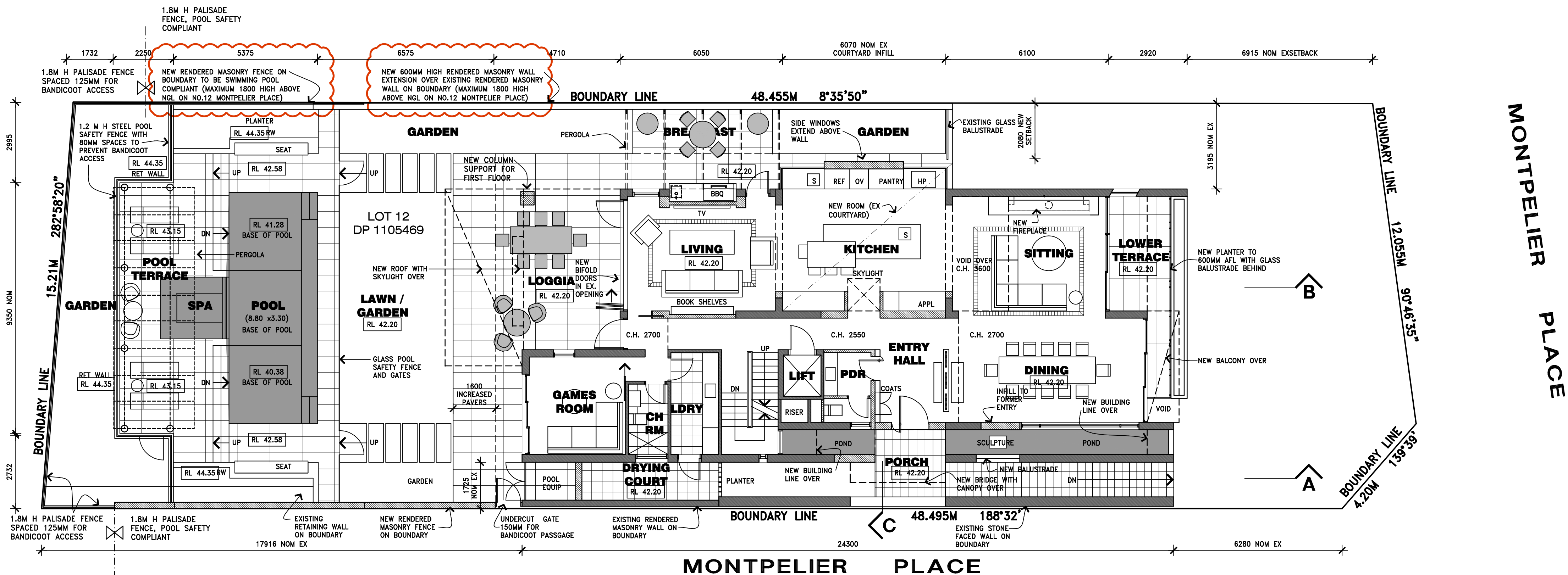
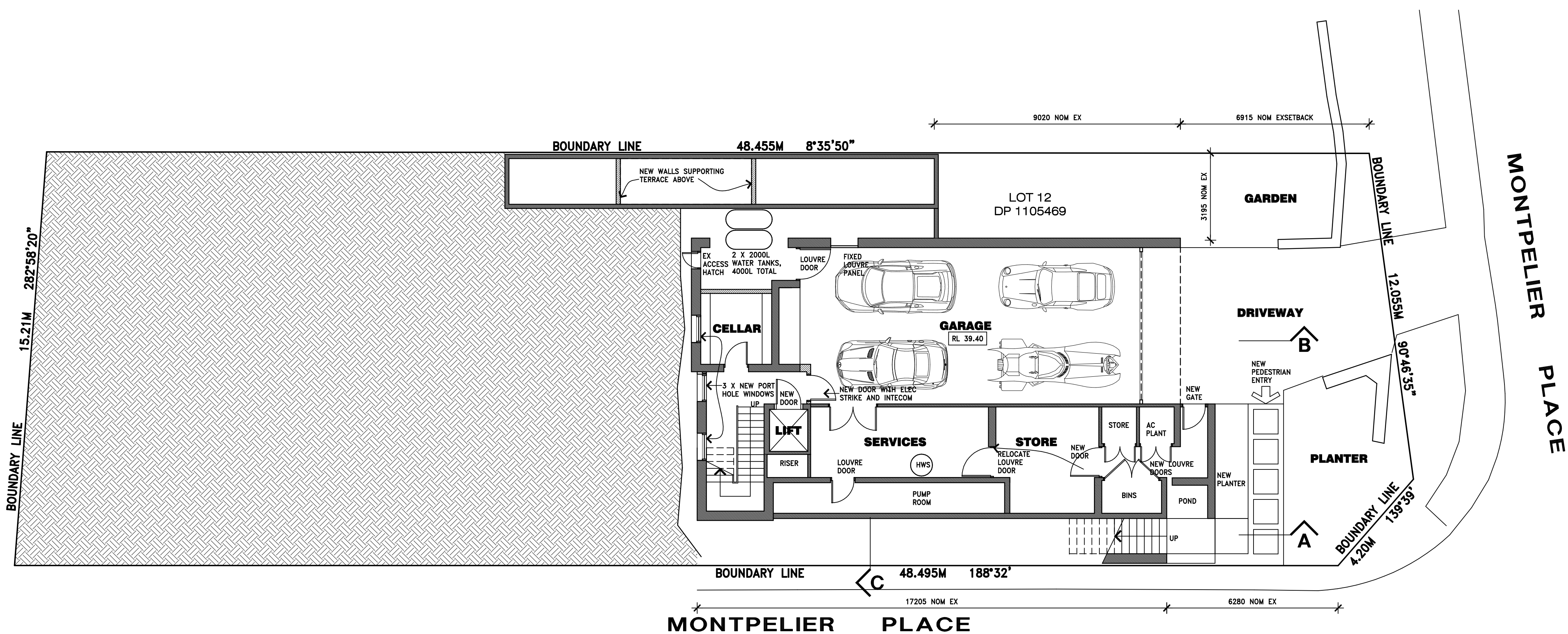




GROUND FLOOR-
PROPOSED PLAN



LOWER GROUND FLOOR-
PROPOSED PLAN

SITE DETAILS
(IN ACCORDANCE WITH AREA OS3 REQUIREMENTS)

SITE AREA	752.8m ²	-
REQUIREMENT	SIZE	PERCENTAGE
GROSS FLOOR AREA	335.2m ²	44.5%
TOTAL OPEN SPACE	532.5m ²	70.8%
LANDSCAPED AREA	237.8m ²	44.7% (of TOS)

KEY

EXISTING WALLS TO BE RETAINED
NEW WALLS

C YS 21/01/22
Existing west boundary fence increased in height by 600mm
(1800 high maximum above NGL on No.12 Montpelier Place)
Pool compliant masonry fence (south-west boundary) not to
exceed 1800mm high above NGL on No.12 Montpelier Place

B RW 18/10/21 Basement- porches added
Basement- RW tanks relocated
Basement- Store and Service existing walls and doors
clarified
Ground- Kitchen walls changed, skylight Increased
Ground- east cpd added to Entry
Ground- masonry fence added to east side Ground- pool
retaining walls adjusted
Ground- Games Rm door changed to sliding
Upper- spa added to terrace, balustrades added
Upper- Bed 1 window east raised 200mm.
Upper- adjustable louvers deleted, window added
Upper- skylight added to stairwell
Upper- corridor duct removed, no linen cpd Upper-door to
Bedroom 2 changed
Upper- South Ensuite all lowered 300mm
Upper- Bed 2 window screen altered
Upper- redundant louvers removed
Roof- new solar system shown
General- new and existing sunshade canopy detail
changed to all balconies
General- WeatherTex cladding changed to painted Scyon
grooved panels
General- boundary fences and retaining walls clarified
General- Woodland Grey finish added

A RW 22/9/20 Planter added to front edge of balconies
Balcony added to front of master bedroom
Window added to east elevation
Window added to west elevation
BBQ relocated off breakfast
Loggia / support for first floor S/W corner
changed
Fence added around pool terrace
Pool and safety fencing redesign

Rev By Date Amendment Details

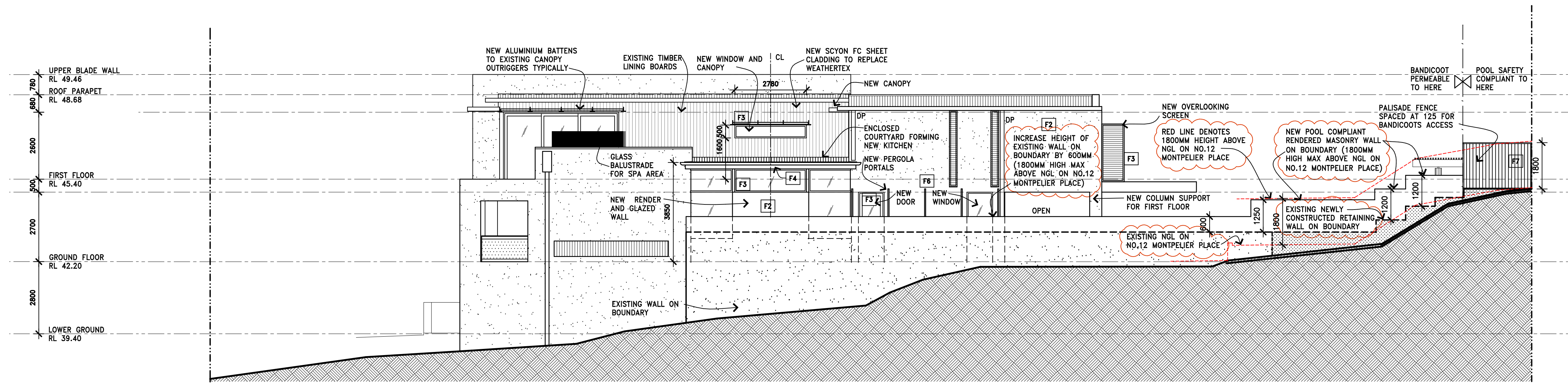
Amendments

General Notes

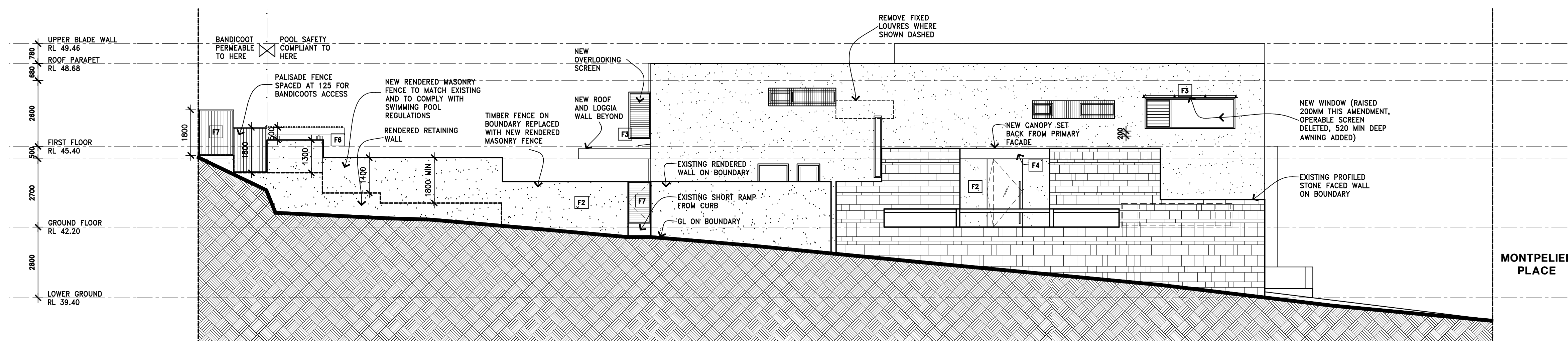
THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL
ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND
SPECIFICATIONS AND WITH SUCH WRITTEN INSTRUCTIONS AS
MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.
DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE
DRAWINGS. THE BUILDER SHALL CHECK ALL DIMENSIONS AT
THE JOB AND SHALL REFER ALL DISCREPANCIES TO THE
ARCHITECT BEFORE THE WORK PROCEEDS.
ALL WORKMANSHIP AND MATERIALS SHALL BE IN
ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT
EDITIONS, INCLUDING AMENDMENTS OF THE RELEVANT SAA
STANDARDS AND SAA CODES OF PRACTICE EXCEPT AS
VARYING BY THE CONTRACT DOCUMENTS AND BY THE LAWS
AND REQUIREMENTS OF STATUTORY AUTHORITIES.
SUBSTITUTIONS ARE TO BE ONLY WITH THE APPROVAL OF
THE ARCHITECT.

Project
KELLEHER RESIDENCE
12 MONTEPELIER PLACE
MANLY
Proprietor
JOHN & CHRISTINE KELLEHER
Drawing Title
PROPOSED PLANS
LOWER GROUND AND GROUND

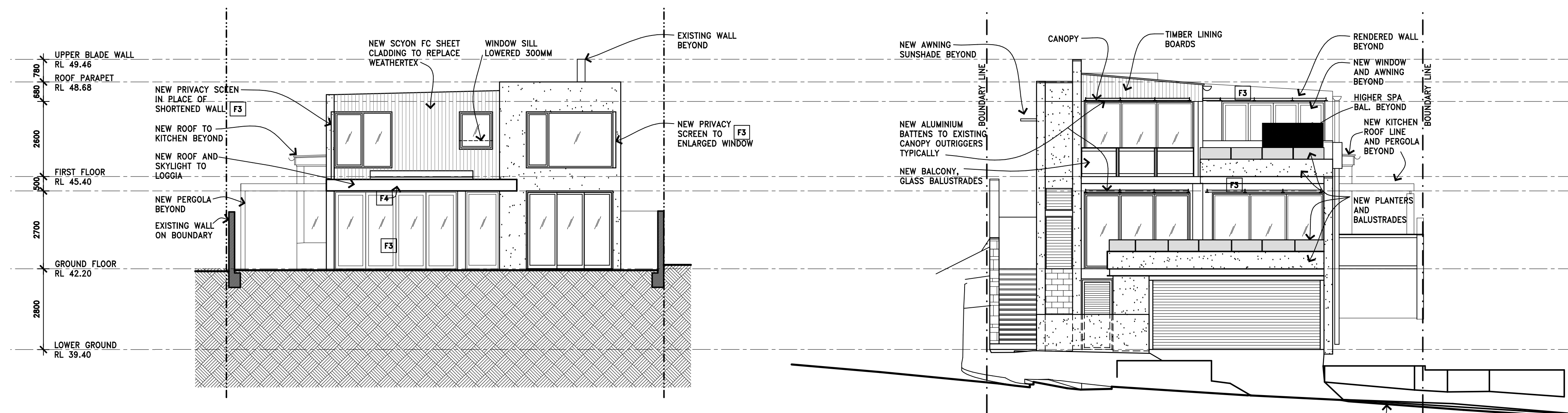
North	Drawn RW
Date	SEPTEMBER 2019
Scale	1:100
Filename	
Job No	1908
Drawing No	DA02
Revision	C



WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION

NORTH ELEVATION

C VSY 21/01/22

Extaling west boundary fence increased in height by 600mm (1800 high maximum above NGL on No.12 Montpelier Place)

Pool compliant masonry fence (south-west boundary) not to exceed 1800mm high above NGL on No.12 Montpelier Place

B RW 19/10/21 Basement- porolithes added

Basement- Sluice and Serrat exiting walls and doors clarified

Ground-Kitchen walls to change, skylight increased

Ground- coat cd added to Entry

Ground- masonry fence added to east side

retaining walls adjust

Ground- Games Rm door changed to sliding

Upper- sto added to terrace, bouliardes added

Upper- Bed 1 window east raised 200mm,

ceiling- doors deleted, ceiling added

Upper- skylight added to stairwell

Upper- corridor dual removed, no linen cd

Upper- door to

Bedroom 2 changed

Upper- South Ensuite still lowered 300mm

Upper- 5 window seen altered

Upper- redundant louvers removed

Roof- new solar system shown

Sentry- new and existing casabeds canopy detail

changed to al. baffles

Roof- weatherex cladding changed to painted Sayon

ground panels

General- boundary fences and retaining walls clarified

General- Westland Grey finish added

A RW 22/9/20 Planter added to front edge of balconies

Balcony added to front of master bedroom

Window added to west elevation

Window added to west elevation

BBB renoted apcd Breakfast

Joggs / support for first floor S/W corner

changed

Fence added around pool terrace

pool and safety fencing redesign

RevByDateAmendment Details

Amendments

General Notes

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS AND WITH SUCH WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS. THE BUILDER SHALL CHECK ALL DIMENSIONS AT THE JOB AND SHALL REFER ALL DISCREPANCIES TO THE ARCHITECT BEFORE THE WORK PROCEEDS. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT EDITIONS, INCLUDING AMENDMENTS OF THE RELEVANT SAA STANDARDS AND SAA CODES OF PRACTICE EXCEPT AS VARYED BY THE CONTRACT DOCUMENTS AND BY THE LAWS AND REQUIREMENTS OF STATUTORY AUTHORITIES. SUBSTITUTIONS ARE TO BE ONLY WITH THE APPROVAL OF THE ARCHITECT.

Project

KELLEHER RESIDENCE

12 MONTEPELIER PLACE

MANLY

Proprietor

JOHN & CHRISTINE KELLEHER

Drawing Title

PROPOSED ELEVATIONS

North

DateRW

DateSEPTEMBER 2019

Scale1:100

Filename

Job NoDrawing NoRevision

1908DA04C

CORTSE

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