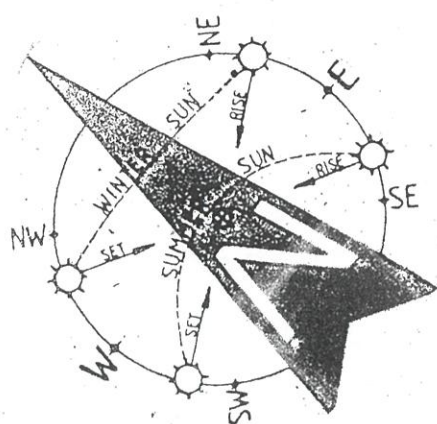
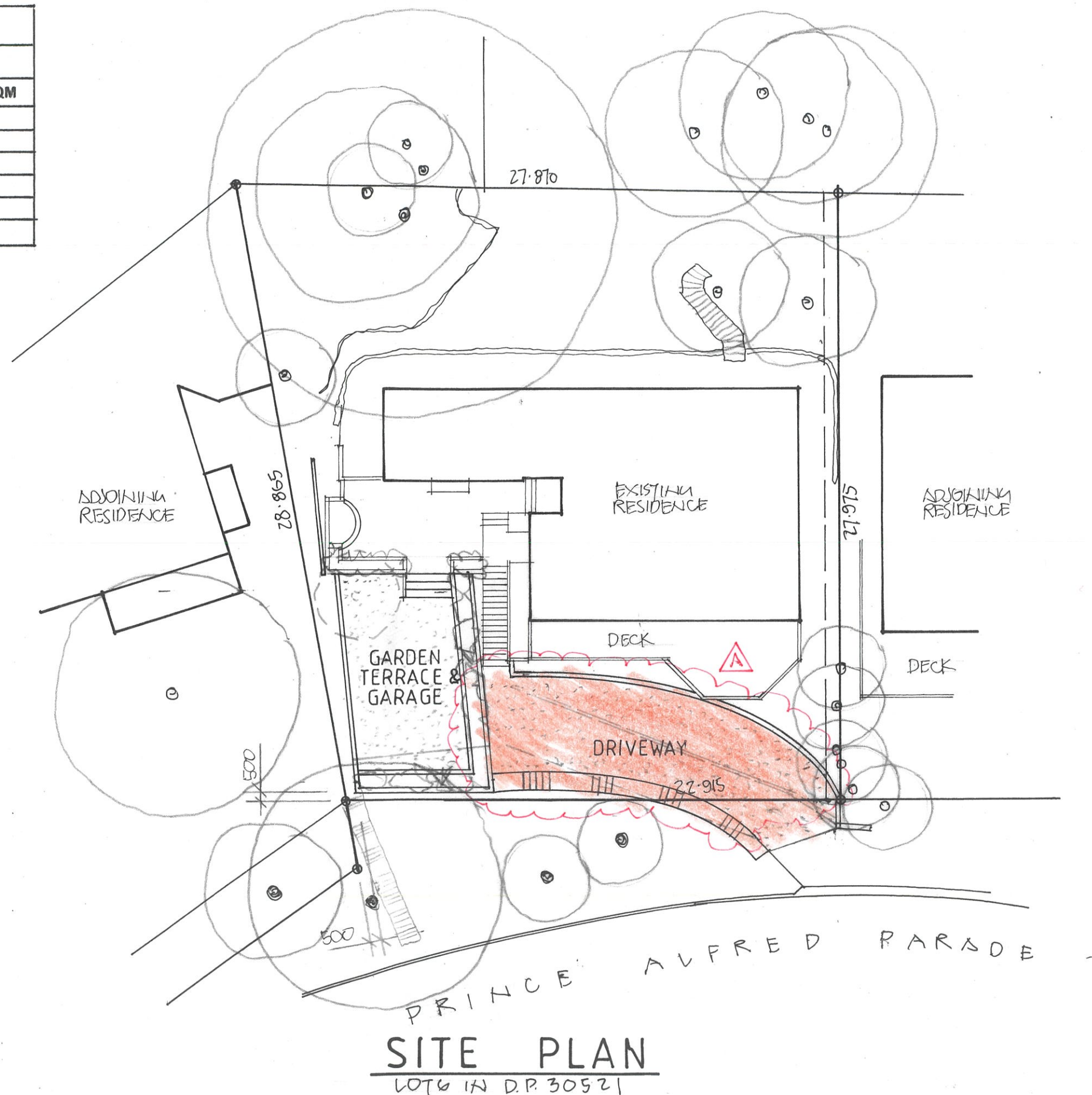


DEVELOPMENT CALCULATIONS

SITE AREA	715.60 SQUARE METRES	
DESCRIPTION	EXISTING SQM	PROPOSED SQM
ROOF	165.96	165.96
DRIVEWAY	31.20	51.60
TERRACE & STAIRS	47.00	47.00
DECK	31.68	31.68
GARAGE	44.80	—
TOTAL HARD SURFACE	320.64 (44.81%)	296.24 (41.40%)



NOTES:

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 7. All electrical power & light outlets to be determined by owner.
 8. Make good and repair all existing finishes damaged by new work. Reuse existing materials where possible.

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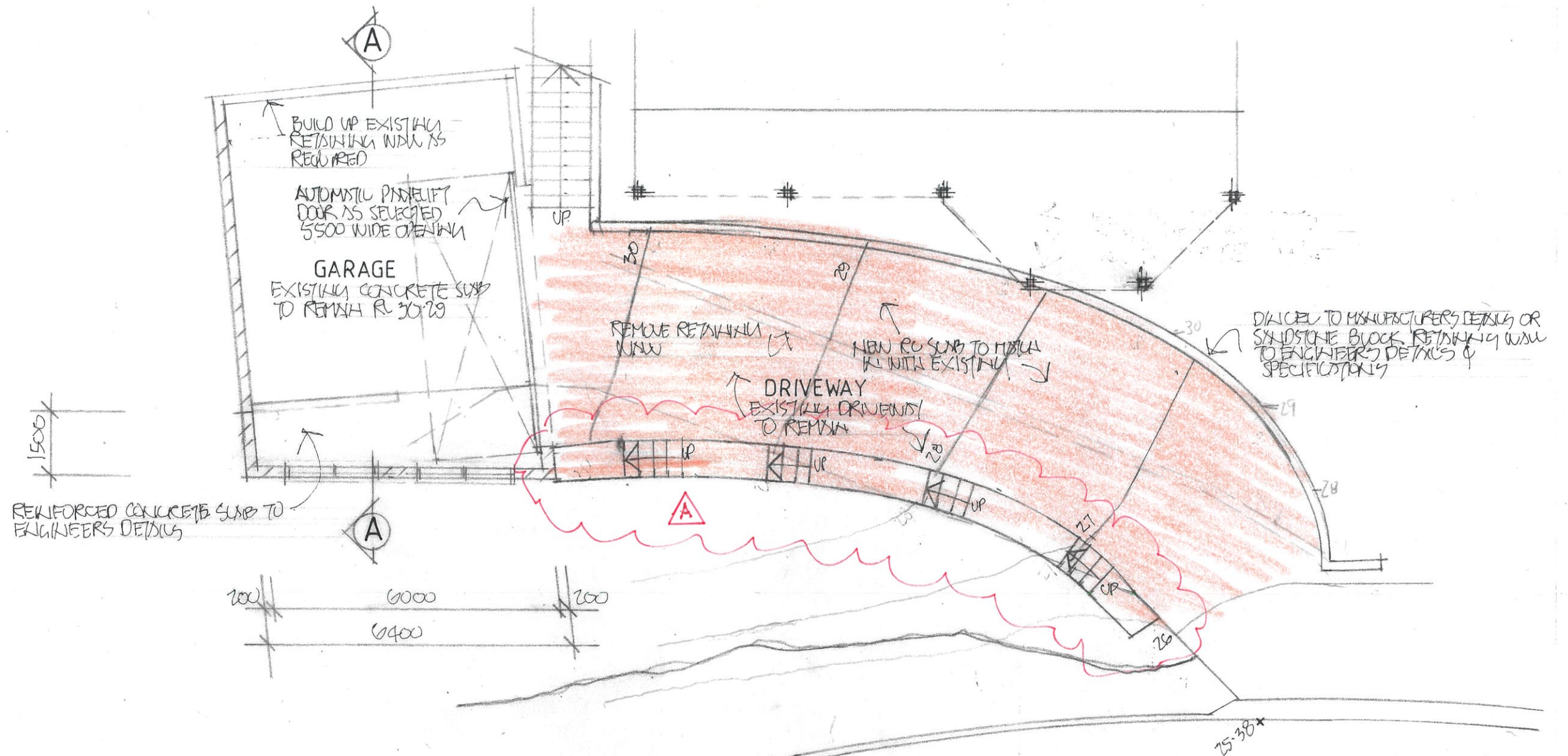
No.	AMENDMENT	DATE
1	DRIVEWAY PATH ALTERED	8-9



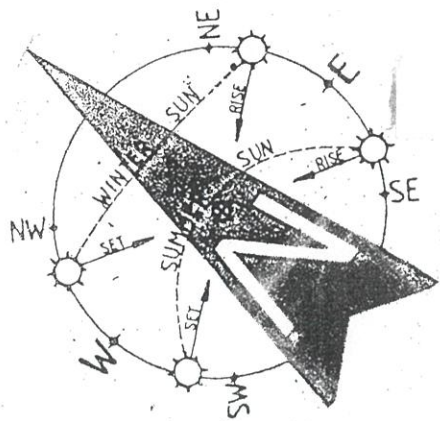
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PROJECT
 PROPOSED TERRACE & GARAGE
 No. 35 PRINCE ALFRED PARADE
 NEWPORT N. S. W. 21067
 CLIENT
 JOHN, KATY, JAMIE & DAMIEN MARASOVIC

DATE 12/9/2016	SCALE 1:200
DRAWN JDE	CHECKED
DRAWING No. 1844-1	ISSUE A 8-9-21



GARAGE & DRIVEWAY FLOOR PLAN



NOTES:

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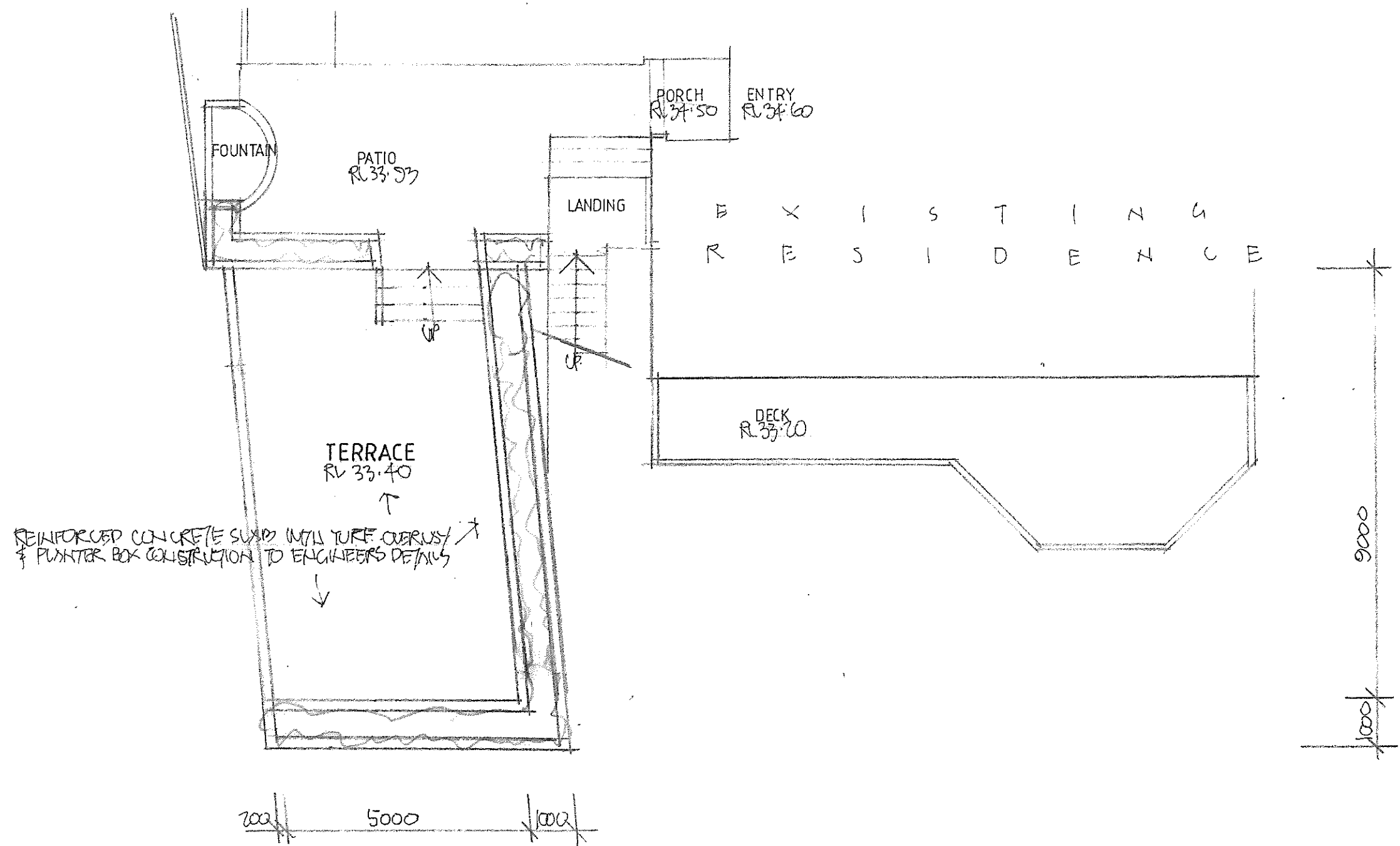
No.	AMENDMENT	DATE
1	A DRIVEWAY PATH ALTERED	8/9



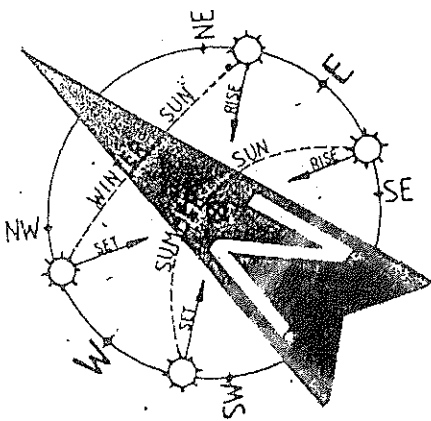
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PROJECT
PROPOSED TERRACE & GARAGE
 No. 35 PRINCE ALFRED PARADE
 NEWPORT N. S. W. 21067
 CLIENT
 JOHN, KATY, JAMIE & DAMIEN MARASOVIC

DATE 12/9/2016	SCALE 1:100
DRAWN JDE	CHECKED
DRAWING No. 1844-2	ISSUE A 8.9.22



TERRACE FLOOR PLAN



NOTES:

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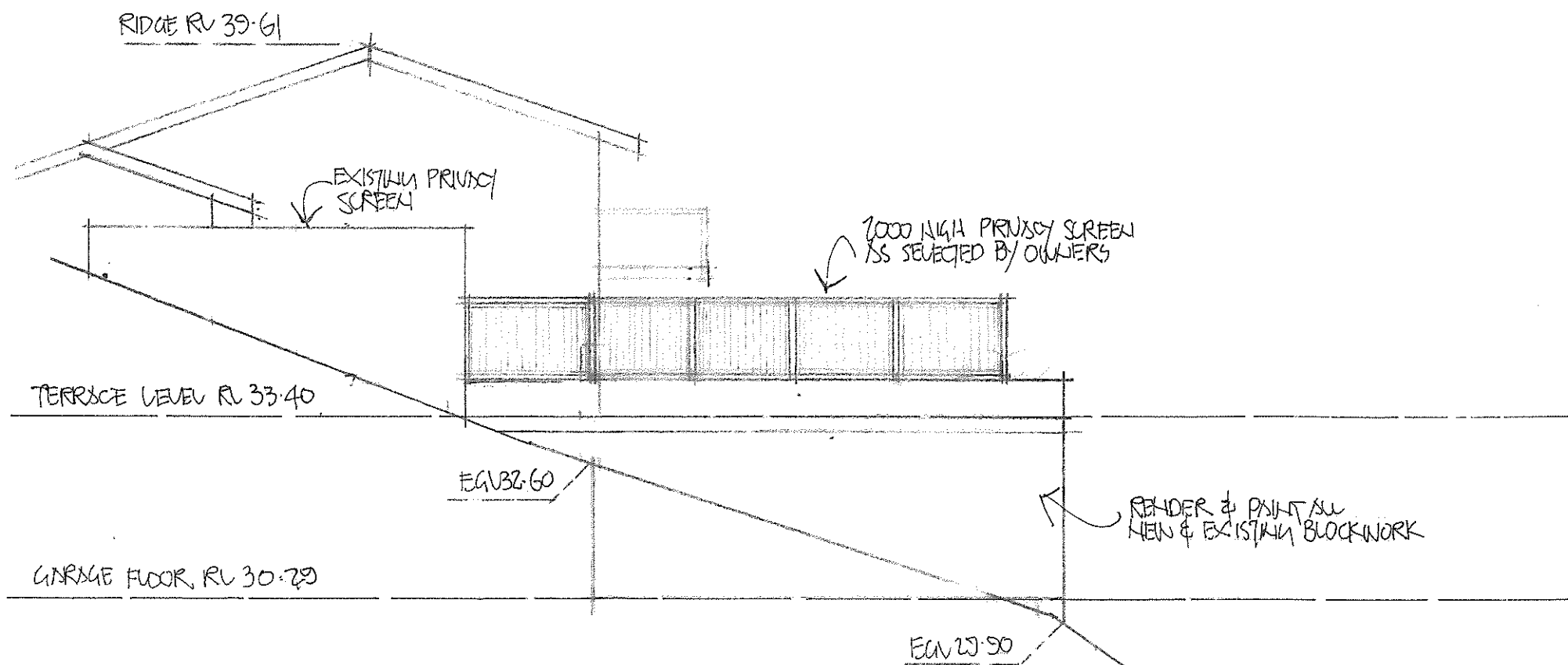
No.	AMENDMENT	DATE
1	ADDITIONAL DATA ADDED	8-3-22



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PROJECT
PROPOSED TERRACE & GARAGE
 No. 35 PRINCE ALFRED PARADE
 NEWPORT N. S. W. 21067
 CLIENT
 JOHN, KATY, JAMIE & DAMIEN MARASOVIC

DATE 12/9/2016	SCALE 1:100
DRAWN JDE	CHECKED
DRAWING No. 1844-3	ISSUE A



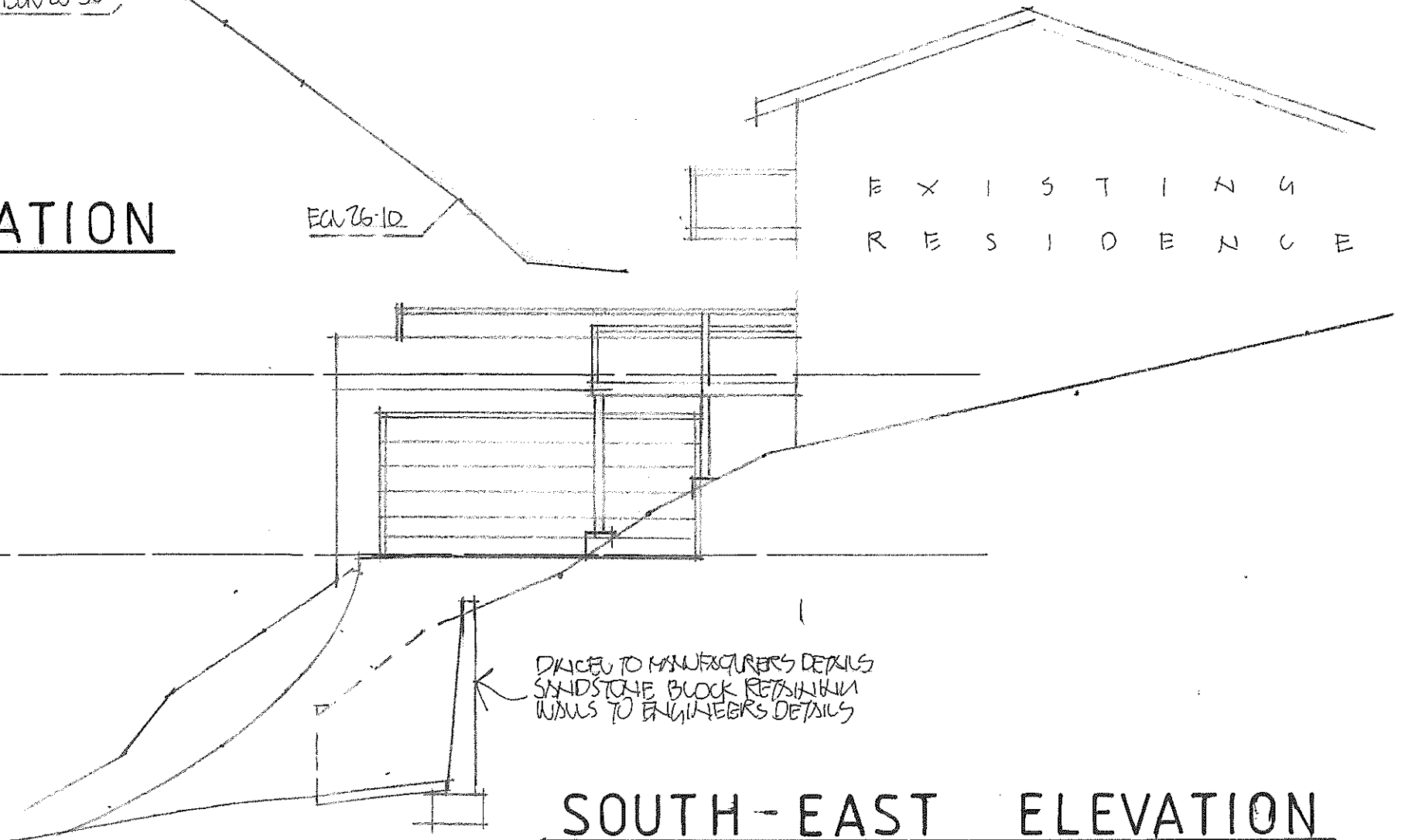
NORTH-WEST ELEVATION

TERRACE LEVEL RL 33.40

GARAGE FLOOR RL 30.79

ECV 26.10

EXISTING
RESIDENCE



SOUTH-EAST ELEVATION

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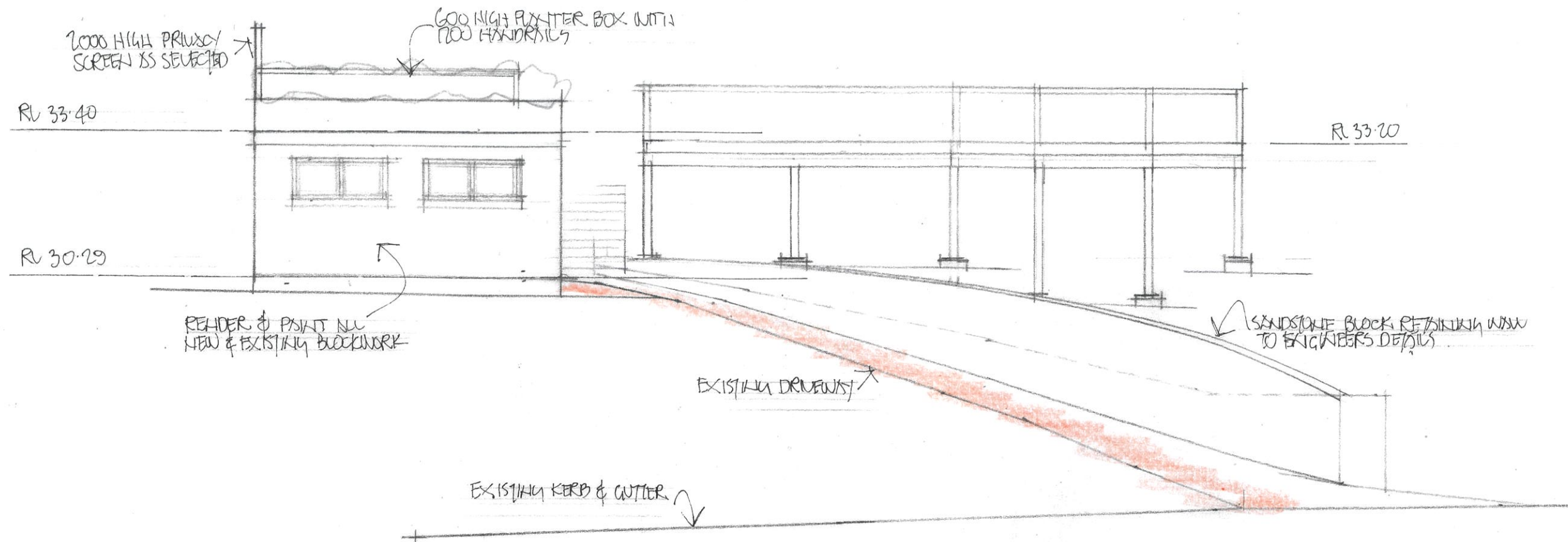
No.	AMENDMENT	DATE
1	APPROVED FOR CONSTRUCTION	8-9



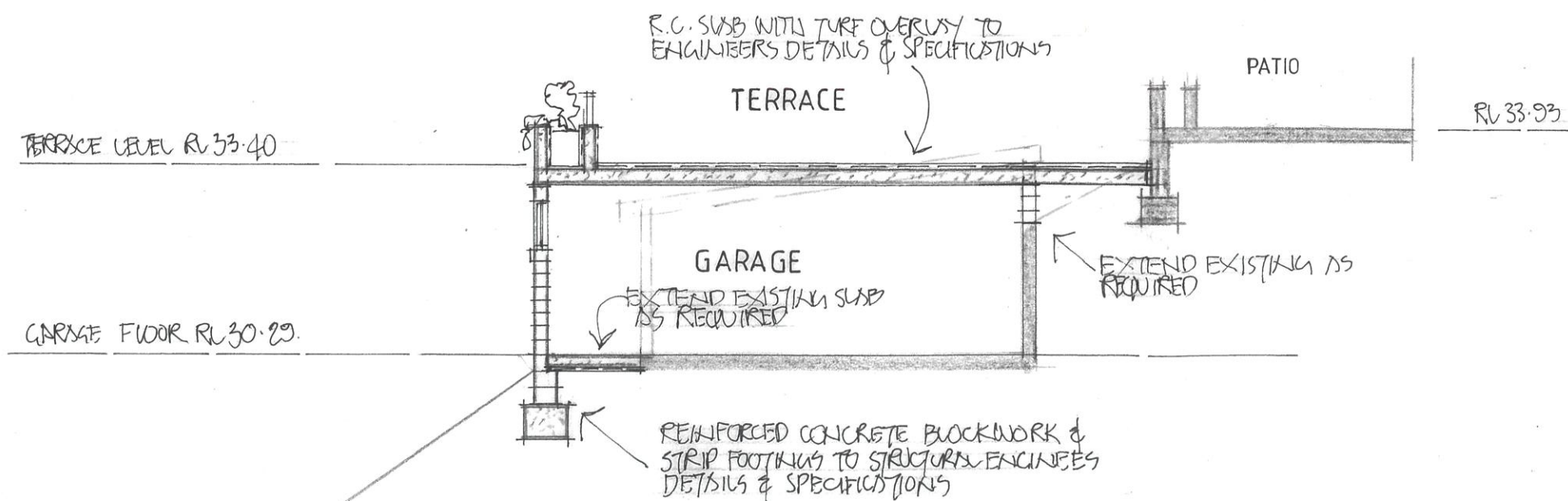
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CLIENT
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DATE 12/9/2016	SCALE 1:100
DRAWN JDE	CHECKED
DRAWING No. 1844-4	ISSUE A



SOUTH-WEST ELEVATION



SECTION A - A

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BUILDING DESIGN CONSULTANTS
24 BIVIERA AVE, AVALON BEACH, 2107

No.	AMENDMENT	DATE
1	DRIVEN BY PATH ALTERED	8-9



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MOBILE 0418 976 596

PROJECT
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DATE 12/9/2016	SCALE 1:100
DRAWN JDE	CHECKED
DRAWING No. 1844-5	ISSUE A