

# Alan Ave

## 27 Alan Avenue, Seaforth NSW 2092

### O'Hanlon, Giuliano & El Khouri

S34

#### General Notes

**Coordination**  
Where applicable refer to and coordinate information contained in the architectural drawings, and the documentation of other consultants. Notify discrepancies between architectural and/or other consultant's documentation for direction prior to proceeding with the affected part of the works.

**Specifications and Schedules**  
Where applicable refer to and coordinate with relevant Specifications and Schedules. Written specifications and schedules take precedence to the extent of any discrepancy. Notify discrepancies between documents for direction prior to proceeding with the affected part of the works.

**Detail Drawings**  
Unless noted otherwise, refer to detail drawings for set-out information. Drawings at larger scales take precedence over drawings at smaller scales to the extent of any discrepancy. Notify discrepancies for direction prior to proceeding with the affected part of the works.

**Execution of the works (Standards)**  
Execute the works in compliance with the current edition of the Building Code of Australia (as amended), current editions of relevant Australian and other applicable published Standards and the relevant requirements of Local and Statutory Authorities.

**Units of measurement**  
Unless noted otherwise:  
- Dimensions are shown in millimetres; and  
- Levels are shown in meters

**To detail**  
Where a notation refers to an item as "...to detail" the applicable item is to be in accordance with the relevant Architect's detail.

**Materials handling and storage**  
Unless noted otherwise material, fixtures and fittings are to be handled, stored and installed in accordance with the Manufacturer's current written instructions.

**Structure**  
Foundations, footings, reinforced concrete, slabs, retaining walls, framing, bracing, tie-down and other structural elements are to be designed and constructed in accordance with the Structural Engineer's details and specifications.

**Hydraulics**  
Stormwater drainage, waste water drainage, fresh water, gas supply and other hydraulic services are to be designed and constructed in accordance with the Local Authority, Statutory Authority, Hydraulic and/or Civil Works Consultant's requirements.

#### Standard Abbreviations

AFFL Above finished floor level  
AP Access Panel  
A/W Accordance with  
Awn Awning  
Bal Balustrade  
Bdy (Property) Boundary  
Bhd Bulkhead  
Bldg Building  
Bldr Builder or building contractor  
CJ Control / construction joint  
CL Centre line  
Con Consultant(s)  
COS Check / confirm on site  
Crs Centres  
Doc(s) Documentation / documents  
Dp Downpipe  
D,Dr Door  
Dwg Drawing  
Eng Engineer(s)  
Est Estimated  
Exst Existing  
Ext External  
FFL Finished floor level  
FGL Finished ground level  
FR Fire rated  
Fxd Fixed  
GC Gas Cock  
Gnd Ground  
HC Hose Cock  
Hr Handrail  
Hyd Hydraulic  
Inst Instruction(s)  
Int Internal  
I/S Inside / Inside of...  
Man Manufacturer(s)  
Nom Nominal  
NTS Not to scale  
O/A Overall  
O/H Overhead  
O/S Outside / Outside of...  
Own Owner | Proprietor | Principal  
Req Requirement(s)  
RL Relative Level (to Datum)  
Schd Schedule(s)  
SDR Surface drainage  
SFL Structural floor level  
Slid Sliding  
Spec Specification(s)  
SSD Sub-surface drainage  
SSL Structural slab level  
Struct Structural  
Std Standard  
TBA To be advised  
TBC To be confirmed  
TBD To be demolished  
TBR To be removed  
T/O Top of...  
TOW Top of wall  
Typ Typical  
U/G Under ground  
UNO Unless noted otherwise  
U/S Underside  
W/ With  
W# Window and Number (#)  
W/O Without

#### Location Plan



Image Source: NSW SIX Maps



Street Perspective

#### Architectural Drawings

No.	Name	Rev	Date
DA-000	Cover Sheet, Title Page & Notes	7	04 Aug 2021
DA-100	Site/Roof Plan & Basement Plan	6	22 July 2021
DA-101	Ground Floor & First Floor Plans	8	22 July 2021
DA-200	Elevations - Proposed	8	22 July 2021
DA-201	Elevations - Proposed	8	22 July 2021
DA-202	Sections	8	22 July 2021
DA-700	Window Schedule	3	15 July 2021
DA-900	Shadow Diagrams	4	22 July 2021
DA-901	Shadow Diagrams	4	22 July 2021
DA-902	Shadow Diagram Elevations - No. 29 Alan Avenue	3	15 July 2021
DA-910	Schedule of External Finishes No. 27	4	22 July 2021
DA-911	Schedule of External Finishes No. 27A	4	22 July 2021
DA-920	Site Analysis	1	17 Feb 2021
DA-925	Proposed Context Plan	2	22 July 2021
DA-930	Demolition Plan	3	15 July 2021
DA-940	Waste Management Site Plan	3	15 July 2021
DA-960	Excavation and Fill Plan	3	15 July 2021
DA-970	DCP & LEP Areas Diagram	6	22 July 2021
DA-971	Basix Requirements - No 27	2	04 Aug 2021
DA-972	Basix Requirements - No 27A	2	04 Aug 2021
DA-980	Perspective - Alan Avenue North East	3	15 July 2021
DA-981	Perspective - Alan Avenue North	3	22 July 2021
DA-982	Perspective - Alan Avenue North West	3	22 July 2021
DA-985	Streetscape	2	15 July 2021




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Issue	Description	Date
1	Issue for Information	12 Nov 2020
2	Issue for Information	23 Nov 2020
3	Issue for Development Application	17 Feb 2021
4	Updated in aw S34 Conciliation	25 Jun 2021
5	Updated in aw S34 Conciliation	15 July 2021
6	Updated in aw S34	22 July 2021
7	Basix Updated	04 Aug 2021

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FOR INFORMATION ONLY		
Scale @ A1	Drawn by <b>BS</b>	Checked by <b>BS</b>
Project Issue Date <b>Oct 2020</b>	Sheet Issue Date <b>07/26/19</b>	
Project number <b>1141</b>	Drawing # <b>DA-000</b>	<b>7</b>

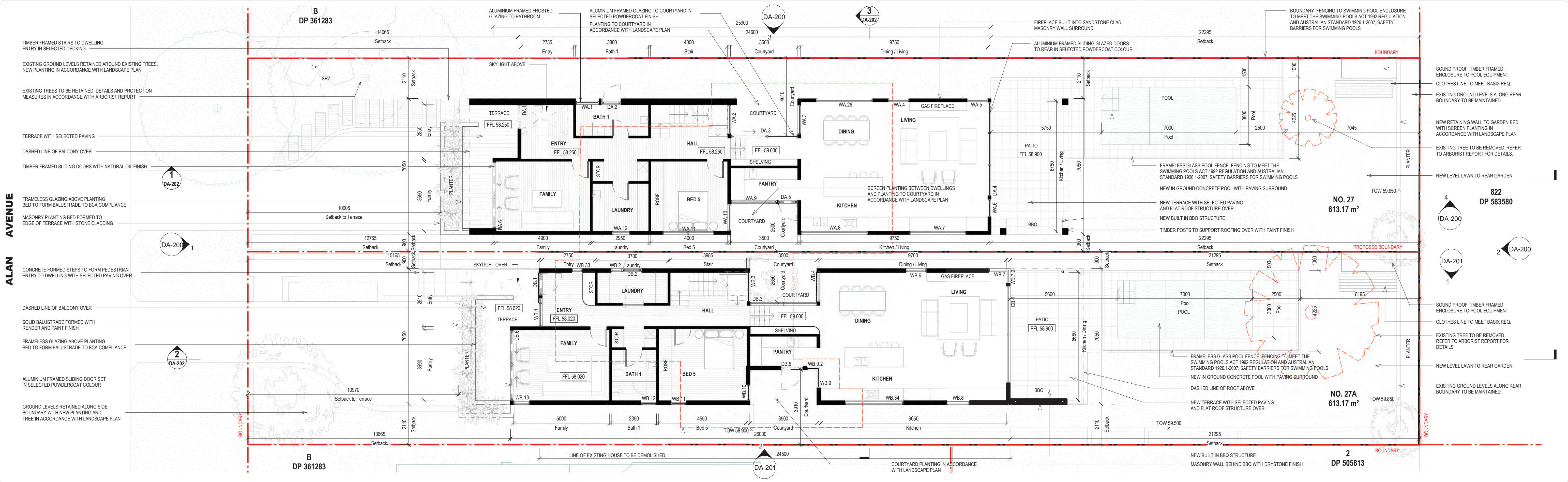




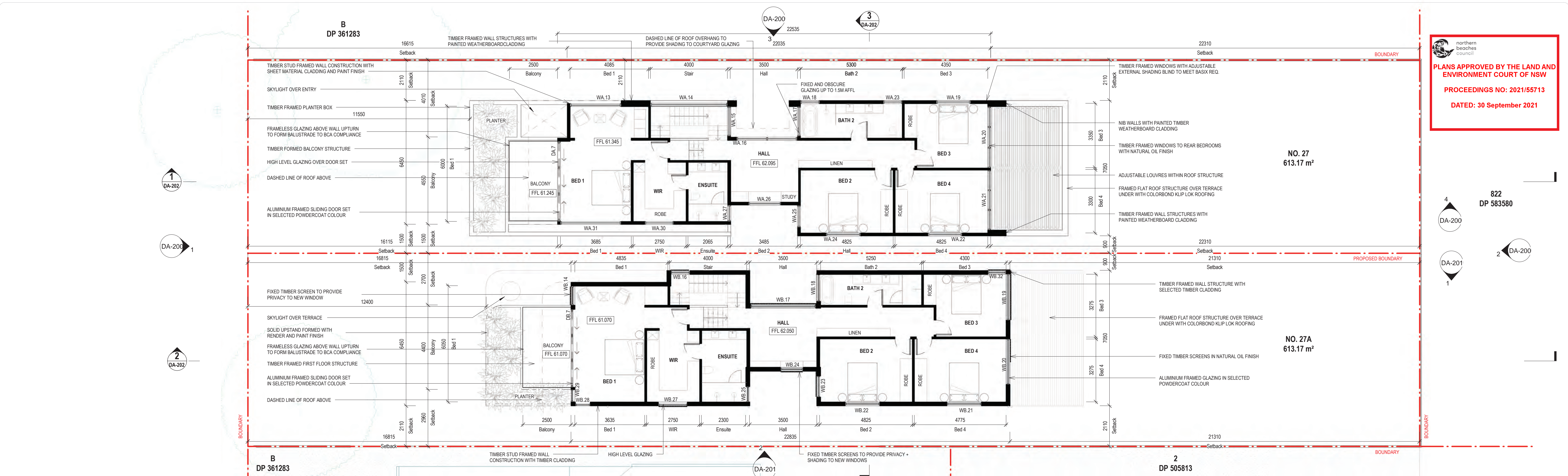
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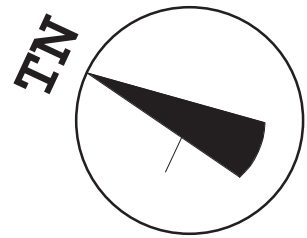


1 GROUND FLOOR PLAN  
1:100



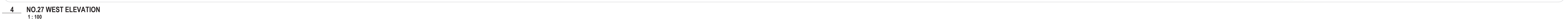
2 FIRST FLOOR PLAN  
1:100

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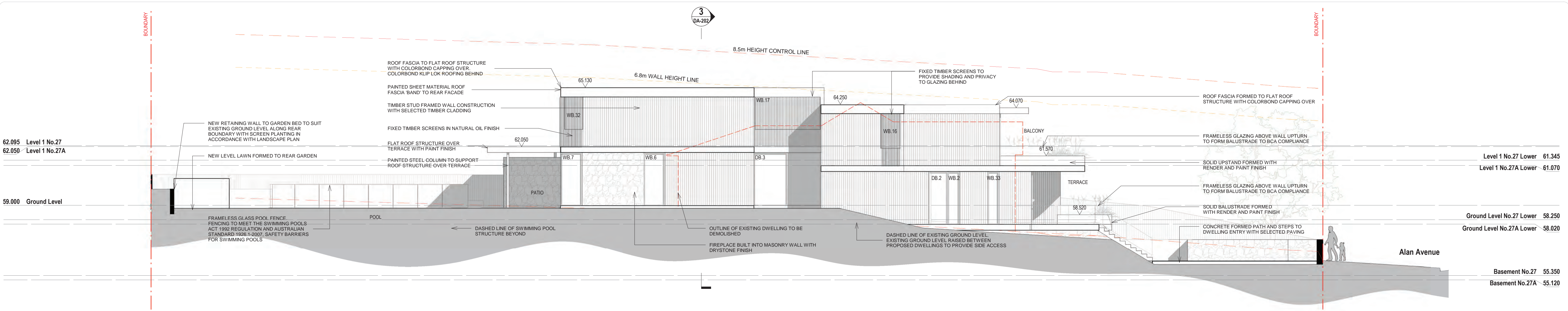
General Notes			No. Description		Date	Project	Scale @ A1: A3 half indic.	Drawn by	Checked by
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			<b>S34</b>			Client	Oct 2020		22 July 2021
						Drawing	Project number	Drawing #	Issue
							1141	DA-101	8
							Ground Floor & First Floor Plans		



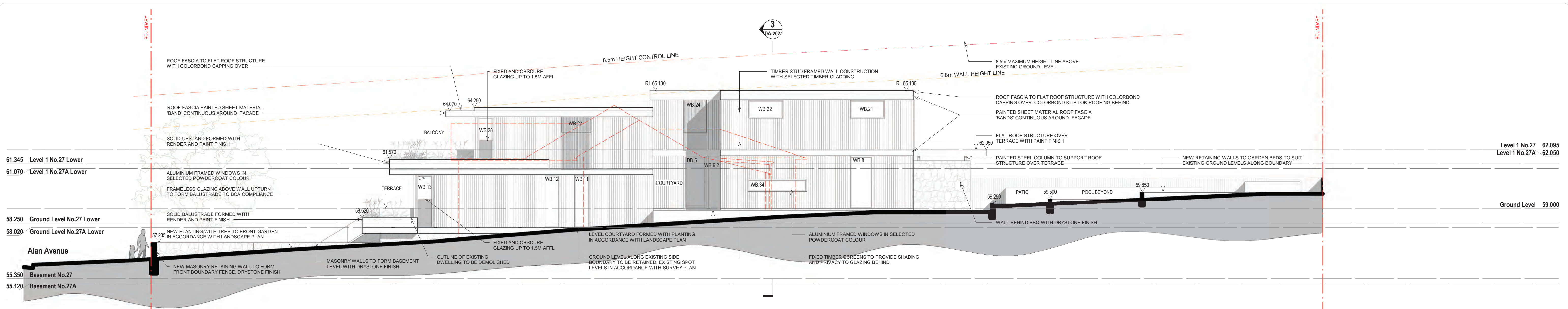


General Notes		No.	Description	Date	Project	Scale @ A1: A3 half indic.	Drawn by	Checked by
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		2	Issue for Information	23 Nov 2020	Location			
		3	Issue for Development Application	17 Feb 2021	27 Alan Avenue, Seaforth NSW 2092	Client	Project Issue Date	Sheet Issue Date
		4	Updated in aw S34 Conciliation	25 Jun 2021			Oct 2020	22 July 2021
		5	Sketch update for discussion	07 July 2021	O'Hanlon, Giuliano & El Khouri	Drawing #	Issue	
		6	Sketch update for discussion	08 July 2021				
		7	Updated in aw S34 Conciliation	15 July 2021				
		8	Updated in aw S34	22 July 2021	Drawing	Elevations - Proposed	<b>1141</b>	<b>DA-200</b>





1 NO. 27A EAST ELEVATION  
1:100



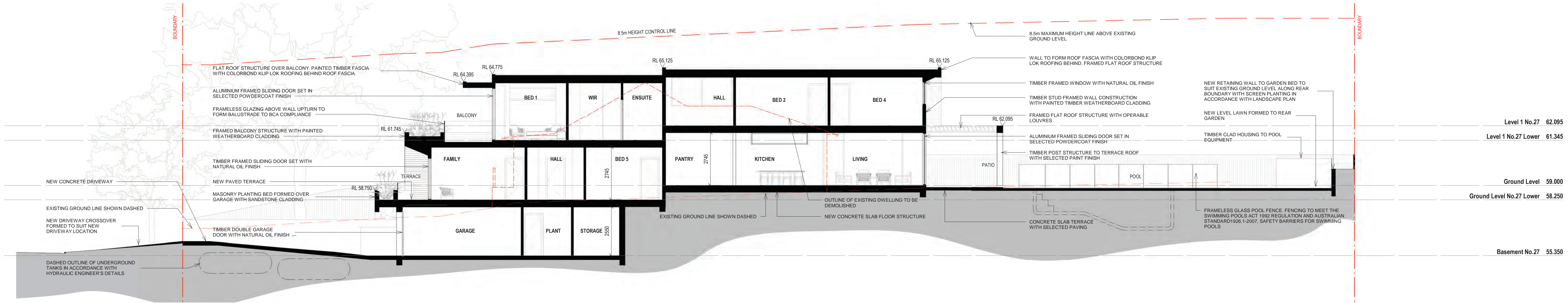
2 NO. 27A WEST ELEVATION  
1:100

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**PROCEEDINGS NO: 2021/55713**  
**DATED: 30 September 2021**

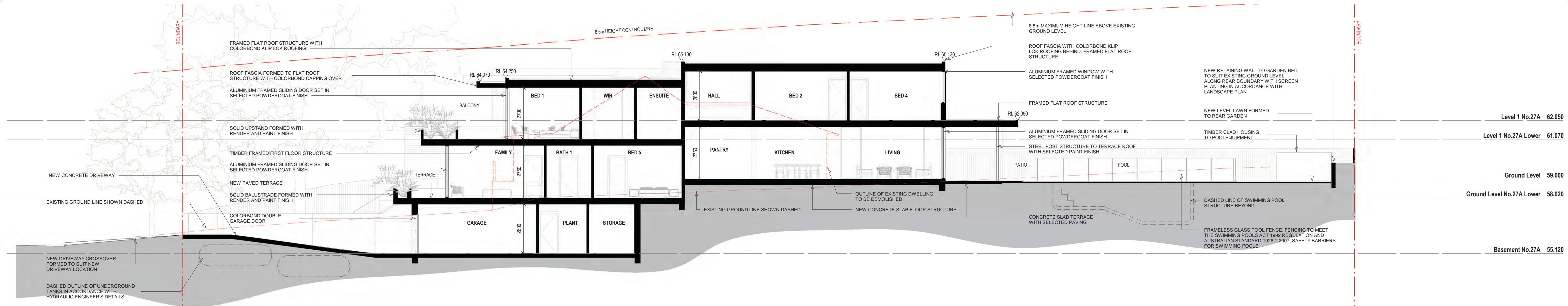
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		2	Issue for Information	23 Nov 2020								
		3	Issue for Development Application	17 Feb 2021	Location	27 Alan Avenue, Seaforth NSW 2092	Client	Project Issue Date	Oct 2020	Sheet Issue Date	22 July 2021	
		4	Updated in aw S34 Conciliation	25 Jun 2021								
		5	Sketch update for discussion	07 July 2021	Drawing	O'Hanlon, Giuliano & El Khouri	Project number	1141	Drawing #	DA-201	Issue	8
		6	Sketch update for discussion	08 July 2021								
		7	Updated in aw S34 Conciliation	15 July 2021								
				8	Updated in aw S34	22 July 2021		Elevations - Proposed				





1 SECTION A - NO.27  
1:100



2 SECTION B - NO.27A  
1:100



3 SECTION C  
1:100

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		6	Sketch update for discussion	08 July 2021						
		7	Updated in aw S34 Conciliation	15 July 2021						Sections
		8	Updated in aw S34	22 July 2021						

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Window Schedule_No. 27					
Code	Sill Height	Length	Height	Area	Comments
DA.1	0	1300	2200	3 m²	
DA.2	0	1040	2745	3 m²	
DA.3	0	3475	2745	10 m²	
DA.4	0	4926	2745	14 m²	
DA.5	0	1060	2404	3 m²	
DA.6	0	3475	2200	8 m²	
DA.7	0	4195	2750	12 m²	
WA.1	2145	1220	600	1 m²	
WA.2	0	1550	2745	4 m²	
WA.3	0	1575	2745	4 m²	
WA.4	0	1100	2745	3 m²	
WA.5	0	1100	2745	3 m²	
WA.6	0	940	2745	3 m²	
WA.7	450	2989	1450	4 m²	
WA.8	850	3500	700	2 m²	
WA.9	850	2400	700	2 m²	
WA.10	0	1600	2745	4 m²	
WA.11	1945	2700	605	2 m²	
WA.12	1070	977	1480	1 m²	
WA.13	2100	2650	650	2 m²	
WA.14	2100	4000	650	3 m²	
WA.15	2100	1550	650	1 m²	
WA.16	1050	3175	1500	5 m²	
WA.17	1050	1550	1500	2 m²	
WA.18	1650	1000	900	1 m²	
WA.19	1650	1800	900	2 m²	
WA.20	1100	3200	1230	4 m²	
WA.21	1100	3150	1230	4 m²	
WA.22	1650	1800	900	2 m²	
WA.23	1650	1000	900	1 m²	
WA.24	1650	1800	900	2 m²	
WA.25	0	1130	2550	3 m²	
WA.26	1050	1700	1500	3 m²	
WA.27	0	925	2550	2 m²	
WA.28	2145	2950	600	2 m²	
WA.30	2100	1500	650	1 m²	
WA.31	2100	3150	650	2 m²	

123 m²

Note:

Refer to plans & elevations for window locations

Windows removed from previous Submission:

WA.29  
WA.32  
WA.33  
WA.34  
WA.35  
WA.36  
WA.37  
WA.38  
WA.39

Window Schedule_No. 27A					
Code	Sill Height	Length	Height	Area	Comments
DB.1	0	1200	2750	3 m²	
DB.2	0	1020	2750	3 m²	
DB.3	0	3500	2750	10 m²	
DB.4	0	5050	2750	14 m²	
DB.5	0	1200	2750	3 m²	
DB.6	0	3665	2750	10 m²	
DB.7	0	4139	2700	11 m²	
WB.1	0	1500	2750	4 m²	
WB.2	0	600	2750	2 m²	
WB.3	0	1600	2750	4 m²	
WB.4	0	1575	2750	4 m²	
WB.6	0	1080	2750	3 m²	
WB.7	0	1050	2750	3 m²	Turns corner
WB.7.2	0	674	2750	2 m²	Turns corners
WB.8	0	1186	2750	3 m²	
WB.9	0	1019	2750	3 m²	Turns corner
WB.9.2	0	625	2750	2 m²	Turns corner
WB.10	0	850	1770	2 m²	
WB.11	0	800	2750	2 m²	
WB.12	0	825	2750	2 m²	
WB.13	0	860	2750	2 m²	
WB.14	900	1000	1800	2 m²	
WB.16	900	1000	1800	2 m²	
WB.17	900	3400	1700	6 m²	
WB.18	0	1425	2600	4 m²	
WB.19	900	2399	1700	4 m²	
WB.20	900	2375	1700	4 m²	
WB.21	1650	1800	950	2 m²	
WB.22	1650	1800	950	2 m²	
WB.23	0	1100	2600	3 m²	
WB.24	900	1190	1700	2 m²	
WB.25	0	900	2700	2 m²	
WB.27	1900	1513	800	1 m²	
WB.28	500	780	2200	2 m²	
WB.29	500	645	2200	1 m²	
WB.32	900	947	1700	2 m²	
WB.33	0	570	2750	2 m²	New Window
WB.34	900	3061	650	2 m²	New Window

134 m²

Note:

Refer to plans & elevations for window locations

Windows removed from previous DA Submission:

WB.5  
WB.15  
WB.26  
WB.30  
WB.31



northern  
beaches  
council

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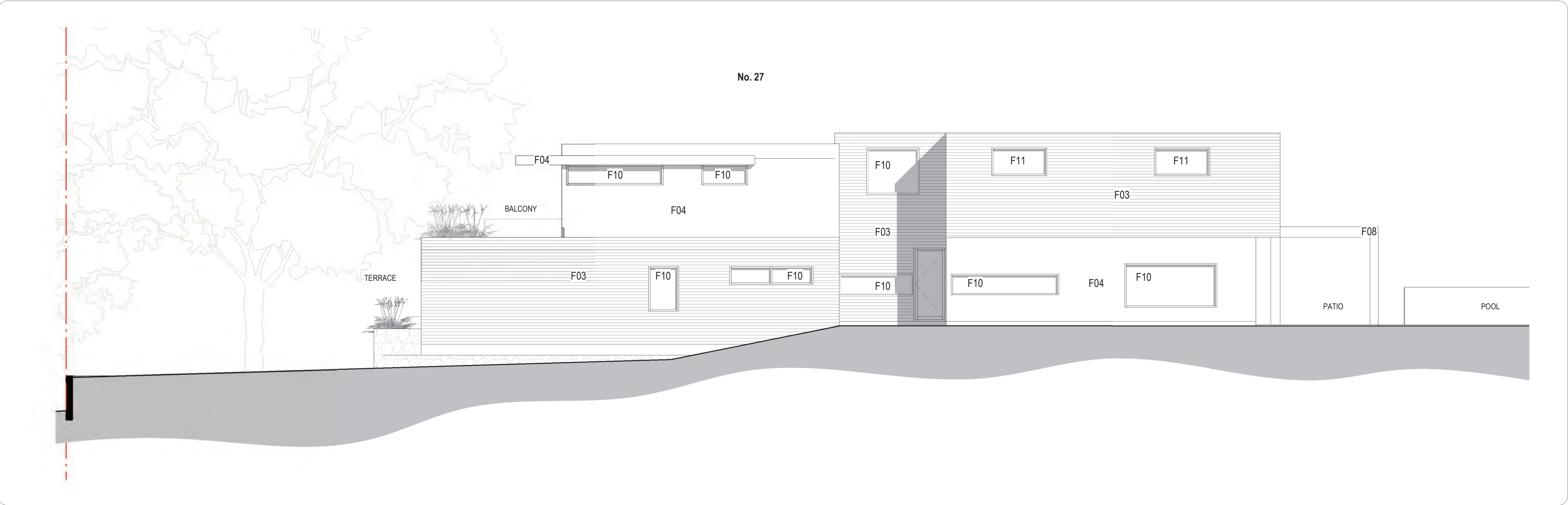
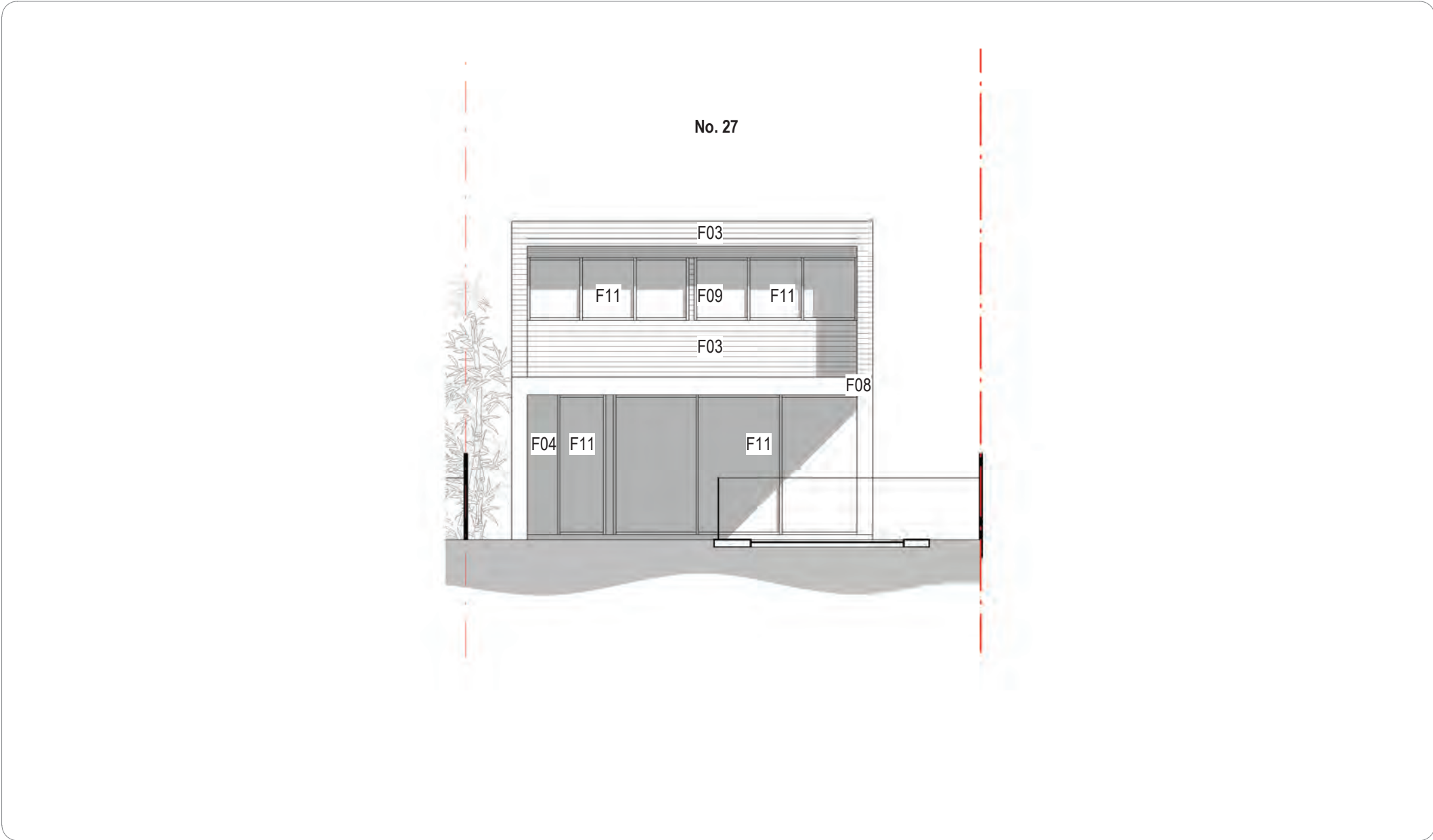
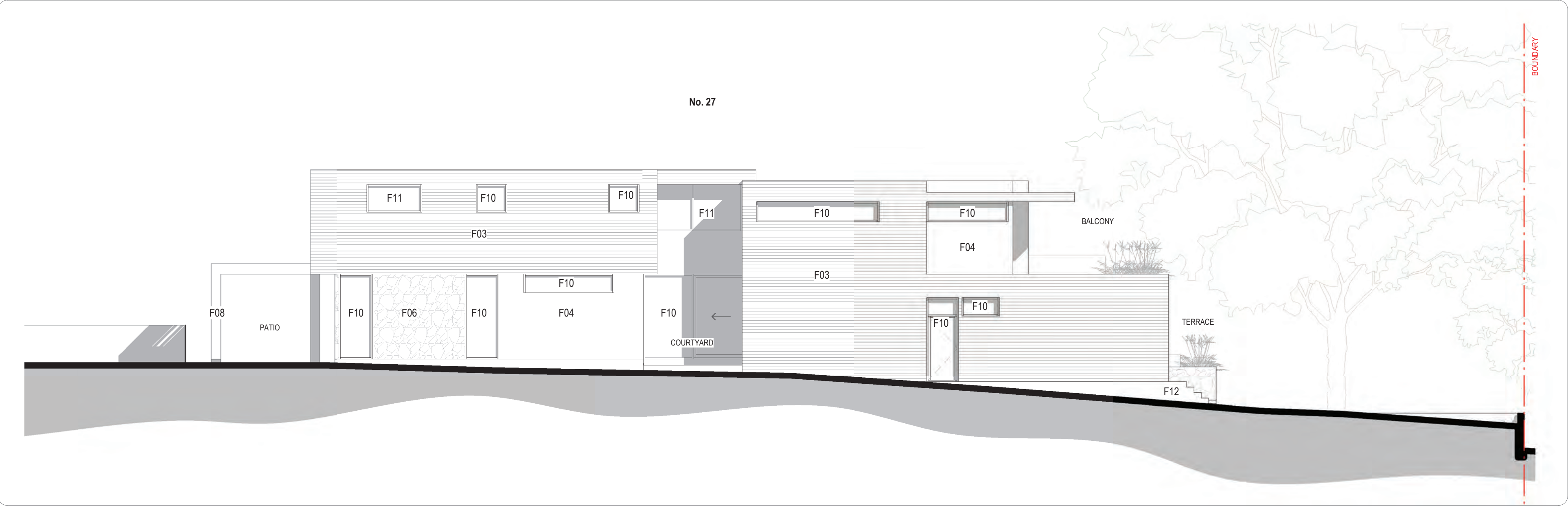
PROCEEDINGS NO: 2021/55713

DATED: 30 September 2021

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		2	Updated in aw S34 Conciliation	25 Jun 2021	Location	27 Alan Avenue, Seaforth NSW 2092		Project Issue Date	Oct 2020	Sheet Issue Date	15 July 2021
		3	Updated in aw S34 Conciliation	15 July 2021	Client	O'Hanlon, Giuliano & El Khouri		Project number	Drawing #	Issue	
					Drawing	Window Schedule		1141	DA-700		3



LEGEND			
KEY	MATERIAL	FINISH	COLOUR
F 01	STEEL ROOFING- KLIP LOK	COLORBOND	DUNE
F 02	STEEL ROOFING GUTTERS + DOWNPIPES	COLORBOND	DUNE
F 03	TIMBER WEATHERBOARD CLADDING	PAINT	DULUX 'WHISPER WHITE'
F 04	RENDERED EXSULITE CLADDING	PAINT	DULUX 'LIMED WHITE HALF'
F 05	TIMBER CLADDING	OIL	WESTERN RED CEDAR- NATURAL
F 06	STONE CLAD MASONRY	ROCK FACE	'WOLLOMBI' QUARTZITE CLADDING
F 07	RENDERED MASONRY	PAINT	DULUX 'LIMED WHITE HALF'
F 08	TIMBER TRIMS	PAINT	DULUX 'WHISPER WHITE'
F 09	TIMBER TRIMS	OIL	WESTERN RED CEDAR
F 10	ALUMINIUM FRAMED WINDOWS AND DOORS	POWDERCOAT	DULUX 'ELECTRO' FLAT WHITE
F 11	TIMBER FRAMED WINDOWS AND DOORS	OIL	WESTERN RED CEDAR
F 12	TIMBER DECKING	OIL	HARDWOOD EG BLACKBUTT

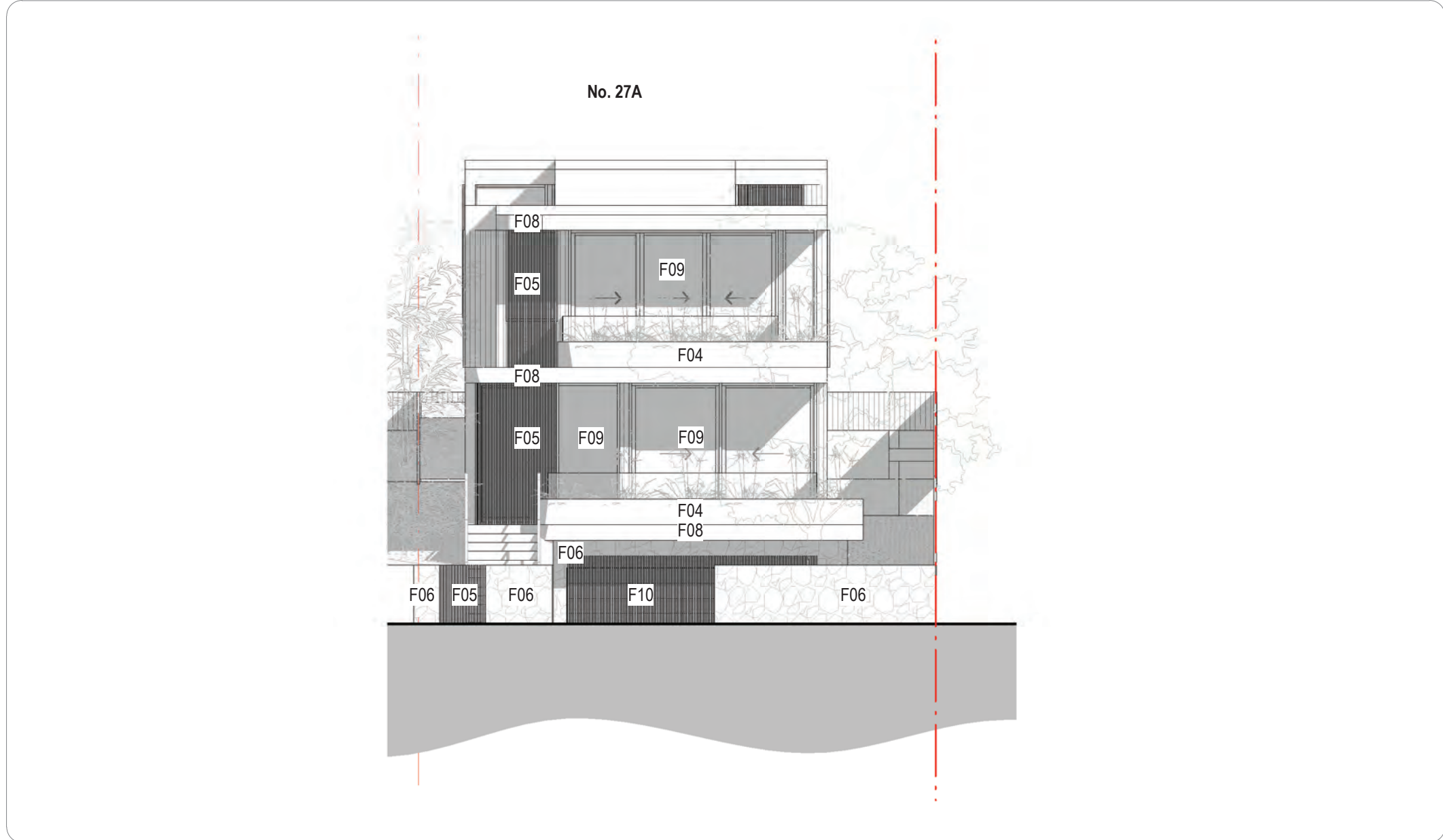
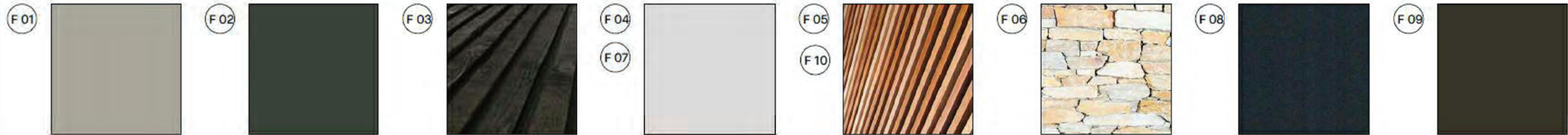


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				2	Updated in aw S34 Conciliation	25 Jun 2021	Project Issue Date		Oct 2020	Sheet Issue Date		22 July 2021
				3	Updated in aw S34 Conciliation	15 July 2021	Project number		1141	Drawing #		DA-910
				4	Updated in aw S34	22 July 2021	Issue		4			
					Location	27 Alan Avenue, Seaforth NSW 2092						
					Client	O'Hanlon, Giuliano & El Khouri						
					Drawing	Schedule of External Finishes No. 27						



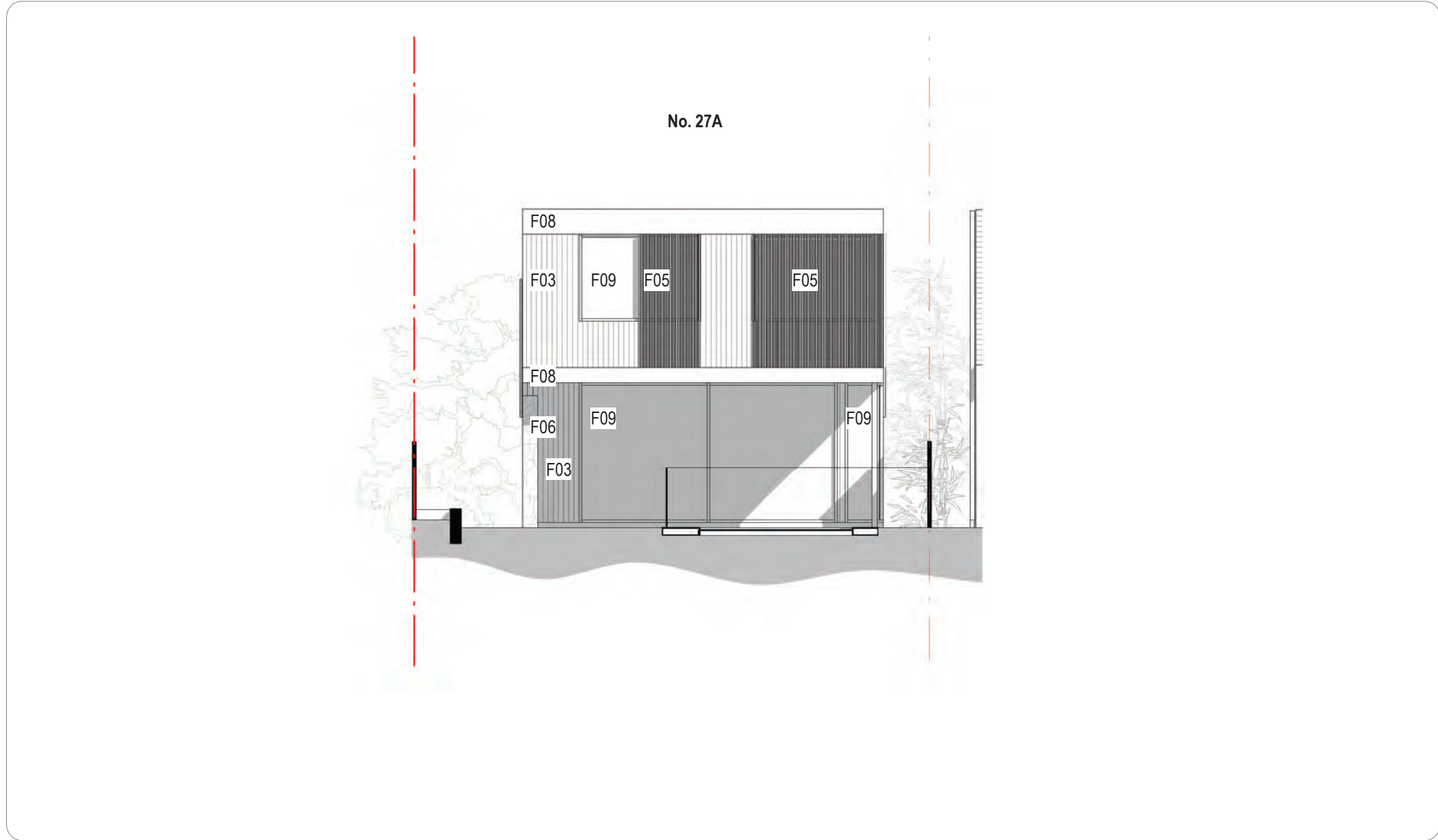
LEGEND			
KEY	MATERIAL	FINISH	COLOUR
F 01	STEEL ROOFING- KLIP LOK	COLORBOND	DUNE
F 02	STEEL ROOFING GUTTERS + DOWNPIPES	COLORBOND	MONUMENT
F 03	TIMBER CLADDING	CHARRED	WESTERN RED CEDAR 'BEACH CLAD'
F 04	RENDERED EXSULITE CLADDING	PAINT	DULUX 'TERRACE WHITE'
F 05	TIMBER SCREENING	OIL	WESTERN RED CEDAR- NATURAL
F 06	SANDSTONE CLAD MASONRY	ROCK FACE	SANDSTONE 'DRYSTONE LOOK'
F 07	RENDERED MASONRY	PAINT	DULUX 'TERRACE WHITE'
F 08	RENDER FASCIA PAINTED	PAINT	DULUX M.I.O. 'NATURAL GREY'
F 09	ALUMINIUM FRAMED WINDOWS AND DOORS	POWDERCOAT	DULUX 'ELECTRO DARK BRONZE FLAT'
F 10	GARAGE DOOR - TIMBER BATTENS	OIL	WESTERN RED CEDAR- NATURAL



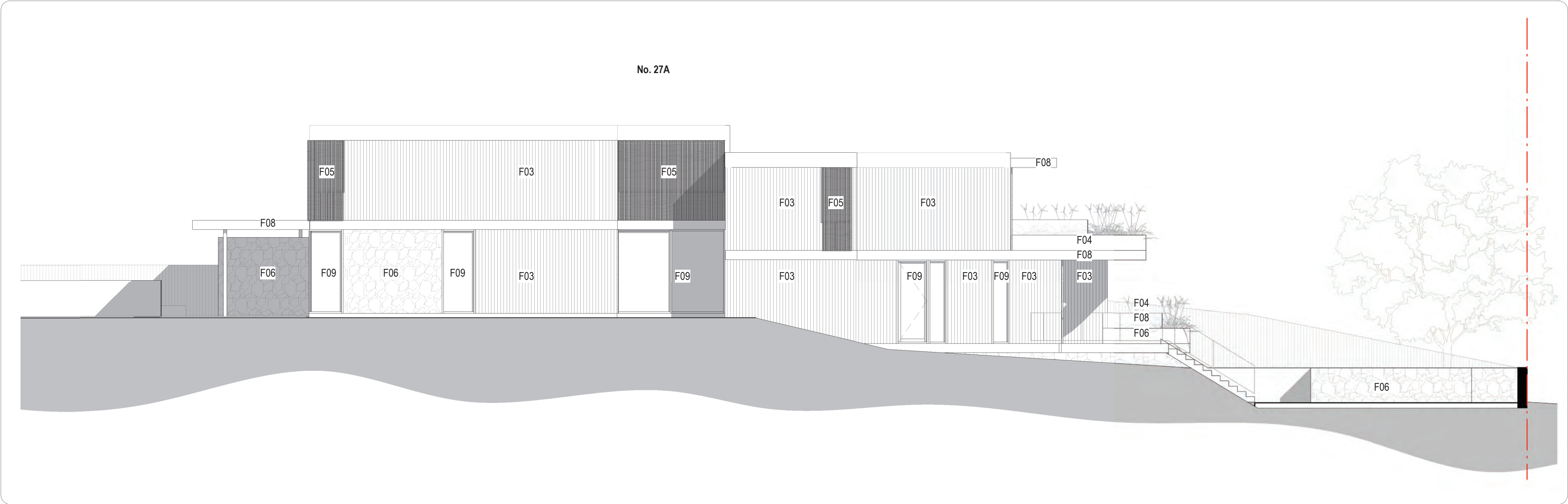
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2 NO. 27A WEST ELEVATION  
1 : 100



3 SOUTH ELEVATION  
1 : 100



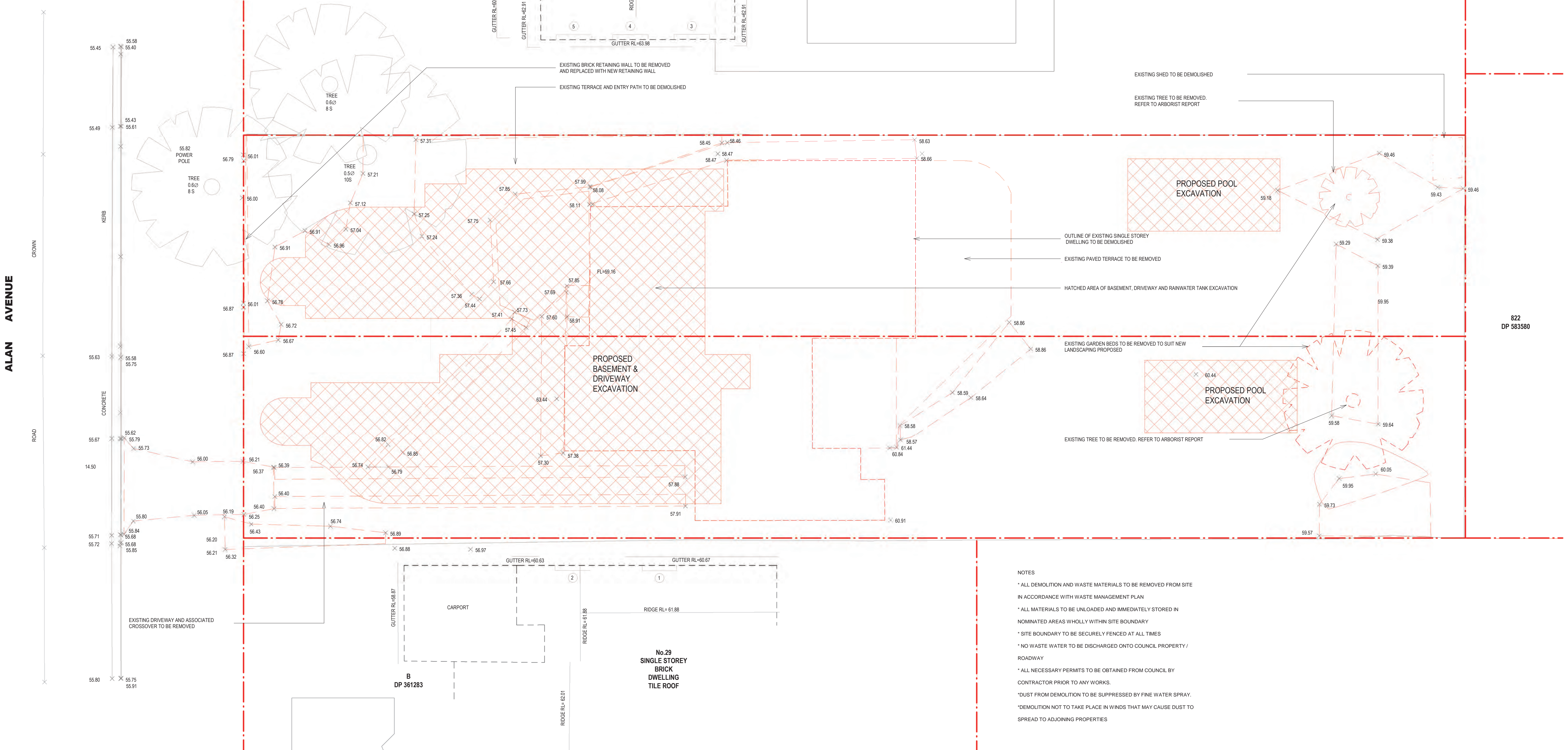
4 NO. 27A EAST ELEVATION  
1 : 100

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General Notes		No.	Description	Date	Project	Location	Client	Drawing	Scale @ A1: A3 half indic.	Drawn by	Checked by	
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		2	Updated in aw S34 Conciliation	25 Jun 2021								
		3	Updated in aw S34 Conciliation	15 July 2021								
		4	Updated in aw S34	22 July 2021								



ALAN AVENUE



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PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW  
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DATED: 30 September 2021

682  
DP 1149802

822  
DP 583580

- NOTES
- \* ALL DEMOLITION AND WASTE MATERIALS TO BE REMOVED FROM SITE IN ACCORDANCE WITH WASTE MANAGEMENT PLAN
  - \* ALL MATERIALS TO BE UNLOADED AND IMMEDIATELY STORED IN NOMINATED AREAS WHOLLY WITHIN SITE BOUNDARY
  - \* SITE BOUNDARY TO BE SECURELY FENCED AT ALL TIMES
  - \* NO WASTE WATER TO BE DISCHARGED ONTO COUNCIL PROPERTY / ROADWAY
  - \* ALL NECESSARY PERMITS TO BE OBTAINED FROM COUNCIL BY CONTRACTOR PRIOR TO ANY WORKS.
  - \* DUST FROM DEMOLITION TO BE SUPPRESSED BY FINE WATER SPRAY.
  - \* DEMOLITION NOT TO TAKE PLACE IN WINDS THAT MAY CAUSE DUST TO SPREAD TO ADJOINING PROPERTIES

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		<div>1</div> <div>Issue for Development Application</div> <div>17 Feb 2021</div>	<div>Location</div> <div>27 Alan Avenue, Seaforth NSW 9092</div>	<div>Project Issue Date</div> <div>Oct 2020</div>	<div>Sheet Issue Date</div> <div>15 July 2021</div>		
		<div>2</div> <div>Updated in aw S34 Conciliation</div> <div>25 Jun 2021</div>	<div>Client</div> <div>O'Hanlon, Giuliano &amp; El Khouri</div>	<div>Project number</div> <div>1141</div>	<div>Drawing #</div> <div>DA-930</div>	<div>Issue</div> <div>3</div>	
		<div>3</div> <div>Updated in aw S34 Conciliation</div> <div>15 July 2021</div>	<div>Drawing</div> <div>Demolition Plan</div>				



 **northern  
beaches  
council**

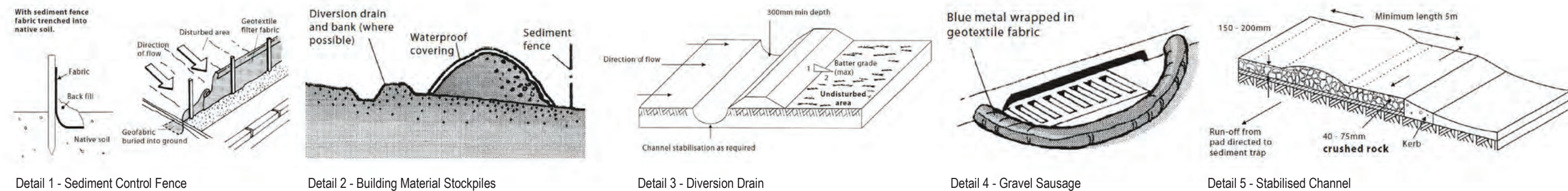
**PLANS APPROVED BY THE LAND AND  
ENVIRONMENT COURT OF NSW**

**PROCEEDINGS NO: 2021/55713**

**DATED: 30 September 2021**

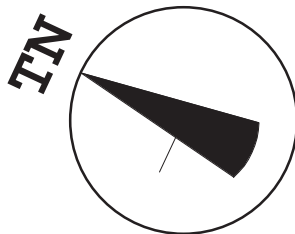


Note:  
Gravel sausage to be used if there  
is any evidence of untreated runoff  
entering nearby stormwater inlets  
during construction (Refer to Detail 4)



2  
1-1 Erosion, Sediment & Stormwater Images - Scale 1-1

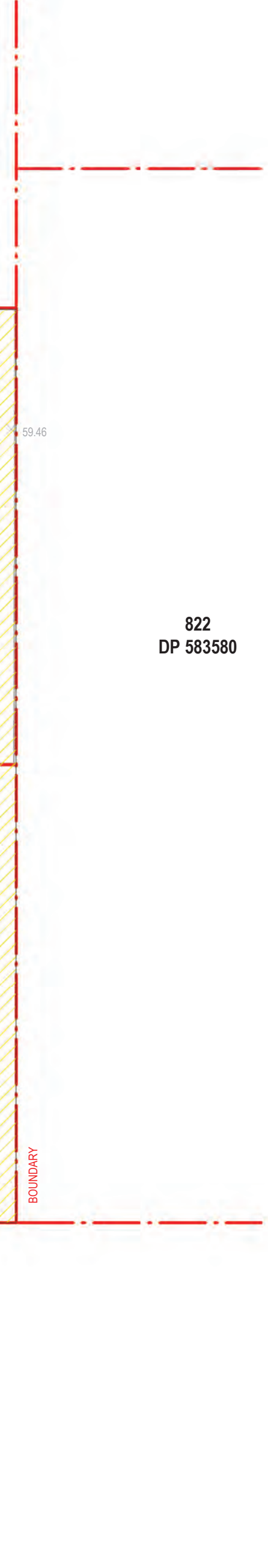
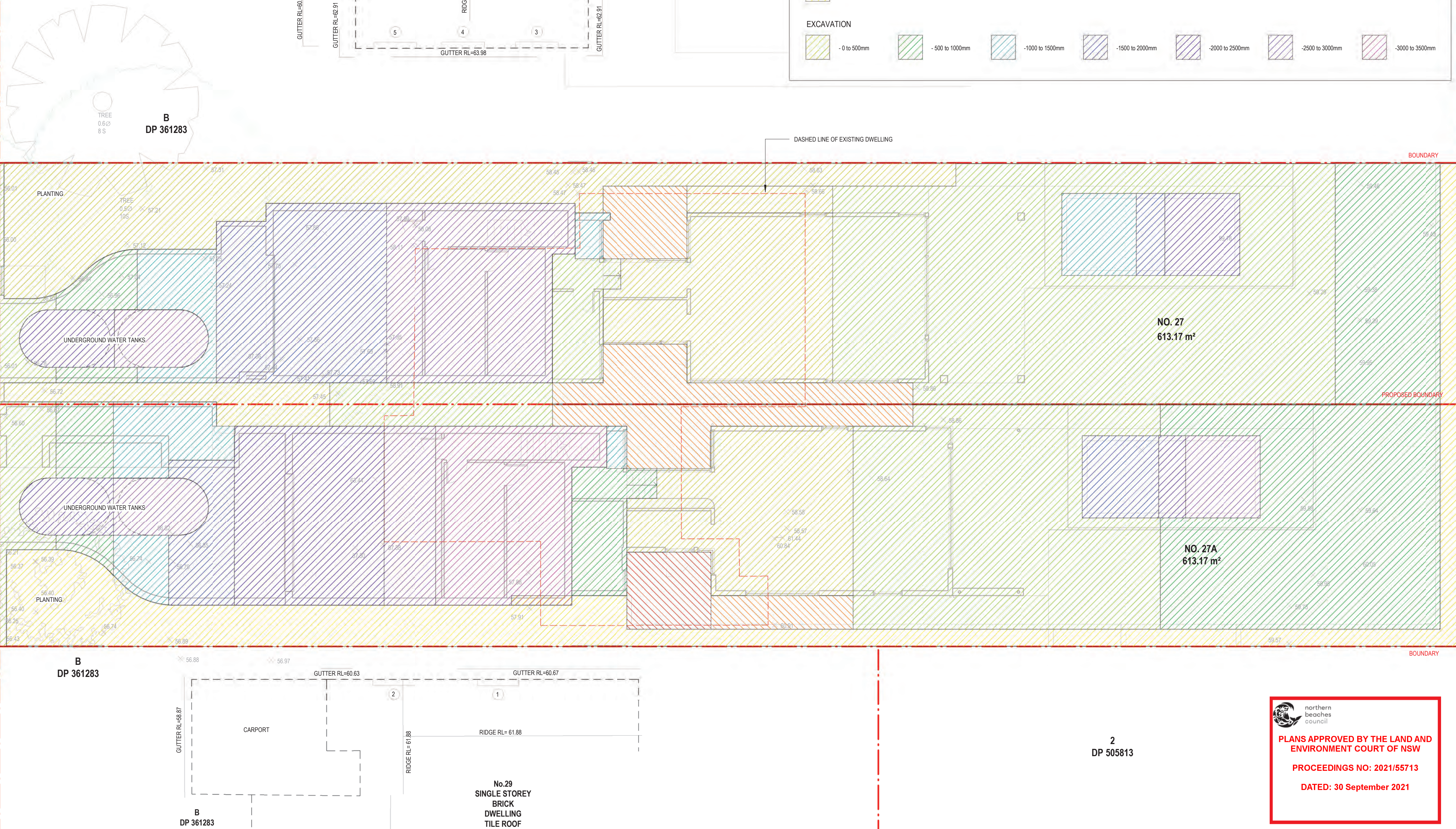
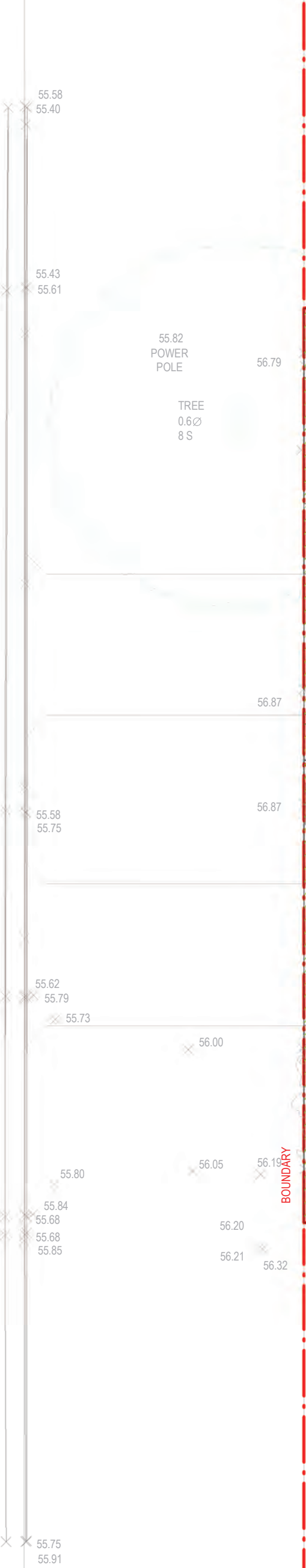
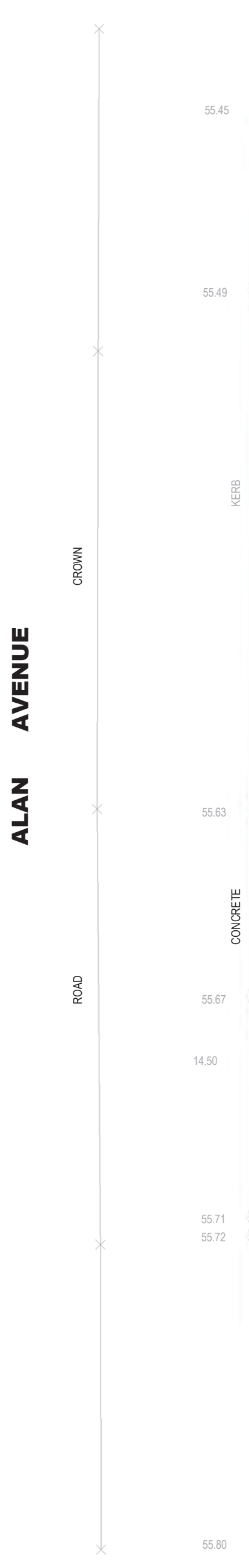
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		<div>1</div> <div>Issue for Development Application</div> <div>17 Feb 2021</div>	<div>Location</div> <div>27 Alan Avenue, Seaforth NSW 2092</div>	<div>Project Issue Date</div> <div>Oct 2020</div>	<div>Sheet Issue Date</div> <div>15 July 2021</div>		
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		<div>3</div> <div>Updated in aw S34 Conciliation</div> <div>15 July 2021</div>	<div>Drawing</div> <div>Waste Management Site Plan</div>				



ALAN AVENUE



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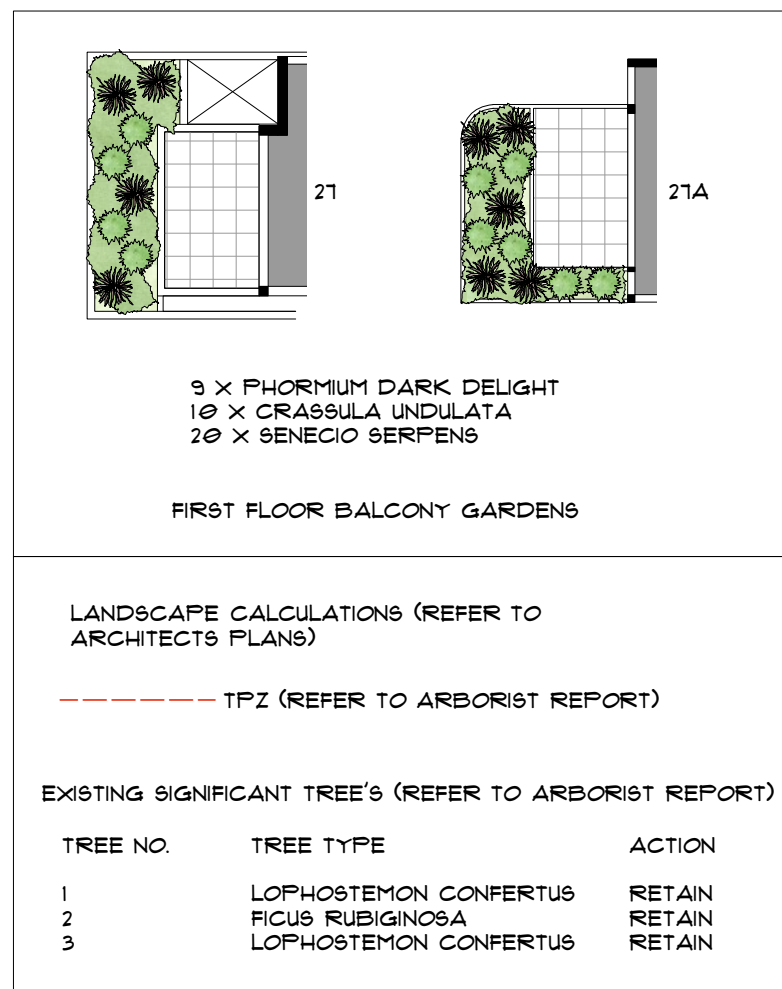
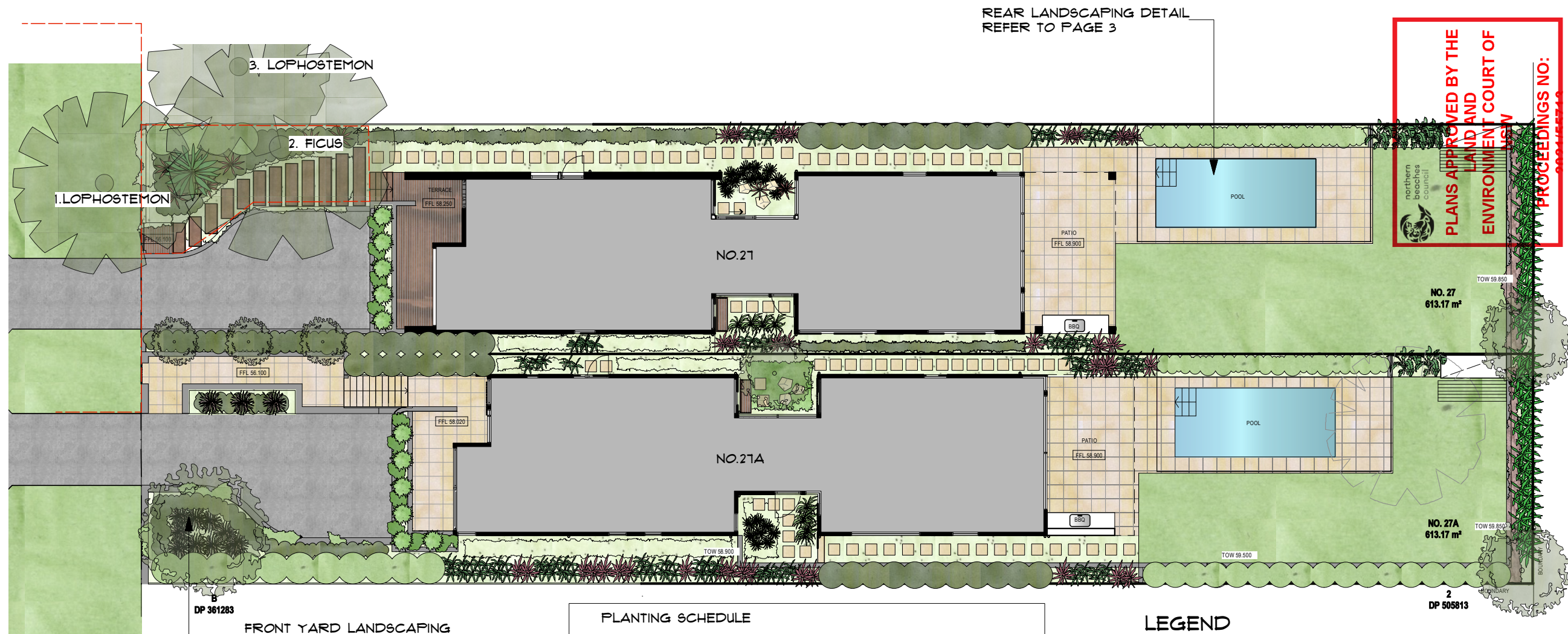
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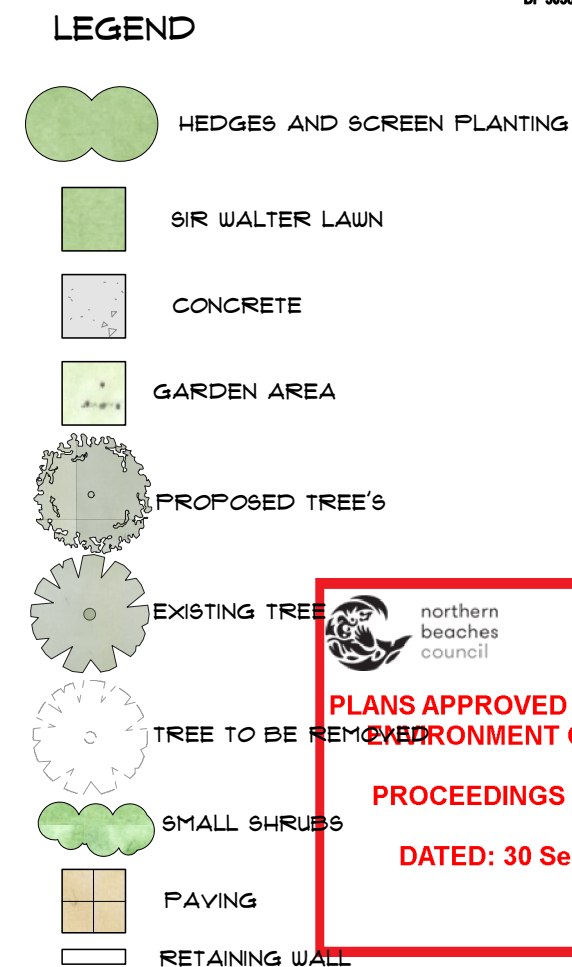
General Notes		No.		Description		Date		Project			Scale @ A1: A3 half indic.		Drawn by		Checked by	
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				2	Updated in aw S34 Conciliation	25 Jun 2021		27 Alan Avenue, Seaforth NSW 2092			Project Issue Date		Sheet Issue Date		15 July 2021	
				3	Updated in aw S34 Conciliation	15 July 2021		Client			Oct 2020					
				O'Hanlon, Giuliano & El Khouri			Project number		Drawing #		Issue					
				Drawing			Excavation and Fill Plan		1141		DA-960		3			

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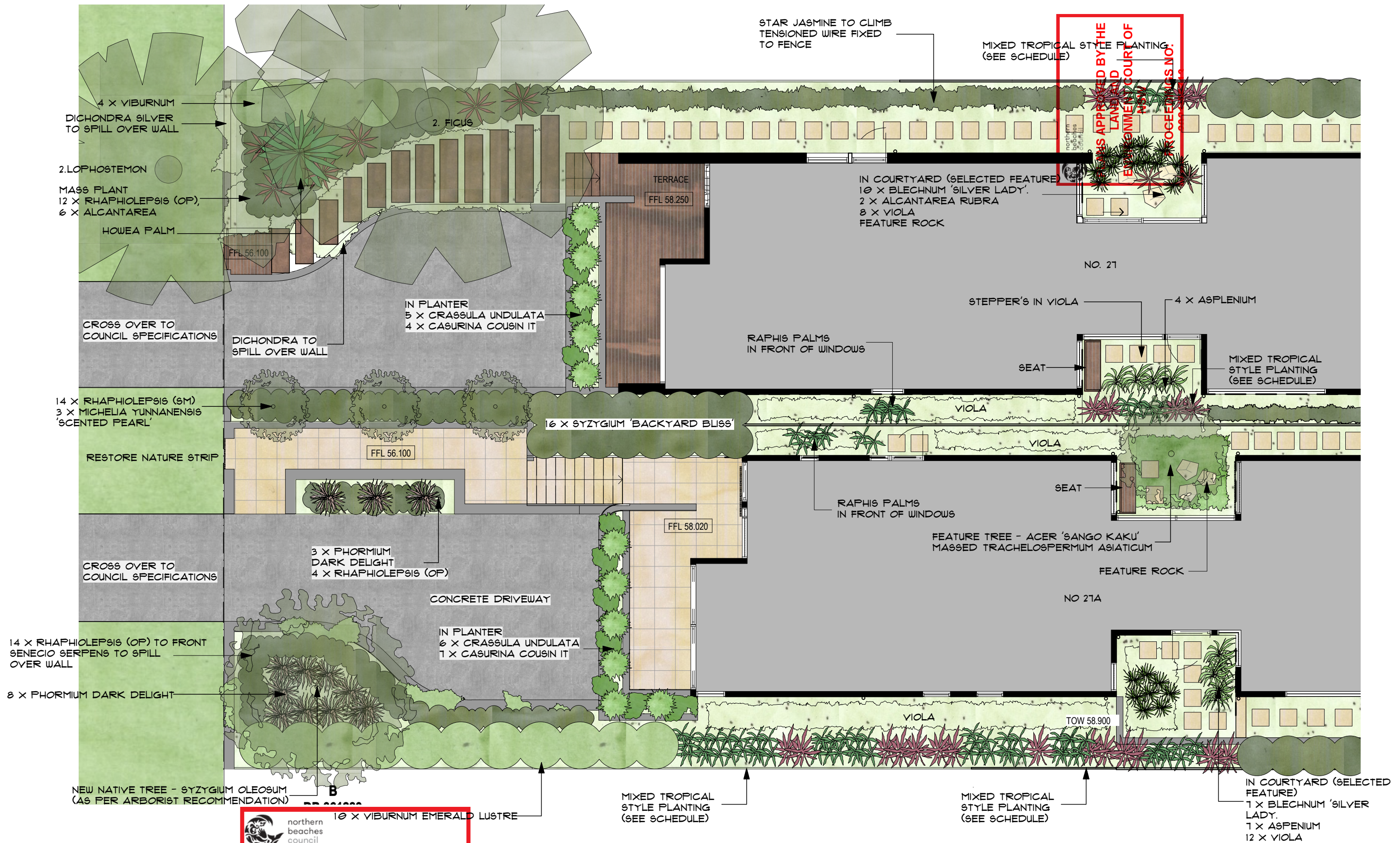


PLANTING SCHEDULE		
TREES & PALMS		
QTY	PLANT	SIZE
1	SYZYGIIUM OLEOSUM	200MM
2	TRISTANIOPSIS LUSCIOUS	300MM
1	ACER SANGO KAKU	45L
1	HOWEA FORSTERIANA	45L
SCREEN PLANTING		
QTY	PLANT	SIZE
30	VIBURNUM 'EMERALD LUSTRE'	200MM
16	BAMBUSA 'GOLD STRIPE'	250MM
3	MICHELIA 'SCENTED PEARL'	300MM
38	SYZYGIIUM 'BACKYARD BLISS'	200MM
LOW SHRUBS & GRASSES		
QTY	PLANT	SIZE
14	RHAPHIOLEPSIS 'SNOW MAIDEN'	200MM
30	RHAPHIOLEPSIS 'ORIENTAL PEARL'	200MM
20	PHORMIUM 'DARK DELIGHT'	200MM
5	HELICONA 'KAWAUCHI'	300MM
17	BLECHNUM 'SILVER LADY'	200MM
8	ALCANTAREA RUBRA	250MM
21	CRASSULA SPP.	200MM
24	RADERMACHERA 'SUMMERSCENT'	200MM
11	ASPLENIUM NIDUS	200MM
'TROPICAL STYLE' BOUNDARY PLANTING		
14	RAPHIS EXCELSA	300MM
18	CORDYLINE NEGRA/PINK DIAMOND	200MM
14	CHAMAEDOREA SEIFRIZII	200MM
GROUND COVERS & CLIMBERS		
QTY	PLANT	SIZE
50	VIOLA HEDERACEA	100MM
26	SENECIO SERPENS	150MM
25	TRACHELOSPERMUM JASMINOIDES	200MM
8	TRACHELOSPERMUM ASIATICUM	150MM
18	ALTERNANTHERA DENTATA	150MM
11	CASURINA COUSIN IT	150MM
10	DICHONDRA SILVER FALLS	150MM



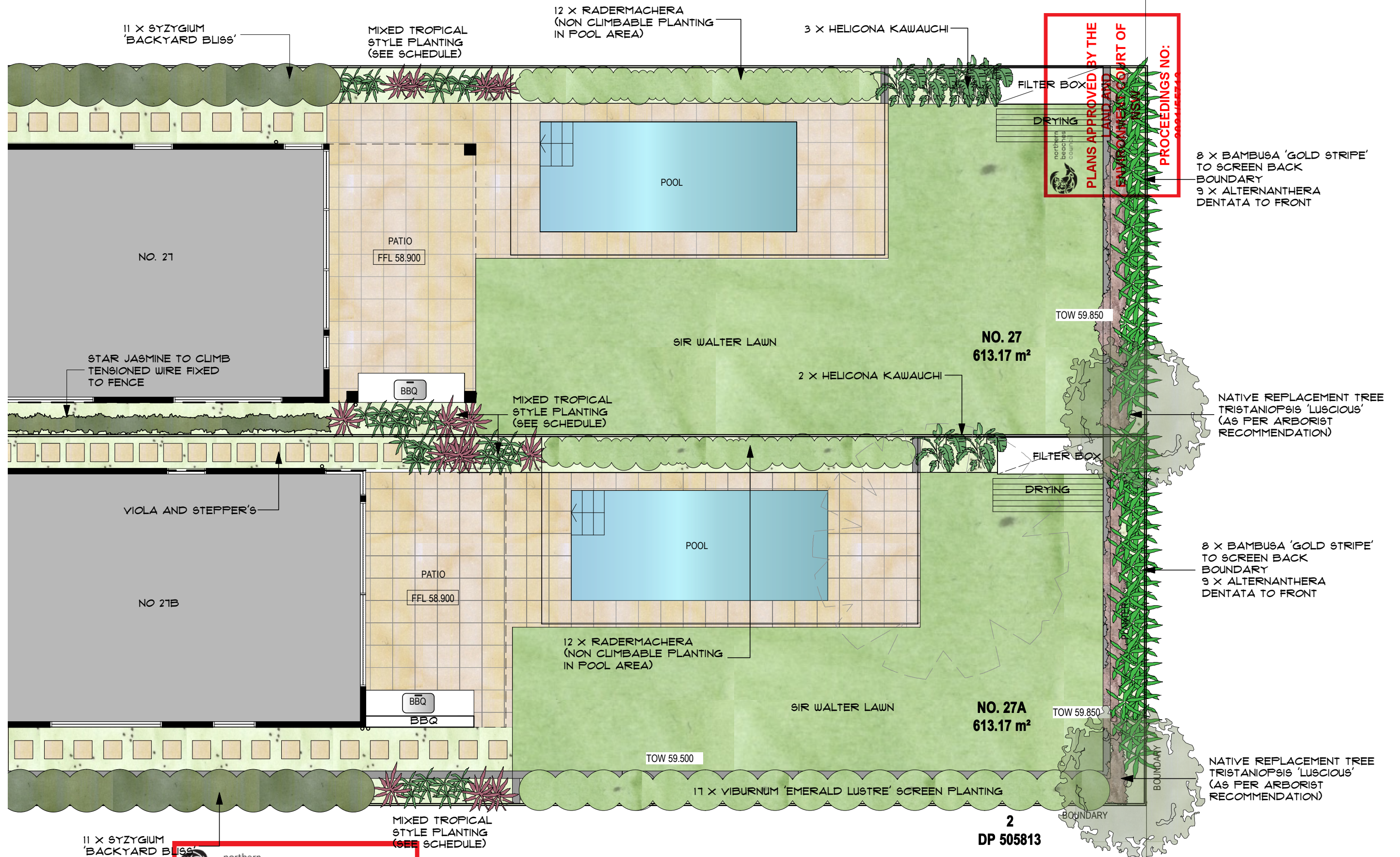
SITE ADDRESS		27 ALAN AVE SEAFORTH
CLIENT		O'HANLON GIULIANO & EL KHOURI
PLAN TYPE		LANDSCAPE PLANS
PAGE		1 LANDSCAPE SITE PLAN
SITE INFORMATION		ISS A - 25/10/19 ISS B - 29/6/21 AMENDED TO MATCH ADJUSTMENTS TO ARCHITECTS PLANS ISS C - 14/7/21 AMENDED TO MATCH ADJUSTMENTS TO ARCHITECTS PLANS ISS D - 22/7/21 AMENDED TO MATCH ADJUSTMENTS TO ARCHITECTS PLANS
DRAWING		LSCP 1376
DATE		ISS D - 22/7/21
ISSUE	SCALE	ISS. C 1:200@A3
PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW PROCEEDINGS NO: 2021/55713 DATED: 30 September 2021		 ALL DIMENSIONS TO BE VERIFIED ONSITE. ALL WORKS TO BE IN ACCORDANCE WITH BCA AND RELEVANT GOVERNMENT CODES.





<b>SITE ADDRESS</b> 21 ALAN AVE SEAFORTH	<b>PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW</b>  <b>PROCEEDINGS NO: 2021/55713</b>  <b>DATED: 30 September 2021</b>	<b>PLAN TYPE</b> LANDSCAPE PLANS	<b>SITE / DRAWING INFORMATION</b> LSCP 1376	<b>DRAWING / ISSUE</b> LSCP 135 C	<b>SCALE</b> 1:100@A3	
<b>CLIENT</b> O'HANLON GIULIANO & EL KHOURI				<b>DATE</b> 14/7/21	<b>PAGE</b> 2. FRONT DETAIL	







SPECIFICATIONS

SITE PREPARATION  
PLANTED MATERIAL TO BE STORED IN POTS ON SITE IN ORDER TO BE REPLANTED WHERE SPECIFIED.  
ANY EXISTING TREES AND VEGETATION TO BE RETAINED SHALL BE PRESERVED AND PROTECTED FROM DAMAGE OF ANY SORT DURING THE EXECUTION OF LANDSCAPE WORK. IN PARTICULAR, ROOT SYSTEMS OF EXISTING PLANTS MUST NOT BE DISTURBED. ANY NEARBY SITE WORKS SHOULD BE CARRIED OUT CAREFULLY USING HAND TOOLS. STORAGE OF MATERIALS, MIXING OF MATERIALS, VEHICLE PARKING, DISPOSAL OF LIQUIDS, MACHINERY REPAIRS AND REFUELING, SITE OFFICE AND SHEDS AND THE LIGHTING OF FIRES SHALL NOT OCCUR WITHIN THREE (3) METRES OF ANY EXISTING OR NEW TREES. DO NOT STOCKPILE SOIL, RUBBLE OR OTHER DEBRIS CLEARED FROM THE SITE, OR BUILDING MATERIALS WITHIN THE DRIP LINE OF EXISTING OR NEW TREES. ALL VEGETATION NOT SHOWN ON PLAN TO BE REMOVED. NO TREE REMOVAL IS TO OCCUR WITHOUT THE PRESENCE OF THE ARBORIST.

SERVICES  
SERVICES AND UTILITIES SHOWN HAVE BEEN LOCATED BY PHYSICAL EVIDENCE AND/OR BY REFERENCE TO SURVEYS PROVIDED. FITS MAY NOT HAVE BEEN OPENED TO VERIFY THE TYPE OF UTILITY. EXCAVATION HAS NOT BEEN CARRIED OUT TO CONFIRM UNDERGROUND LOCATION. SERVICE DETAILS SHOULD BE CONFIRMED WITH THE RELEVANT SERVICE AUTHORITY DURING DESIGN AND PRIOR TO COMMENCEMENT OF CONSTRUCTION.

SOIL PREPARATION  
REMOVE MIN 300MM OF EXISTING SITE SOIL WHERE IT DOES NOT INTERFERE WITH THE ROOTS OF THE EXISTING TREES PROVIDE SOIL PROFILES AS FOLLOWS:

PLANTER BOX MIX  
SIMILAR TO THAT SUPPLIED BY ANL TO ALL GARDEN BEDS AS SPECIFIED ON THE PLAN  
ANY IMPORTED SOIL OR SOIL BLENDS USING SITE TOPSOIL MATERIALS USED IN THE TOP 600MM OF ANY LANDSCAPED AREA FINISHED SOIL PROFILE SHALL MEET THE REQUIREMENTS OF AS 4419 - 2003 'SOILS FOR LANDSCAPING AND GARDEN USE'. SOILS SHALL BE PLACED AND COMPACTED IN LAYERS TO PREVENT UNDUE SETTLEMENT.  
SUB-BASE FILLING AND PLACEMENT SHALL MEET THE ENGINEERS MATERIAL AND COMPACTION REQUIREMENTS.

EROSION CONTROL  
WHERE GRADIENTS IN FINISHED SURFACE LEVEL EXCEED 1:2.5 MULCH IS TO BE HELD IN PLACE WITH AN UNOBTRUSIVE BIODEGRADABLE FIT FOR PURPOSE NETTING WITH THE NETTING TO BE FIXED IN PLACE AS THE MANUFACTURERS SPECIFICATION FOR THIS PARTICULAR SITUATION.

STAKING  
ALL TREES NOT SELF SUPPORTING AND TREES GENERALLY SHALL BE PROVIDED WITH POINTED HARDWOOD STAKES AS FOLLOWS:  
TREES UP TO CONTAINER SIZE OF 25L - 2 X 25MM X 25MM X 1M HIGH STAKES AT EACH  
TREES ABOVE CONTAINER SIZE OF 25L - 2 X 50 X 50 X 2.1 HIGH STAKES EACH  
TIES SHALL BE OF 50MM WIDE JUTE MESH WEBBING TIED 'FIGURE EIGHT PATTERN' TO SUPPORT THE PLANT AND TIES TO BE FIXED SECURELY TO STAKES

SOIL IMPROVEMENT  
WHERE SITE TOPSOIL IS TO BE USED IT SHALL BE IMPROVED BY ADDING BOTANY HUMAS OR SIMILAR AT A RATIO OF 1:3 BY VOLUME.

PLANTING MATERIALS  
PLANTS SHALL CORRESPOND TO THE PLANTING INDEX. THERE SHALL BE NO SUBSTITUTION IN QUALITY OR QUANTITY OF MATERIAL UNLESS OTHERWISE SPECIFIED BY THE LANDSCAPE ARCHITECT. THE LANDSCAPE ARCHITEC RESERVES THE RIGHT TO REFUSE ANY MATERIAL SHOWING SIGNS OF DISEASE, DISTORTED GROWTH HABIT OR MALPRACTICE. PLANTS TO BE PLACED IN THE GROUND NO MORE THAN 48 HOURS AFTER ARRIVAL ON SITE. PLANTS TO BE PLANTED IN ACCORDANCE WITH THE PLANTING DETAIL. PLANTING HOLES TO BE DUG DOUBLE THE WIDTH OF THE POT SIZE AND BACKFILLED WITH ORGANIC SOIL AND NATIVE FERTILIZER. THE FINISHED LEVEL OF THE PLANT IS TO FINISH FLUSH WITH THE EXISTING POT LEVEL. NO BACKFILLING AROUND THE STEM OF THE PLANT WITH EITHER SOIL OR MULCH.

EDGING  
PAVER EDGE INSTALLED ON MORTAR AND BRICKTOR BTW LAWN AND GARDENS

TURF  
USE PREMIUM SIR WALTER TURF OVER 250MM RIPPED SUBGRADE WITH MINIMUM OF 50MM TURF UNDERLAY.

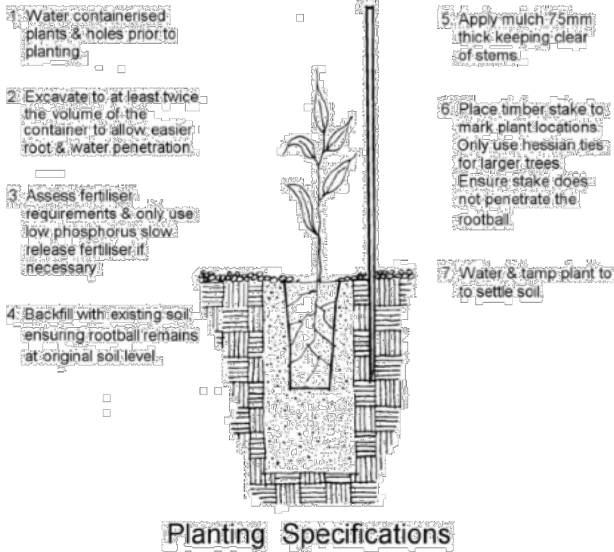
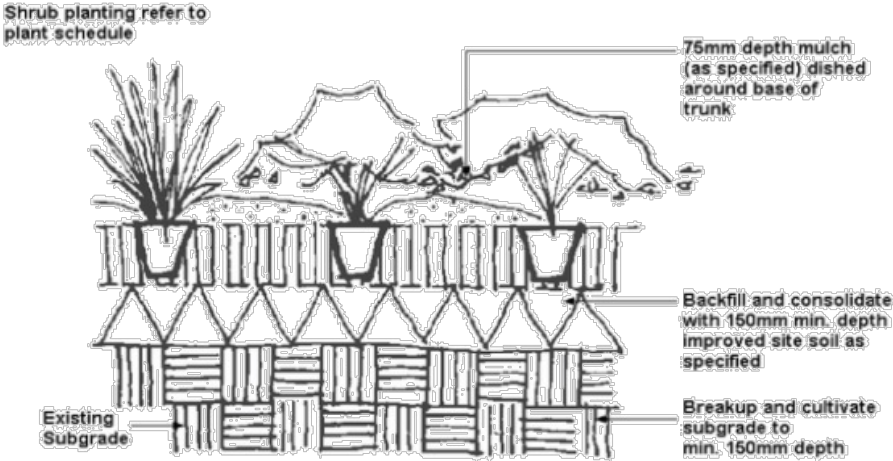
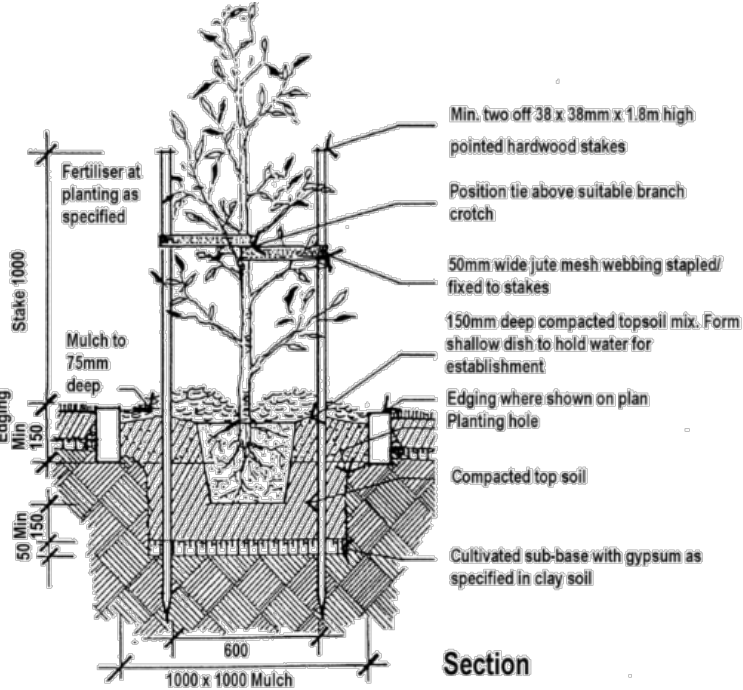
MULCH  
ALL PLANTER BEDS AND GARDEN AREAS SHALL HAVE CYPRESS MULCH.. ALL MULCH IS TO BE FREE OF DELETERIOUS MATTER SUCH AS SOIL, WEEDS AND STICKS.

MAINTENANCE  
ON COMPLETION OF WORK ALL PLANTING AREAS ARE TO BE FERTILISED WITH ORGANIC LIFE, SLOW RELEASE FERTILISER (OSMOCOTE 8-9 MONTH) WHICH IS TO BE SUFFICIENTLY WATERED IN, AS WELL AS A SOLUBLE FERTILISER SIMILAR TO SEASOL APPLIED IN ACCORDANCE WITH THE MANUFACTURERS DETAILS. REAPPLY AS PER DIRECTIONS.  
'WATERING IN' PERIOD OF 3 MONTHS IS APPLICABLE. WATER SHOULD BE APPLIED DURING THIS PERIOD SO AS PLANTS DO NOT GET TO THE STAGE OF WILTING.  
TIP PRUNING IS ENCOURAGED AT 3 MONTHS TO PROMOTE FULLER GROWTH


HARD CONSTRUCTION  
ALL CIVIL, STRUCTURAL AND HYDRAULIC WORK ASSOCIATED WITH THIS PROJECT SHALL BE TO CONSULTING ENGINEER'S DETAILS. ALL EXTERNAL STAIRS TO BE CONSTRUCTED IN ACCORDANCE WITH CLAUSE D2.13 OF THE BUILDING CODE OF AUSTRALIA.

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PLANTING SPECIFICATIONS

SITE ADDRESS		21 ALAN AVE SEAFORTH
CLIENT		O'HANLON GIULIANO & EL KHOURI
PLAN TYPE		LANDSCAPE PLANS
PAGE		4. SPECIFICATIONS
SITE INFORMATION		ISS A - 25/10/19  ISS B - 29/6/21 AMENDED TO MATCH ADJUSTMENTS TO ARCHITECTS PLANS  ISS C - 14/7/21 AMENDED TO MATCH ADJUSTMENTS TO ARCHITECTS PLANS  ISS D - 22/7/21 AMENDED TO MATCH ADJUSTMENTS TO ARCHITECTS PLANS
DRAWING		LSCP 1316
DATE		ISS D - 22/7/21
ISSUE	SCALE	ISS. C
 LANDSCAPE DESIGN		
ALL DIMENSIONS TO BE VERIFIED ONSITE. ALL WORKS TO BE IN ACCORDANCE WITH BCA AND RELEVANT GOVERNMENT CODES.		



GENERAL NOTES: Dated – 21.07.2021

1. THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION IF THE ISSUE DATE PRECEDES THE ISSUE DATE ON THE LATEST ARCHITECTURAL DRAWINGS.
2. DO NOT SCALE FROM THESE DRAWING.
3. ALL DIMENSIONS ARE TO BE VERIFIED ON SITE BY THE BUILDER BEFORE COMMENCING WITH ASSOCIATED WORK.

STORMWATER NOTES:

GENERAL:

- A1. ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE AUSTRALIAN STANDARDS (LATEST VERSION) AND THE REQUIREMENTS OF THE LOCAL COUNCIL AND ANY APPLICABLE AUTHORITIES.
- A2. ALL LEVELS SHOWN ARE TO THE AUSTRALIAN HEIGHT DATUM (AHD) UNLESS NOTED OTHERWISE.
- A3. THE LOCATION OF ALL DRAINAGE ELEMENTS ARE SHOWN INDICATIVELY BASED ON AVAILABLE SURVEY OR OTHER INFORMATION. ALL DRAINAGE ELEMENTS ARE TO BE INSTALLED WITH CONSIDERATION TO SITE CONSTRAINTS AND THE INTENT OF THE DRAINAGE CONCEPT.
- A4. ANY MATERIAL VARIATIONS TO THE DRAINAGE CONCEPT OR DETAILED STORMWATER ELEMENTS MUST BE APPROVED BY **NORTHERN DRAINAGE CONSULTING ENGINEERS PTY LTD** PRIOR TO COMMENCEMENT.

ON SPIN0303030  
NORTHERN DRAINAGE CONSULTING ENGINEERS PTY LTD  
SHILLABIE ROAD, SHILLABIE, NSW 2220  
TEL: 08 9360 0044  
WWW.NORTHERNDRAINAGE.COM.AU

GENERAL CONSTRUCTION NOTES:

- A5. ANY EXCAVATION OR TRENCHING FOR SERVICES ADJACENT TO A STRUCTURE OR PROPERTY BOUNDARY MUST NOT EXCEED **600mm** DEPTH UNLESS OTHERWISE NOTED.
- A6. CONTRACTORS TO LOCATE ALL EXISTING SERVICES PRIOR TO EXCAVATION AND NOTIFY ENGINEERS OF ANY POTENTIAL CLASHES WITH THE PROPOSED STORMWATER DRAINAGE SYSTEM.
- A7. ANY ELEMENTS OF THE EXISTING STORMWATER SYSTEM WHICH ARE PROPOSED TO BE RETAINED MUST BE INSPECTED AND APPROVED BY AN ENGINEER PRIOR TO CONSTRUCTION AS BOTH HAVING ADEQUATE CAPACITY TO CATER FOR THE RUNOFF DIRECTED TO IT AND BEING IN ADEQUATE CONDITION FOR USE.
- A8. EXISTING STORMWATER SYSTEM ALSO TO BE INSPECTED BY A SUITABLY QUALIFIED PLUMBER PRIOR TO CONSTRUCTION AND UPGRADED AS REQUIRED IN ACCORDANCE WITH A53500.3.
- B4. CARE SHOULD BE TAKEN WHEN UNDERTAKING WORKS IN THE VICINITY OF TREES NOT TO DISTURB THE TREE ROOT SYSTEM. HAND DIGGING OF TRENCHES MAY BE REQUIRED SUBJECT TO THE PROJECT ARBORIST'S REQUIREMENTS. REFER TO THE ARBORIST REPORT FOR EXCAVATION REQUIREMENTS SURROUNDING PROTECTED TREE ROOT ZONES.
- B5. SWIMMING POOL, SURCHARGE OVERFLOW TO BE CONNECTED VIA GRAVITY TO THE SEWER IN ACCORDANCE WITH A53500. DETAILS AND CERTIFICATION BY OTHERS.
- B6. EXTERNT, ALIGNMENT, DEPTH AND CONDITION OF ANY COUNCIL STORMWATER PIPELINE WITHIN A DEVELOPMENT SITE MUST BE VERIFIED PRIOR TO CONSTRUCTION AND THE ENGINEER MUST BE NOTIFIED UPON VERIFICATION. ANY NEW CONNECTION TO A COUNCIL STORMWATER PIPELINE WILL BE SUBJECT TO COUNCIL APPROVAL AND MUST BE INSTALLED IN ACCORDANCE WITH THE LOCAL COUNCIL SPECIFICATIONS.

PIPEWORK INSTALLATION:

- C1. ALL PIPES TO BE MINIMUM 100mm Ø UNLESS NOTED OTHERWISE.
- C2. ALL PIPES TO BE UPVC SLOPER GRADE TO AS 1254 UNLESS NOTED OTHERWISE.
- C3. ALL PIPES TO BE LAYED AT 1 % MINIMUM GRADE UNLESS NOTED OTHERWISE.
- C4. ALL CONNECTIONS INTO EXISTING PIPES MUST BE MADE IN THE DIRECTION OF FLOW.
- C5. ANY NEW UPVC CONNECTIONS INTO EXISTING R.C. PIPES MUST BE MADE INTO THE TOP HALF OF THE PIPE USING A FLOWCON CONNECTION FITTING UNO.
- C6. ALL PIPES SHALL BE Laid ON A 75mm SAND BED, COMPACTED TO 100% S.M.D. BELOW PAVEMENTS. (NO COMPACTATION REQUIRED BELOW LANDSCAPING) COVER TO SURFACE FROM TOP OF PIPE TO BE 300mm MINIMUM. BACKFILL TO BE ADEQUATELY CONSOLIDATED AROUND PIPES BY METHOD OF RAMPING AND WATERING IN. TRENCHES TO BE FILLED WITH NO-FINES GRANULAR MATERIAL AS SPECIFIED.
- C7. ALL EXISTING EARTHWORK PIPES TO BE UPGRADED TO UPVC.
- C8. MINIMUM PIPE COVER TO ALL IN-GROUND PIPEWORK SHALL BE CARRIED OUT IN ACCORDANCE WITH TABLE 7.1 - A53500.3.
- C9. ALL SUSPENDED PIPE FIXINGS ARE TO BE CARRIED OUT IN ACCORDANCE WITH A52903.
- C10. ENSURE THAT ALL STORMWATER PITS AND PIPES ARE LOCATED CLEAR FROM TREE ROOT SYSTEMS.
- C11. ALL PIPEWORK MUST BE INSTALLED WITHIN THE SITE BOUNDARY OF THE DEVELOPMENT SITE. ANY NEW OR EXISTING PIPEWORK EXTENDING THROUGH PRIVATE PROPERTY BEYOND THE BOUNDARY OF THE DEVELOPMENT SITE MUST BE CONTAINED SOLELY WITHIN A DRAINAGE EASEMENT. IF NO DRAINAGE EASEMENT EXISTS, A NEW DRAINAGE EASEMENT MUST BE Sought AND REGISTERED PRIOR TO UTILISING OR INSTALLING PIPEWORK THROUGH NEIGHBOURING PROPERTIES. CONTACT THE ENGINEER IF A DRAINAGE EASEMENT CANNOT BE OBTAINED.

ROOT DRAINAGE:

- D1. ALL DOWN PIPES TO BE 100mm Ø UNLESS NOTED OTHERWISE.
- D2. DOWN PIPE LOCATIONS ARE INDICATIVE ONLY. LOCATIONS TO BE CONFIRMED WITH ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- D3. PROVIDE CLEANING FITES AT ALL DOWNPIPES.
- D4. GUTTER GUARDS MUST BE INSTALLED ON ALL GUTTERS UNLESS NOTED OTHERWISE.
- D5. ALL EAVES GUTTER AND VALLEY GUTTER SYSTEMS MUST BE INSTALLED IN ACCORDANCE WITH A53500.3 REQUIREMENTS.
- D6. ALL BOX GUTTER SYSTEMS MUST BE INSTALLED STRICTLY IN ACCORDANCE WITH THE DETAILS SHOWN ON THE APPROVED STORMWATER MANAGEMENT PLAN. IF NO DETAILS ARE SHOWN, THE BOX GUTTER SYSTEM MUST BE INSTALLED IN ACCORDANCE WITH A53500.3. IF ANY CHANGE TO THE BOX GUTTER SYSTEM CONFIGURATION IS PROPOSED, THE ENGINEER MUST BE NOTIFIED FOR A RE-DESIGN. IF THE INSTALLED BOX GUTTER DOES NOT STRICTLY COMPLY WITH THE DESIGN DETAILED ON THE STORMWATER MANAGEMENT PLAN, CERTIFICATION OF THE HYDRAULIC SYSTEM MAY BE REFUSED BY ALL GREEN ROOFS, PEBBLED ROOFS AND PLANTERS WITH A CONCRETE BASE MUST BE WATERPROOFED AND HAVE DRAINAGE CELL INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATION.
- D7. ALL GREEN ROOFS, PEBBLED ROOFS AND PLANTERS WITH A CONCRETE BASE MUST BE WATERPROOFED AND HAVE DRAINAGE CELL INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATION.
- D8. ALL STORMWATER PITS MUST BE INSTALLED IN ACCORDANCE WITH A53500.3.
- D9. ALL CONCRETE PITS TO BE CAST IN-SITU OR, IF PRECAST, APPROVED BY ENGINEER. CAST IN-SITU PITS TO HAVE 150mm THICK CONCRETE WALLS AND BASE. WALLS TO BE REINFORCED WITH 1 N12 TOP THE UNLESS NOTED OTHERWISE. CAST IN-SITU PITS GREATER THAN 300 DEEP TO BE MINIMUM 900x600 AND TO HAVE 150mm THICK CONCRETE WALLS AND BASE. WALLS TO BE REINFORCED WITH N12 AT 300 EACH MAY UNLESS NOTED OTHERWISE.
- E3. MINIMUM INTERNAL DIMENSIONS FOR STORMWATER AND INLET PITS TO BE IN ACCORDANCE WITH TABLE 8.2. A53500.3.
- E4. ALL PITS GREATER THAN 1200mm DEEP SHALL HAVE STEP IRONS INSTALLED STEP IRON INSTALLATION MUST BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS.



# Consulting Engineers

## STRUCTURAL - CIVIL - STORMWATER - REMEDIAL

- E5. THE BOUNDARY OR SILT ARRESTOR PIT MUST INCORPORATE A SUMP OF MINIMUM 200mm DEPTH BELOW THE INVERT OF THE OUTLET PIPE AND A MAX-HIGH SCREEN AS PER LOCAL COUNCIL AND THE AUSTRALIAN STANDARD REQUIREMENTS. HOWEVER UNLESS SPECIFICALLY REQUIRED BY COUNCILS POLICY OR IF THE SITE CONSISTS OF A CLAY OR ROCK SUBGRADE, ALL OTHER DRAINAGE PITS WILL NOT REQUIRE A SUMP.
- E6. ALL STORMWATER PITS TO BE LOCATED AT LOW POINTS TO PREVENT POINDED WATER.
- E7. FOR STORMWATER PITS LOCATED BELOW THE WATER TABLE, CUT INTO ROCK OR IN POORLY DRAINED SOILS, THE PIT SUMP MAY BE FILLED WITH MORTAR AND SCREEDED TOWARDS THE OUTLET AT MINIMUM 1% FALL, SUBJECT TO THE ENGINEERS APPROVAL.

SUBSOIL DRAINAGE:

- F1. ALL SUBSOIL DRAINAGE TO BE INSTALLED AS REQUIRED IN ACCORDANCE WITH A53500.3 (SPECIFICALLY SECTION 6, 7 AND APPENDIX N) AND THE NCC.
- F2. INSTALLATION OF SUBSOIL DRAINAGE LINES IS GENERALLY REQUIRED WHERE SUBSURFACE WATER MOVEMENT COULD DAMAGE BUILDINGS OR CAUSE LOSS OF AGRICULTURE THROUGH THE BUILD-UP OF EXCESSIVE MOISTURE OR LATERAL WATER PRESSURE. THIS INCLUDES ALONG WALLS THAT IMPEDE THE NATURAL FLOW OF GROUNDWATER, ON THE UPHILL SIDE OF CUT AND FILL SITES, ADJACENT TO DEEP FOOTINGS, BEHIND RETAINING WALLS AND ADJACENT TO BASEMENT WALLS. SUBSOIL DRAINAGE IS GENERALLY ALSO REQUIRED IN SHALLOW LANDSCAPED AREAS OVER ROCK OR POORLY DRAINED SOILS TO PREVENT OVERLY SATURATED LANDSCAPED AREAS.
- F3. THE INSTALLATION OF SUBSOIL DRAINAGE MAY REQUIRE TRENCHING THROUGH ROCK.
- F4. ALL SUBSOIL LINES ARE TO BE 100mm UPVC SLOTTED PIPE (UNBLOCKED), LAID AT (MIN.) 0.5% FALL UNO.
- F5. THE SUBSOIL LINE IS TO BE SURROUNDED BY SELECT FILTER MATERIAL, GENERALLY 10-20mm DIAMETER AGGREGATE.
- F6. THE TRENCH SHALL BE SIZED TO PROVIDE A MINIMUM 50mm BEDDING AND 100mm COVER ALL AROUND THE SUBSOIL LINE, GENERALLY MINIMUM 300mm WIDE X 300mm DEEP. THE TRENCH IS TO BE OVERLAPPED ALL-ROUND IN NON-WOVEN, GEOTEXTILE FABRIC OF STRENGTH CLASS A, WITH SUFFICIENT WRAPPE (LESSER OF TRENCH WIDTH OR 500mm).
- F7. WHERE THE IN-SITU SOILS HAVE A GRAIN SIZE SMALLER THAN THE GEOTEXTILE FABRIC, COARSE WASHED-SAND SHOULD BE USED AS A FILTER TO PREVENT BLOCKAGE OF THE GEOTEXTILE.
- F8. THE BACKFILL LAYER OVER THE TRENCH SHALL BE NO-FINES COARSE WASHED-SAND WHERE LANDSCAPED AREAS ARE PROPOSED OVER THE TRENCH, THE TOP 300mm OF BACKFILL MAY BE MIXED WITH UP TO 20% ORGANIC MATTER.
- F9. ALL SUBSOIL LINES ARE TO DISCHARGE INTO A GRADED PIT, AT A LEVEL MINIMUM 50mm ABOVE THE PIT OUTLET UNO. THE PROJECT BUILDER IS TO IMPLEMENT APPROPRIATE MEASURES TO PREVENT SUBSOIL LINE BLOCKAGE OR INFESTATION OF VERMIN.
- F10. THE HIGH-END OF THE SUBSOIL LINE IS TO BE TURNED UP AT 45° AND TERMINATE AT GROUND LEVEL, WITH AN INSPECTION CAP TO ENABLE FUTURE FLUSH OUT AND MAINTENANCE.
- F11. 100mm Ø X 3000 LONG TAIL OUT SUBSOIL LINE TO BE PROVIDED ON THE UPSTREAY SIDE OF ALL LARGE PITS OR IN AREAS WITH HIGH SEEPAGE FLOWS. SUBSOIL LINE TO BE COVERED WITH GEOTEXTILE FILTER SOCK FOR THE FULL LENGTH AND END COVERED. BACKFILL MUST BE IN NO-FINES COARSE WASHED-SAND.

CHARGED SYSTEM:

- G1. ALL PIPEWORK IN A CHARGED SYSTEM TO BE 100mm Ø UPVC PRESSURE OR SLOPER GRADE PIPES WITH ALL JOINTS PRESSURE SEALED TO A MINIMUM OF 1,000mm (UNLESS NOTED OTHERWISE) ABOVE THE INLET OF THE DISCHARGE POINT. ALL JOINTS TO BE SOLVENT WELDED IN ACCORDANCE WITH THE AUSTRALIAN STANDARDS.
- G2. ALL CHARGED SYSTEMS MUST HAVE A BLEED OUT LINE AT THE LOW POINT IN THE CHARGED SYSTEM WHICH MUST BE CONNECTED TO A FLUSH OUT PIT VIA GRAVITY. THE BLEED LINE MUST BE MAINTAINED AND REGULARLY FLUSHED OUT.

SURFACE DRAINAGE:

- H1. WHEN LAND FALLS TOWARDS A BUILDING, INCLUDING LAND UPSLOPE OF THE PROPERTY BOUNDARY, GROUND SURFACE LEVELS ADJACENT TO THE BUILDING ARE TO BE REGRADED SUCH THAT THE FIRST METRE HAS MINIMUM 50mm FALL AWAY FROM THE BUILDING, GENERALLY IN ACCORDANCE WITH THE NCC.
2. ANY NEW DRAINAGE WORKS MUST NOT CREATE ANY TRAPPED SURFACE AREAS. IN SUCH CASES WHERE TRAPPED AREAS EXIST, SHALE DRAINS OR GRATED PITS WITH PIPED OUTLETS OF ADEQUATE CAPACITY MAY BE REQUIRED TO ROUTE RUNOFF AROUND THE BUILDING TO AN APPROVED DISCHARGE POINT. IF THE TRAPPED AREA IS BELOW THE NATURAL SURFACE LEVEL, A PUMP OUT SYSTEM MAY BE REQUIRED. IN EITHER CASE, THE PROJECT ENGINEER MUST BE CONTACTED FOR DESIGN DETAILS (AS REQUIRED) PRIOR TO CONSTRUCTION.
- H3. BULDER TO PROVIDE A MINIMUM 100mm WIDE X 30mm HIGH OR 50mm DIA OVERFLOW FOR EVERY 6m<sup>2</sup> OF EXPOSED AREA THAT IS TRAPPED OR SURROUNDED BY HOBS/DALUS/RADES/WALLS/ETC. THE FULL OVERFLOW DEPTH MUST BE LOCATED BELOW ANY ADJACENT INTERNAL FLOOR LEVELS OR OPENINGS TO PROTECT AGAINST WATER INGRESS DUE TO BLOCKAGE OF THE PRIMARY OUTLET(S).

RAINWATER RE-USE TANKS:

- K1. CONSIDERING THE ROOF CATCHMENT AREA, LOCATION OF PROPERTY, INTENDED USE OF RAINWATER AND GARDEN SIZE WE RECOMMEND PROVIDING A RAINWATER TANK FOR USE AS PER BASIX REQUIREMENTS. SYDNEY WATER AND NSW HEALTH REQUIREMENTS FOR NON DRINKING USE ONLY.
- K2. THE TANKS PROVIDED WILL REDUCE PRESSURE ON COUNCIL'S STORMWATER INFRASTRUCTURE.
- K3. REFERENCES (COMBES P.1 & KUCZEBA G. (2001), 'RAINWATER TANK DESIGN FOR WATER SUPPLY & STORMWATER MANAGEMENT', 'RAINWATER' INDUSTRY ASSOCIATION REGIONAL CONFERENCE. PATRICK DUPONT & STEVE SHACKLE, 'RAINWATER' AUSTRALIAN GOVERNMENT (2004), 'GUIDANCE ON USE OF RAINWATER TANKS'.
- K4. ALL CONNECTIONS TO PLUMBING AND RAINWATER TANKS TO BE IN ACCORDANCE WITH SYDNEY MATERS' GUIDE 'INSTALLING A RAINWATER TANK' AVAILABLE AT [www.sydneywater.com.au](http://www.sydneywater.com.au)
- K5. PROVIDE A DUAL SUPPLY SYSTEM AND BACKFLOW PREVENTION SYSTEM IN ACCORDANCE WITH BASIX-DESIGN GUIDE FOR SINGLE DWELLINGS' BY NSW DEPARTMENT OF INFRASTRUCTURE, PLANNING AND NATURAL RESOURCES.
- K6. IF NOT SPECIFIED ON PLANS, THE FIRST FLUSH SYSTEM IS TO HAVE A MINIMUM SIZE OF 20L PER 10m<sup>2</sup> OF ROOF CATCHMENT AREA PRIOR TO ENTERING THE RAINWATER TANK. INDIVIDUAL SITE ANALYSIS IS REQUIRED IN HEAVILY POLLUTED AREAS TO DETERMINE IF LARGER VOLUMES OF FIRST FLUSH RAINWATER ARE TO BE DIVERTED. IF IN DOUBT, CHECK WITH LOCAL HEALTH AUTHORITIES.
- K7. SCREENED DOWNPIPE RAINWATER HEAD OR OTHER SUITABLE LEAF AND DEBRIS DEVICE TO BE INSTALLED ON EACH DOWNPIPE. SCREEN MESH TO BE 4-mm AND DESIGNED TO BE SELF-CLEANING.
- K8. FIRST FLUSH DEVICES, OR APPROVED ALTERNATIVE, TO BE INSTALLED WITH AN AUTOMATED DIVERSION AND DRAINAGE SYSTEM, THAT IS, NO MANUAL DIVERSION AND DRAINAGE VALVES. REFER TYPICAL FLUSH OUT PIT FOR DETAILS.
- K9. BEFORE PURCHASING MATERIALS OR PAINT TO BE USED ON ROOF CATCHMENT AREAS, THE MANUFACTURERS RECOMMENDATIONS ON LABELS AND BROCHURES FOR RAINWATER TANK SUITABILITY TO BE READ AND ADHERED TO.
- K10. PRE-STORAGE PITS FOR UNDERGROUND RAINWATER STORAGE TANKS AND FLUSH OUT PITS MAY ASSIST IN LIMITING SLIT, AND PREVENT VERMIN, INSECTS (INCLUDING MOSQUITOES) AND DEBRIS FROM ENTERING THE RAINWATER STORAGE AREA.
- K11. BUILDER/PLUMBER TO ENSURE THE INSTALLATION OF THE RAINWATER TANK SYSTEM IS IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS AND THE RAINWATER TANK DESIGN AND INSTALLATION HANDBOOK - HB 230-2008. IF IN DOUBT CONTACT ENGINEER.
- K12. RAINWATER TANK TO BE WATER PROOFED IN ACCORDANCE WITH HB 230-2008



DIAL BEFORE YOU DIG NOTE:

NO INVESTIGATION OF UNDERGROUND SERVICES HAS BEEN MADE. ALL RELEVANT AUTHORITIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION ON OR NEAR THE SITE DEVELOPERS' EXCAVATORS MAY BE HELD FINANCIALLY RESPONSIBLE BY THE ASSET OWNER SHOULD THEY DAMAGE UNDERGROUND NETWORKS.

CARELESS DIGGING CAN:

- CAUSE DEATH OR SERIOUS INJURY TO WORKERS AND THE GENERAL PUBLIC
- INCONVENIENCE USERS OF ELECTRICITY, GAS, WATER AND COMMUNICATIONS
- LEAD TO CRIMINAL PROSECUTION AND DAMAGES CLAIMS
- CAUSE EXPENSIVE FINANCIAL LOSSES TO BUSINESS
- CUT OFF EMERGENCY SERVICES
- DELAY PROJECT COMPLETION TIMES WHILE THE DAMAGE IS REPAIRED



MINIMISE YOUR RISK  
AND DIAL BEFORE YOU  
DIG. - TEL. 1100

### ONSITE DETENTION SYSTEM SUMMARY NOTES FOR LOT A

TOTAL SITE AREA	613 m <sup>2</sup>
PRE DEVELOPMENT IMPERVIOUS AREA	212 m <sup>2</sup> (35%)
POST DEVELOPMENT IMPERVIOUS AREA	317 m <sup>2</sup> (51%)
PRE DEVELOPMENT SITE DISCHARGE (USE 35% IMPERVIOUS RATIO)	11 1/6
5 YR	11 1/6
100 YR	25 1/6
POST DEVELOPMENT SITE DISCHARGE	
5 YR	9 1/6 (6 1/6 FROM OSD)
100 YR	11 1/6 (6 1/6 FROM OSD)
OSD REQUIREMENT	11.5 m <sup>3</sup>
RWT REQUIRED TO PROVIDE 100% OSD OFFSET	11.5 m <sup>3</sup>
RWT REQUIREMENT (BASIX - TO BE CONFIRMED)	11.5 m <sup>3</sup> (NOTE: 12.0 m <sup>3</sup> PROVIDED)
REVISED OSD VOLUME (AFTER OFFSET)	0 m <sup>3</sup>

### ONSITE DETENTION SYSTEM SUMMARY NOTES FOR LOT B

TOTAL SITE AREA	613 m <sup>2</sup>
PRE DEVELOPMENT IMPERVIOUS AREA	182 m <sup>2</sup> (30%)
POST DEVELOPMENT IMPERVIOUS AREA	326 m <sup>2</sup> (53%)
PRE DEVELOPMENT SITE DISCHARGE (USE 30% IMPERVIOUS RATIO)	11 1/6
5 YR	11 1/6
100 YR	25 1/6
POST DEVELOPMENT SITE DISCHARGE	
5 YR	8 1/6
100 YR	11 1/6
OSD REQUIREMENT	12.5 m <sup>3</sup>
RWT REQUIRED TO PROVIDE 100% OSD OFFSET	12.5 m <sup>3</sup>
RWT REQUIREMENT (BASIX - TO BE CONFIRMED)	12.5 m <sup>3</sup> (NOTE: 13.0 m <sup>3</sup> PROVIDED)
REVISED OSD VOLUME (AFTER OFFSET)	0 m <sup>3</sup>

IF IN DOUBT ASK

ISSUED FOR SECTION 34  
SUBMISSION  
NOT FOR CONSTRUCTION

30-07-2021	C	ISSUED FOR SECTION 34 SUBMISSION. NOT FOR CONSTRUCTION.
06-12-2019	B	ISSUED FOR DA SUBMISSION
	A	ISSUED FOR COMMENT
Date:	Issue:	Description:

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Architect:	Client:
BUCK & SIMPLE	OHANLON, GIULIANO & EL KHOURI

Project:	Drawing Title:
27 ALAN AVENUE, SEAFORTH	STORMWATER MANAGEMENT GENERAL NOTES AND DRAWING SCHEDULE

Date:	Design:	Drawn:
NOV. 2019	CH/CHCL	MC
Job No:	Drawing No:	Issue:
1909132	D00	A

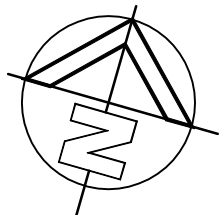






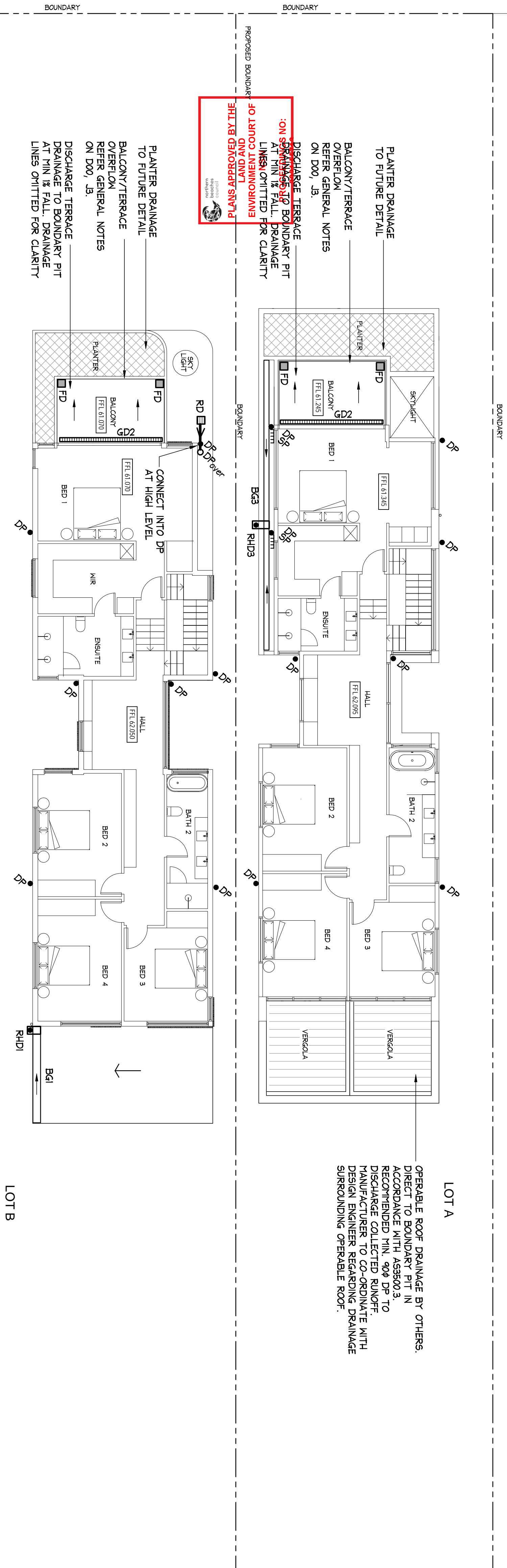






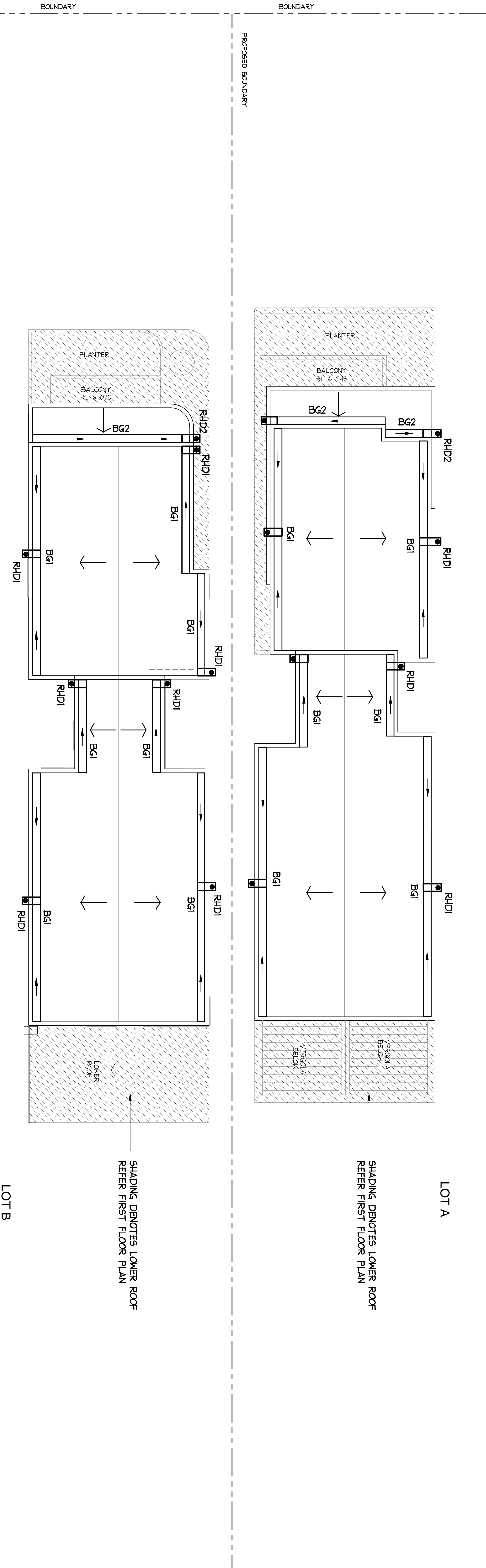
Plans Approved by the Land and Environment Court of NSW  
Proceedings No: 2021/55713  
Dated: 30 September 2021

NOTE: FLASHING/WATERPROOFING  
ALL WATERPROOF MEMBRANES AND  
FLASHINGS TO BE INSTALLED AS  
PER ARCHITECTS DETAILS.



## FIRST FLOOR AND LOWER ROOF - DRAINAGE PLAN

SCALE = 1 : 100



## UPPER ROOF - DRAINAGE PLAN

SCALE = 1 : 100

ISSUED FOR SECTION 34  
SUBMISSION  
NOT FOR CONSTRUCTION

IF IN DOUBT ASK

30-07-2021	C	ISSUED FOR SECTION 34 SUBMISSION. NOT FOR CONSTRUCTION.	MC	CJ	30-07-2021	DOCUMENT CERTIFICATION	30-07-2021	BUCK & SIMPLE	NEW RESIDENCE	27 ALAN AVENUE, SEAFORTH	NOV. 2019	CH/CTCL	MC	1909132	D03	C
06-12-2019	B	ISSUED FOR DA SUBMISSION	MC	CF	Rick G. McKay	Structural, Civil, Stormwater - Remedial	Sydney: Ph: (02) 9984 7000 Fax: (02) 9984 7444	Client:	Project:	Drawing Title:	Job No:	Design:	Drawn:	Issue:		
	A	ISSUED FOR COMMENT	MC		BE(Civil), Chief, Remedial, NRS, RPEP, 20093	Gold Coast: Ph: (07) 5631 4744	Suite 1, 30B Griffin Street Coolangubra QLD 4225	OHANLON, GIULIANO & EL KHOURI	STORMWATER MANAGEMENT DRAINAGE PLANS							
Date:	Issue:	Description:	By:	Reviewer:	The copyright of this drawing remains with Northern Beaches Consulting Engineers Pty Ltd. Issued as per Consulting Engineers											







