

Rapid Plans www.rapidplans.com.au
P.O. Box 6193 Frenchs Forest DC NSW 2086
Fax: (02) 9905-8865 Mobile: 0414-945-024
Email: gregg@rapidplans.com.au



BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



ACCREDITED
BUILDING DESIGNER

DEVELOPMENT APPLICATION

Alterations & Additions To Existing Residence

For Matt & Tracey Willis

49 Quinlan Parade Manly Vale

Lot 2102 D.P.752038

Project Number: RP0920WIL

DRAWING No.	DESCRIPTION	REV	ISSUED DATE
DA1000	Cover Sheet	-	- 6/9/21
DA1001	A4 NOTIFICATION PLAN	-	- 6/9/21
DA1002	SITE SURVEY 1	-	- 6/9/21
DA1003	SITE SURVEY 2	-	- 6/9/21
DA1004	SITE PLAN	-	- 6/9/21
DA1005	Existing Ground Floor Plan	-	- 6/9/21
DA1006	Existing Roof Plan	-	- 6/9/21
DA1007	Demolition Ground Floor Plan	-	- 6/9/21
DA1008	Demolition Roof Plan	-	- 6/9/21
DA1009	Excavation & Fill Plan	-	- 6/9/21
DA1010	Landscape Open Space Plan Existing	-	- 6/9/21
DA1011	Landscape Open Space Plan Proposed	-	- 6/9/21
DA1012	Landscape Plan	-	- 6/9/21
DA1013	Sediment & Erosion Plan	-	- 6/9/21
DA1014	Waste Management Plan	-	- 6/9/21
DA1015	Stormwater Plan	-	- 6/9/21
DA2001	GROUND FLOOR	-	- 6/9/21
DA2002	FIRST FLOOR	-	- 6/9/21
DA2003	ROOF	-	- 6/9/21
DA3000	SECTION 1	-	- 6/9/21
DA3001	SECTION 2	-	- 6/9/21
DA4000	ELEVATIONS 1	-	- 6/9/21
DA4001	ELEVATIONS 2	-	- 6/9/21
DA5000	PERSPECTIVE	-	- 6/9/21
DA5001	MATERIAL & COLOUR SAMPLE BOARD	-	- 6/9/21
DA5002	SHADOW PLAN 21st June 9am	-	- 6/9/21
DA5003	SHADOW PLAN 21st June 12pm	-	- 6/9/21
DA5004	SHADOW PLAN 21st June 3pm	-	- 6/9/21
DA5005	WALL ELEVATION SHADOWS	-	- 6/9/21



BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A429882_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 06, September 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	Willis_02
Street address	49 Quinlan Parade Manly Vale 2093
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 752038
Lot number	2102
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	Rapid Plans
ABN (if applicable):	43150064592

PRIOR TO ANY CONSTRUCTION WORK, SURVEY MARKS SHOULD BE PLACED TO DEFINE THE PROPERTY BOUNDARIES.

SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SURFACE INDICATOR(S) LOCATED DURING FIELD SURVEY. CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.

LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (AHD) USING GNSS OBSERVATIONS TO A BENCHMARK PLACED ON SITE.

RIDGE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY INDIRECT METHOD AND ARE ACCURATE TO ± 0.05m.

CONTOURS SHOWN DEPICT THE TOPOGRAPHY. EXCEPT AT SPOT LEVELS SHOWN THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. THE SPOT LEVELS ARE TRUE FOR THEIR POSITION, AND ARE INTENDED TO BE USEFUL TO REPRESENT THE GENERAL TERRAIN. CARE SHOULD BE TAKEN IF EXTRAPOLATING.



PARADE

QUINLAN

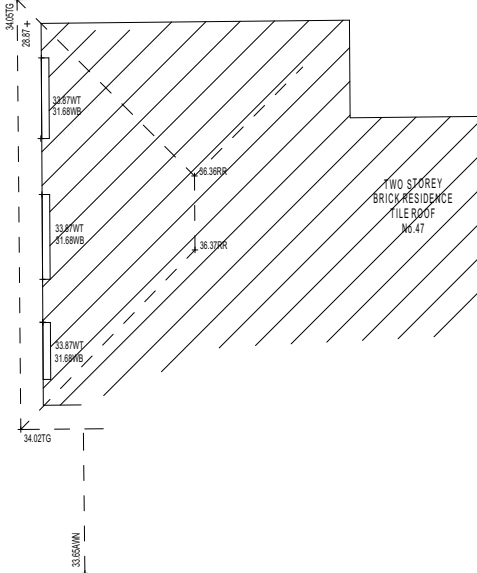
2102
DP 752038
879.2m²

SINGLE STOREY
BRICK RESIDENCE
TILE ROOF
No.49

2101
DP 752038

89°45'40"

25.908



SURVEY PLAN
1:200

1

LEGEND

BENCH MARK	▲
TELSTRA PIT	TEL
ELECTRIC LIGHT POLE	LP
POWER POLE	PP
SIGN POST	SP
SEWER INSPECTION PIT	SIP
SEWER VENT	SEWER
MANHOLE	MH
SEWER MANHOLE	SMH
STOP VALVE	SV
WATER HYDRANT	HYD
WATER METER	WM

LEGEND

TK - TOP OF KERB
LIP - LIP OF ROLL KERB
GUT - GUTTER OF KERB
EC - EDGE OF CONCRETE
EG - EDGE OF GARDEN
CL - ROAD CENTRELINE
RR - ROOF RIDGE
TG - TOP OF GUTTER
PA - PARAPET
DS - DOOR STEP
WT - TOP OF WINDOW
WB - BOTTOM OF WINDOW
SW - STORM WATER
SOL - SOLAR PANEL
TB - TOP OF BANK
BB - BOTTOM OF BANK



Rapid Plans
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Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date: 6/09/2021
Project NO. RP0920WIL
Project Status: DA
Client: Matt & Tracey Willis
Site: 49 Quinlan Parade Manly Vale
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
SITE SURVEY 1
PROJECT NAME :
Alterations & Additions

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

REVISION NO.
-
DATE: 6/9/21
DRAWING NO.
DA1002

NOTE:

BOUNDARIES HAVE BEEN DETERMINED BY SURVEY ON 03/08/2020.

PRIOR TO ANY CONSTRUCTION WORK, SURVEY MARKS SHOULD BE PLACED TO DEFINE THE PROPERTY BOUNDARIES.

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LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (AHD) USING GNSS OBSERVATIONS TO A BENCHMARK PLACED ON SITE.

RIDGE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY INDIRECT METHOD AND ARE ACCURATE TO $\pm 0.05m$.

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LEGEND

BENCHMARK	▲
TELSTRA PIT	TEL
ELECTRIC LIGHT POLE	LP
POWER POLE	PP
SIGN POST	SP
SEWER INSPECTION PIT	SIP
SEWER VENT	SEWER
MANHOLE	MH
SEWER MANHOLE	SMH
STOP VALVE	SV
WATER HYDRANT	HYD
WATER METER	WM
GAS METER	GM
STATE SURVEY MARK	SSM

LEGEND

TK - TOP OF KERB
LP - LIP OF ROLL KERB
EG - EDGE OF CONCRETE
EG - EDGE OF GARDEN
CL - ROAD CENTRELINE
RR - ROOF RIDGE
TG - TOP OF GUTTER
PA - PARAPET
DS - DOOR STEP
WT - TOP OF WINDOW
WB - BOTTOM OF WINDOW
SW - STORM WATER
SOL - SOLAR PANEL
TB - TOP OF BANK
SB - BOTTOM OF BANK

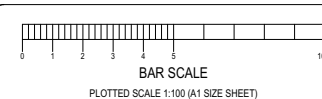


TSS TOTAL SURVEYING SOLUTIONS
LANE COVE | CAMDEN | CENTRAL COAST

NOTE:

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REVISION No.	REVISION DATE:	COMMENT:

PLAN SHOWING DETAIL & LEVELS
LOT 2102 DP 752038

CLIENT: Matt & Tracey Willis
PROJECT: Detail Survey
ADDRESS: 49 Quinlan Parade, Manly Vale

JOB No.: 201374	LGA: NORTHERN BEACHES
PLAN No.: 201374-1	DATUM: AHD
DATE: 30/07/2020	SCALE: 1:100 @ A1
DRAWN: ZD	CONT. INTERVAL: 0.2m
CHK: SF	SHEET 1 OF 1

1

SURVEY PLAN
1:250

SURVEY SCALED TO FIT TITLEBLOCK

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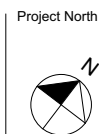
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Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date:
Project No.
Project Status

GBJ
6/09/2021
RP0920WIL
DA

Client
Site: Matt & Tracey Willis
49 Quinlan Parade, Manly Vale

Sheet Size: A3

DRAWING TITLE :

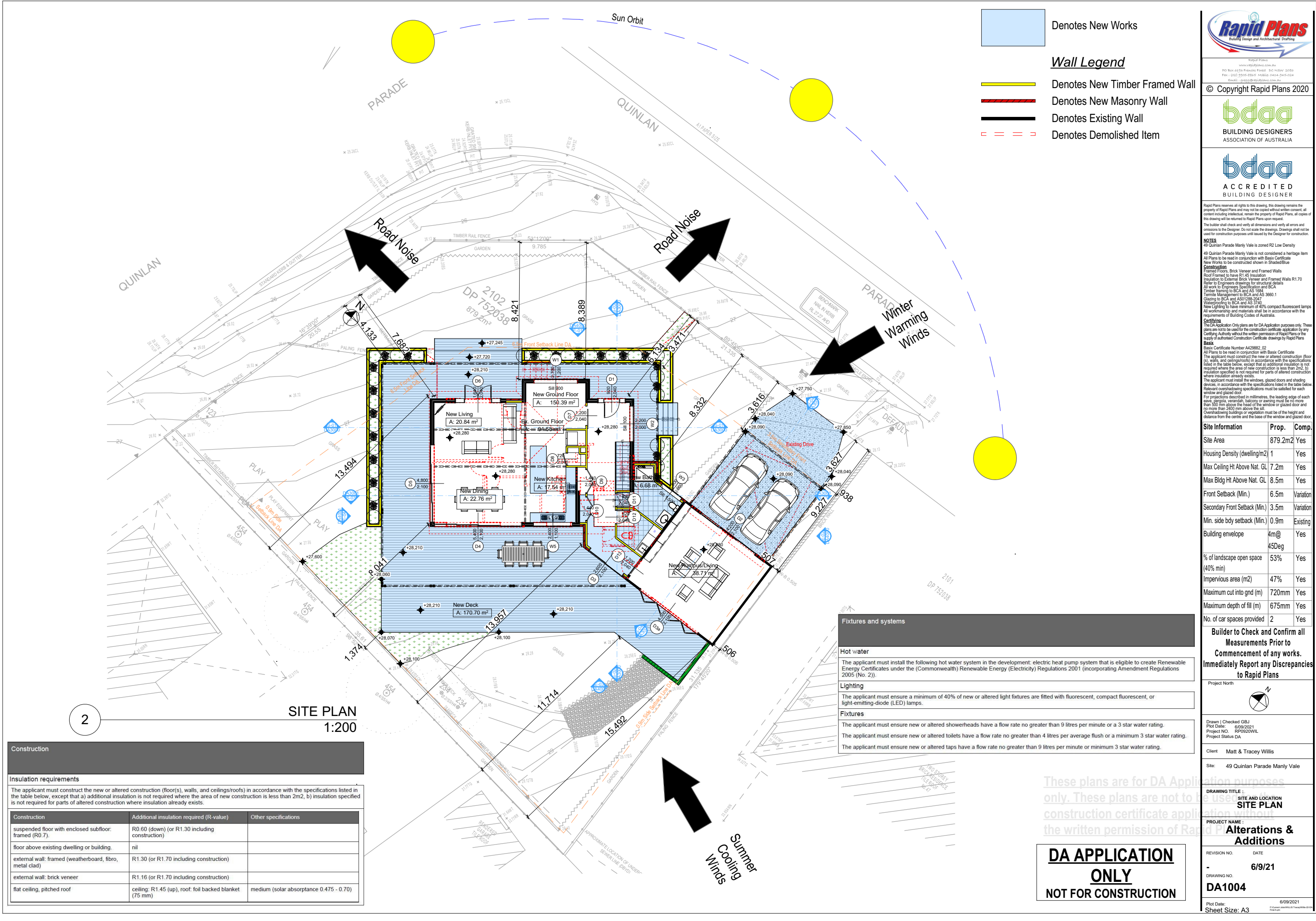
SITE AND LOCATION
SITE SURVEY 2

PROJECT NAME :

Alterations & Additions

REVISION NO.

DATE:
6/9/21
DRAWING NO.
DA1003



Denotes New Works

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes Existing Wall
- Denotes Demolished Item

Building Design and Architectural Drafting

World Plans
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NOTES

49 Quinlan Parade Manly Vale is zoned R2 Low Density

49 Quinlan Parade Manly Vale is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in ShadedBlue

Construction

Framed Floors, Brick Veneer and Framed Walls

Roof Framed to have R1.45 Insulation

Insulation to External Brick Veneer and Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 168

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS 2208.2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Setbacks

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic

Basic Certificate Number A42882_02

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each space, parapet, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	879.2m²	Yes
Housing Density (dwelling/m²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Secondary Front Setback (Min.)	3.5m	Variation
Min. side bdy setback (Min.)	0.9m	Existing
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	53%	Yes
Impervious area (m²)	47%	Yes
Maximum cut into gnd (m)	720mm	Yes
Maximum depth of fill (m)	675mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 6/09/2021
Project NO.: RP0920WVL
Project Status DA

Client Matt & Tracey Willis

Site: 49 Quinlan Parade Manly Vale

DRAWING TITLE:
SITE AND LOCATION
SITE PLAN

PROJECT NAME:
Alterations & Additions

REVISION NO. DATE
- 6/9/21
DRAWING NO.
DA1004

Plot Date: 6/09/2021
Sheet Size: A3

Fixtures and systems

Hot water

The applicant must install the following hot water system in the development: electric heat pump system that is eligible to create Renewable Energy Certificates under the (Commonwealth) Renewable Energy (Electricity) Regulations 2001 (incorporating Amendment Regulations 2005 (No. 2)).

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

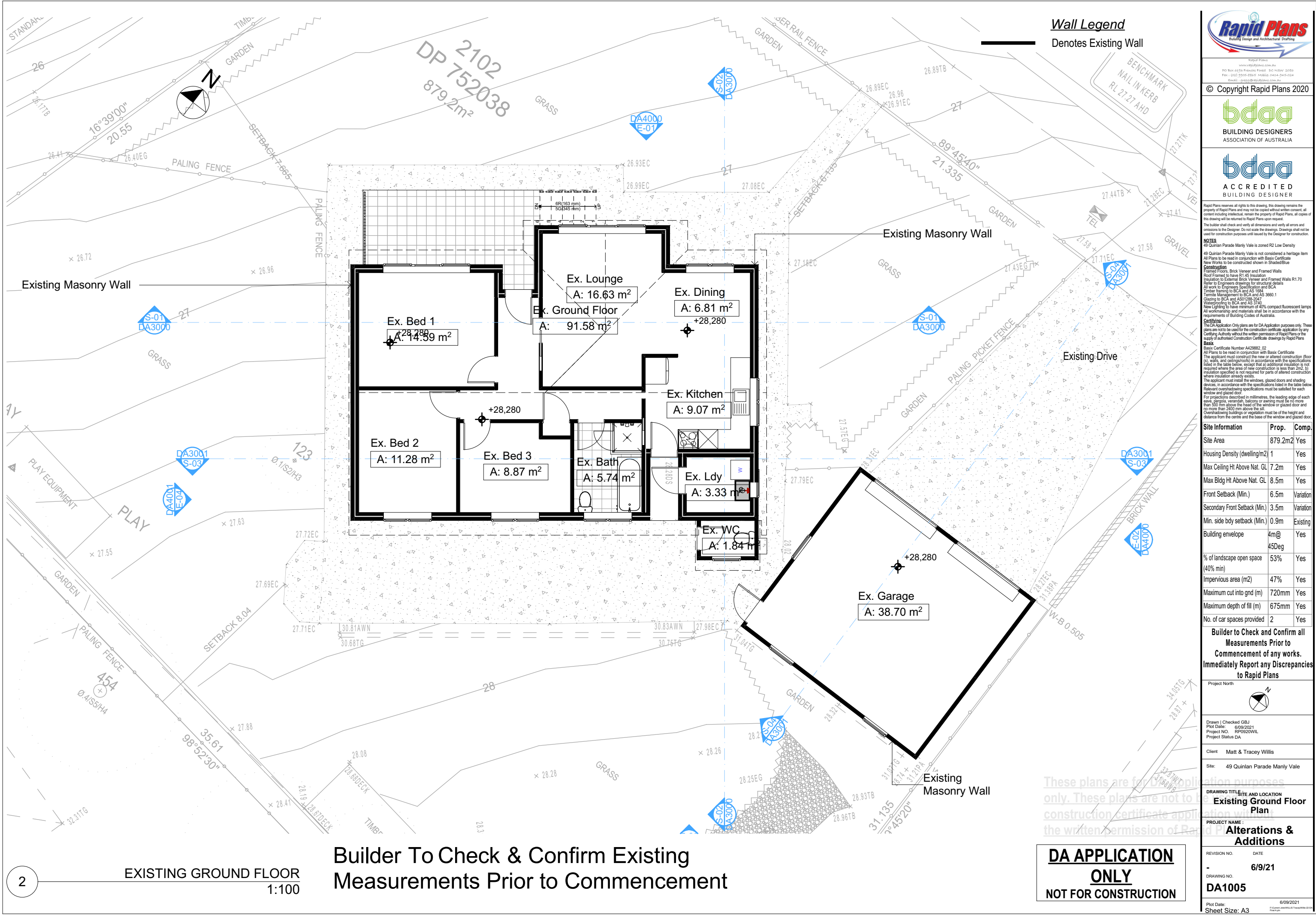
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

DA APPLICATION ONLY
NOT FOR CONSTRUCTION



Builder To Check & Confirm Existing
Measurements Prior to Commencement

Wall Legend
Denotes Existing Wall

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NOTES

49 Quinlan Parade Manly Vale is zoned R2 Low Density

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gopole, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	879.2m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Secondary Front Setback (Min.)	3.5m	Variation
Min. side bdy setback (Min.)	0.9m	Existing
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	53%	Yes
Impervious area (m ²)	47%	Yes
Maximum cut into gnd (m)	720mm	Yes
Maximum depth of fill (m)	675mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancies
to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 6/09/2021
Project NO.: RP0920WVL
Project Status DA

Client Matt & Tracey Willis

Site: 49 Quinlan Parade Manly Vale

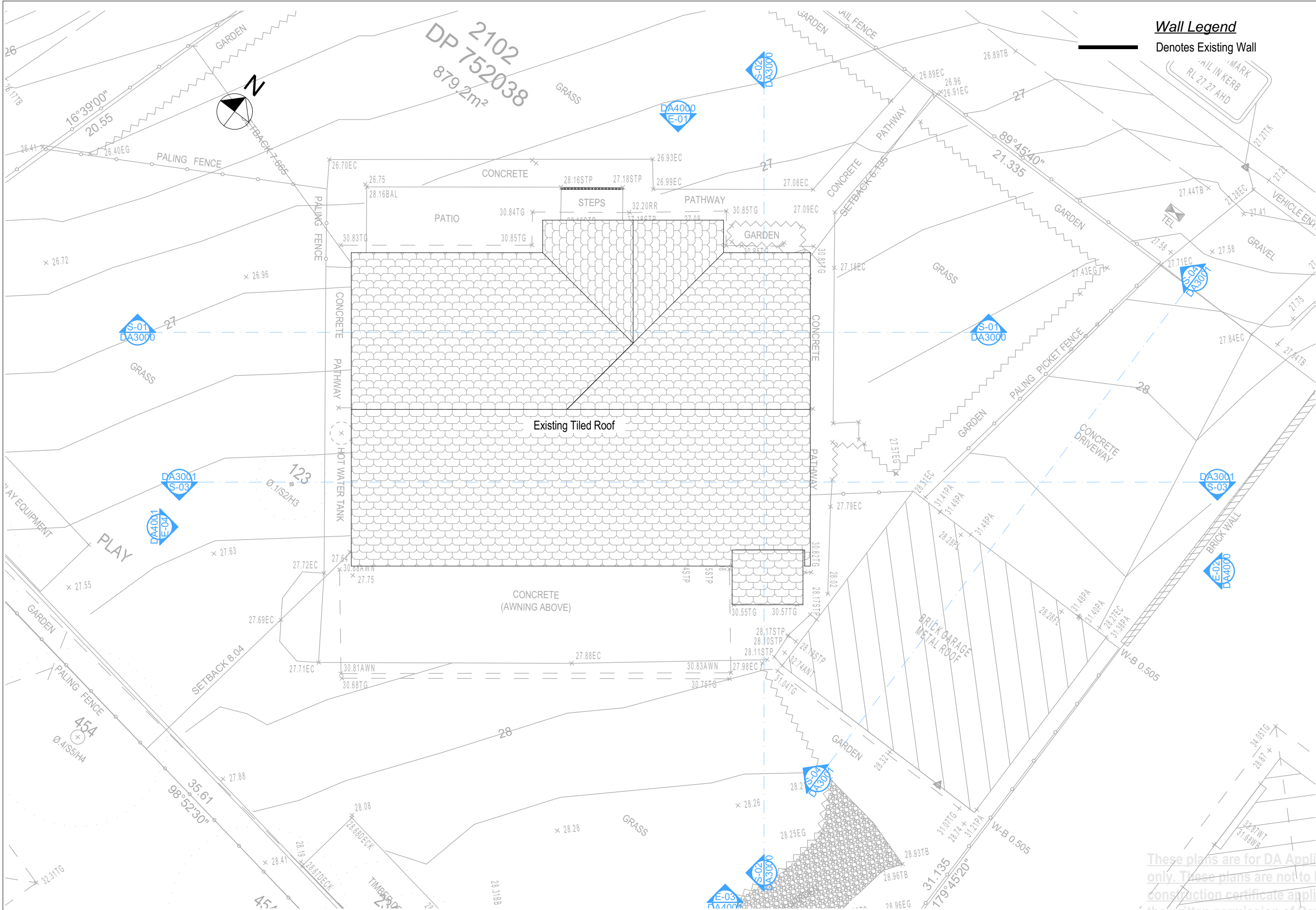
DRAWING TITLE SITE AND LOCATION
Existing Ground Floor Plan

PROJECT NAME:
Alterations & Additions

REVISION NO.	DATE
-	6/9/21

DRAWING NO.
DA1005

Plot Date: 6/09/2021
Sheet Size: A3



Wall Legend
Denotes Existing Wall

Building Design and Architectural Drafting

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NOTES
49 Quinlan Parade Manly Vale is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.
Construction
Framed Floors, Brick Veneer and Framed Walls
Roof Framed to have R1.45 Insulation
Insulation to External Brick Veneer and Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 168
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 2298-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 400lm compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Setbacks
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.
Basic
Basic Certificate Number A42982, 02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopole, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	879.2m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Secondary Front Setback (Min.)	3.5m	Variation
Min. side bdy setback (Min.)	0.9m	Existing
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	53%	Yes
Impervious area (m ²)	47%	Yes
Maximum cut into gnd (m)	720mm	Yes
Maximum depth of fill (m)	675mm	Yes
No. of car spaces provided	2	Yes

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Project North

Drawn | Checked GBJ
Plot Date: 6/09/2021
Project NO.: RP0920WVL
Project Status DA

Client: Matt & Tracey Willis

Site: 49 Quinlan Parade Manly Vale

DRAWING TITLE:
SITE AND LOCATION
Existing Roof Plan

PROJECT NAME:
Alterations & Additions

REVISION NO.	DATE
-	6/9/21

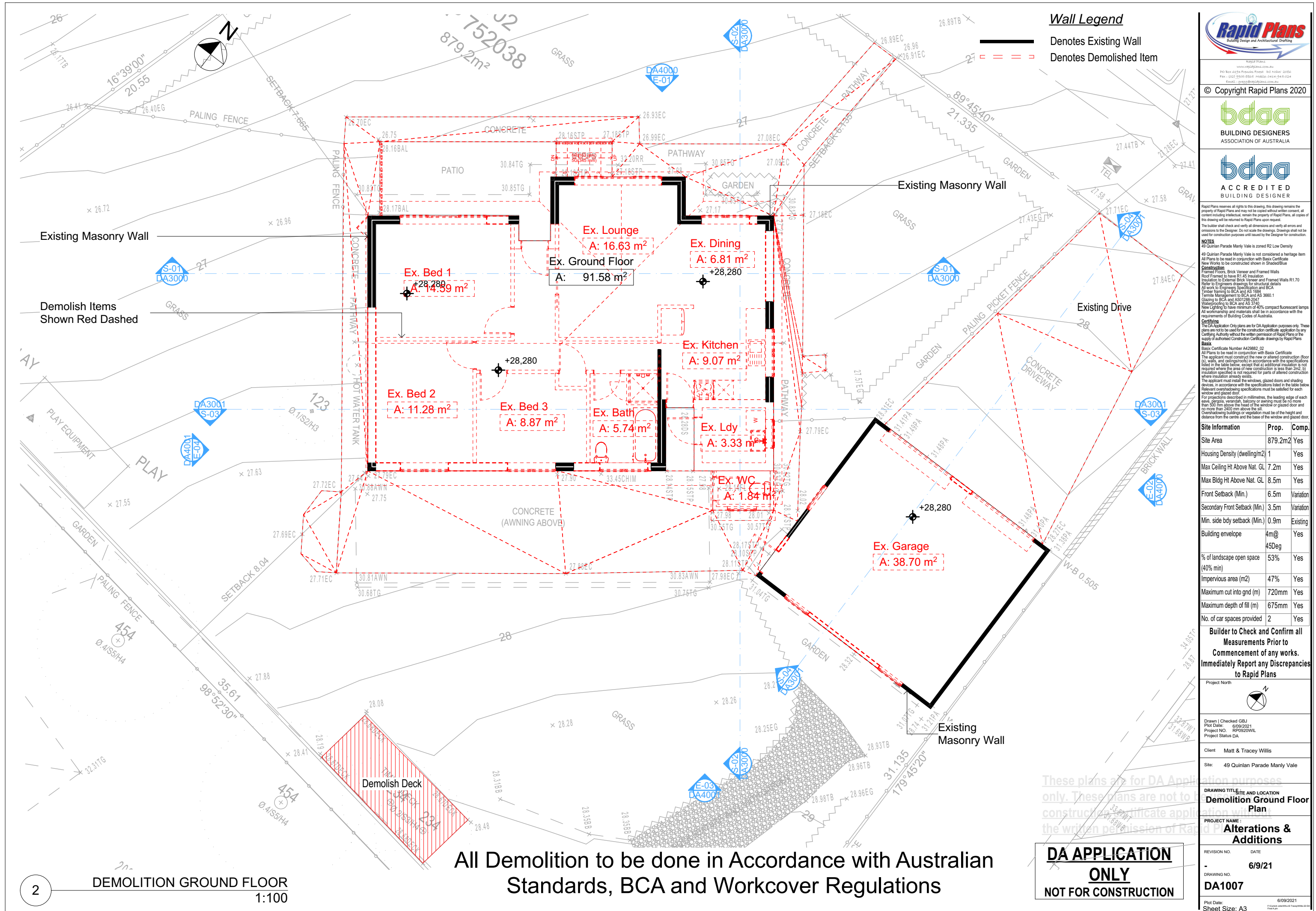
DRAWING NO.: **DA1006**

Plot Date: 6/09/2021
Sheet Size: A3

Builder To Check & Confirm Existing Measurements Prior to Commencement

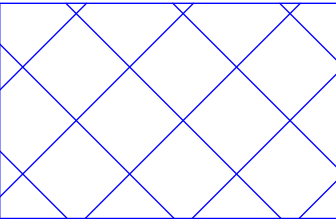
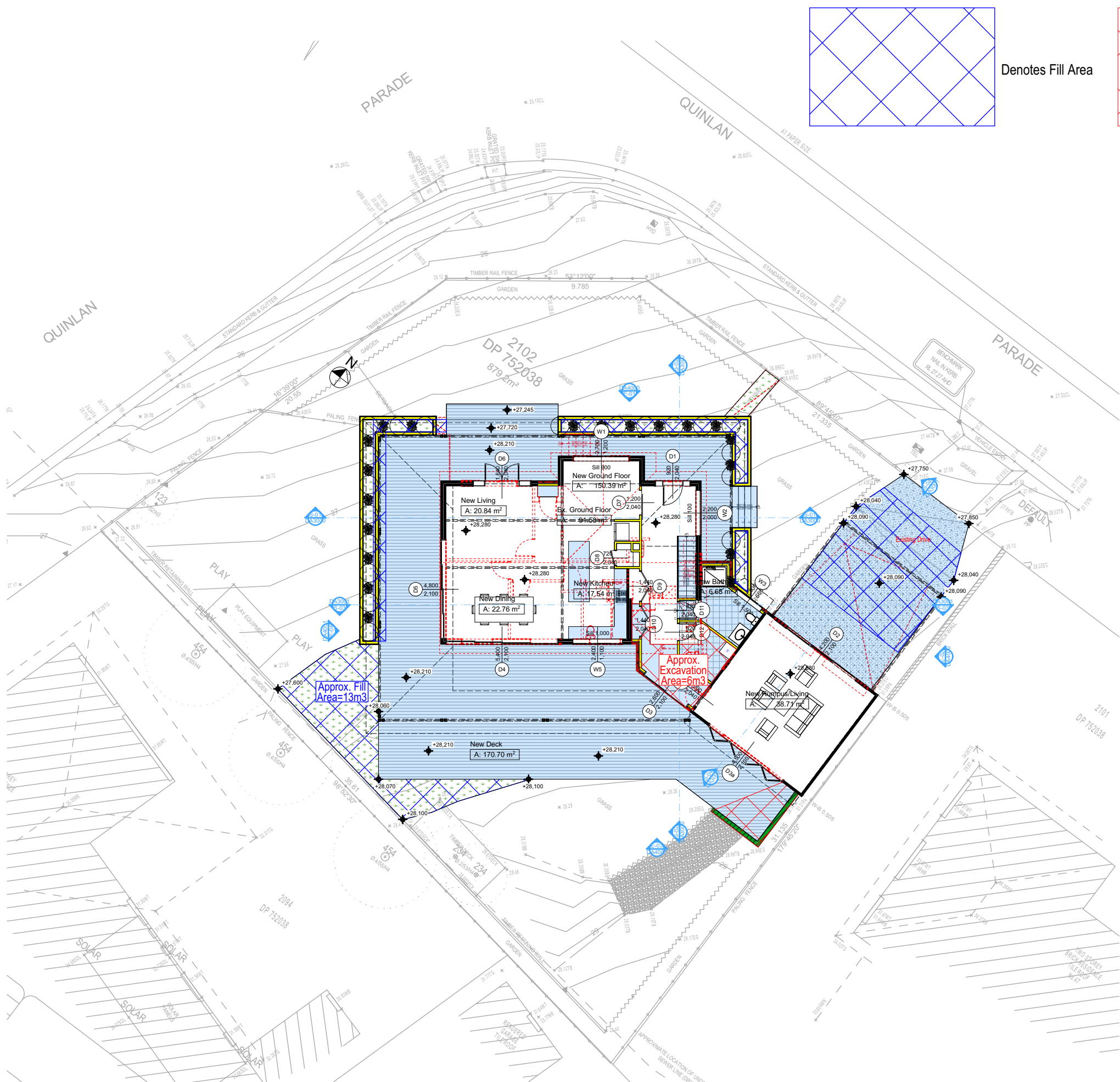
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3
EXISTING ROOF
1:100

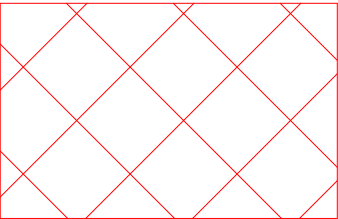




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Denotes Fill Area



Denotes Excavation Area

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PO Box 6239 Riverside Forest NSW 1505
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Email: info@rapidplans.com.au

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NOTES
49 Quinlan Parade Manly Vale is zoned R2 Low Density
49 Quinlan Parade Manly Vale is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be completed shown in ShadedBlue
Construction
Framed Floors, Brick Veneer and Framed Walls
Roof Framed to have R1.45 Insulation
Insulation to External Brick Veneer and Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1028-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Conditioning
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Basic
Basic Certificate Number A42882_02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specifications are not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopole, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	879.2m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Secondary Front Setback (Min.)	3.5m	Variation
Min. side bdy setback (Min.)	0.9m	Existing
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	53%	Yes
Impervious area (m2)	47%	Yes
Maximum cut into gnd (m)	720mm	Yes
Maximum depth of fill (m)	675mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 6/09/2021
Project NO.: RP0920WVL
Project Status DA

Client Matt & Tracey Willis

Site: 49 Quinlan Parade Manly Vale

DRAWING TITLE :
SITE AND LOCATION
Excavation & Fill Plan

PROJECT NAME :
Alterations & Additions

REVISION NO. DATE
- 6/9/21
DRAWING NO.
DA1009

Plot Date: 6/09/2021
Sheet Size: A3



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Denotes Impervious Area

Denotes Pervious Area

Description	Area (m2)	Percentage
Site Area	879.2m2	100%
Exist. Open Landscape Area	561.81m2	64%
Exist. Impervious Area	317.46m2	36%
Proposed Open Landscape Area	467.02m2	53%
Proposed Impervious Area	412.18m2	47%

Note:
Total Open Landscape Area for the property will be decreased by 11%

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Building Design and Architectural Drafting

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NOTES

49 Quinlan Parade Manly Vale is zoned R2 Low Density

49 Quinlan Parade Manly Vale is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded Blue

Construction

Framed Floors, Brick Veneer and Framed Walls

Roof Framed to have R1.45 Insulation

Insulation to External Brick Veneer and Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS 1906

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Conditioning

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic

Basic Certificate Number A42882_02

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each space, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	879.2m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Secondary Front Setback (Min.)	3.5m	Variation
Min. side bdy setback (Min.)	0.9m	Existing
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	53%	Yes
Impervious area (m2)	47%	Yes
Maximum cut into gnd (m)	720mm	Yes
Maximum depth of fill (m)	675mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ

Plot Date: 6/09/2021

Project NO.: RP0920WVL

Project Status DA

Client Matt & Tracey Willis

Site: 49 Quinlan Parade Manly Vale

DRAWING TITLE SITE AND LOCATION

Landscape Open Space Plan Proposed

PROJECT NAME:

Alterations & Additions

REVISION NO. DATE

- 6/9/21

DRAWING NO.

DA1011

Plot Date: 6/09/2021

Sheet Size: A3



LANDSCAPE PLAN
1:200

Landscape Legend				
Planting Schedule	Symbol	Botanical Name	Common Name	Mature Height
		Stenotaphrum Secundatum	Sir Walter Buffalo Turf	N/A
		New Garden Bed Planting, Owner To Confirm Type		
		Existing Grass To Remain		
		Existing Garden Area To Remain		
		Existing Tree To Remain		

Landscape Legend	
Ground Covers Schedule	
Symbol	Common Name
	New Timber Deck
	New Timber Stadium Seats
	New Concrete Drive
	Existing Rock Garden Wall

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NOTES
49 Quinlan Parade Manly Vale is zoned R2 Low Density
49 Quinlan Parade Manly Vale is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded Blue
Construction
Framed Floors, Brick Veneer and Framed Walls
Roof Framed to have R1.45 Insulation
Insulation to External Brick Veneer and Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 2208-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Condition
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Basic
Basic Certificate Number A42882_02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
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Relevant overshadowing specifications must be satisfied for each window and glazed door.
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	879.2m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Secondary Front Setback (Min.)	3.5m	Variation
Min. side bdy setback (Min.)	0.9m	Existing
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	53%	Yes
Impervious area (m ²)	47%	Yes
Maximum cut into gnd (m)	720mm	Yes
Maximum depth of fill (m)	675mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 6/09/2021
Project NO.: RP0920WVL
Project Status DA

Client Matt & Tracey Willis

Site: 49 Quinlan Parade Manly Vale

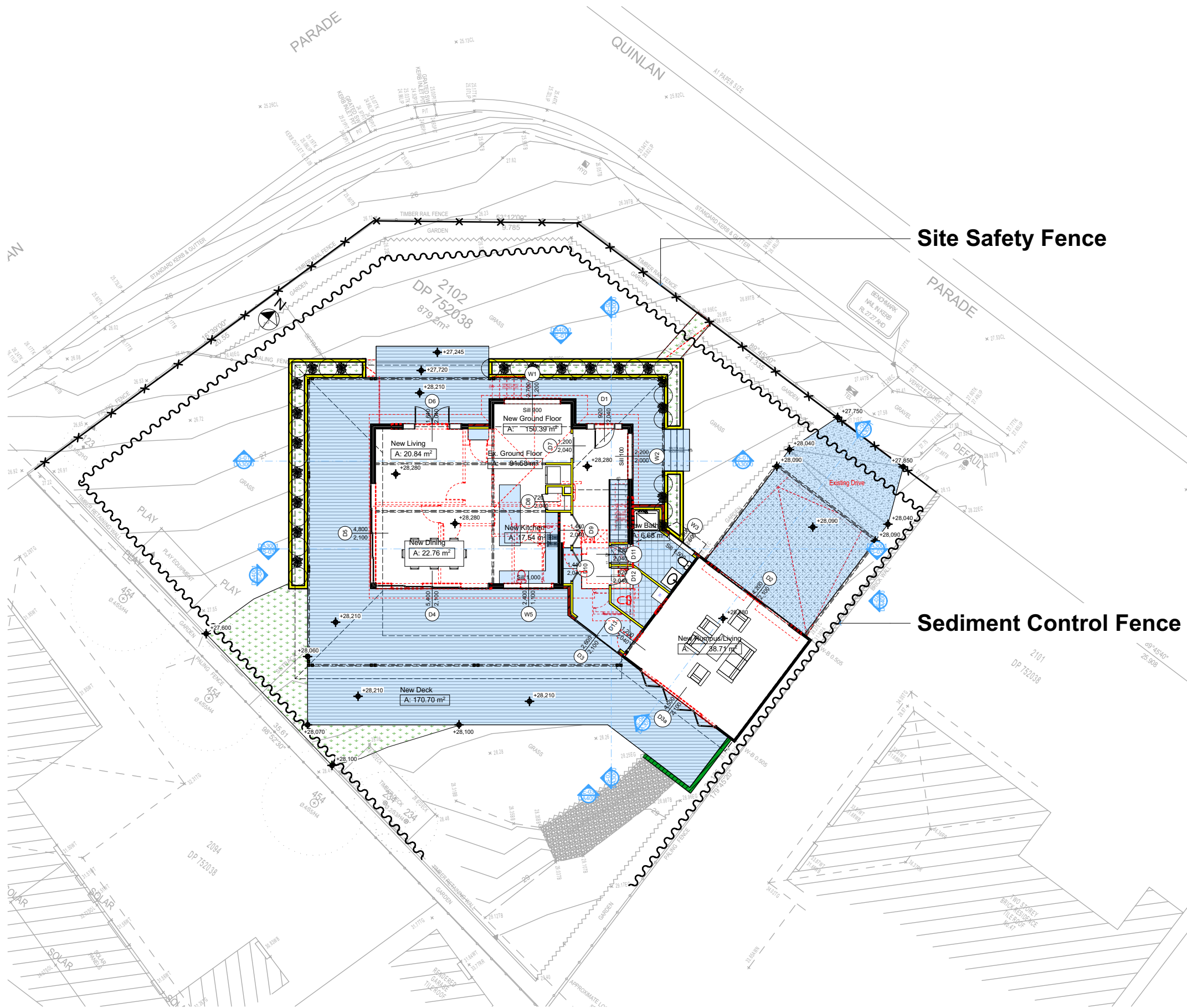
DRAWING TITLE :
SITE AND LOCATION
Landscape Plan

PROJECT NAME:
Alterations & Additions

REVISION NO.	DATE
-	6/9/21

DRAWING NO.
DA1012

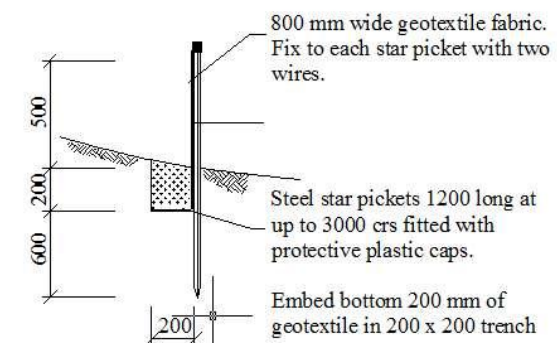
Plot Date: 6/09/2021
Sheet Size: A3



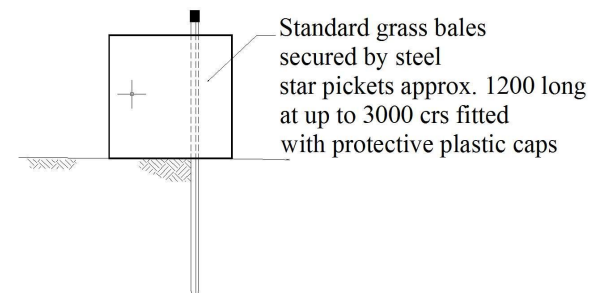
Denotes New Works

Wall Legend

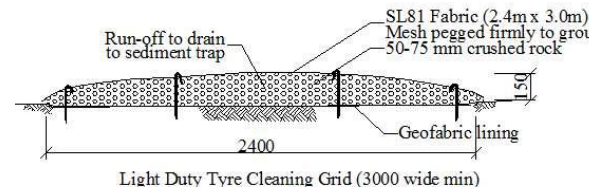
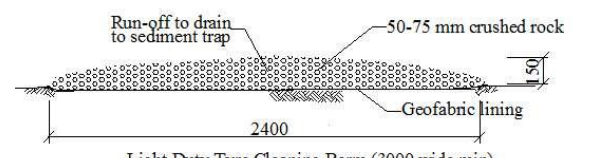
- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes Existing Wall
- Denotes Demolished Item



Typical Detail Sediment Control Barrier



Typical Detail Grass Bale Sediment Barrier



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NOTES

49 Quinlan Parade Manly Vale is not considered a heritage item. All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded Blue.

Construction

Framed Floors, Brick Veneer and Framed Walls
Roof Framed to have R1.45 Insulation
Insulation to External Brick Veneer and Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 2208-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Conditioning

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Basic

Basic Certificate Number A42882_02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each case, parapet, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	879.2m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Secondary Front Setback (Min.)	3.5m	Variation
Min. side bdy setback (Min.)	0.9m	Existing
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	53%	Yes
Impervious area (m ²)	47%	Yes
Maximum cut into gnd (m)	720mm	Yes
Maximum depth of fill (m)	675mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 6/09/2021
Project NO.: RP0920WVL
Project Status DA

Client Matt & Tracey Willis

Site: 49 Quinlan Parade Manly Vale



DRAWING TITLE: SITE AND LOCATION
Sediment & Erosion Plan

PROJECT NAME: **Alterations & Additions**

REVISION NO. DATE
- 6/9/21
DRAWING NO. **DA1013**

Plot Date: 6/09/2021
Sheet Size: A3



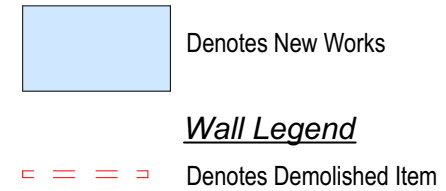
 Denotes New Timber Framed Wall
 Denotes New Masonry Wall
 Denotes Existing Wall
 Denotes Demolished Item



**Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancies
to Rapid Plans**



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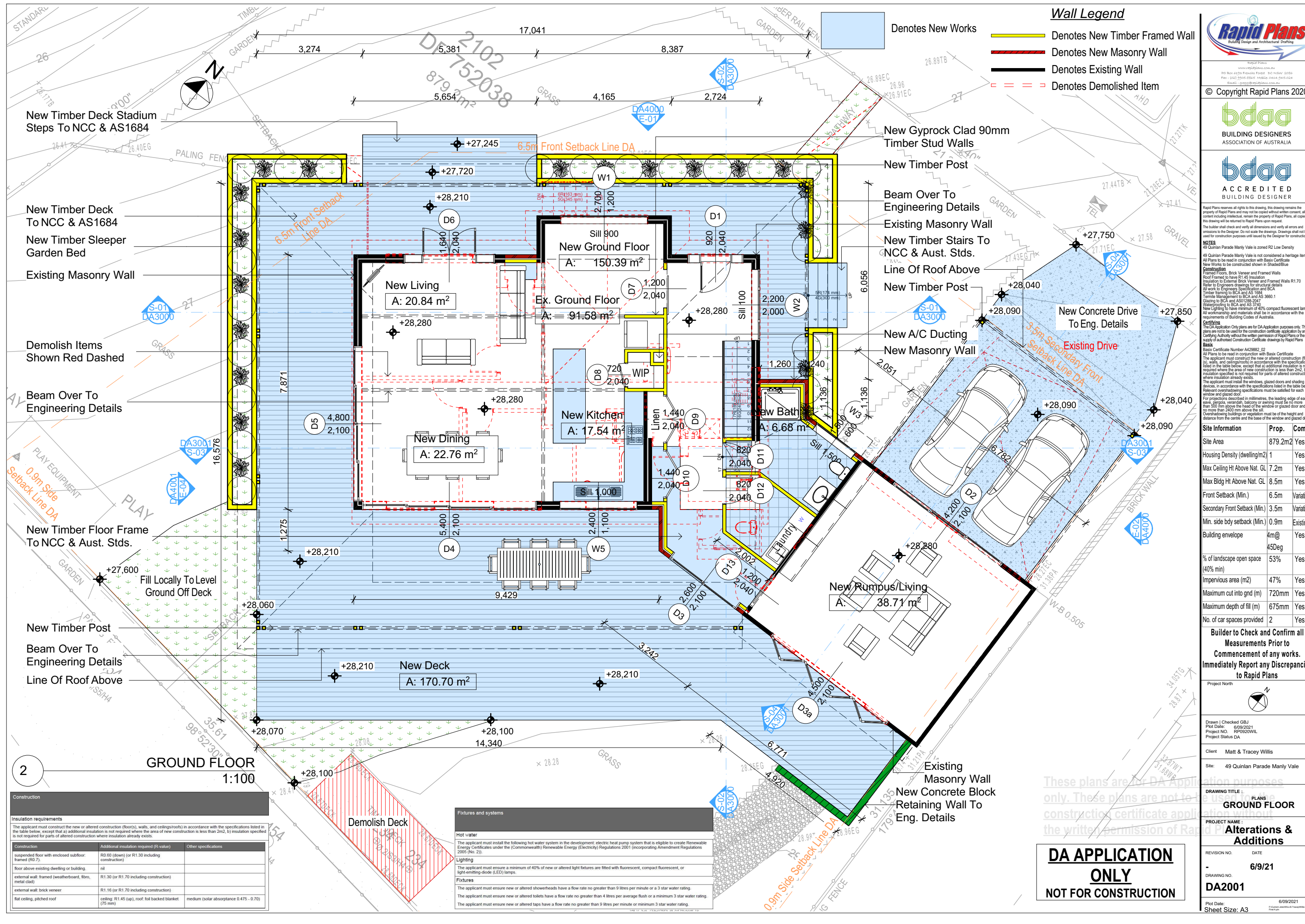
Proposed Stormwater Line To Be Fed Into The Existing Drainage System

Assumed Existing Stormwater. Plumber To Confirm Location Prior To Commencement

Plumber To Confirm Location Of Existing Stormwater/Sewer Prior To Commencement

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Site Information	Prop.	Comp.
Site Area	879.2m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Secondary Front Setback (Min.)	3.5m	Variation
Min. side by setback (Min.)	0.9m	Existing
Building envelope	4m@	Yes
	45Deg	
% of landscape open space (40% min)	53%	Yes
Impervious area (m ²)	47%	Yes
Maximum cut into gnd (m)	720mm	Yes
Maximum depth of fill (m)	675mm	Yes
No. of car spaces provided	2	Yes
Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans		
Project North		
		
[Drawn] [Checked] GBJ Project No. RP052021 Proj Status DA Project Status DA		
Client	Matt & Tracey Willis	
Site:	#9 Quinlan Parade Manly Vale	
DRAWING TITLE : SITE AND LOCATION Stormwater Plan		
PROJECT NAME : Alterations & Additions		
REVISION NO.	DATE	
	6/9/21	
DRAWING NO. DA1015		
Plot Date: 6/9/2021		
Sheet Size: A3		
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Wall Legend

- Denotes New Works
- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes Existing Wall
- Denotes Demolished Item

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NOTES
49 Quinlan Parade Manly Vale is zoned R2 Low Density
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each parapet, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	879.2m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Secondary Front Setback (Min.)	3.5m	Variation
Min. side bdy setback (Min.)	0.9m	Existing
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	53%	Yes
Impervious area (m ²)	47%	Yes
Maximum cut into gnd (m)	720mm	Yes
Maximum depth of fill (m)	675mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 6/09/2021
Project NO.: RP0920WVL
Project Status DA

Client: Matt & Tracey Willis

Site: 49 Quinlan Parade Manly Vale

DRAWING TITLE: **PLANS**
GROUND FLOOR

PROJECT NAME: **Alterations & Additions**

REVISION NO. DATE
- 6/9/21
DRAWING NO. **DA2001**

Plot Date: 6/09/2021
Sheet Size: A3

2

GROUND FLOOR
1:100

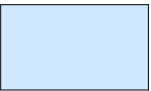
Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floors), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
suspended floor with enclosed subfloor: framed (R0.7)	R0.60 (down) (or R1.30 including construction)	
floor above existing dwelling or building	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

Fixtures and systems	
Hot water	
The applicant must install the following hot water system in the development: electric heat pump system that is eligible to create Renewable Energy Certificates under the (Commonwealth) Renewable Energy (Electricity) Regulations 2001 (incorporating Amendment Regulations 2005 (No. 2)).	
Lighting	
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	
Fixtures	
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.	
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.	
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	


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Construction		
Insulation requirements The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
suspended floor with enclosed subfloor: framed (R0.7)	R0.80 (down) (or R1.30 including construction)	
floor above existing dwelling or building	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Fixtures and systems	
Hot water The applicant must install the following hot water system in the development: electric heat pump system that is eligible to create Renewable Energy Certificates under the (Commonwealth) Renewable Energy (Electricity) Regulations 2001 (incorporating Amendment Regulations 2005 (No. 2)).	
Lighting The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	
Fixtures The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	


Denotes New Works

Wall Legend


Denotes Demolished Item



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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
49 Quinlan Parade Manly Vale is zoned R2 Low Density
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded Blue
Construction
Framed Floors, Brick Veneer and Framed Walls
Roof Framed to have R1.45 Insulation
Insulation to External Brick Veneer and Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1029.2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans
Basic Certificate Number A429882_02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	879.2m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Secondary Front Setback (Min.)	3.5m	Variation
Min. side bdy setback (Min.)	0.9m	Existing
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	53%	Yes
Impervious area (m ²)	47%	Yes
Maximum cut into gnd (m)	720mm	Yes
Maximum depth of fill (m)	675mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North


Drawn | Checked GBJ
Plot Date: 6/09/2021
Project NO: RP0920WHL
Project Status DA

Client Matt & Tracey Willis

Site: 49 Quinlan Parade Manly Vale

DRAWING TITLE: PLANS
ROOF

PROJECT NAME: **Alterations & Additions**

REVISION NO. DATE
- 6/9/21
DRAWING NO. **DA2003**

Plot Date: 6/09/2021
Sheet Size: A3

Demolish Existing Roof

New Skylight To Manufacturers Details

Line Of Wall Below Ground Floor

Line Of Wall Below First Floor

New Timber Framed Sheet Metal Roof Pitch 15°

New Timber Framed Sheet Metal Roof Pitch 15°

New Timber Framed Sheet Metal Roof Pitch 10°

New Timber Framed Sheet Metal Roof Pitch 2° With 600mm Wide Fascia

Glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
					>=0.43	6.44, SHGC: 0.75)
D3	S	5.46	0	0	projection/height above sill ratio >=0.43	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D4	SE	11.34	0	0	projection/height above sill ratio >=0.43	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D5	SW	10.08	0	0	projection/height above sill ratio >=0.43	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D6	NW	5.82	0	0	projection/height above sill ratio >=0.43	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D3a	S	9.45	0	0	projection/height above sill ratio >=0.29	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Skylights			
The applicant must install the skylights in accordance with the specifications listed in the table below.			
The following requirements must also be satisfied in relation to each skylight:			
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.			
Skylights glazing requirements			
Skylight number	Area of glazing inc. frame (m ²)	Shading device	Frame and glass type
S1	0.93	no shading	timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)
S2	0.65	no shading	timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)

Roof Plan
1:100

+35,183
5 RIDGE

+33,830
4 FCL

New Timber Floor Frame
To NCC & Aust. Stds.
New Cladded 90mm
Timber Framed Wall
+31,430

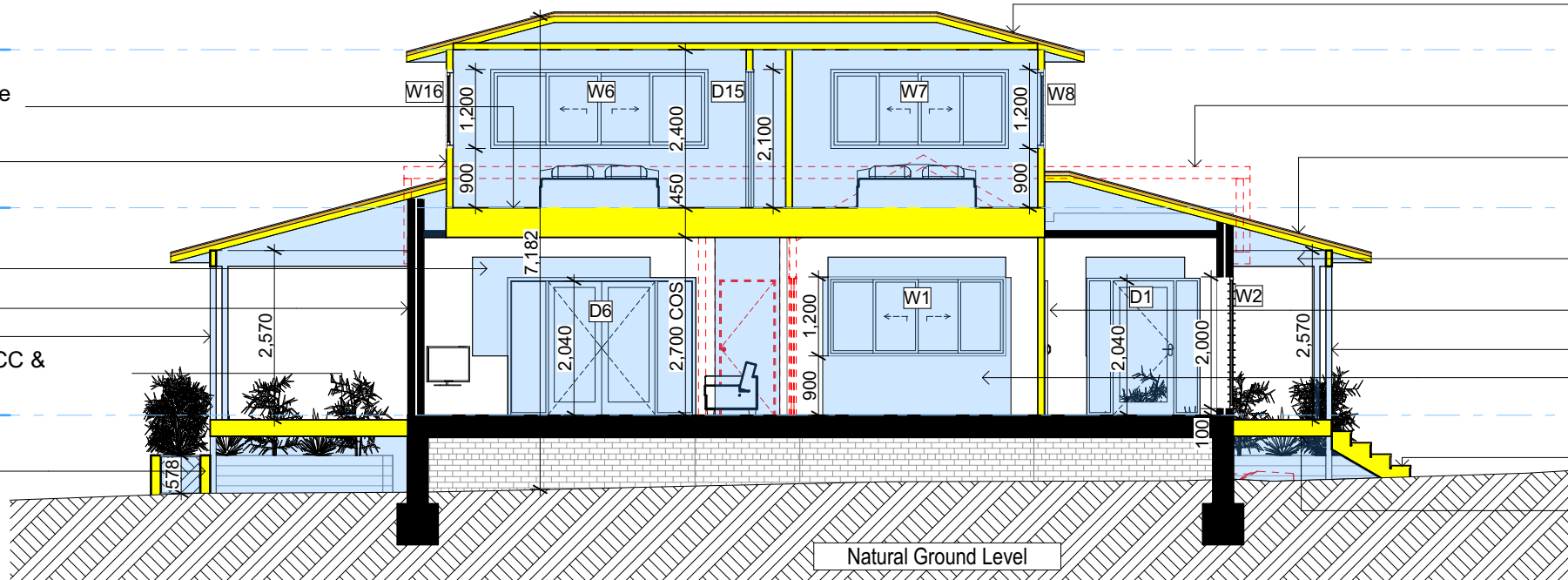
3 FIRST FLOOR

Block In Window
To Match Existing
Existing Masonry Wall
New Timber Post
New Timber Deck To NCC &
AS1684

+28,280

2 GROUND FLOOR

New Timber Sleeper
Garden Bed



S-01

SECTION 1
1:100

Construction			Fixtures and systems	
Insulation requirements			Hot water	
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			The applicant must install the following hot water system in the development: electric heat pump system that is eligible to create Renewable Energy Certificates under the (Commonwealth) Renewable Energy (Electricity) Regulations 2001 (incorporating Amendment Regulations 2005 (No. 2)).	
Construction	Additional insulation required (R-value)	Other specifications	Lighting	
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)		The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	
floor above existing dwelling or building.	nil		Fixtures	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.	
external wall: brick veneer	R1.16 (or R1.70 including construction)		The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.	
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)	The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	

New Skylight To
Manufacturers Details

+35,183
5 RIDGE

+33,830
4 FCL

New Gyprock Clad 90mm
Timber Stud Walls
New Timber Floor Frame
To NCC & Aust. Stds.

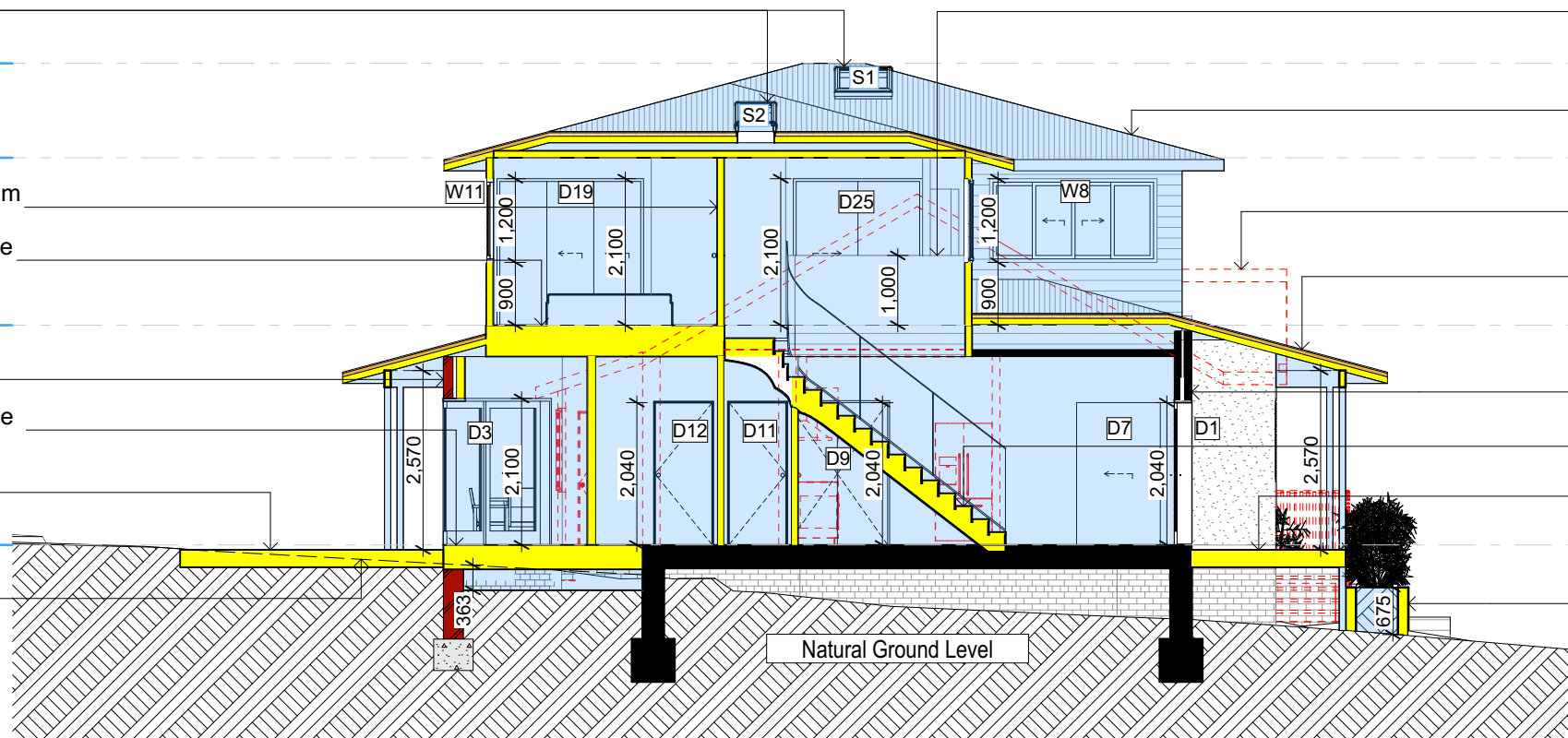
+31,430
3 FIRST FLOOR

New Masonry Wall
New Timber Floor Frame
To NCC & Aust. Stds.

New Timber Deck
To NCC & AS1684

+28,280
2 GROUND FLOOR

Line Of Natural
Ground Level



S-02

SECTION 2
1:100

+35,183
5 RIDGE
New Timber Framed Sheet
Metal Roof Pitch 15°
+33,830
4 FCL

Demolish Items
Shown Red Dashed
New Timber Framed Sheet
Metal Roof Pitch 15°
+31,430

3 FIRST FLOOR

Beam Over To Engineering Details

New Gyprock Clad 90mm
Timber Stud Walls
New Timber Post
Block In Door To Match Existing

+28,280

2 GROUND FLOOR

New Timber Stairs To
NCC & Aust. Stds.
New Timber Deck To
NCC & AS1684

New 1000mm High Solid
Handrail To NCC & Aust. Stds.

+35,183
5 RIDGE

New Timber Framed Sheet
Metal Roof Pitch 15°
+33,830
4 FCL

Demolish Items
Shown Red Dashed
New Timber Framed Sheet
Metal Roof Pitch 15°
+31,430

3 FIRST FLOOR

Existing Masonry Wall
New Timber Stairs & Handrail
To NCC & Aust. Stds.
New Timber Deck To
NCC & AS1684

+28,280
2 GROUND FLOOR

New Timber Sleeper
Garden Bed

Denotes New Works

Wall Legend

Denotes New Timber Framed Wall
Denotes New Masonry Wall
Denotes Existing Wall
Denotes Demolished Item

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION



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Building Design and Architectural Drafting

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bdca
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



bdca
ACCREDITED
BUILDING DESIGNER

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NOTES
49 Quinlan Parade Manly Vale is not considered a heritage item. All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded Blue.

Construction
Framed Floors, Brick Veneer and Framed Walls
Roof Framed to have R1.45 Insulation
Insulation to External Brick Veneer and Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1029.2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic
Basic Certificate Number A42882_02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	879.2m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Secondary Front Setback (Min.)	3.5m	Variation
Min. side bdy setback (Min.)	0.9m	Existing
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	53%	Yes
Impervious area (m2)	47%	Yes
Maximum cut into gnd (m)	720mm	Yes
Maximum depth of fill (m)	675mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ
Plot Date: 6/09/2021
Project NO.: RP0920WVL
Project Status DA

Client Matt & Tracey Willis

Site: 49 Quinlan Parade Manly Vale

DRAWING TITLE: SECTIONS
SECTION 1

PROJECT NAME: Alterations & Additions

REVISION NO. DATE

- 6/9/21

DRAWING NO. DA3000

Plot Date: 6/09/2021
Sheet Size: A3

New Timber Stairs & Handrail
To NCC & Aust. Stds.

+35,183

5 RIDGE

New Timber Framed Sheet
Metal Roof Pitch 15°

+33,830

4 FCL

Existing Parapet Wall

New Timber Framed Sheet
Metal Roof Pitch 2° With
600mm Wide Fascia

+31,430

3 FIRST FLOOR

Block In Door To
Match Existing

New Concrete Slab
To Eng. Details

+28,280

2 GROUND FLOOR

Demolish Items
Shown Red Dashed
Line Of Natural
Ground Level

New Skylight To Manufacturers Details

S2

D20

D21

D22

D24

W15

New Cladded 90mm
Timber Framed Wall
Demolish Items
Shown Red Dashed

+31,430

3 FIRST FLOOR

Existing Masonry Wall
Beam Over To
Engineering Details
New Timber Post

New Timber Deck To NCC
& AS1684

+28,280

2 GROUND FLOOR

New Timber Sleeper
Garden Bed

Natural Ground Level

S-03

SECTION 3

1:100

+35,183

5 RIDGE

+33,830

4 FCL

New Timber Framed Sheet
Metal Roof Pitch 10°

+31,430

3 FIRST FLOOR

Existing Masonry Wall

+28,280

2 GROUND FLOOR

+35,183

5 RIDGE

+33,830

4 FCL

New Timber Framed Sheet Metal Roof
Pitch 2° With 600mm Wide Fascia

New Box Gutter To Eng. Details

+31,430

3 FIRST FLOOR

New Timber Post

New Fill Under Drive

New Concrete Drive
To Eng. Details

+28,280

2 GROUND FLOOR

Demolish Existing Drive

S-04

SECTION DRIVE

1:100

**DA APPLICATION
ONLY**
NOT FOR CONSTRUCTION

NOTES

49 Quinlan Parade Manly Vale is zoned R2 Low Density
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
49 Quinlan Parade Manly Vale is not considered a heritage item

Certifying

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Construction

Framed Floors, Brick Veneer and Framed Walls
Roof Framed to have R1.45 Insulation
Insulation to External Brick Veneer and Framed Walls
R1.60 to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A429882_02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m².
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
suspended floor with enclosed subfloor: framed (R0.7)	R0.60 (down) (or R1.30 including construction)	
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)
Fixtures and systems		
Hot water		
The applicant must install the following hot water system in the development: electric heat pump system that is eligible to create Renewable Energy Certificates under the (Commonwealth) Renewable Energy (Electricity) Regulations 2001 (incorporating Amendment Regulations 2005 (No. 2)).		
Lighting		
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		
Fixtures		
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		



Denotes New Works

Wall Legend



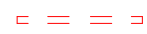
Denotes New Timber Framed Wall



Denotes New Masonry Wall



Denotes Existing Wall



Denotes Demolished Item

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	879.2m ²	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	53%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	47%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	720mm	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	675mm	Yes
Secondary Front Setback (Min.)	3.5m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Existing			



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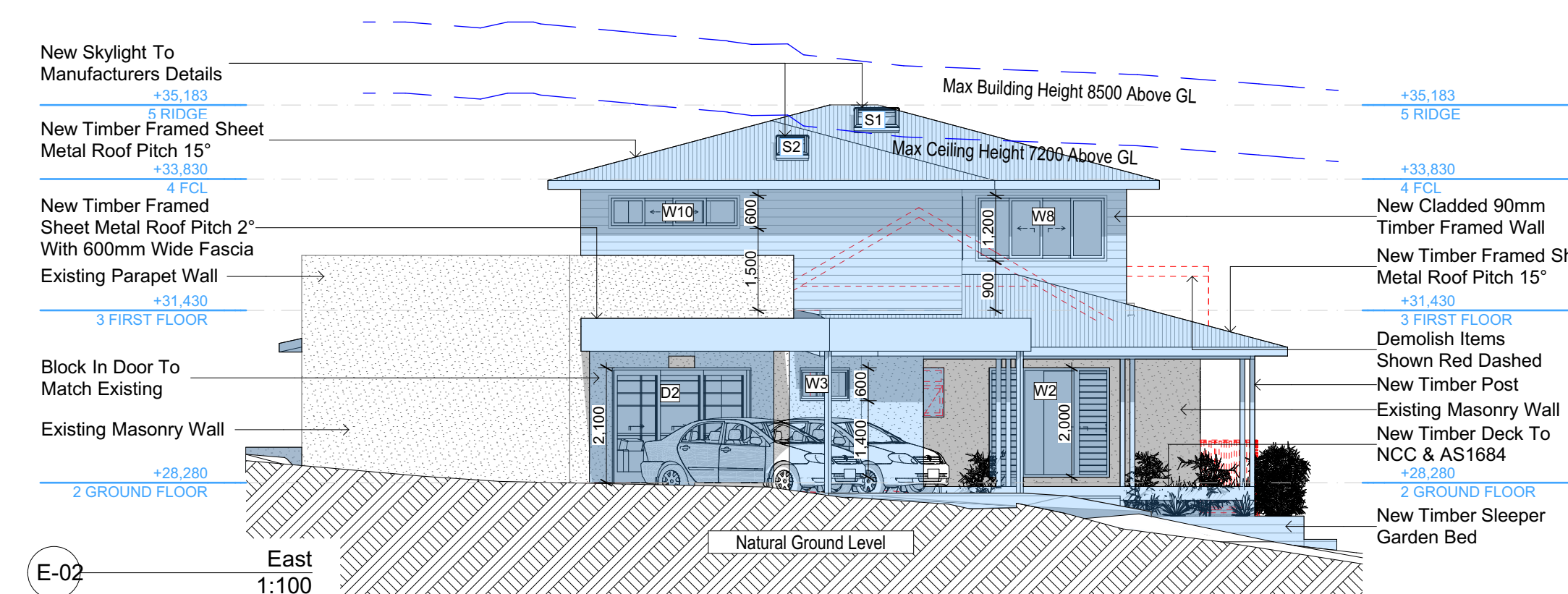
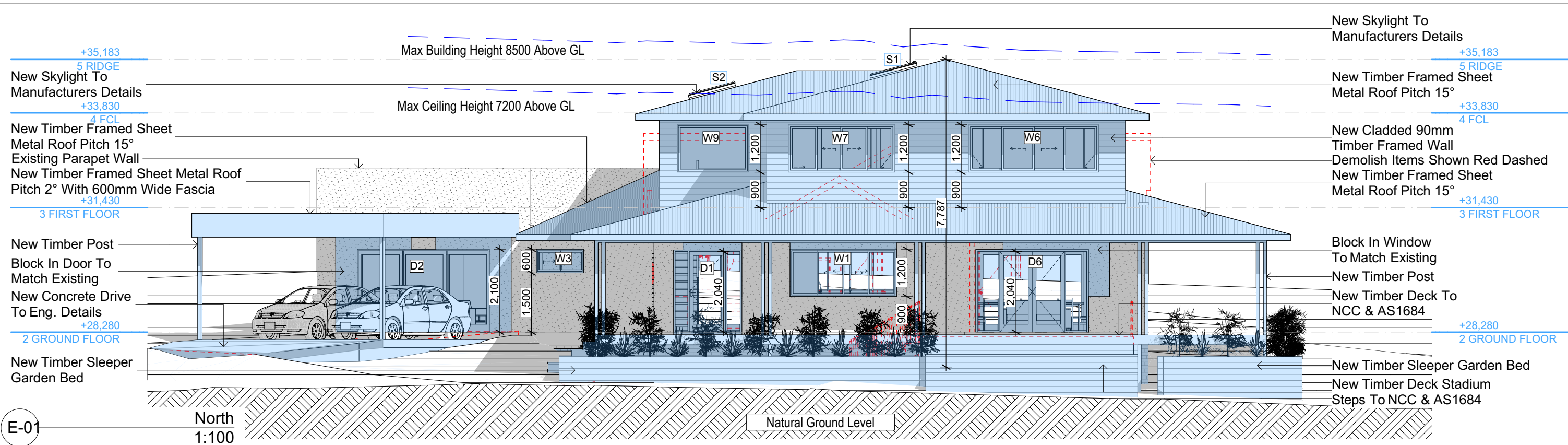
Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Project North
Checked
Plot Date: 6/09/2021
Project NO: RP0920WIL
Project Status: DA
Client: Matt & Tracey Willis
Site: 49 Quinlan Parade Manly Vale
Sheet Size: A3

DRAWING TITLE :
**SECTIONS
SECTION 2**
PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE: 6/9/21
DRAWING NO.
DA3001



Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W1	NW	3.24	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	NE	4.4	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	N	0.9	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W5	SE	2.64	0	0	eave/verandah/pergola/balcony	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Denotes New Works

Wall Legend

Denotes Demolished Item

NOTES

49 Quinlan Parade Manly Vale is zoned R2 Low Density

All Plans to be read in conjunction with Basix Certificate

New Works to be constructed shown in Shaded/Blue

49 Quinlan Parade Manly Vale is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Framed Floors, Brick Veneer and Framed Walls

Roof Framed to have R1.45 Insulation

Insulation to External Brick Veneer and Framed Walls

R6160 to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A429882_02

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m²

b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	879.2m ²	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	53%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	47%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	720mm	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	675mm	Yes
Secondary Front Setback (Min.)	3.5m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Existing			

DA APPLICATION ONLY

NOT FOR CONSTRUCTION



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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Checked Plot Date: Project NO. Project Status

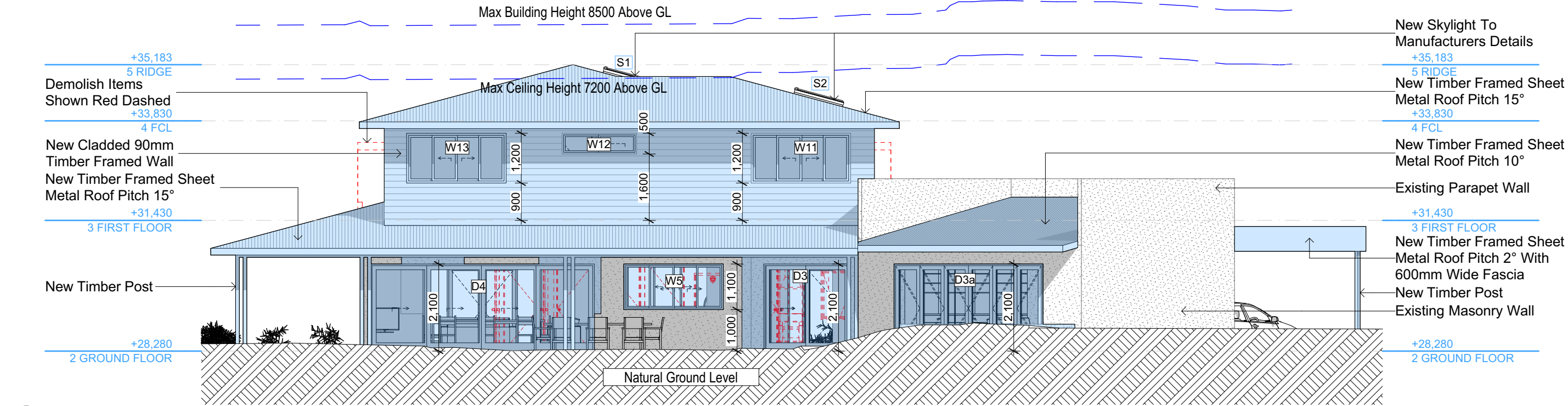
Client Site:

Sheet Size: A3

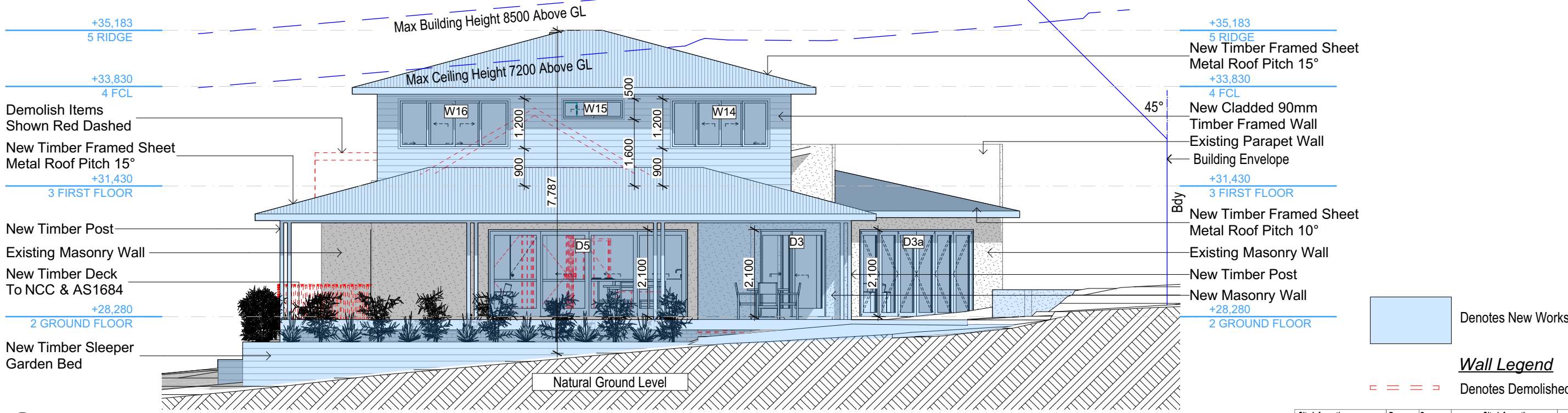
DRAWING TITLE : ELEVATIONS ELEVATIONS 1

PROJECT NAME : Alterations & Additions

REVISION NO. DATE: 6/9/21 DRAWING NO. DA4000



E-03
South
1:100



E-04
West
1:100

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
49 Quinlan Parade Manly Vale is zoned R2 Low Density
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
49 Quinlan Parade Manly Vale is not considered a heritage item

Certifying
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Construction
Framed Floors, Brick Veneer and Framed Walls
Roof Framed to have R1.45 Insulation
Insulation to External Brick Veneer and Framed Walls
R6680 to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A429882_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2.
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	879.2m2	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	53%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	47%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	720mm	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	675mm	Yes
Secondary Front Setback (Min.)	3.5m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Existing			



1
-

Perspective 1
1:200

Glazing requirements					
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device
					>=900 mm
W6	NW	3.96	0	0	eave/verandah/pergola/balcony >=600 mm
W7	NW	3.24	0	0	eave/verandah/pergola/balcony >=600 mm
W8	NE	2.88	0	0	eave/verandah/pergola/balcony >=600 mm
W9	NW	2.16	0	0	eave/verandah/pergola/balcony >=600 mm
W10	NE	1.44	0	0	eave/verandah/pergola/balcony >=600 mm
W11	SE	2.88	0	0	eave/verandah/pergola/balcony >=600 mm
W12	SE	0.9	0	0	eave/verandah/pergola/balcony >=600 mm
W13	SE	2.88	0	0	eave/verandah/pergola/balcony >=600 mm
W14	SW	2.88	0	0	eave/verandah/pergola/balcony >=600 mm
W15	SW	0.75	0	0	eave/verandah/pergola/balcony >=600 mm
W16	SW	3.24	0	0	eave/verandah/pergola/balcony >=600 mm
D1	NW	3.58	0	0	projection/height above sill ratio >=0.43
D2	N	8.82	0	0	projection/height above sill ratio

Glazing requirements					
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device
					>=0.43
D3	S	5.46	0	0	projection/height above sill ratio >=0.43
D4	SE	11.34	0	0	projection/height above sill ratio >=0.43
D5	SW	10.08	0	0	projection/height above sill ratio >=0.43
D6	NW	5.82	0	0	projection/height above sill ratio >=0.43
D3a	S	9.45	0	0	projection/height above sill ratio >=0.29

Skylights glazing requirements			
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	0.93	no shading	timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)
S2	0.65	no shading	timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)

Skylights

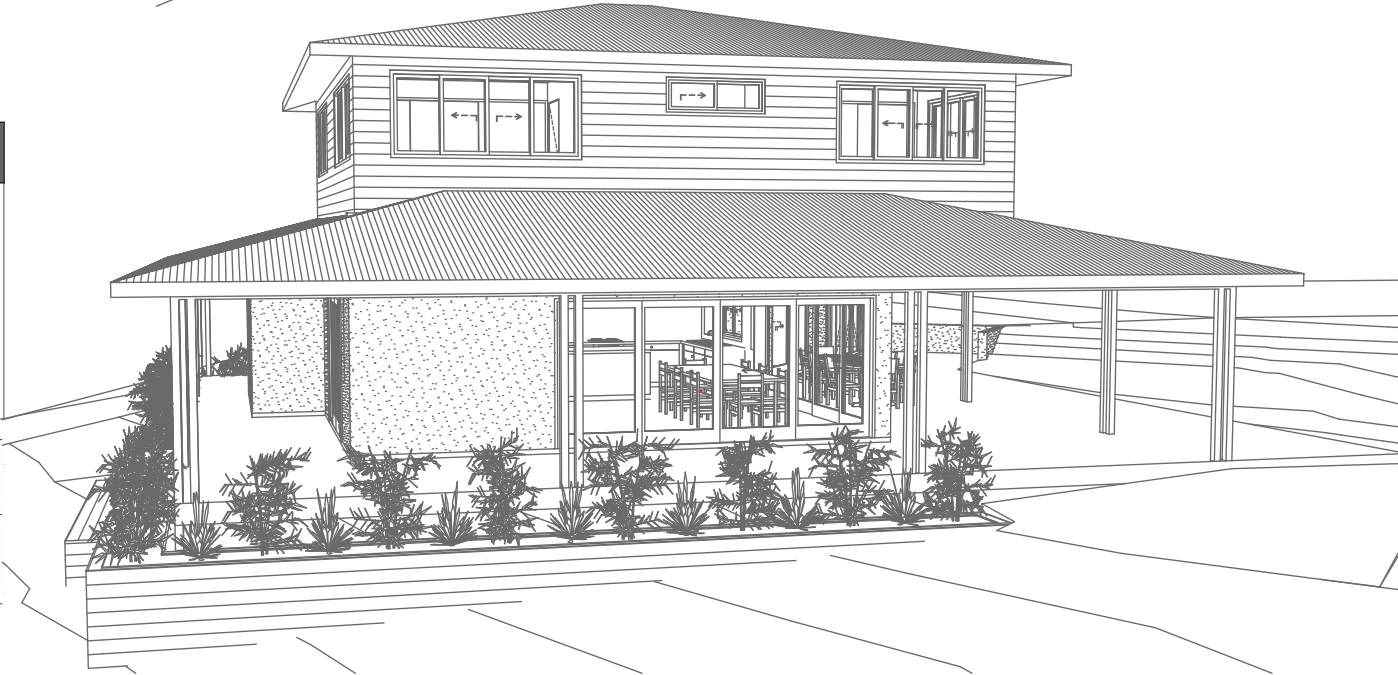
The applicant must install the skylights in accordance with the specifications listed in the table below.
The following requirements must also be satisfied in relation to each skylight:
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.



3
-

Perspective 3
1:200

Glazing requirements					
Windows and glazed doors					
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.					
The following requirements must also be satisfied in relation to each window and glazed door:					
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.					
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.					
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.					
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.					
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.					
Windows and glazed doors glazing requirements					
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device
W1	NW	3.24	0	0	eave/verandah/pergola/balcony >=900 mm
W2	NE	4.4	0	0	eave/verandah/pergola/balcony >=900 mm
W3	N	0.9	0	0	eave/verandah/pergola/balcony >=600 mm
W5	SE	2.64	0	0	eave/verandah/pergola/balcony



2
-

Perspective 2
1:200

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
49 Quinlan Parade Manly Vale is zoned R2 Low Density
49 Quinlan Parade Manly Vale is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Framed Floors, Brick Veneer and Framed Walls
Roof Framed to have R1.45 Insulation
Insulation to External Brick Veneer and Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1078-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic
Basic Certificate Number A42882_02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	879.2m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Secondary Front Setback (Min.)	3.5m	Variation
Min. side bdy setback (Min.)	0.9m	Existing
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	53%	Yes
Impervious area (m2)	47%	Yes
Maximum cut into gnd (m)	720mm	Yes
Maximum depth of fill (m)	675mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 6/09/2021
Project NO.: RP0920WVL
Project Status DA

Client Matt & Tracey Willis

Site: 49 Quinlan Parade Manly Vale

DRAWING TITLE : SHADOW PLANS
PERSPECTIVE

PROJECT NAME : **Alterations & Additions**

REVISION NO.	DATE
-	6/9/21

DRAWING NO. **DA5000**

Plot Date: 6/09/2021
Sheet Size: A3



Denotes Rendered Wall (Typical).
Owner To Confirm Type & Colour



Denotes Sheet Metal Roof (Typical).
Owner To Confirm Type & Colour



Denotes Concrete Drive (Typical).
Owner To Confirm Type & Colour



Denotes Timber Deck (Typical).
Owner To Confirm Type & Colour



Denotes Timber Stadium Stairs (Typical).
Owner To Confirm Type & Colour



Denotes Timber Sleeper Garden Bed (Typical).
Owner To Confirm Type & Colour

Glazing requirements						
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.						
The following requirements must also be satisfied in relation to each window and glazed door:						
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.						
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.						
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.						
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.						
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.						
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Height (m)	Distance (m)	Shading device	Frame and glass type
W1	NW	3.24	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	NE	4.4	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	N	0.9	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W5	SE	2.64	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Glazing requirements						
Skylights						
The applicant must install the skylights in accordance with the specifications listed in the table below.						
The following requirements must also be satisfied in relation to each skylight:						
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.						
Skylights glazing requirements						
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type			
S1	0.93	no shading	timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)			
S2	0.65	no shading	timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)			

Glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Height (m)	Distance (m)	Shading device	Frame and glass type
W6	NW	3.96	0	0	>=900 mm eave/verandah/pergola/balcony >=900 mm	6.44, SHGC: 0.75 improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W7	NW	3.24	0	0	>=600 mm eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W8	NE	2.88	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W9	NW	2.16	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W10	NE	1.44	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W11	SE	2.88	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W12	SE	0.9	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W13	SE	2.88	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W14	SW	2.88	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W15	SW	0.75	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W16	SW	3.24	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D1	NW	3.58	0	0	projection/height above sill ratio >=0.43	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D2	N	8.82	0	0	projection/height above sill ratio	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

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NOTES
49 Quinlan Parade Manly Vale is zoned R2 Low Density

49 Quinlan Parade Manly Vale is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in ShadedBlue

Construction
Framed Floors, Brick Veneer and Framed Walls
Roof Framed to have R1.45 Insulation
Insulation to External Brick Veneer and Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 198
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS198-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Conditioning
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Basic
Basic Certificate Number A42882_02
All Plans to be read in conjunction with Basic Certificate
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	879.2m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Secondary Front Setback (Min.)	3.5m	Variation
Min. side bdy setback (Min.)	0.9m	Existing
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	53%	Yes
Impervious area (m2)	47%	Yes
Maximum cut into gnd (m)	720mm	Yes
Maximum depth of fill (m)	675mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ
Plot Date: 6/09/2021
Project NO.: RP0920WVL
Project Status DA

Client Matt & Tracey Willis

Site: 49 Quinlan Parade Manly Vale

DRAWING TITLE SHADOW PLANS
MATERIAL & COLOUR SAMPLE BOARD

PROJECT NAME:
Alterations & Additions

REVISION NO.	DATE
-	6/9/21

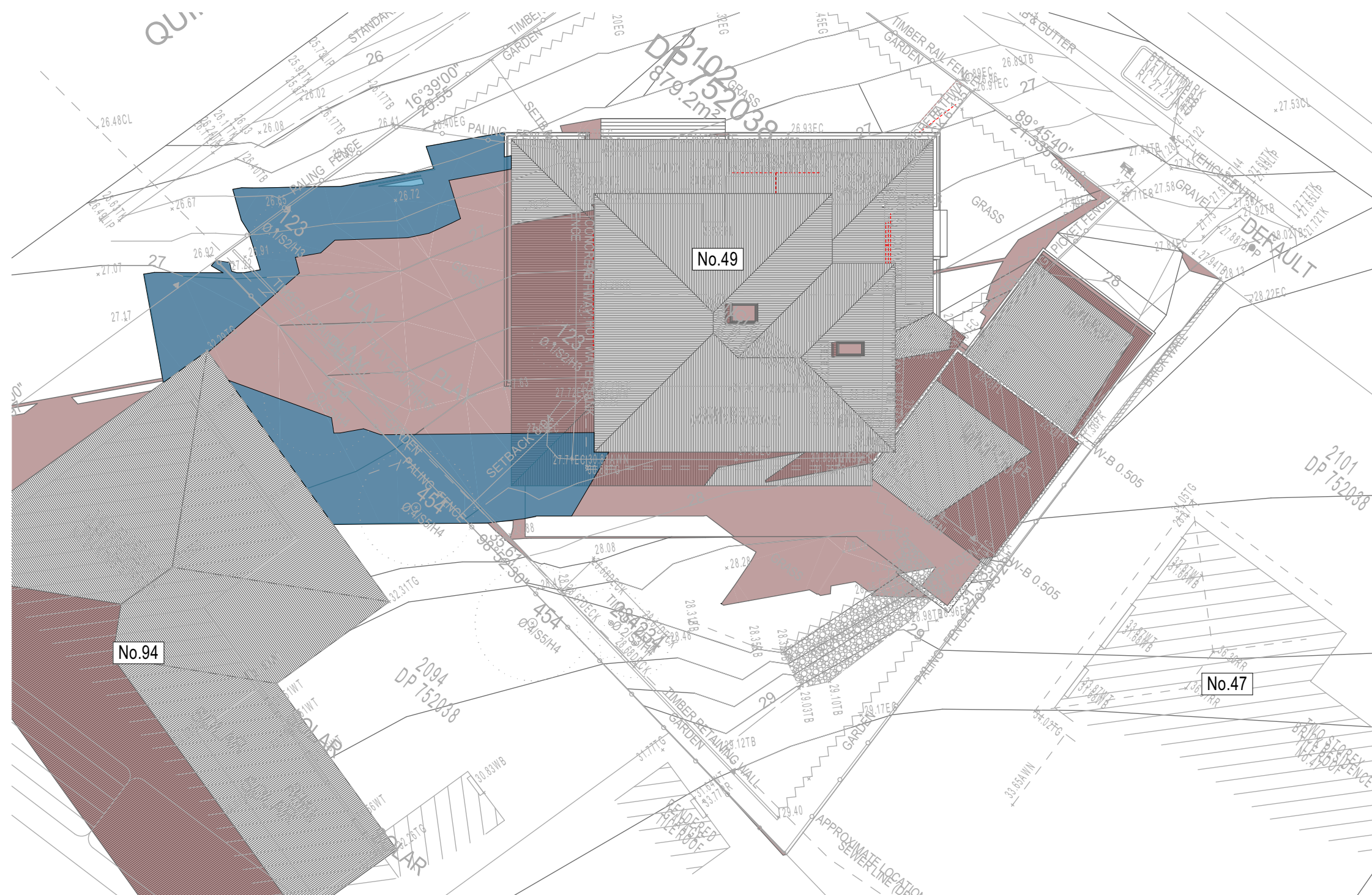
DRAWING NO.
DA5001

Plot Date: 6/09/2021
Sheet Size: A3

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Denotes Proposed Shadow

Denotes Existing Shadow



01 SHADOW PLAN 21 JUN at 0900h
1:200

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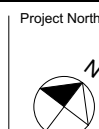
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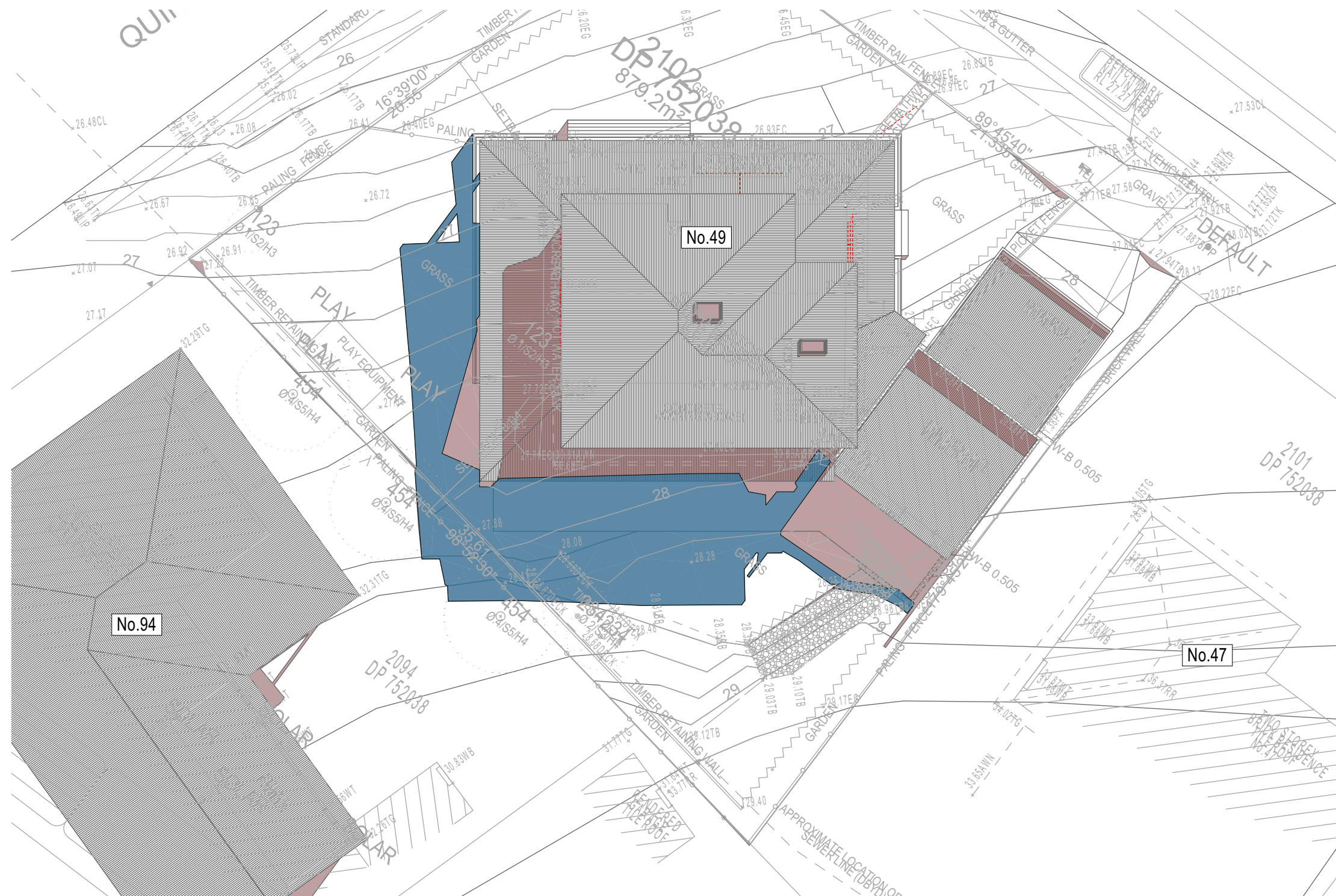
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Plot Date: 6/09/2021
Project NO: RP0920WIL
Project Status: DA
Client: Matt & Tracey Willis
Site: 49 Quinlan Parade Manly Vale
Sheet Size: A3

DRAWING TITLE : SHADOW PLANS
**SHADOW PLAN 21st June
9am**
PROJECT NAME : **Alterations & Additions**

REVISION NO.
-
DATE: **6/9/21**
DRAWING NO.
DA5002

Denotes Proposed Shadow

Denotes Existing Shadow



02 SHADOW PLAN 21 JUN at 1200h
1:200

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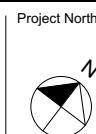


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Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status

Client
Site:

Sheet Size: A3

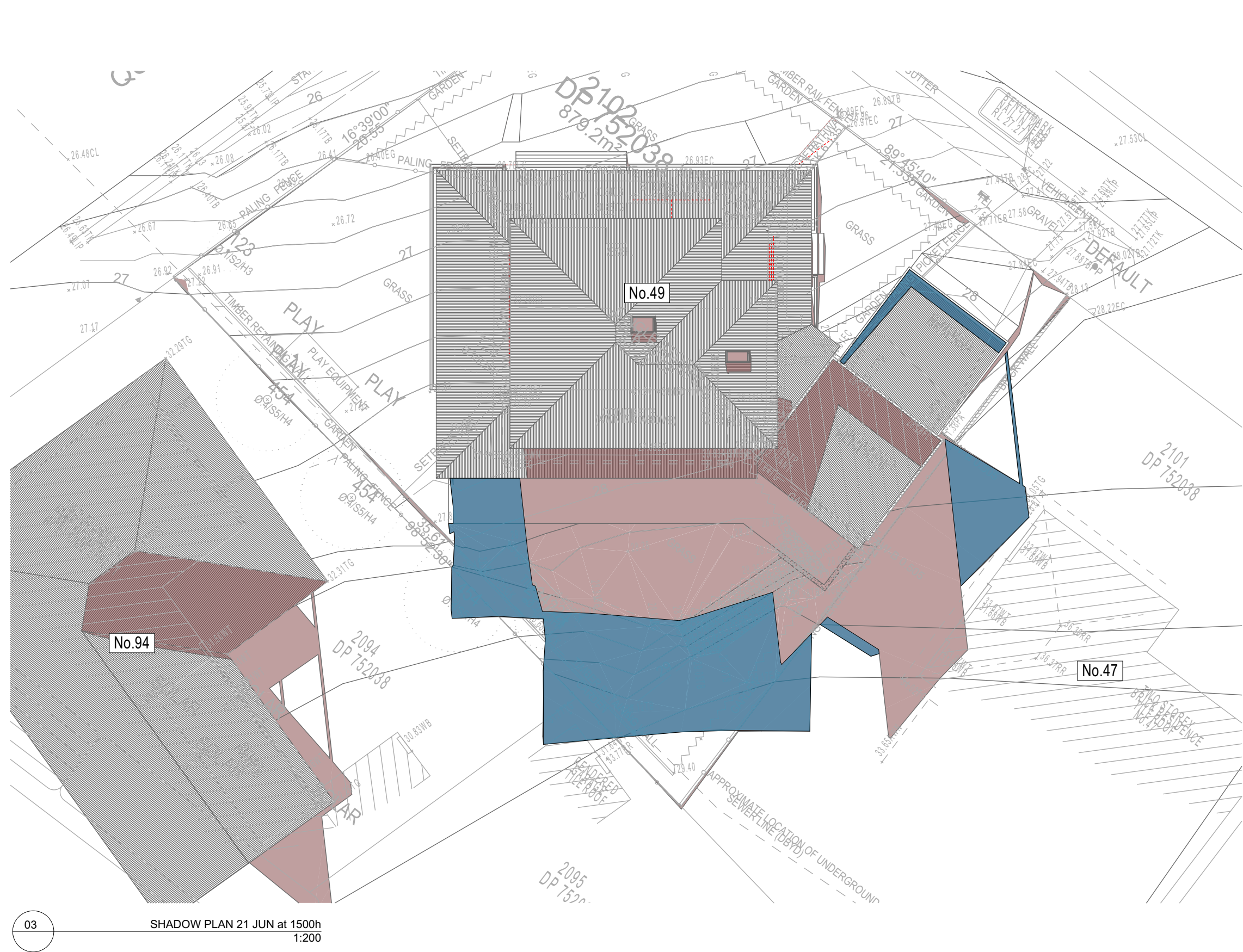
GBJ
6/09/2021
RP0920WIL
DA

Matt & Tracey Willis
49 Quinlan Parade Manly Vale

DRAWING TITLE : SHADOW PLANS
SHADOW PLAN 21st June
12pm

PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE
6/9/21
DRAWING NO.
DA5003



03 SHADOW PLAN 21 JUN at 1500h
1:200

Denotes Proposed Shadow

Denotes Existing Shadow

DA APPLICATION ONLY
NOT FOR CONSTRUCTION



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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



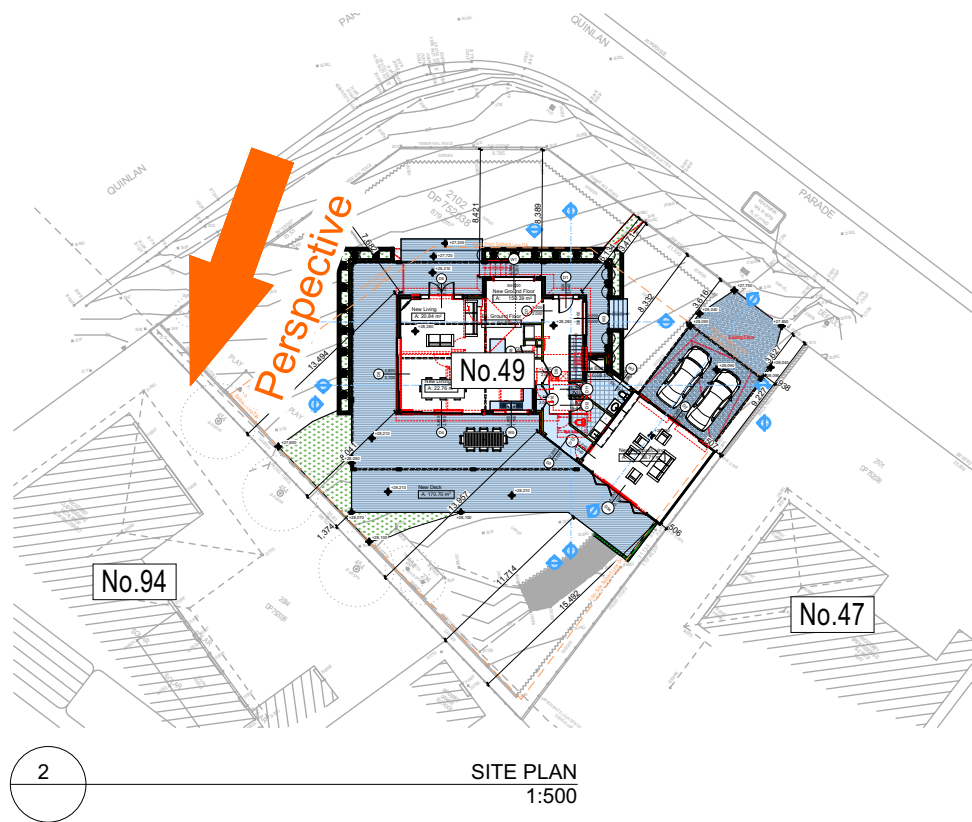
Checked
Plot Date:
Project NO.
Project Status

GBJ
6/09/2021
RP0920WIL
DA
Client
Site:
Matt & Tracey Willis
49 Quinlan Parade Manly Vale

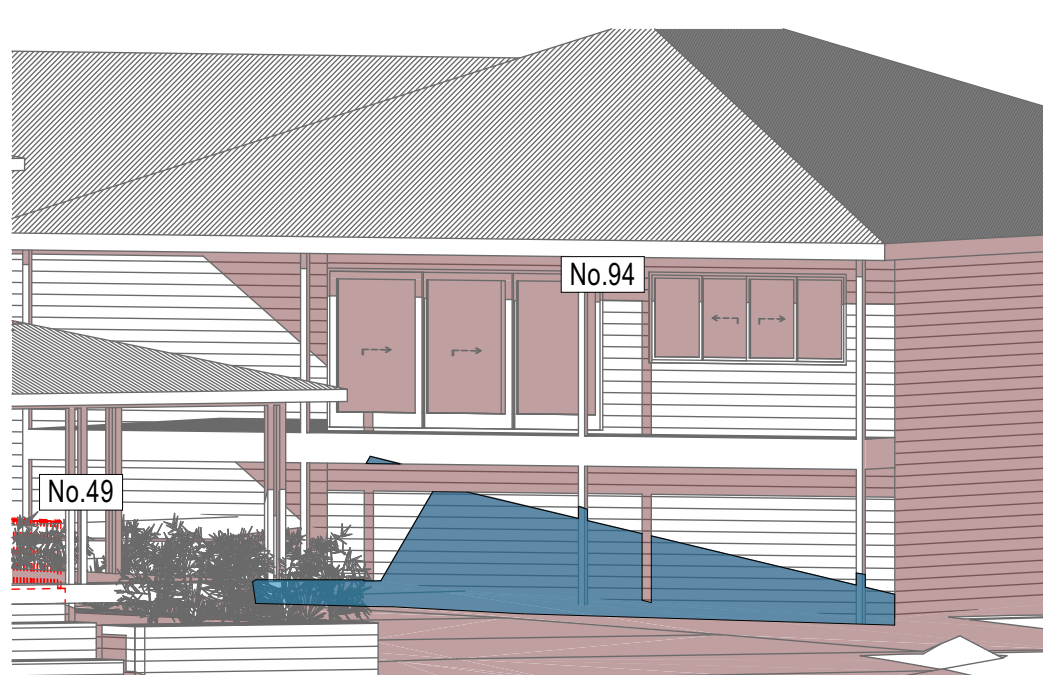
Sheet Size: A3

DRAWING TITLE : SHADOW PLANS
SHADOW PLAN 21st June
3pm
PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE:
6/9/21
DRAWING NO.
DA5004



SITE PLAN
1:500



4 SHADOW ELEVATION 21 JUN at 0900h
1:100

Denotes Proposed Shadow

Denotes Existing Shadow

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NOTES
49 Quinlan Parade Manly Vale is zoned R2 Low Density
49 Quinlan Parade Manly Vale is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be completed in Shaded Blue
Construction
Framed Floors, Brick Veneer and Framed Walls
Roof Framed to have R1.45 Insulation
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1019.2-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Conditioning
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic
Basic Certificate Number A429882_02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopole, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	879.2m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Secondary Front Setback (Min.)	3.5m	Variation
Min. side bdy setback (Min.)	0.9m	Existing
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	53%	Yes
Impervious area (m ²)	47%	Yes
Maximum cut into gnd (m)	720mm	Yes
Maximum depth of fill (m)	675mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 6/09/2021
Project NO.: RP0920WVL
Project Status DA

Client Matt & Tracey Willis

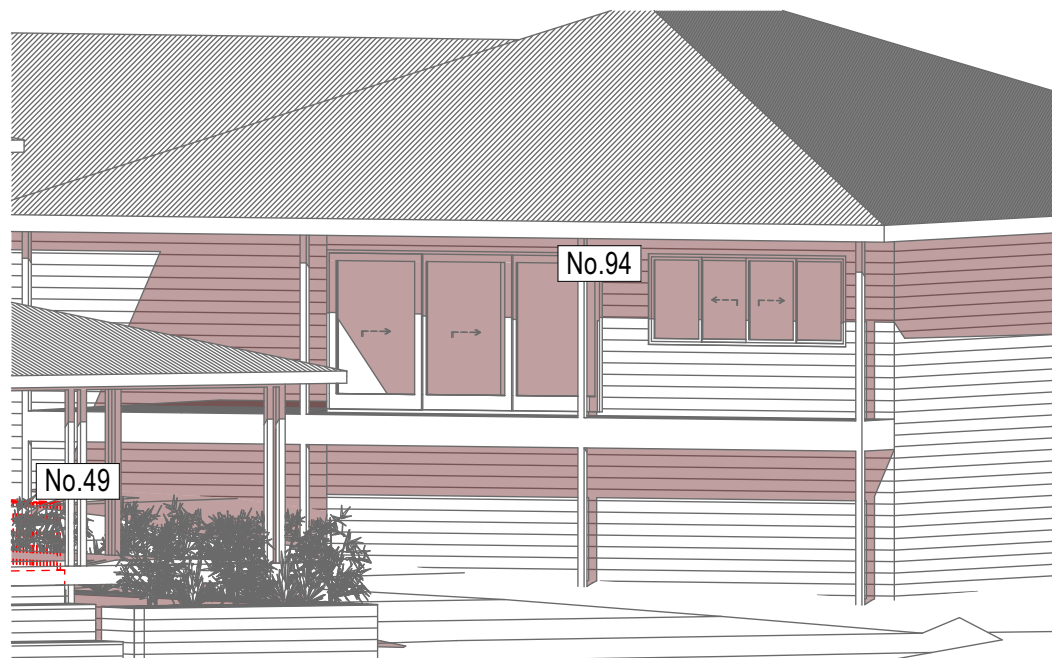
Site: 49 Quinlan Parade Manly Vale

DRAWING TITLE SHADOW PLANS
WALL ELEVATION SHADOWS

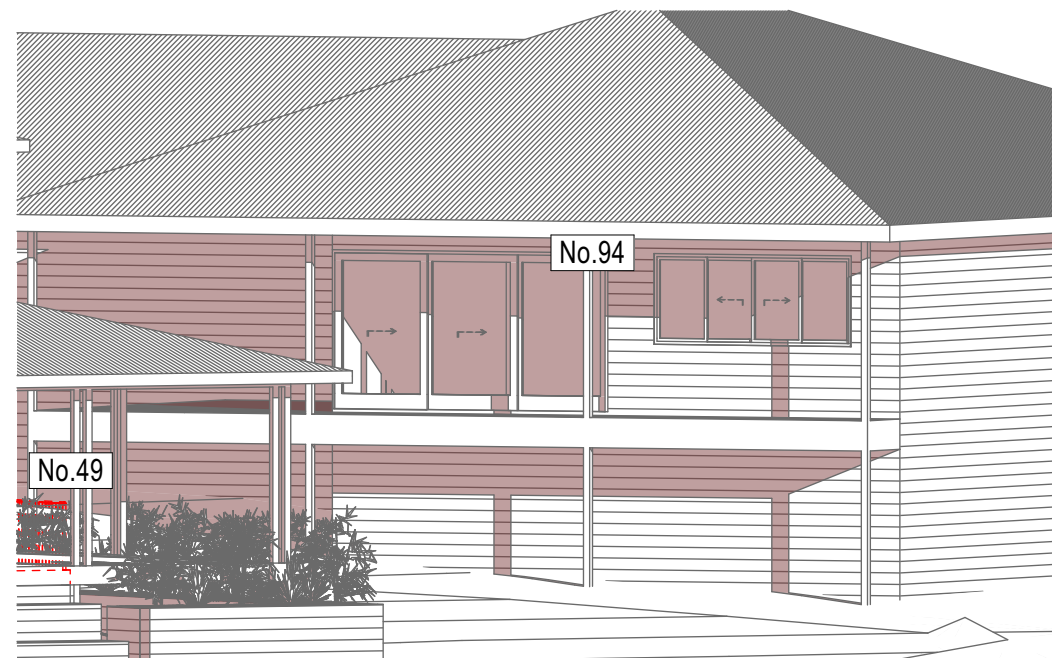
PROJECT NAME:
Alterations & Additions

REVISION NO. DATE
- 6/9/21
DRAWING NO.
DA5005

Plot Date: 6/09/2021
Sheet Size: A3



5 SHADOW ELEVATION 21 JUN at 1200h
1:100



6 SHADOW ELEVATION 21 JUN at 1500h
1:100

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**