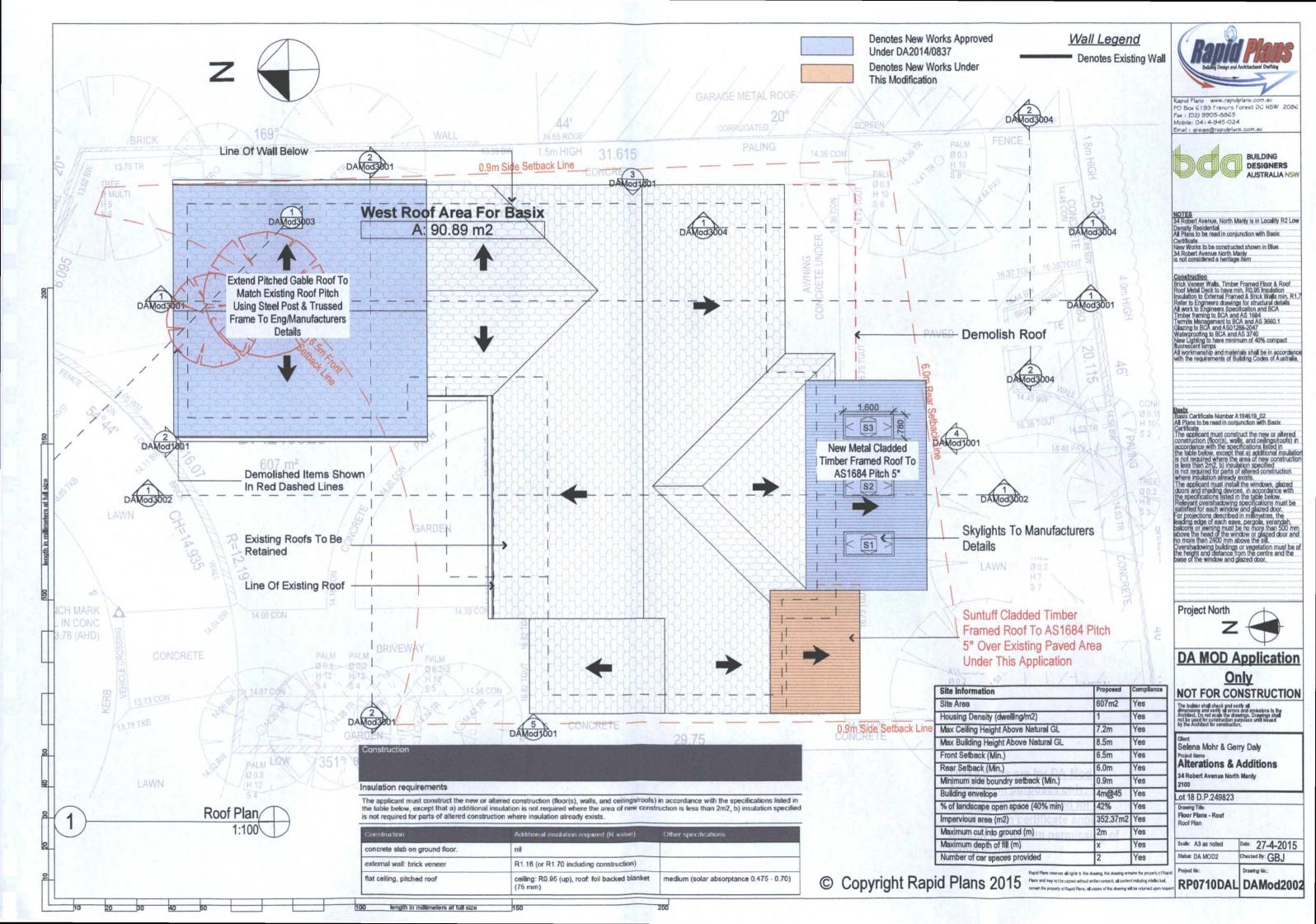
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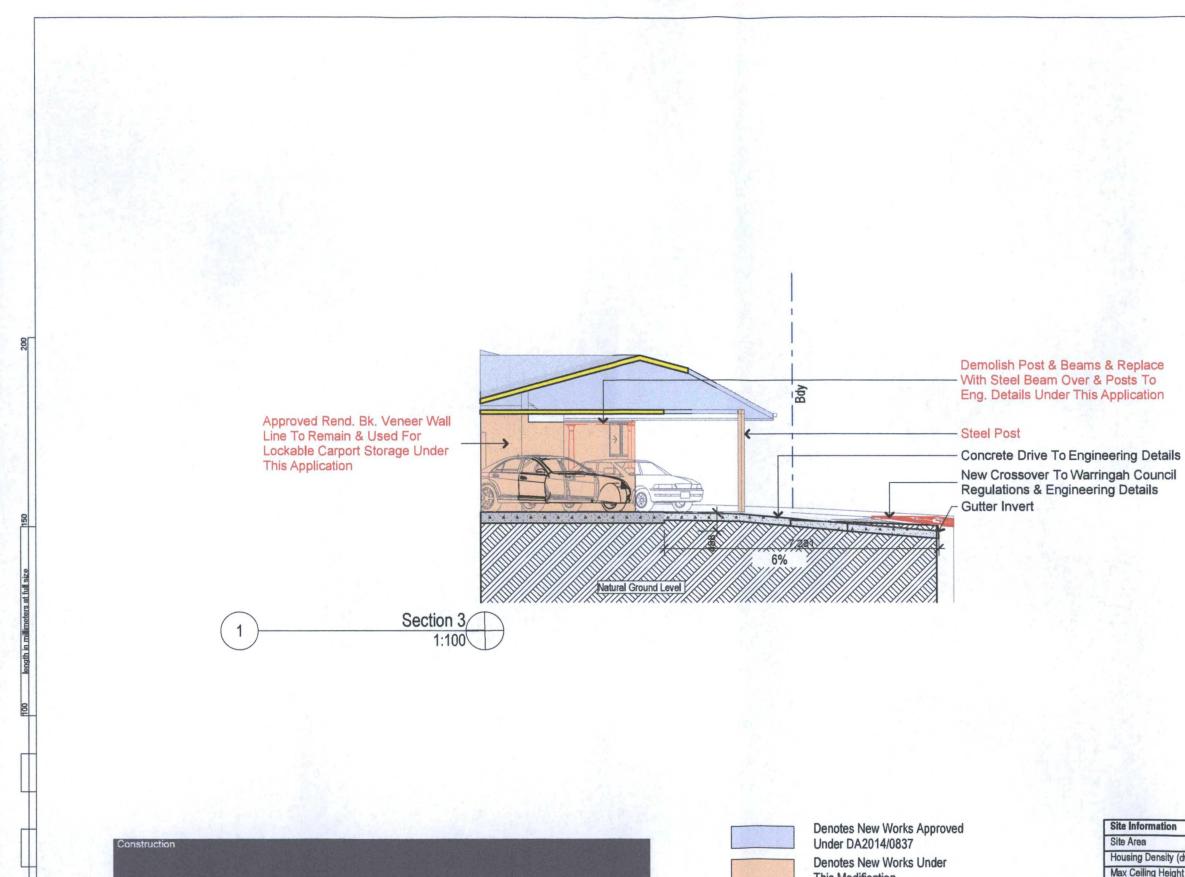
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			PO Box 6193 Frences Fax (02) 9905-8865	Forest DC NSW 2086
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			Certificate New Works to be construct	ed shown in Blue
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			Construction	
			Brick Veneer Walls Timber Roof Metal Deck to have m Insulation to External Fram	r Framed Floor & Roof an R0 95 Insulation
			Refer to Engineers drawing	s for structural details
			All work to Engineers Spec Timber framing to BCA and Termite Management to BC	IAS 1684
			Termite Management to BC Glazing to BCA and AS012 Waterproofing to BCA and	AS 3740
			New Lighting to have minin fluorescent lamps	num of 40% compact
			All workmanship and mater with the requirements of Bu	iais snail be in accordance atoling Codes of Australia
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#### Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications	
concrete slab on ground floor.	nil		
external wall: brick veneer	R1.16 (or R1.70 including construction)		
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)	



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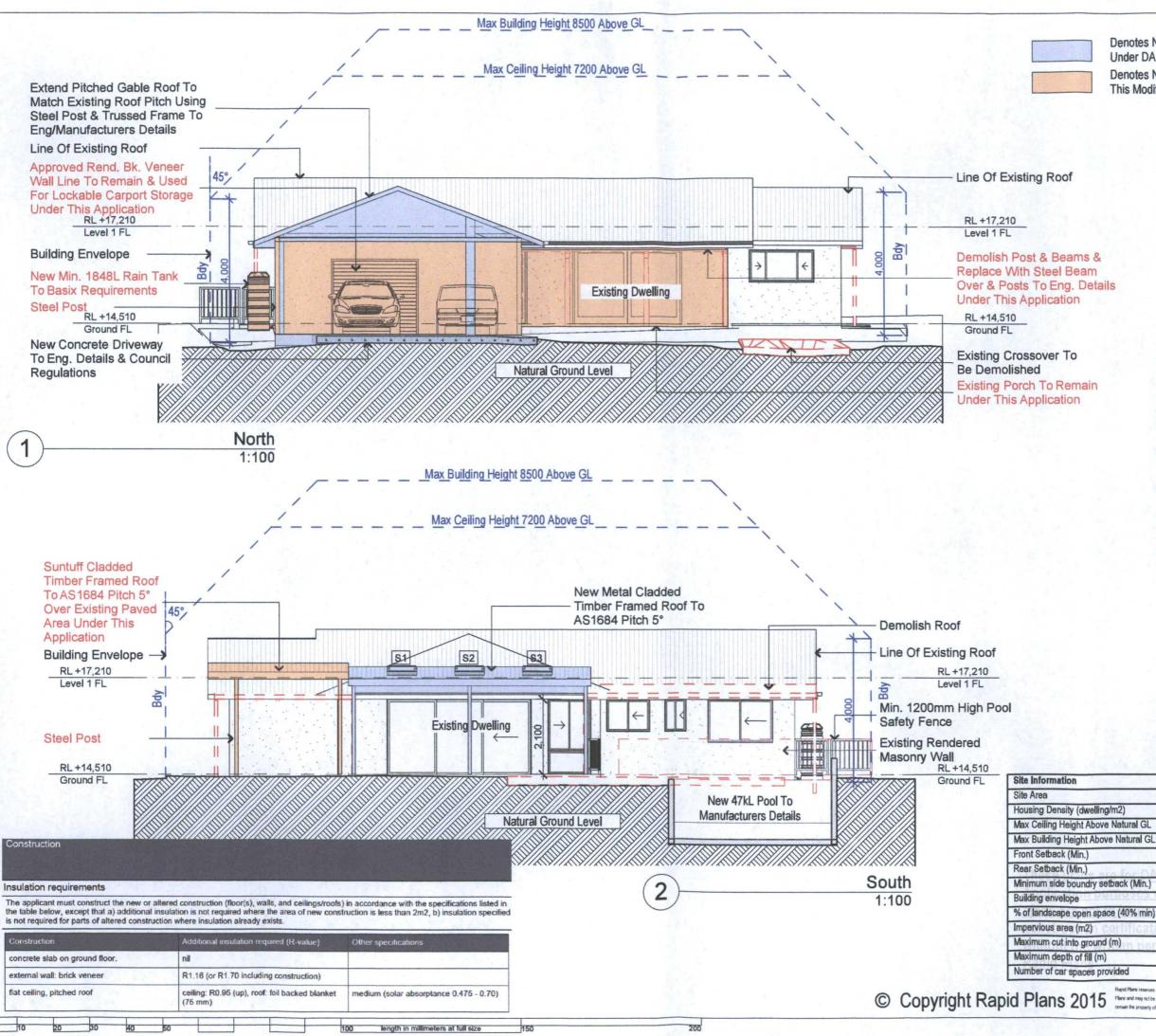
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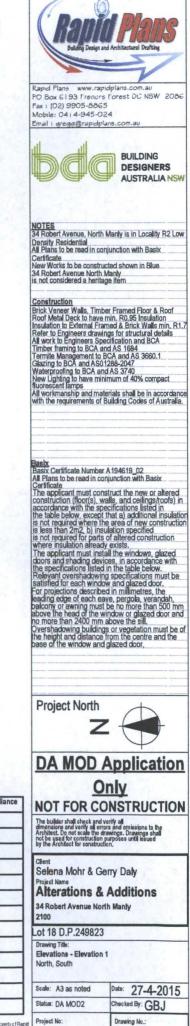
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	Proposed	Compliance
	607m2	Yes
(dwelling/m2)	1	Yes
ht Above Natural GL	7.2m	Yes
ht Above Natural GL	8.5m	Yes
in.)	6.5m	Yes
n.) and for DA M	6.0m	Yes
undry setback (Min.)	0.9m	Yes
m pulhoses out	4m@45	Yes
pen space (40% min)	42%	Yes
m2)) certificate at	352.37m2	Yes
ground (m)	2m	Yes
of fill (m)	x	Yes
aces provided	2	Yes



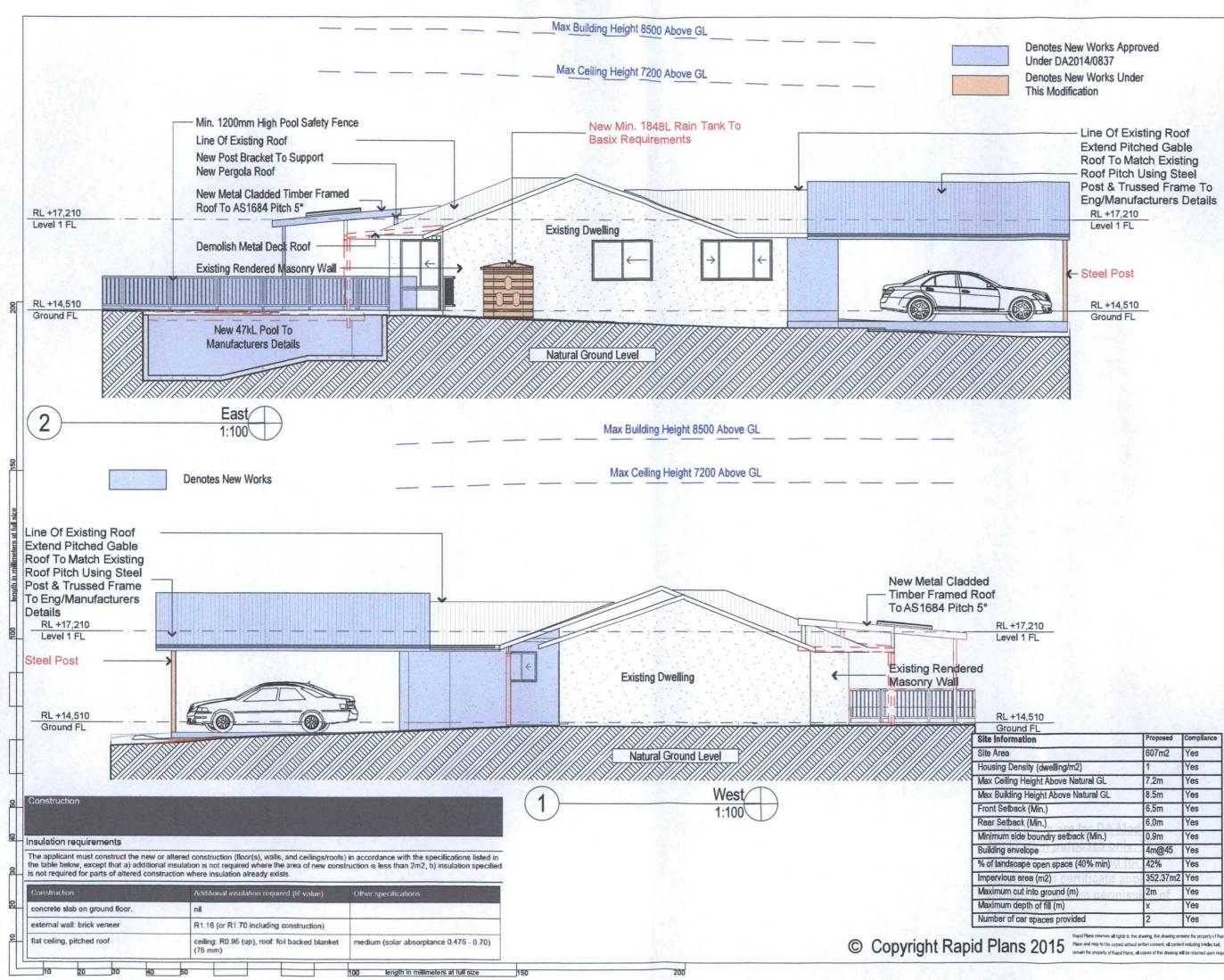
## Denotes New Works Approved Under DA2014/0837 **Denotes New Works Under** This Modification



RP0710DAL DAMod4001

Compliance roposed 607m2 Yes Yes 7.2m Yes 8.5m Yes 6.5m Yes 6.0m Yes 0.9m Yes 4m@45 Yes 42% Yes 352.37m2 Yes Yes Yes Yes

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Denotes New Works Approved Under DA2014/0837 Denotes New Works Under This Modification

> Line Of Existing Roof **Extend Pitched Gable** Roof To Match Existing **Roof Pitch Using Steel** Post & Trussed Frame To Eng/Manufacturers Details RL +17,210 Level 1 FL

Steel Post

RL +14,510 Ground FL

	Proposed	Compliance
A. 11 ( 194 A 194 )	607m2	Yes
dwelling/m2)	1	Yes
t Above Natural GL	7.2m	Yes
ht Above Natural GL	8.5m	Yes
n.)	6.5m	Yes
n.) and for DA 14	6.0m	Yes
indry setback (Min.)	0.9m	Yes
m putposes on	4m@45	Yes
pen space (40% min)	42%	Yes
m2)) certificate au	352.37m2	Yes
ground (m)	2m	Yes
f fill (m)	X	Yes
aces provided	2	Yes





Typical Dark Brown Tiled Garage Roof To Match Existing



Typcal Wall Render. Owner To Confirm Colour



Typcal Concrete Slab For Garage



Typcal Timber Deck. Owner To Confirm Timber Type & Colour

length in millimeters at full size



Colour

200

### Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door.

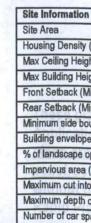
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, baicony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Window Onentation Area of Oversh / door glass Height no. inc. (m) trame (m2)	Orientation	Area of	Area of Overshadowing		Shading device	Frame and glass type	
		Distance (m)					
W1	E	2.5	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)	
W2	W	0.9	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)	
W3	w	0.4	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)	
W4	N	4	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)	
W5	W	1.9	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)	



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## Typcal Colorbond Roof Over Rear Deck. Owner To Confirm



1	Proposed	Compliance
	607m2	Yes
(dwelling/m2)	1	Yes
ht Above Natural GL	7.2m	Yes
ight Above Natural GL	8.5m	Yes
/in.)	6.5m	Yes
lin.) 5	6.0m	Yes
oundry setback (Min.)	0.9m	Yes
e u parposes out	4m@45	Yes
open space (40% min)	42%	Yes
(m2)) certificate al	352.37m2	Yes
o ground (m)	2m	Yes
of fill (m)	X	Yes
baces provided	2	Yes



