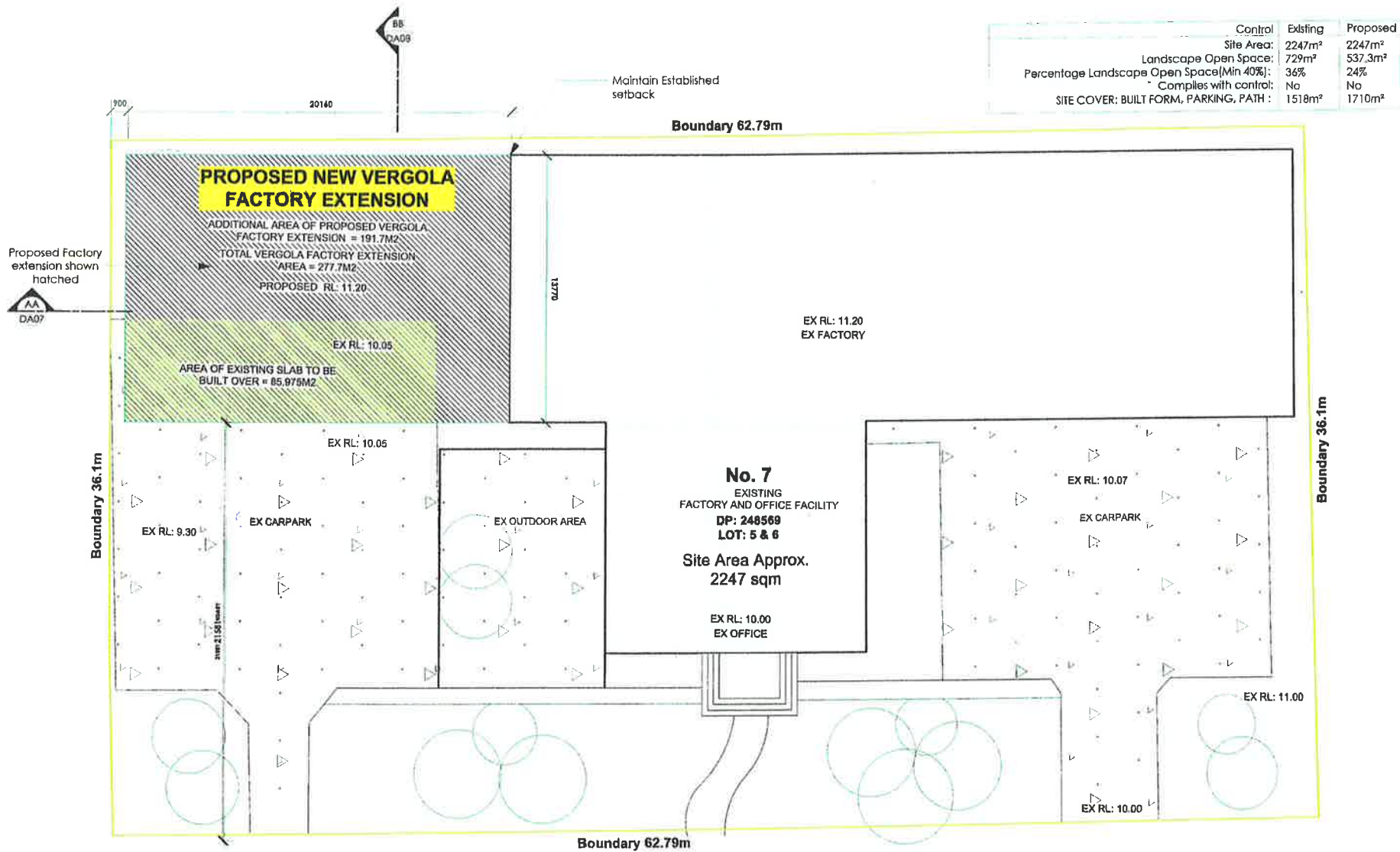


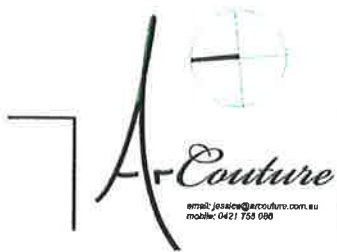


	Control	Existing	Proposed
Site Area:	2247m²	2247m²	
Landscape Open Space:	729m²	537.3m²	
Percentage Landscape Open Space(Min 40%):	36%	24%	
Complies with control:	No	No	
SITE COVER: BUILT FORM, PARKING, PATH:	1518m²	1710m²	

PROPOSED SITE PLAN

Scale 1:200

TEPKO ROAD



* This drawing and design are copyright and no portion may be reproduced without the written permission of ArCouture. Locate & Protect all services prior to construction.
 * Use written dimensions or grid lines in preference to scaled dimensions. Measurements for setting out work are to be checked on site. DO NOT SCALE FROM DRAWINGS.
 * This drawing is to be read in conjunction with all relevant consultant reports, the Engineer's Drawings & Specifications, Conditions of Contract and Accompanying Particular Specification.
 * Electronic data transfer should be secured for viruses before use and any loss or damage (past or present) is not the liability of the designer or ArCouture.
 * All work is to be done in accordance with the Australian Standards & relevant authorities.
 * Waterproof/ Weatherproofing Details to Meet Builders Industry Guidelines and to meet performance standards as well as Australian Standards.

Warehouse Extension

Proposed Site & Calculations Plan

TITLE
 CLIENT Peter Rust & Richard Howley
 7 Tepko Road, Teny Hills, 2084
 Lot 56 - DP - 590144
 AT

Issue	Description	Date	DATE	29.11.2019
A	Preliminary Development Application	14.03.2017	SCALE	1:200@ A3
B	Development Application	29.03.2019	DRAWN	JGW
C	DA Revisions & Updates	07.06.2019	JOB NO.	1611
D	Development Application	29.11.2019		

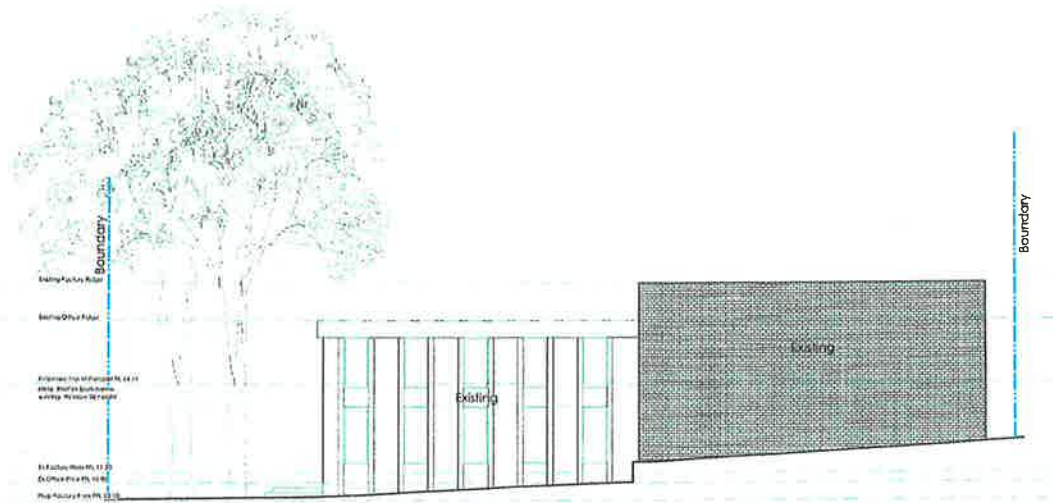
DWG
{DA02}
 ISSUE **D**

Legend

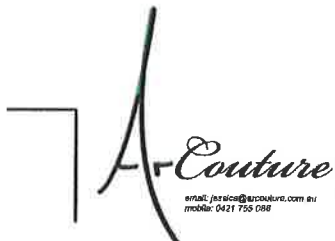
- C.P Precast Concrete Panels
- GL Glass
- P.1 Point Finish 1
- M.R Metal Roofing
- R.D Roller Door



North Elevation 1:200



South Elevation - No Change



* This drawing and design are copyright and no portion may be reproduced without the written permission of the designer. Local & Project all services prior to construction.
 * Use written dimensions or grid lines in preference to scaled dimensions. Measurements to existing work are to be checked on site. DO NOT SCALE FROM DRAWINGS.
 * This drawing is to be used in conjunction with all relevant council reports, the Engineer's drawings & specifications, Conditions of Contract and accompanying technical specification.
 * Electronic data transfer should be scanned for viruses before use and any loss or damage (not consequential damage) caused to the recipient of electronic data, by its direct or indirect use, is not the liability of the designer or the contractor.
 * All work is to be in accordance with AS/NZS 1170:2002 Australian Standards and all relevant authorities.
 * Waterproofing: Waterproofing Details to Master Builders Industry Guidelines and to meet performance standards as well as Australian Standards.

Warehouse Extension

North & South Elevation

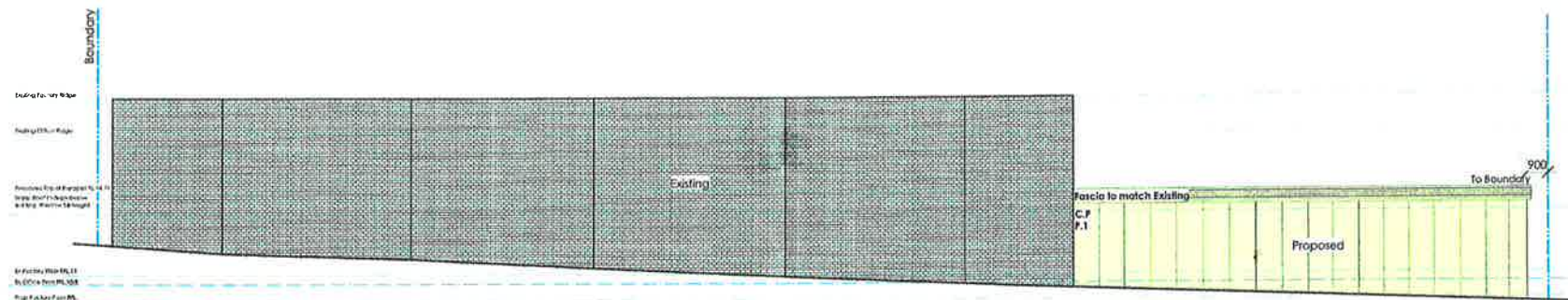
Peter Rust & Richard Howley
 7 Tepko Road, Terry Hills, 2084
 Lot 56 - DP - 590144

Issue	Description	Date	DATE
A	Preliminary Development Application	14.03.2017	29.11.2019
B	Development Application	29.03.2019	SCALE 1:200@ A3
C	DA Revisions & Updates	07.06.2019	DRAWN JGW
D	Development Application	29.11.2019	JOB NO. 1611

DWG
 {DA05}
 ISSUE D

Legend

C.P Precast Concrete Panels
GL Glass
P.1 Paint Finish 1
M.R Metal Roofing
R.D Roller Door



East Elevation 1:200



West Elevation 1:200



* This drawing and design are copyright and no portion may be reproduced without the written permission of the drawing author. To be used for reference only prior to construction.
* Use written dimensions or grid lines in preference to scaled dimensions. Measurements to existing work are to be checked on site. DO NOT SCALE FROM DRAWINGS.
* This drawing is to be read in conjunction with all relevant consultant reports, the Engineer's Drawings & Specification, Conditions of Contract and accompanying Project Specification.
* Electronic data transfer should be assessed for virus before use and any loss or damage (not consequential damage) caused to the recipient of electronic data, by its direct or indirect use, is not the liability of the drafter or drawing client.
* All work in accordance to BCA - N.C.C. Australian Standards & all relevant authorities.
* Waterproof weatherproofing details to Master Builders Industry Guidelines and to meet performance standards as well as Australian Standards.

Warehouse Extension

East & West Elevation

Peter Rust & Richard Howley
7 Tapko Road, Terry Hills, 2084
Lot 56 - DP - 590144

Issue	Description	Date	DATE	29.11.2019
A	Preliminary Development Application	14.03.2017	SCALE	1:200@ A3
B	Development Application	29.03.2019	DRAWN	JGW
C	DA Revisions & Updates	07.06.2019	JOB NO.	1611
D	Development Application	29.11.2019		

DWG
{DA06}
ISSUE D