

DEVELOPMENT APPLICATION SAKELLARIS RESIDENCE

3 Summit Avenue DEE WHY NSW

ADDITIONS & ALTERATIONS

DRAWING REGISTER				
NO.	DRAWING	SCALE	REV	DATE
DA-01	COVER SHEET	NTS	A	MARCH 2018
DA-02	SITE PLAN	1:200	A	MARCH 2018
DA-03	GROUND FLOOR PLAN	1:100	A	MARCH 2018
DA-04	FIRST FLOOR PLAN	1:100	A	MARCH 2018
DA-05	ELEVATIONS	1:100	A	MARCH 2018
DA-06	ELEVATIONS	1:100	A	MARCH 2018
DA-07	STREET ELEVATION	1:100	A	MARCH 2018
DA-08	SECTIONS	1:100	A	MARCH 2018
DA-09	SECTION	1:100	A	MARCH 2018
DA-10	SHADOW DIAGRAM	1:200	A	MARCH 2018
DA-11	STORMWATER	1:200	A	MARCH 2018



VIEW FROM NORTH WEST



VIEW FROM SOUTH WEST

NOTES:

THE PROPOSED WORKS HAVE BEEN DESIGNED SO THAT WHEN CONSTRUCTED THEY COMPLY FULLY WITH THE BUILDING CODE OF AUSTRALIA (BCA)

ALL CONSTRUCTION TO MEET THE COMMITMENTS OUTLINED IN BASIX CERTIFICATE No. A307857.

NOTES
This drawing shall be read in conjunction with all other drawings and specifications for the project.
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All dimensions shall be verified on site prior to commencement of construction or fabrication on and off site.
Figured dimensions to be used rather than scaling.
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REV DATE AMENDMENT
A MARCH 2018 ISSUE FOR DEVELOPMENT APPLICATION

CAD Ref: 3 Summit Ave DA04.pln
Grant Seghers Design

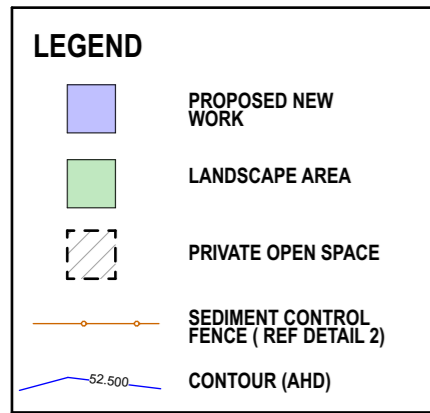


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PROJECT
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3 Summit Avenue
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42 The Scenic Road
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DRAWING TITLE
COVER SHEET

SCALE N.T.S.	DRAWN BY GS	PLOT DATE 7/03/2018
PROJECT NO. 1619	DRAWING NO. DA-01	REVISION A



NOTES

EROSION CONTROL TO CONSIST OF STAKED GEOTECH FABRIC FENCES AND SOCKS.

CONSTRUCTION FENCING AND ACCESS GATES TO FULLY SECURE THE CONSTRUCTION SITE BETWEEN THE EXISTING SIDE BOUNDARY FENCES

"WARNING CONSTRUCTION SITE- DO NOT ENTER" SIGNAGE TO BE FIXED TO SECURITY FENCING

ALL DOWNPIPES AND STORMWATER TO BE DIRECTED INTO THE EXISTING SUMMIT AVE STORMWATER NETWORK VIA GRAVITY

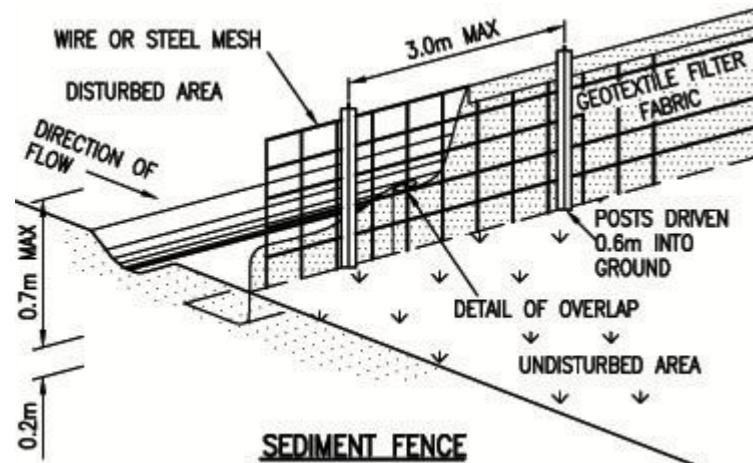
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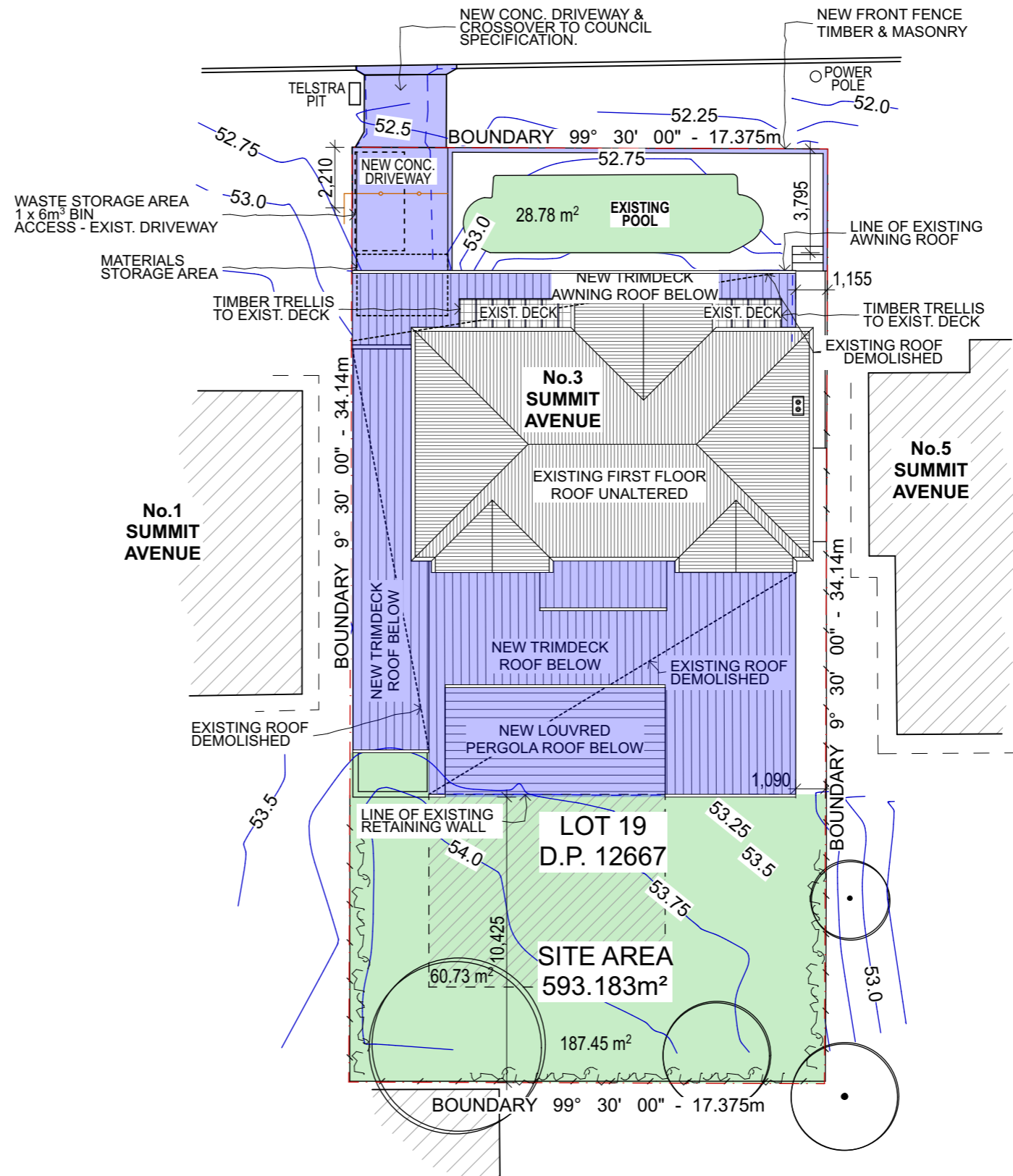
LANDSCAPE AREA CALCULATIONS

Location	Existing Area m ²	Proposed Area m ²
South - Lawn & Garden	187.5	187.5
Pool Surface	28.8	28.8
TOTAL LANDSCAPE AREA	216.3	216.3
Site Area	593.183	593.183
Landscape % Site	36.5%	36.5%



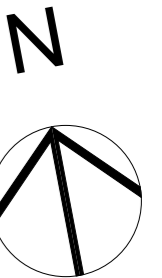
2 Sediment Control Fence

SUMMIT AVENUE



1 Site Plan

1:200



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



DRAWING TITLE
SITE PLAN & SITE ANALYSIS PLAN

SCALE 1:200@A3
PROJECT NO. 1619

DRAWN BY GS
DRAWING NO. DA-02

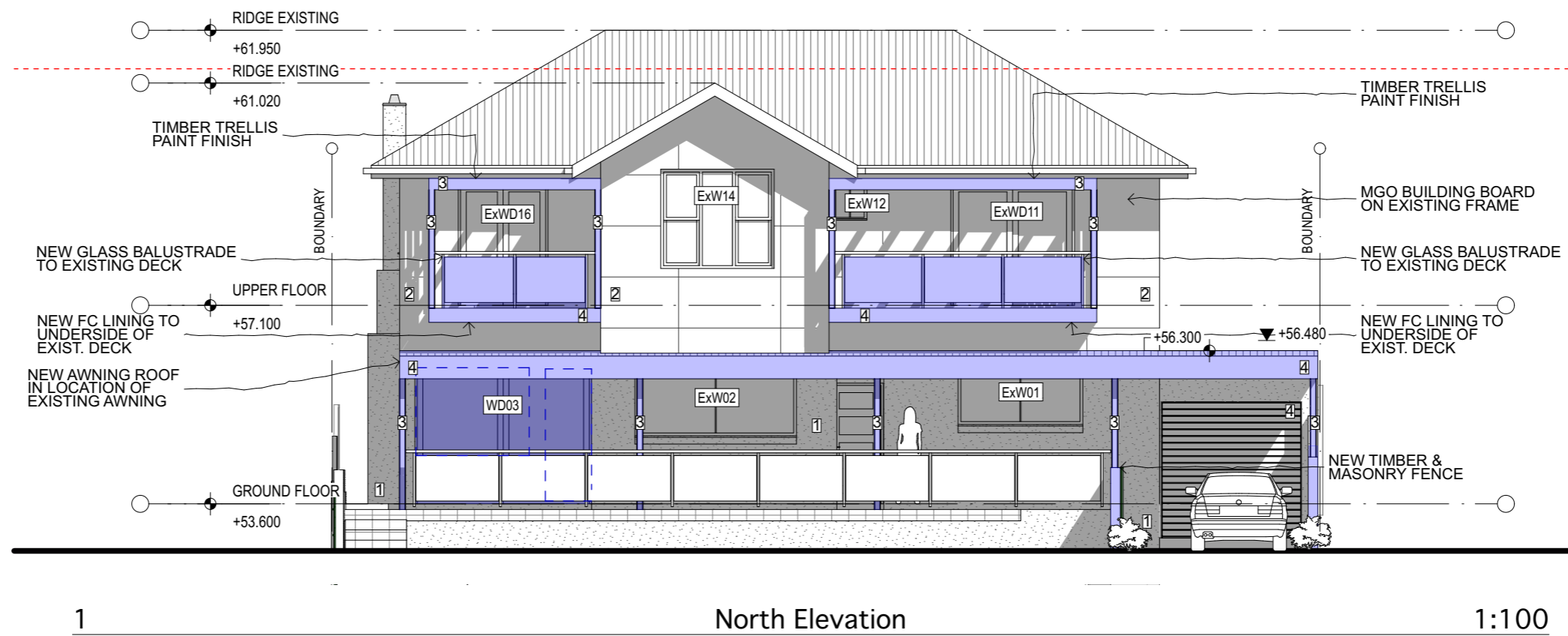
PLOT DATE 7/03/2018
REVISION A

LEGEND

	PROPOSED NEW WORK
	NEW WINDOW WINDOW NUMBERS SHOWN CORRESPOND TO BASIX WINDOWS No's
	NEW WINDOW IN EXISTING OPENING
	NEW GLASS DOOR IN EXISTING OPENING
	EXISTING WINDOW UNALTERED
	EXISTING DOOR UNALTERED

COLOUR SCHEME LEGEND

①	DULUX - DOMINO - GR10
②	DULUX - NATURAL WHITE - 15W
③	COLORBOND - SHALE GREY - C4
④	TIMBER - MERBAU - CLEAR FINISH
	WINDOW FRAMES - BLACK



NOTES:
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DRAWING TITLE
ELEVATIONS

SCALE
 1:100@A3

PROJECT NO.
 1619

DRAWN BY
 GS

PLOT DATE
 7/03/2018

REVISION
 DA-05
 A

LEGEND

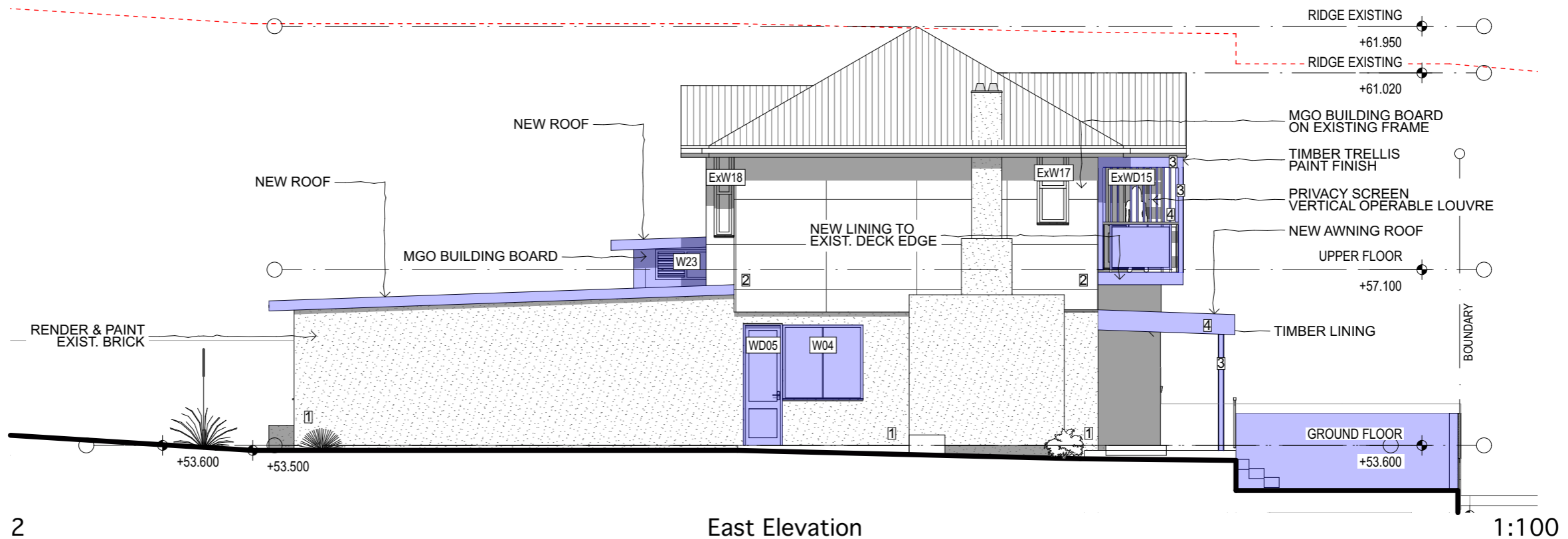
- PROPOSED NEW WORK
- W01 NEW WINDOW WINDOW NUMBERS SHOWN CORRESPOND TO BASIX WINDOWS No's
- Ex.W01 NEW WINDOW IN EXISTING OPENING
- Ex.WD01 NEW GLASS DOOR IN EXISTING OPENING
- Ex.W EXISTING WINDOW UNALTERED
- Ex.D EXISTING DOOR UNALTERED

COLOUR SCHEME LEGEND

- ① DULUX - DOMINO - GR10
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- ③ COLORBOND - SHALE GREY - C4
- ④ TIMBER - MERBAU - CLEAR FINISH

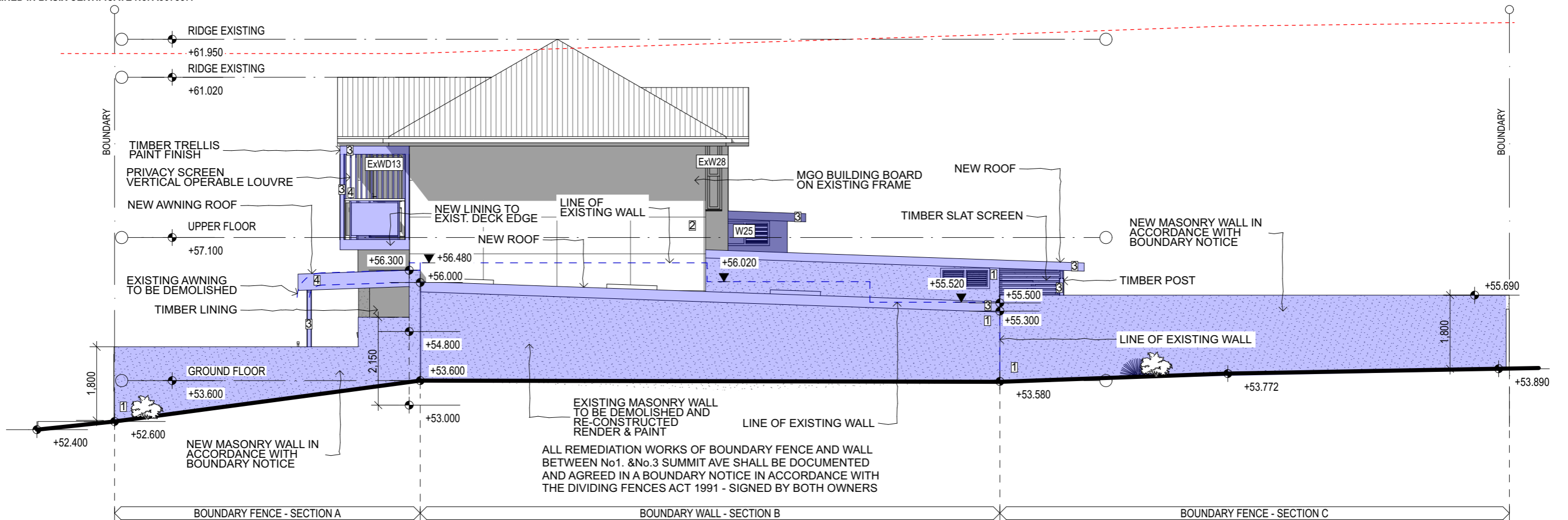
WINDOW FRAMES - BLACK

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East Elevation

1:100



West Elevation

1:100

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



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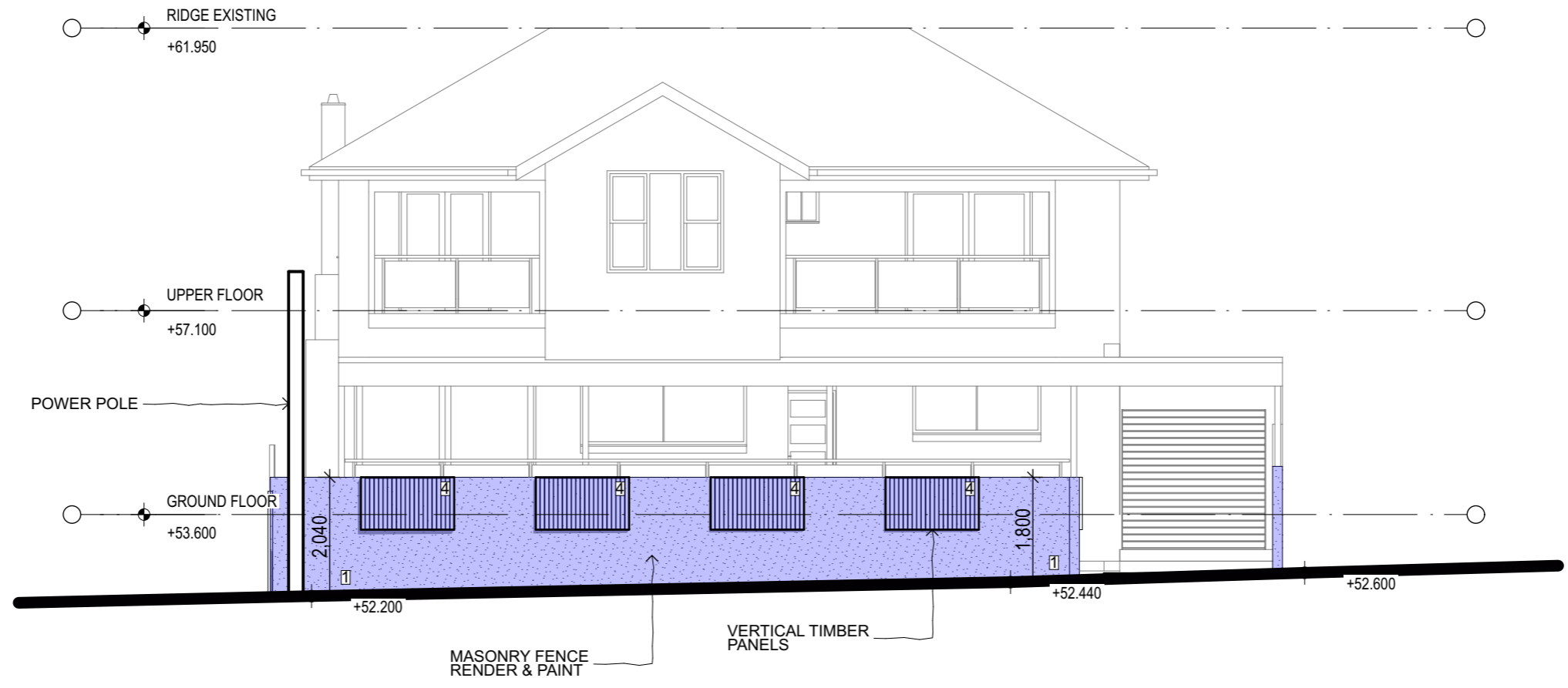
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DRAWING TITLE
 ELEVATIONS

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1:100@A3	GS	7/03/2018
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1619	DA-06	A

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1 Summit Street Elevation 1:100

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DRAWING TITLE
STREET ELEVATION

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