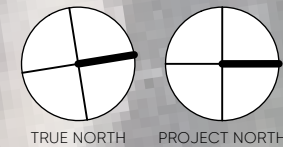
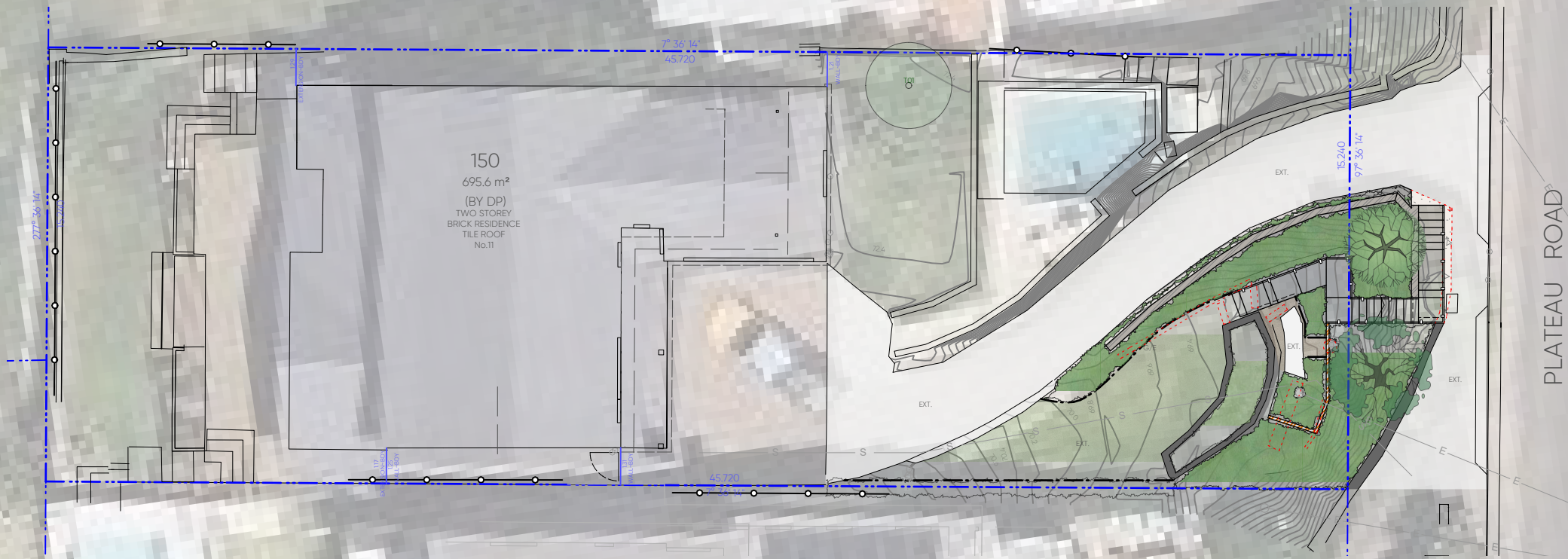
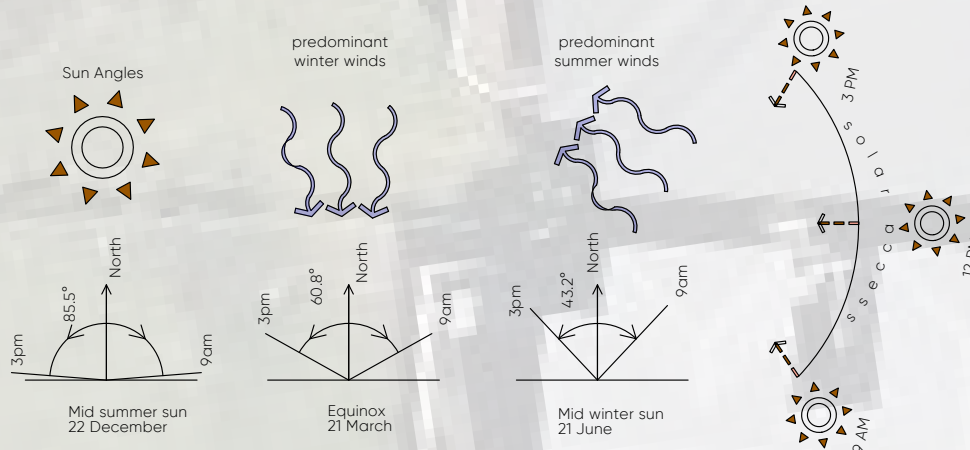


PROPERTY DETAILS:

Address: 11 Plateau Rd, Avalon Beach NSW 2107
Council: Northern Beaches Council (Pittwater Ward)
LEP: Pittwater LEP 2014
DCP: Pittwater 21 DCP
Lot: 150
DP: 16902
Zoning: C4
Site Area: 695.6 m² (by DP)

SITE ANALISYS:



TCGD

U5 / 8 BEACON HILL RD, BROOKVALE NSW 2100
Tel 04 11 288 650 - Email thomas@tcgd.com.au
THESE DRAWINGS HAVE BEEN PREPARED BY AND REMAIN THE PROPERTY OF TCGD & ARE SUBJECT TO COPYRIGHT LAWS

CLIENT:
Mrs S. Mander

DRAWN BY:
TC

CHECKED BY:
CG

DRAWING TITLE:
Site Plan 01
Site Analysis

PROJECT ADDRESS:
11 Plateau Rd
Avalon Beach
NSW 2107

SCALE:
1:200 @ A3

SP 01

PROJECT NUMBER:
#24/040

COMMENCEMENT DATE:
15.08.2024

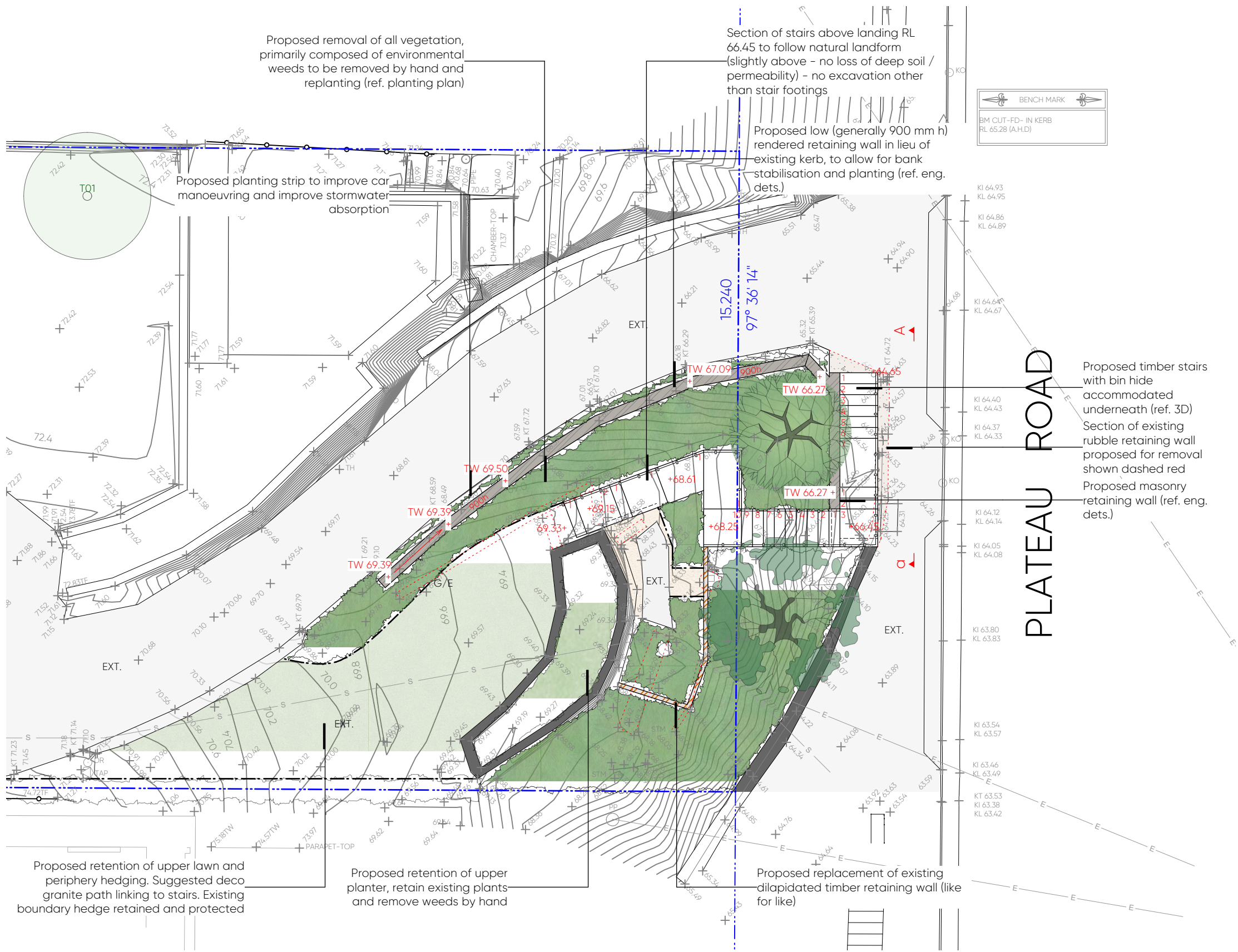
REVISION • DATE:
Rev A 14.02.2025

GENERAL NOTES

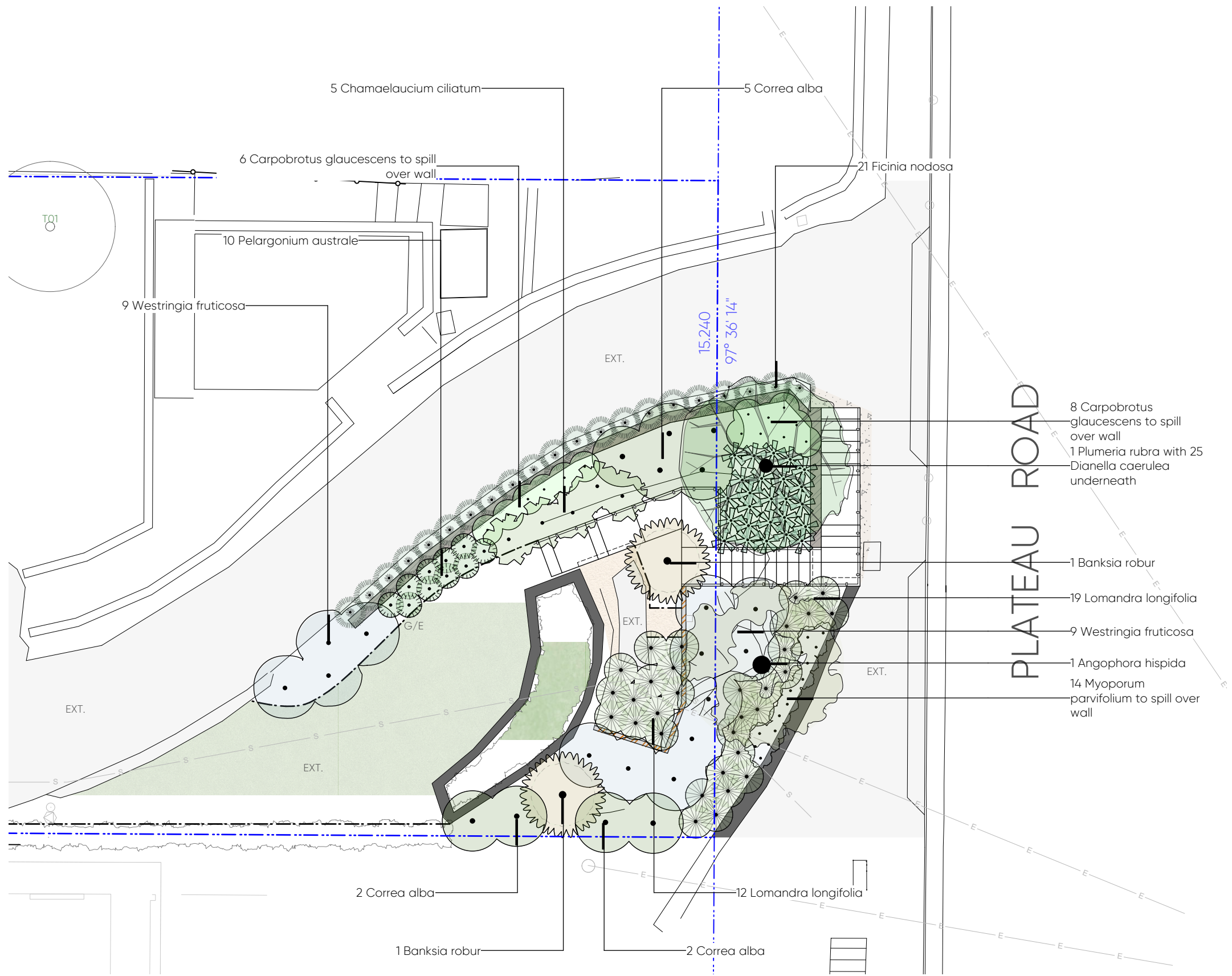
- All civil, structural and hydraulic work associated with this project shall be to consulting engineer's details.
- All levels have been taken from the survey prepared by Eng Land Services on 15 July 2024.
- Exact location of site boundaries are to be confirmed on site by client or client's surveyor prior to commencement of work.
- The design of this project is Copyright and shall not be copied or reproduced in any way without the prior written permission of TCGD

CONSTRUCTION NOTES

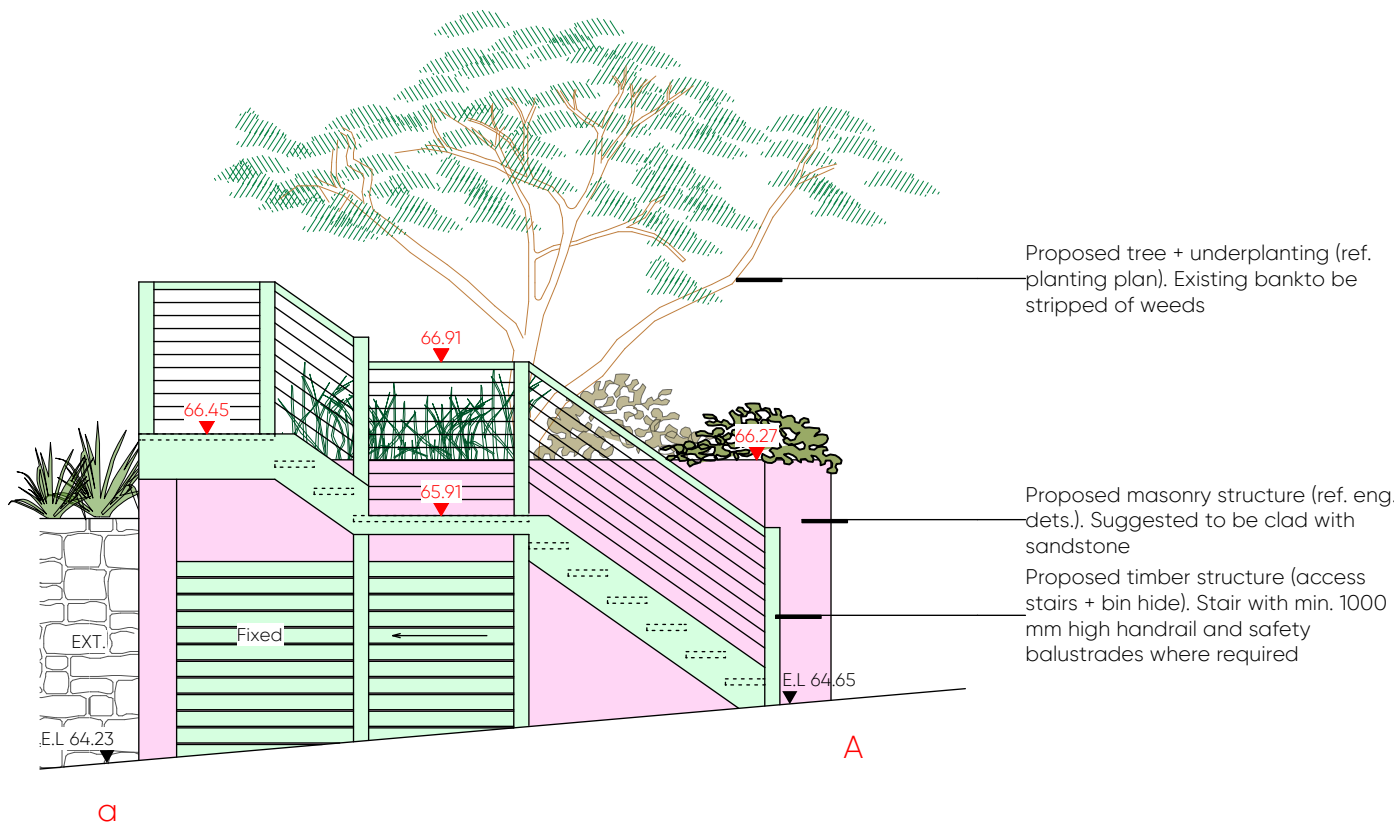
- Note 1:** All materials and workmanship shall be in accordance with the latest relevant Australian standard and building code of Australia. All plumbing and drainage works shall also be in accordance with the by-laws of Sydney Water.
- Note 2:** Written dimensions shall take precedence over scaled measurements. All dimensions and levels shall be verified by contractor on site, and initial setout approved by construction manager prior to commencement of work. If in doubt, contact Landscape Architect / Designer.
- Note 3:** Contractor shall confirm extent of existing vegetation to be removed / transplanted on site, prior to commencement of works.
- Note 4:** Excavator shall strip approved topsoil from all areas to be excavated and shall store material in an approved location on site. All excavation shall be carried out as necessary, including over-excavation in lawn areas (as required) to ensure min. 200mm depth of topsoil is able to be provided and for garden areas (as required) to ensure that min. 350mm topsoil depth is able to be provided. Topsoil depths refer to depth over subsoil, not over rock or concrete.
- Note 5:** Contractor shall ensure that damp proof courses on buildings are not breached and that air vents are not blocked or restricted.
- Note 6:** Retaining walls shall be constructed to heights as necessary to retain existing / proposed ground levels, with final extent of all walling to be as required and to construction manager's on-site approval.
- Note 7:** Waterproofing and drainage line in gravel filled trench, or other approved drainage layer, shall be installed to rear of all walls where retaining.
- Note:** The above information is for DA submission purposes only and is not to be used for construction purposes.



1 Landscape Masterplan
Scale 1:100 @ A1



2 Planting Plan
Scale 1:100 @ A1



3 Street Elevation a_A
Scale 1:50 @ A1

Planting Schedule:

Latin Name	Common Name	Quantity	Scheduled Size	Spread	Height
Angophora hispida	Dwarf Apple	1	45 Ltr	4000	5000
Banksia robur	Swamp Banksia	2	300 mm	2000	2000
Carpobrotus glaucescens	Pigface	14	100 mm	750	100
Chamelaucium ciliatum	Albany Wax	5	200 mm	1200	600
Correa alba	White Correa	9	200 mm	1500	1500
Dianella caerulea	Blue Flax-lily	25	140 mm	600	600
Ficinia nodosa	Knobby Club Rush	21	140 mm	750	600
Lomandra longifolia	Spiny-head Mat-rush	31	200 mm	800	800
Myoporum parvifolium	Dwarf Boobalia	14	140 mm	500	300
Pelargonium australe	Seaside Daisy	10	140 mm	600	600
Plumeria rubra	frangipani Tree	1	45 Ltr	4000	4000
Westringia fruticosa	Coastal Rosemary	13	200 mm	1500	1500

- Notes:
- Species highlighted green have been selected from the "Northern Beaches Native Planting Guide - Pittwater Ward" and are locally encountered native species
 - Species highlighted yellow are native to other parts of Australia
 - More than 95% of the proposed planting scheme is composed of native species, with a vast majority endemic to the Sydney region

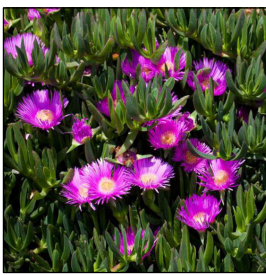
Plant Images:



Angophora hispida



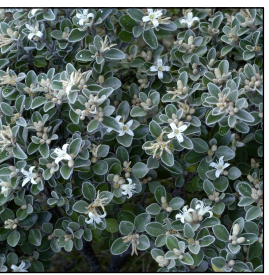
Banksia robur



Carpobrotus glaucescens



Chamelaucium ciliatum



Correa alba



Dianella caerulea



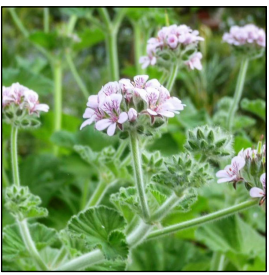
Ficinia nodosa



Lomandra longifolia



Myoporum parvifolium



Pelargonium australe



Plumeria rubra



Westringia fruticosa

Legend:

- Existing lawn area retained
- Proposed concrete patching where required
- Proposed garden edging
- Proposed stair / steps
- Existing low timber retaining wall
- Existing low timber retaining wall made good of / replaced as required
- 1800 mm high boundary fence pool compliant where required
- Proposed levels / existing levels
- Proposed timber stairs
- Proposed safety balustrading / handrail
- Existing items proposed to be removed
- Proposed Trees (ref. Planting Plan)
- Existing planted garden area retained and stripped of weeds
- Proposed planted garden area

BASIX Commitments:

BASIX Certificate number: A1763658 page 2/2

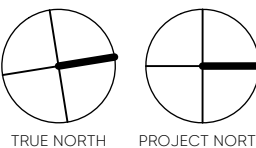
Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a **✓** in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

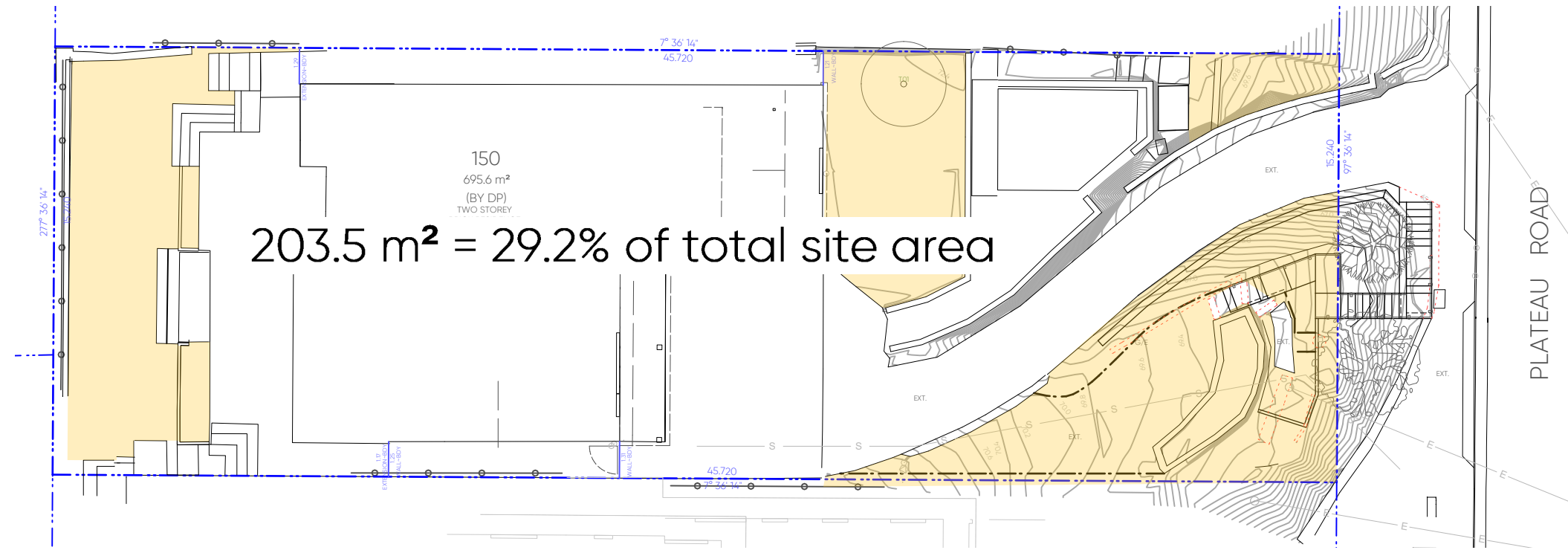
Commitments identified with a **✓** in the "Show on CO/CD plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a **✓** in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

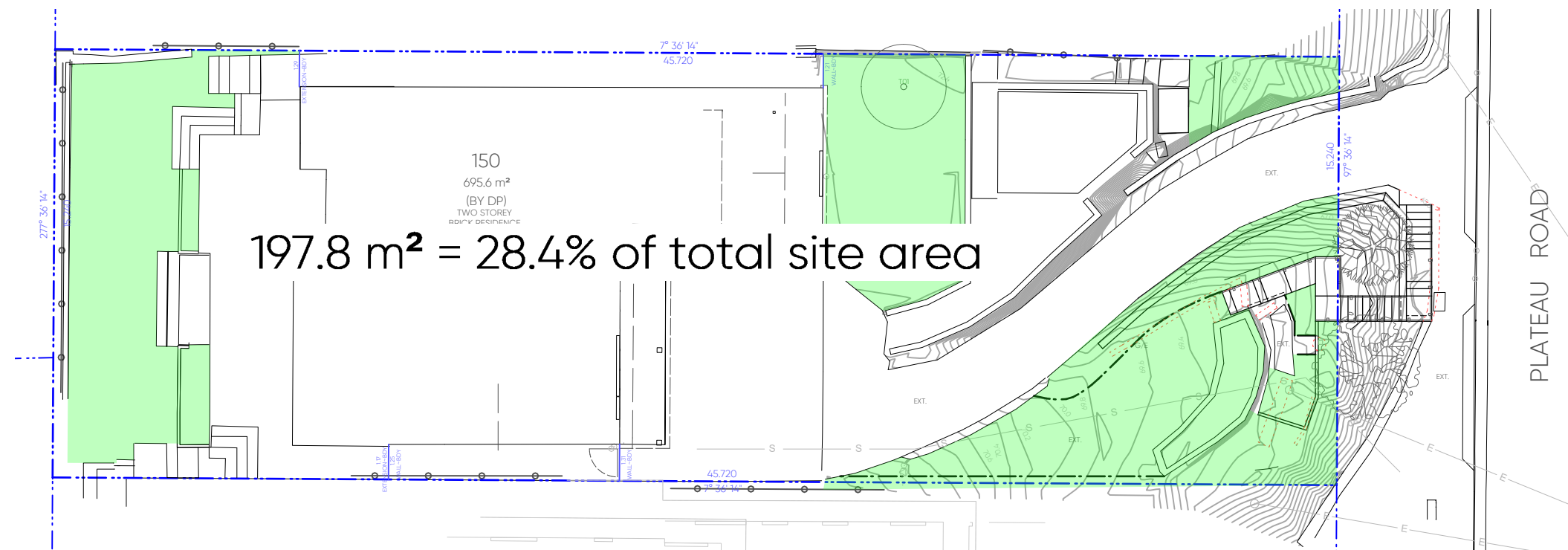


US / 8 BEACON HILL RD, BROOKVALE NSW 2100
Tel 04 11 288 650 - Email: thomas@tcgd.com.au

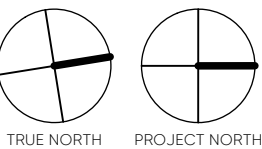
CLIENT: Mrs S. Mander
DRAWN BY: TC
CHECKED BY: CG
DRAWING TITLE: Master Plan Q1 + Planting Plan Q1 for DA
PROJECT ADDRESS: 31 Potters Rd, Avalon Beach NSW 2103
SCALE: As Shown @ A1
PROJECT NUMBER: #26/040
COMMENCEMENT DATE: 15.08.2024
REVISION + DATE: Rev A 14.02.2025



1 Landscape Area (Existing)
Scale 1:200 @ A3



2 Landscape Area (Proposed)
Scale 1:200 @ A3



TCGD

U5 / 8 BEACON HILL RD, BROOKVALE NSW 2100
Tel 04 11 288 650 - Email thomas@tcgd.com.au

THESE DRAWINGS HAVE BEEN PREPARED BY AND REMAIN THE PROPERTY OF TCGD & ARE SUBJECT TO COPYRIGHT LAWS

CLIENT:
Mrs S. Mander

DRAWN BY: TC
CHECKED BY: CG

DRAWING TITLE:
Landscape Area
Calculation Plan 01
LACP 01

PROJECT ADDRESS:
11 Plateau Rd
Avalon Beach
NSW 2107

SCALE:
1:200 @ A3

PROJECT NUMBER:
#24/040

COMMENCEMENT DATE:
15.08.2024

REVISION + DATE:
Rev B 25.02.2025