

Rapid Plans www.rapidplans.com.au
P.O. Box 6193 Frenchs Forest DC NSW 2086
Fax: (02) 9905-8865 Mobile: 0414-945-024
Email: gregg@rapidplans.com.au



BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

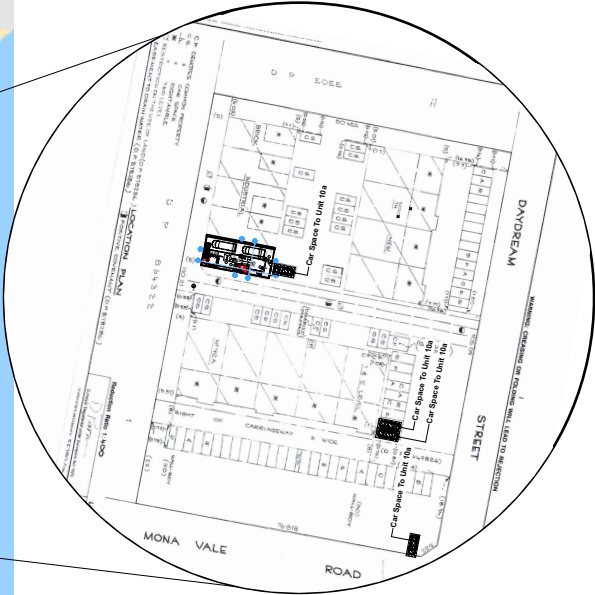
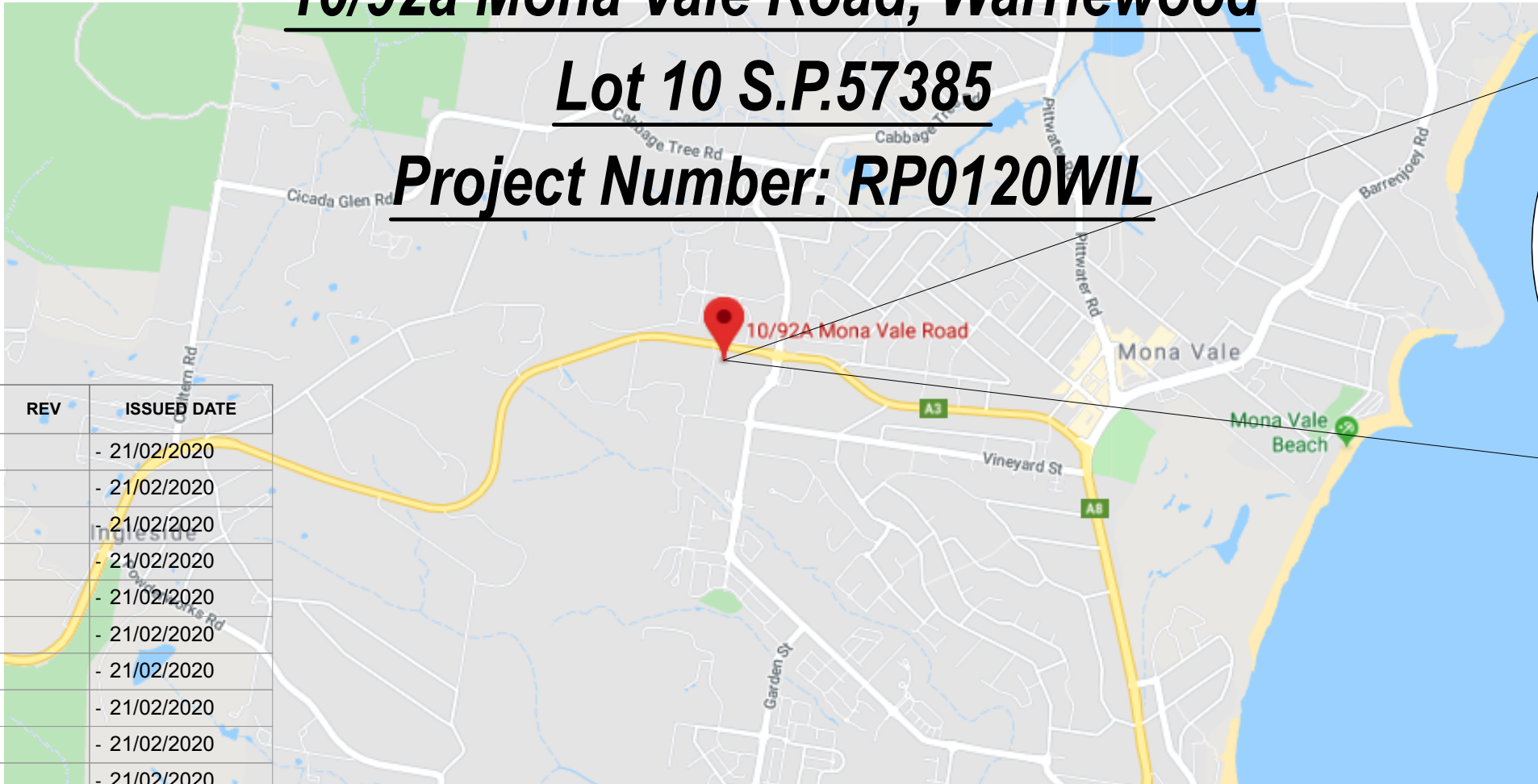


ACCREDITED
BUILDING DESIGNER

Change of Use & Alterations For Funeral
Home & Mortuary To Existing Unit
For Bob Wilson

10/92a Mona Vale Road, Warriewood
Lot 10 S.P.57385

Project Number: RP0120WIL



DRAWING No.	DESCRIPTION	REV	ISSUED DATE
DA1000	Cover Sheet		- 21/02/2020
DA1001	A4 NOTIFICATION PLAN		- 21/02/2020
DA1002	SITE SURVEY		- 21/02/2020
DA1003	SITE PLAN		- 21/02/2020
DA1004	Existing Ground Floor Plan		- 21/02/2020
DA1005	Existing First Floor Plan		- 21/02/2020
DA1006	Existing Mezzanine Floor Plan		- 21/02/2020
DA1007	Demolition Ground Floor Plan		- 21/02/2020
DA1008	Demolition First Floor Plan		- 21/02/2020
DA1009	Demolition Mezzanine Floor Plan		- 21/02/2020
DA1010	Waste Management Plan		- 21/02/2020
DA1011	Sediment & Erosion Plan		- 21/02/2020
DA2001	GROUND FLOOR		- 21/02/2020
DA2002	FIRST FLOOR		- 21/02/2020
DA2003	MEZZANINE LEVEL		- 21/02/2020
DA2004	ROOF		- 21/02/2020
DA3000	SECTION 1		- 21/02/2020
DA4000	ELEVATIONS 1		- 21/02/2020
DA4001	ELEVATIONS 2		- 21/02/2020

Denotes Existing Wall



Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
0/92a Mona Vale Road, Warriewood is zoned B7 - Business Park
0/92a Mona Vale Road, Warriewood is not considered a heritage area
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
construction
Steel & Timber Framed, Timber Framed Walls
Refer to Engineers drawings for structural details
Refer to Engineers Specification and BCA
Timber framing to BCA AS 1594
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS10288-2007
Waterproofing to BCA and AS 2740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the
requirements of Building Codes of Australia.

Basix
Basix Certificate Number N/A

CDC Information
Setbacks & Open Space Ratios
Have Been Determined As
Follows:

Sheet Size: A3



Existing Staircase-

A: 6.44 m^2

| +10,000 Assumed

EXISTING GROUND FLOOR
1:100

Builder To Check & Confirm Existing Measurements Prior to Commencement

DA APPLICATION
ONLY
Not For Construction

Project North



Drawn | Checked GBJ
Plot Date: 24/2/20
Project NO. RP0120WIL
Project Status DA

Client **Bob Wilson**

Site: 10/92a Mona Vale Road,
Warriewood

DRAWING TITLE : SITE AND LOCATION
**Existing Ground Floor
Plan**

PROJECT NAME : **Change of Use & Alterations**

REVISION NO.

DRAWING NO.
DA1004

Plot Date:
Sheet Size: A3



Existing Staircase



Existing First Floor Area
A: 103.01 m²

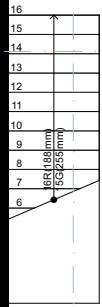
Ex. Storage
A: 77.74 m²

Existing Steel
Floor Frame

Existing
Concrete Tilt
Panel Party Wall

UP 190mm

+13,000



VOID

Ex. Office Landing
A: 34.71 m²

Existing Roll-A-
Door Garage
Door

Existing Sheet Metal
Clad Roof




2

EXISTING FIRST FLOOR
1:100


Builder To Check & Confirm Existing
Measurements Prior to Commencement

Wall Legend
Denotes Existing Wall


DA APPLICATION
ONLY
Not For Construction



© Copyright Rapid Plans 2020



BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



ACCREDITED
BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
10/92a Mona Vale Road, Warriewood is zoned B7 - Business Park
10/92a Mona Vale Road, Warriewood is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Steel & Timber Framed, Timber Framed Walls
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1554
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.


Basic
Basic Certificate Number N/A

CDC Information
Setbacks & Open Space Ratios
have Been Determined As
Follows:

Setback Sth Property =
Built To Boundary (Exist.)
Setback Nth Property =
Built To Boundary (Exist.)
Average Front Setback =
Built To Boundary (Exist.)
Rear Set Back Lwr Flr =
Built To Boundary (Exist.)
Min Lwr N/A
Rear Set Back Up Flr =
Built To Boundary (Exist.)
Min Up N/A
Side Set Back Lwr Flr =
Built To Boundary (Exist.)
Min Lwr N/A
Side Set Back Up Flr =
Built To Boundary (Exist.)
Min Up N/A
Building Height = Existing
Max 8.5m
Site Area = 8,802m²
Site Coverage = 138m² (Exist.)
Max N/A
GFA =
Existing = 295.3m²
Proposed = 309.55m²

**Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancies
to Rapid Plans**

Project North



Drawn | Checked GBJ
Plot Date: 24/2/20
Project NO.: RP0120WIL
Project Status DA

Client Bob Wilson

Site: 10/92a Mona Vale Road,
Warriewood

DRAWING TITLE:
SITE AND LOCATION
Existing First Floor Plan

PROJECT NAME:
**Change of Use &
Alterations**

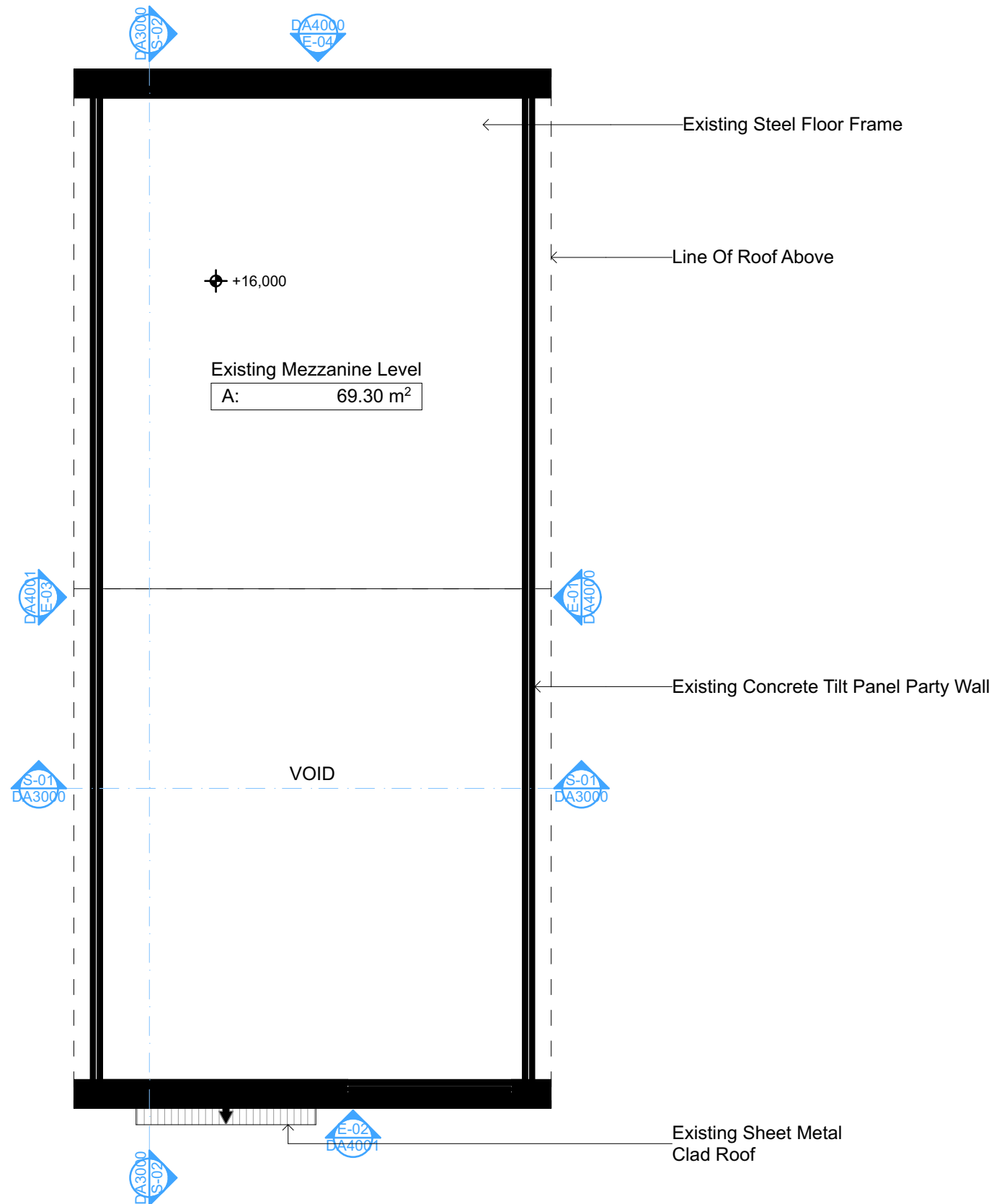
REVISION NO.

DRAWING NO.
DA1005

Plot Date: 24/2/20
Sheet Size: A3



Wall Legend
Denotes Existing Wall



3 EXISTING MEZZANINE FLOOR
1:100

Builder To Check & Confirm Existing
Measurements Prior to Commencement

DA APPLICATION
ONLY
Not For Construction



© Copyright Rapid Plans 2020



Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

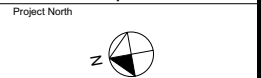
NOTES
10/92a Mona Vale Road, Warriewood is zoned B7 - Business Park
10/92a Mona Vale Road, Warriewood is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Steel & Timber Framed, Timber Framed Walls
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1554
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2004
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic
Basic Certificate Number N/A

CDC Information
Setbacks & Open Space Ratios
have Been Determined As
Follows:

Setback Sth Property =
Built To Boundary (Exist.)
Setback Nth Property =
Built To Boundary (Exist.)
Average Front Setback =
Built To Boundary (Exist.)
Rear Set Back Lwr Flr =
Built To Boundary (Exist.)
Min Lwr N/A
Rear Set Back Up Flr =
Built To Boundary (Exist.)
Min Up N/A
Side Set Back Lwr Flr =
Built To Boundary (Exist.)
Min Lwr N/A
Side Set Back Up Flr =
Built To Boundary (Exist.)
Min Up N/A
Building Height = Existing
Max 8.5m
Site Area = 8,802m²
Site Coverage = 138m² (Exist.)
Max N/A
GFA =
Existing = 295.3m²
Proposed = 309.55m²

**Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancies
to Rapid Plans**



Drawn | Checked GBJ
Plot Date: 24/2/20
Project NO.: RP0120WIL
Project Status DA

Client Bob Wilson

Site: 10/92a Mona Vale Road,
Warriewood

DRAWING TITLE SITE AND LOCATION
**Existing Mezzanine Floor
Plan**

PROJECT NAME:
**Change of Use &
Alterations**

REVISION NO.

DRAWING NO.
DA1006

Plot Date: 24/2/20
Sheet Size: A3



Wall Legend

———— Denotes Existing Wall

- - - - - Denotes Demolished Item

Existing Masonry Wall

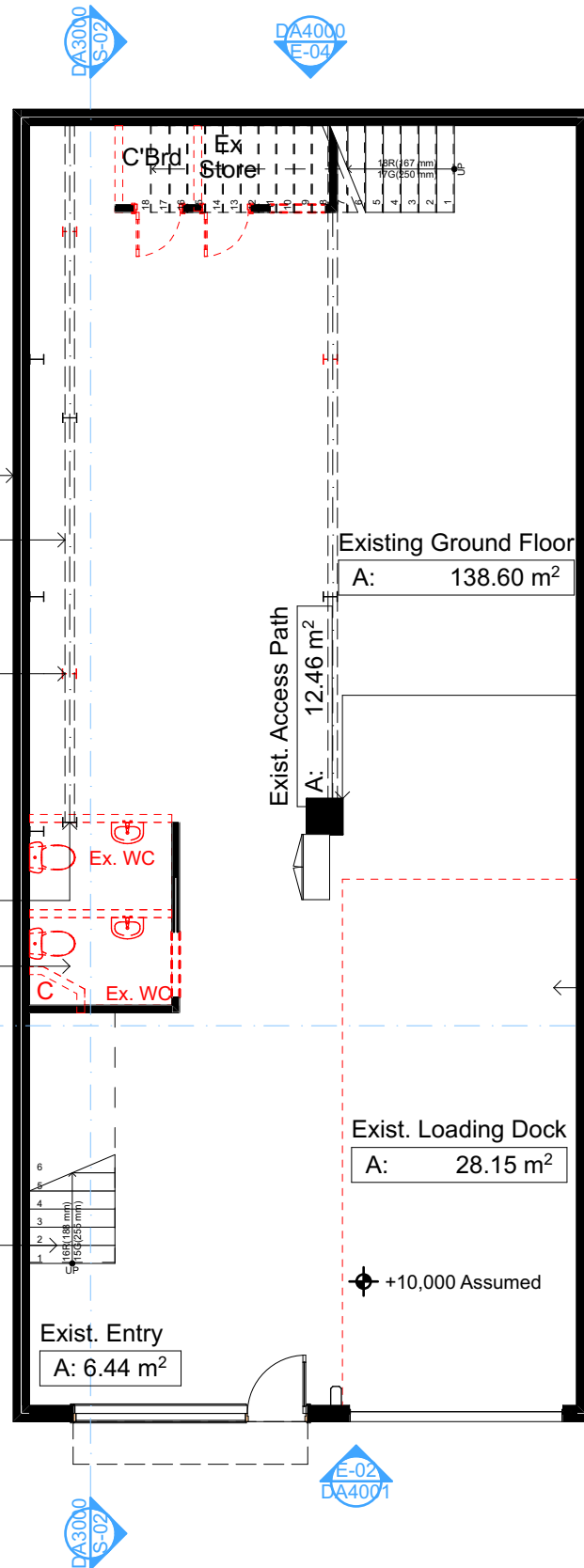
Existing Beam Over

Remove Exist Steel Column & Add Steel Support Brackets as per Eng Details

New Steel Post

Remove Existing Wet Areas

Existing Staircase



1

DEMOLITION GROUND FLOOR
1:100

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

DA APPLICATION ONLY
Not For Construction



© Copyright Rapid Plans 2020



Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

10/92a Mona Vale Road, Warriewood is zoned B7 - Business Park

10/92a Mona Vale Road, Warriewood is not considered a heritage item.

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue

Construction

Steel & Timber Framed, Timber Framed Walls

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1554

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1288-2007

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic

Basic Certificate Number N/A

CDC Information

Setbacks & Open Space Ratios have Been Determined As Follows:

Setback Sth Property = Built To Boundary (Exist.)

Setback Nth Property = Built To Boundary (Exist.)

Average Front Setback = Built To Boundary (Exist.)

Rear Set Back Lwr Flr = Built To Boundary (Exist.)

Min Lwr N/A

Rear Set Back Up Flr = Built To Boundary (Exist.)

Min Up N/A

Side Set Back Lwr Flr = Built To Boundary (Exist.)

Min Lwr N/A

Side Set Back Up Flr = Built To Boundary (Exist.)

Min Up N/A

Building Height = Existing

Max 8.5m

Site Area = 8,802m²

Site Coverage = 138m² (Exist.)

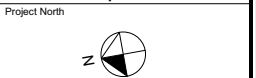
Max N/A

GFA =

Existing = 295.3m²

Proposed = 309.55m²

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 24/2/20
Project NO.: RP0120WIL
Project Status DA

Client Bob Wilson

Site: 10/92a Mona Vale Road, Warriewood

DRAWING TITLE

Demolition Ground Floor Plan

PROJECT NAME:

Change of Use & Alterations

REVISION NO.

DRAWING NO.

DA1007

Plot Date: 24/2/20
Sheet Size: A3



Existing Staircase



+13,190

Existing First Floor Area
A: 103.01 m²

Ex. Storage
A: 77.74 m²

Male Bench

Locker

Female

Locker

+13,000

UP 190mm

VOID

Ex. Office Landing
A: 34.71 m²

Existing Sheet Metal
Clad Roof



Remove Floor Frame
For Box Lift Void

Existing Steel
Floor Frame

Existing
Concrete Tilt
Panel Party Wall

Existing Roll-A-
Door Garage
Door

2

DEMOLITION FIRST FLOOR
1:100

All Demolition to be done in Accordance with Australian
Standards, BCA and Workcover Regulations

Wall Legend

— Denotes Existing Wall
= = = = Denotes Demolished Item



© Copyright Rapid Plans 2020



Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.

NOTES
10/92a Mona Vale Road, Warriewood is zoned B7 - Business Park
New Works to be constructed shown in Shaded Blue
Construction
Steel & Timber Framed, Timber Framed Walls
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1554
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 1288-2004
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic
Basic Certificate Number N/A
CDC Information
Setbacks & Open Space Ratios
have Been Determined As
Follows:

Setback Sth Property =
Built To Boundary (Exist.)
Setback Nth Property =
Built To Boundary (Exist.)
Average Front Setback =
Built To Boundary (Exist.)
Rear Set Back Lwr Flr =
Built To Boundary (Exist.)
Min Lwr N/A
Rear Set Back Up Flr =
Built To Boundary (Exist.)
Min Up N/A
Side Set Back Lwr Flr =
Built To Boundary (Exist.)
Min Lwr N/A
Side Set Back Up Flr =
Built To Boundary (Exist.)
Min Up N/A
Building Height = Existing
Max 8.5m
Site Area = 8,802m²
Site Coverage = 138m² (Exist.)
Max N/A
GFA =
Existing = 295.3m²
Proposed = 309.55m²

**Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancies
to Rapid Plans**



Drawn | Checked GBJ
Plot Date: 24/2/20
Project NO.: RP0120WIL
Project Status DA

Client Bob Wilson

Site: 10/92a Mona Vale Road,
Warriewood

DRAWING TITLE
SITE AND LOCATION
**Demolition First Floor
Plan**

PROJECT NAME:
**Change of Use &
Alterations**

REVISION NO.

DRAWING NO.
DA1008

Plot Date: 24/2/20
Sheet Size: A3

**DA APPLICATION
ONLY
Not For Construction**



Wall Legend
— Denotes Existing Wall
- - - - - Denotes Demolished Item

Existing Steel Framed
Mezzanine Level To Be
Removed

Existing Mezzanine Level
A: 69.30 m²

Line Of Roof Above

Existing Concrete Tilt Panel Party Wall

Existing Sheet Metal
Clad Roof

3

DEMOLITION MEZZANINE FLOOR
1:100

All Demolition to be done in Accordance with Australian
Standards, BCA and Workcover Regulations

**DA APPLICATION
ONLY**
Not For Construction



© Copyright Rapid Plans 2020



Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.

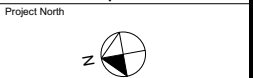
NOTES
10/92a Mona Vale Road, Warriewood is zoned B7 - Business Park
10/92a Mona Vale Road, Warriewood is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Steel & Timber Framed, Timber Framed Walls
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1554
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 1288-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic
Basic Certificate Number N/A

CDC Information
Setbacks & Open Space Ratios
have Been Determined As
Follows:

Setback Sth Property =
Built To Boundary (Exist.)
Setback Nth Property =
Built To Boundary (Exist.)
Average Front Setback =
Built To Boundary (Exist.)
Rear Set Back Lwr Flr =
Built To Boundary (Exist.)
Min Lwr N/A
Rear Set Back Up Flr =
Built To Boundary (Exist.)
Min Up N/A
Side Set Back Lwr Flr =
Built To Boundary (Exist.)
Min Lwr N/A
Side Set Back Up Flr =
Built To Boundary (Exist.)
Min Up N/A
Building Height = Existing
Max 8.5m
Site Area = 8,802m²
Site Coverage = 138m² (Exist.)
Max N/A
GFA =
Existing = 295.3m²
Proposed = 309.55m²

**Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancies
to Rapid Plans**



Drawn | Checked GBJ
Plot Date: 24/2/20
Project NO.: RP0120WIL
Project Status DA

Client Bob Wilson

Site: 10/92a Mona Vale Road,
Warriewood

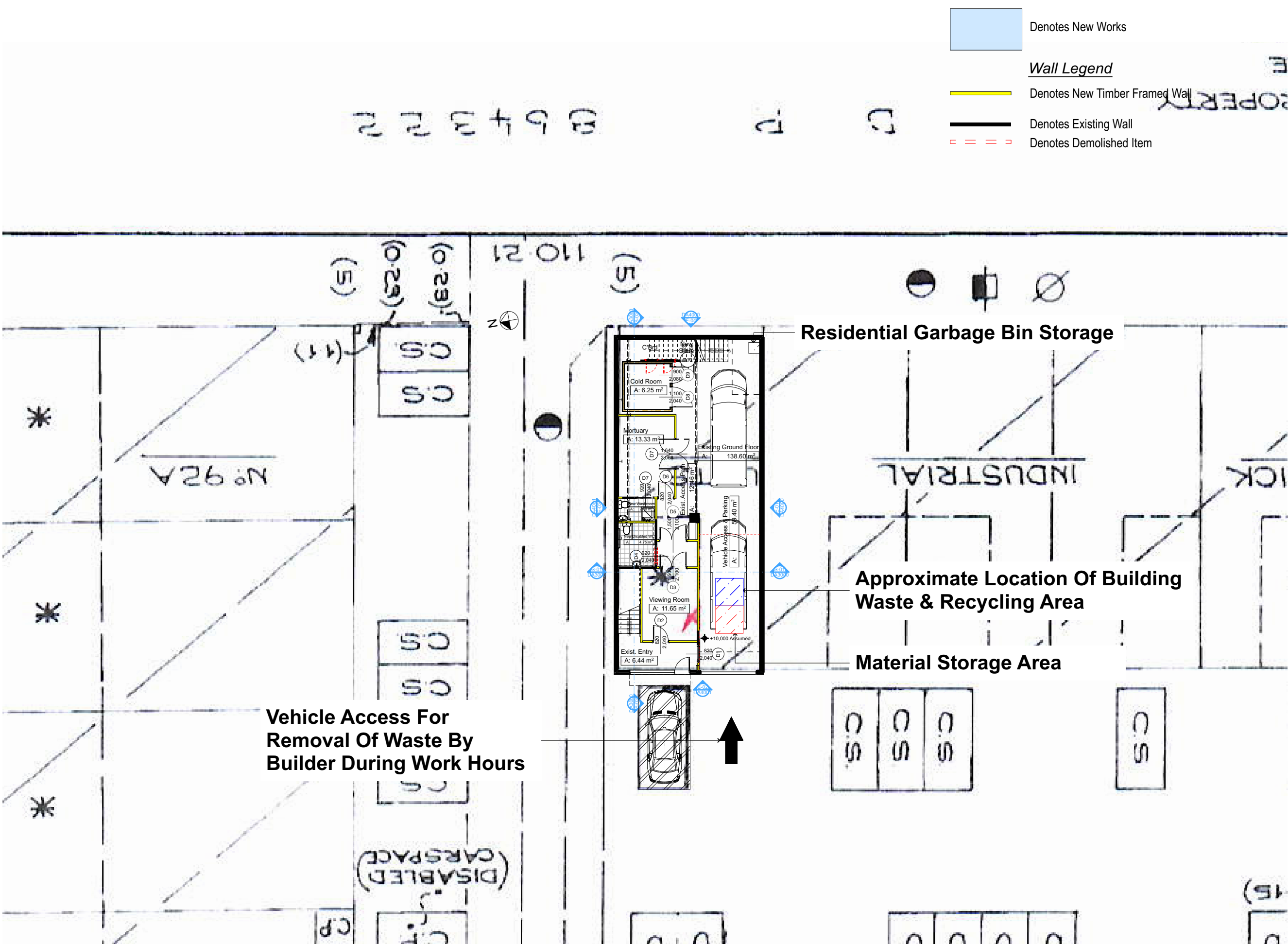
DRAWING TITLE
SITE AND LOCATION
**Demolition Mezzanine
Floor Plan**

PROJECT NAME:
**Change of Use &
Alterations**

REVISION NO.

DRAWING NO.
DA1009

Plot Date: 24/2/20
Sheet Size: A3



Denotes New Works

Wall Legend

Denotes New Timber Framed Wall

Denotes Existing Wall

Denotes Demolished Item

DA APPLICATION ONLY

Not For Construction

Rapid Plans

Building Design and Architectural Drafting

www.rapidplans.com.au

PO Box 8878 Parramatta NSW 2150

Fax: (02) 9655-8888 Mobile: 0414-945-024

Email: greg@rapidplans.com.au

© Copyright Rapid Plans 2020

bdaa

BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

bdaa

ACCREDITED BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

10/92a Mona Vale Road, Warriewood is zoned B7 - Business Park

10/92a Mona Vale Road, Warriewood is not considered a heritage item.

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue

Construction

Steel & Timber Framed, Timber Framed Walls

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1554

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic

Basic Certificate Number N/A

CDC Information

Setbacks & Open Space Ratios

have Been Determined As

Follows:

Setback Sth Property =

Built To Boundary (Exist.)

Setback Nth Property =

Built To Boundary (Exist.)

Average Front Setback =

Built To Boundary (Exist.)

Rear Set Back Lwr Flr =

Built To Boundary (Exist.)

Min Lwr N/A

Rear Set Back Up Flr =

Built To Boundary (Exist.)

Min Up N/A

Side Set Back Lwr Flr =

Built To Boundary (Exist.)

Min Lwr N/A

Side Set Back Up Flr =

Built To Boundary (Exist.)

Min Up N/A

Building Height = Existing

Max 8.5m

Site Area = 8,802m2

Site Coverage = 138m2 (Exist.)

Max N/A

GFA =

Existing = 295.3m2

Proposed = 309.55m2

Builder to Check and Confirm all

Measurements Prior to

Commencement of any works.

Immediately Report any Discrepancies

to Rapid Plans

Project North

z

Drawn | Checked GBJ

Plot Date: 24/2/20

Project NO: RP0120WIL

Project Status DA

Client

Bob Wilson

Site:

10/92a Mona Vale Road,

Warriewood

DRAWING TITLE :

SITE AND LOCATION

Waste Management Plan

PROJECT NAME :

Change of Use &

Alterations

REVISION NO.

DRAWING NO.

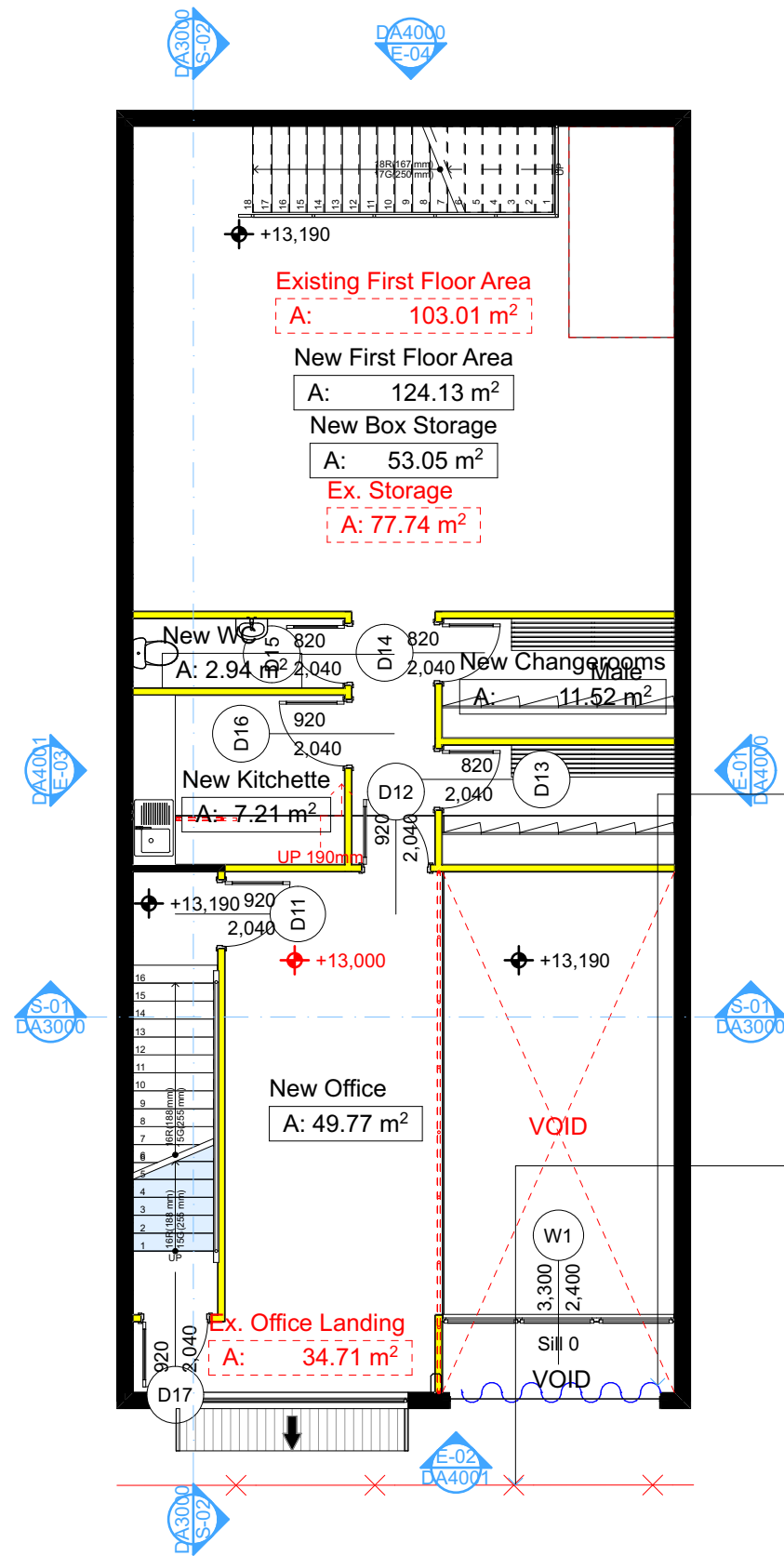
DA1010

Plot Date:

24/2/20

Sheet Size: A3

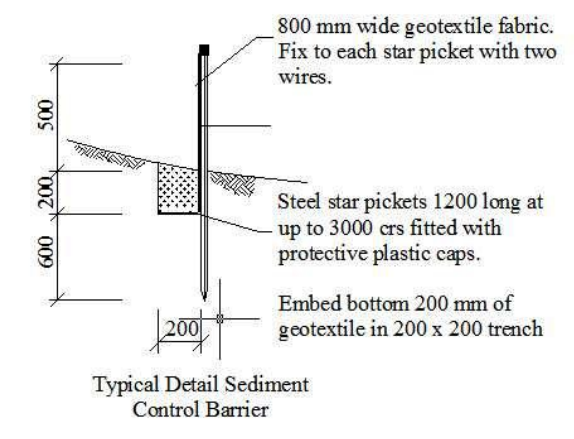
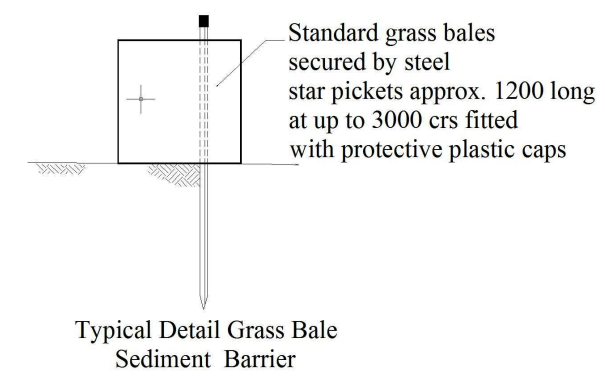
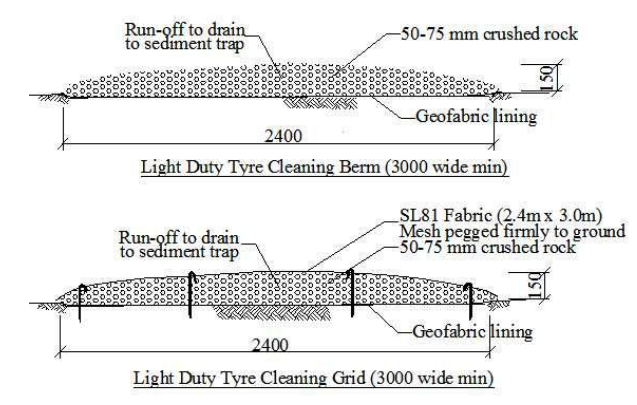
WILSON - DA Project



Sediment Control Fence

Site Safety Fence

- Denotes New Works
- Wall Legend**
- Denotes New Timber Framed Wall
- Denotes Existing Wall
- Denotes Demolished Item



2 SEDIMENT & EROSION CONTROL PLAN 1:100

DA APPLICATION ONLY
Not For Construction

© Copyright Rapid Plans 2020

BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

ACCREDITED BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.

NOTES

10/92a Mona Vale Road, Warriewood is zoned B7 - Business Park

10/92a Mona Vale Road, Warriewood is not considered a heritage item.

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue Construction

Steel & Timber Framed, Timber Framed Walls

Refer to Engineers drawing for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1554

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1288-2007

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic

Basic Certificate Number N/A

CDC Information

Setbacks & Open Space Ratios

have Been Determined As

Follows:

Setback Sth Property = Built To Boundary (Exist.)

Setback Nth Property = Built To Boundary (Exist.)

Average Front Setback = Built To Boundary (Exist.)

Rear Set Back Lwr Flr = Built To Boundary (Exist.)

Min Lwr N/A

Rear Set Back Up Flr = Built To Boundary (Exist.)

Min Up N/A

Side Set Back Lwr Flr = Built To Boundary (Exist.)

Min Lwr N/A

Side Set Back Up Flr = Built To Boundary (Exist.)

Min Up N/A

Building Height = Existing

Max 8.5m

Site Area = 8,802m²

Site Coverage = 138m² (Exist.)

Max N/A

GFA =

Existing = 295.3m²

Proposed = 309.55m²

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ

Plot Date: 24/2/20

Project NO.: RP0120WIL

Project Status DA

Client Bob Wilson

Site: 10/92a Mona Vale Road, Warriewood

DRAWING TITLE: SITE AND LOCATION

Sediment & Erosion Plan

PROJECT NAME:

Change of Use & Alterations

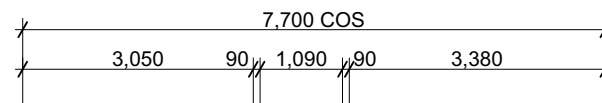
REVISION NO.

DRAWING NO.

DA1011

Plot Date: 24/2/20

Sheet Size: A3



Relocate exist Steel Post

New Refridgerator To Manufacturers Details. Non-Trafficable Slab Slide Fridge or Similar

Existing Masonry Wall

Existing Beam Over

Remove Exist Steel Column & Add Steel Support Brackets as per Eng Details

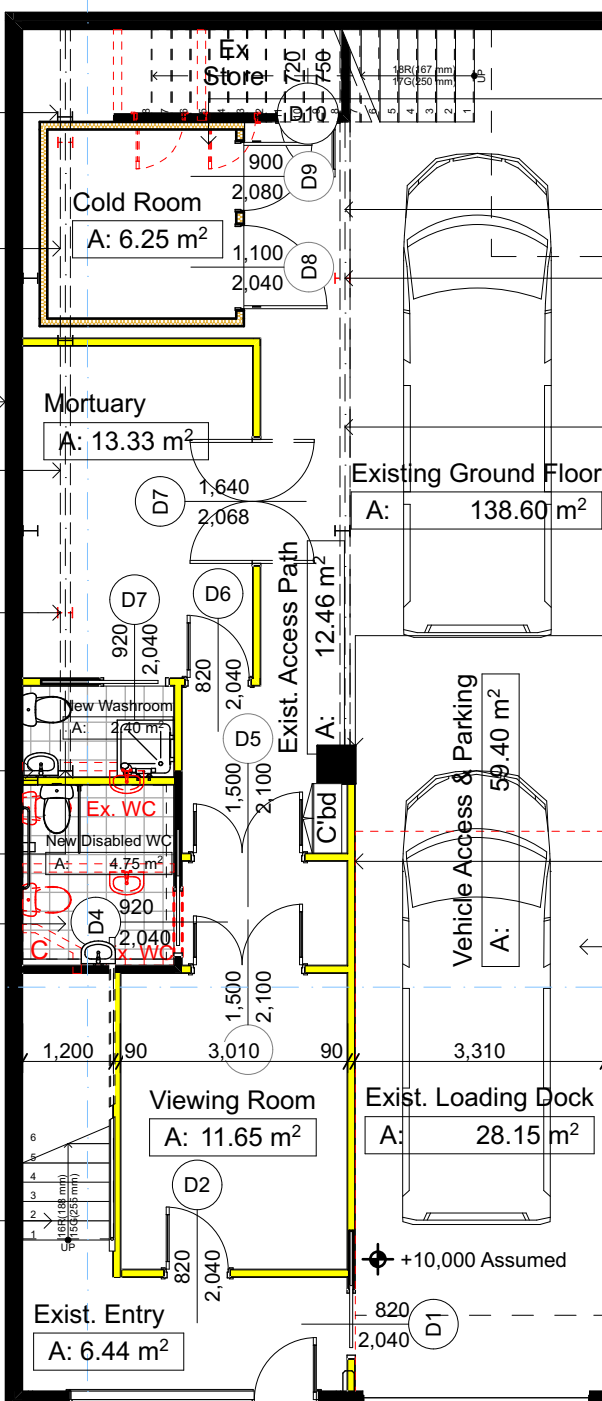
Wet Areas To Be Waterproofed To BCA & Aust. Stds.

New Steel Post

Remove Existing Wet Areas

Existing Staircase

Line Of Roof Above



Block In Door To Match Existing

New Beam Over To Engineering Details
Demolish Items Shown Red Dashed

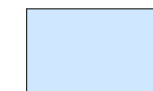
Existing Beam Over

Existing Concrete Tilt Panel Party Wall

Existing Concrete Column

New Timber or Steel Framed Plasterboard Lining Partion Walls

Existing Concrete Slab



Denotes New Works

Wall Legend



Denotes Existing Wall



Denotes Demolished Item



© Copyright Rapid Plans 2020



Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.

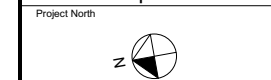
NOTES
10/92a Mona Vale Road, Warriewood is zoned B7 - Business Park
10/92a Mona Vale Road, Warriewood is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded Blue
Construction
Steel & Timber Framed, Timber Framed Walls
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1554
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 1288-2004
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic
Basic Certificate Number N/A

CDC Information
Setbacks & Open Space Ratios have Been Determined As Follows:

Setback Sth Property = Built To Boundary (Exist.)
Setback Nth Property = Built To Boundary (Exist.)
Average Front Setback = Built To Boundary (Exist.)
Rear Set Back Lwr Flr = Built To Boundary (Exist.)
Min Lwr N/A
Rear Set Back Up Flr = Built To Boundary (Exist.)
Min Up N/A
Side Set Back Lwr Flr = Built To Boundary (Exist.)
Min Lwr N/A
Side Set Back Up Flr = Built To Boundary (Exist.)
Min Up N/A
Building Height = Existing
Max 8.5m
Site Area = 8,802m²
Site Coverage = 138m² (Exist.)
Max N/A
GFA =
Existing = 295.3m²
Proposed = 309.55m²

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 24/2/20
Project NO.: RP0120WIL
Project Status DA

Client Bob Wilson

Site: 10/92a Mona Vale Road, Warriewood

DRAWING TITLE:
PLANS
GROUND FLOOR

PROJECT NAME:
Change of Use & Alterations

REVISION NO.

DRAWING NO.
DA2001

Plot Date: 24/2/20
Sheet Size: A3

1

GROUND FLOOR
1:100

DA APPLICATION ONLY
Not For Construction



Existing Staircase

Wet Areas To Be
Waterproofed To BCA &
Aust. Stds.

New Floor Over
Existing Steel Frame. RL To
Match Box Storage RL

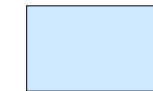
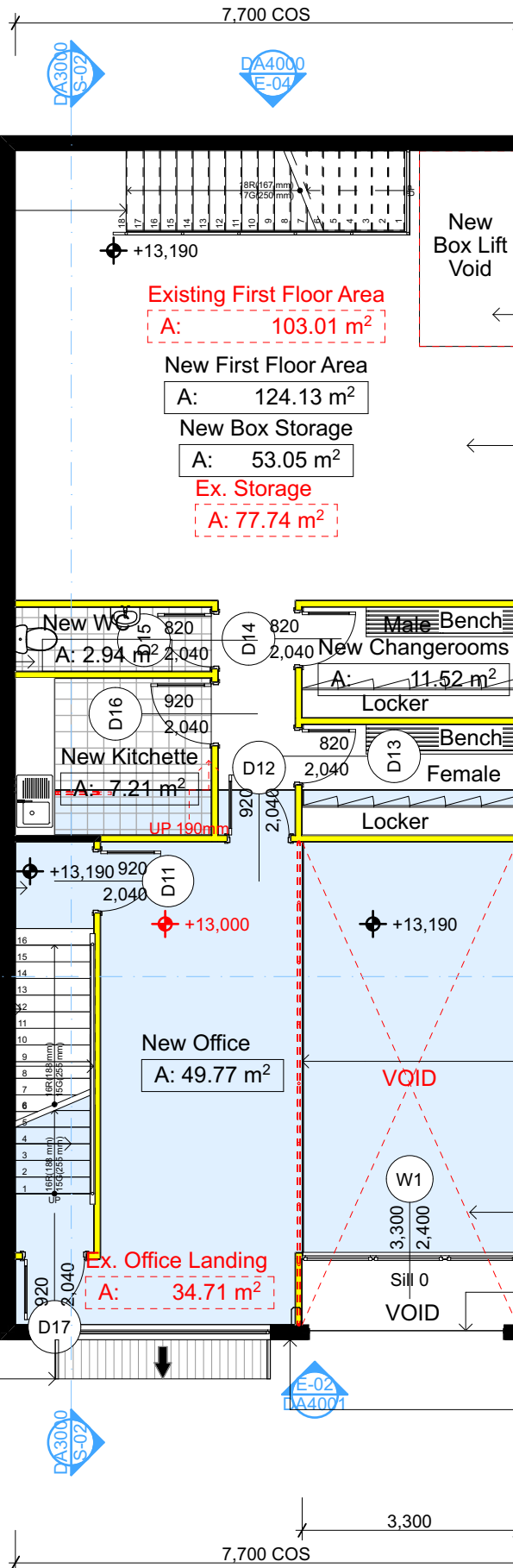
Existing Staircase

New Gyprock Clad 90mm
Timber Stud Walls

New Steel Frame Stairs
To Eng. Details

Existing Sheet Metal
Clad Roof

FIRST FLOOR
1:100



Denotes New Works



Wall Legend

Denotes New Timber Framed Wall



Denotes Existing Wall



Denotes Demolished Item

Remove Floor Frame
For Box Lift Void

Existing Steel
Floor Frame

Existing
Concrete Tilt
Panel Party Wall

Demolish Items Shown
Red Dashed

New Steel Floor Frame
To Eng. Details

Existing Roll-A-
Door Garage
Door

New Signage To
Manufacturers Details

**DA APPLICATION
ONLY**
Not For Construction



© Copyright Rapid Plans 2020



Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.

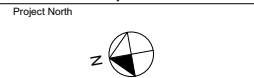
NOTES
10/92a Mona Vale Road, Warriewood is zoned B7 - Business Park
10/92a Mona Vale Road, Warriewood is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded Blue
Construction
Steel & Timber Framed, Timber Framed Walls
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1554
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 1288-2004
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic
Basic Certificate Number N/A

CDC Information
Setbacks & Open Space Ratios
have Been Determined As
Follows:

Setback Sth Property =
Built To Boundary (Exist.)
Setback Nth Property =
Built To Boundary (Exist.)
Average Front Setback =
Built To Boundary (Exist.)
Rear Set Back Lwr Flr =
Built To Boundary (Exist.)
Min Lwr N/A
Rear Set Back Up Flr =
Built To Boundary (Exist.)
Min Up N/A
Side Set Back Lwr Flr =
Built To Boundary (Exist.)
Min Lwr N/A
Side Set Back Up Flr =
Built To Boundary (Exist.)
Min Up N/A
Building Height = Existing
Max 8.5m
Site Area = 8,802m²
Site Coverage = 138m² (Exist.)
Max N/A
GFA =
Existing = 295.3m²
Proposed = 309.55m²

**Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancies
to Rapid Plans**



Drawn | Checked GBJ
Plot Date: 24/2/20
Project NO.: RP0120WIL
Project Status DA

Client Bob Wilson

Site: 10/92a Mona Vale Road,
Warriewood

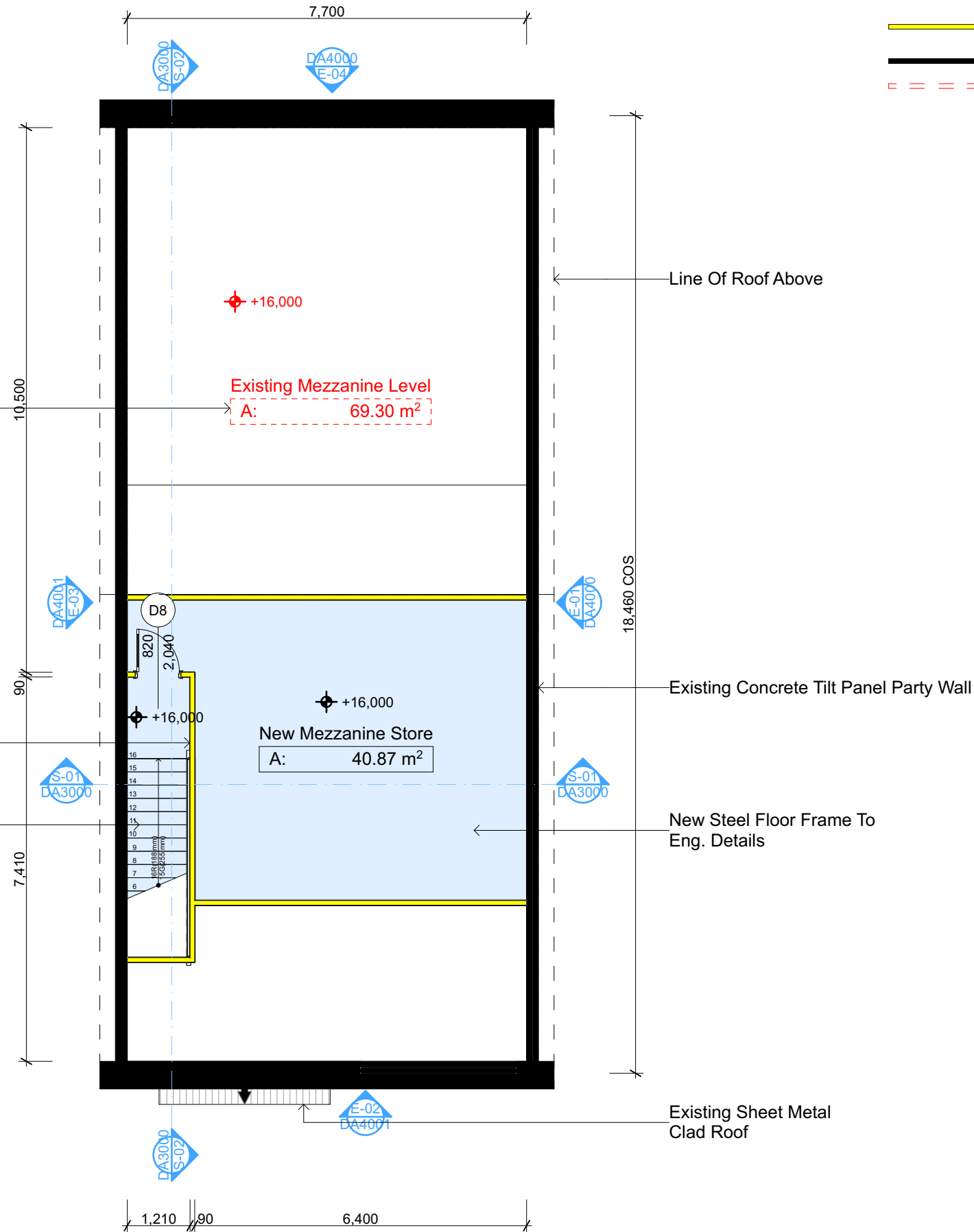
DRAWING TITLE:
PLANS
FIRST FLOOR

PROJECT NAME:
**Change of Use &
Alterations**

REVISION NO.

DRAWING NO.
DA2002

Plot Date: 24/2/20
Sheet Size: A3



3 MEZZANINE FLOOR
1:100



Denotes New Works



Denotes New Timber Framed Wall



Denotes Existing Wall



Denotes Demolished Item

Wall Legend

**DA APPLICATION
ONLY
Not For Construction**



© Copyright Rapid Plans 2020



Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.

NOTES
10/92a Mona Vale Road, Warriewood is zoned B7 - Business Park
10/92a Mona Vale Road, Warriewood is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Steel & Timber Framed, Timber Framed Walls
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1554
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 1288-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic
Basic Certificate Number N/A

CDC Information
Setbacks & Open Space Ratios
have Been Determined As
Follows:

Setback Sth Property =
Built To Boundary (Exist.)
Setback Nth Property =
Built To Boundary (Exist.)
Average Front Setback =
Built To Boundary (Exist.)
Rear Set Back Lwr Flr =
Built To Boundary (Exist.)
Min Lwr N/A
Rear Set Back Up Flr =
Built To Boundary (Exist.)
Min Up N/A
Side Set Back Lwr Flr =
Built To Boundary (Exist.)
Min Lwr N/A
Side Set Back Up Flr =
Built To Boundary (Exist.)
Min Up N/A
Building Height = Existing
Max 8.5m
Site Area = 8,802m²
Site Coverage = 138m² (Exist.)
Max N/A
GFA =
Existing = 295.3m²
Proposed = 309.55m²

**Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancies
to Rapid Plans**



Drawn | Checked GBJ
Plot Date: 24/2/20
Project NO.: RPD120WIL
Project Status DA

Client Bob Wilson

Site: 10/92a Mona Vale Road,
Warriewood

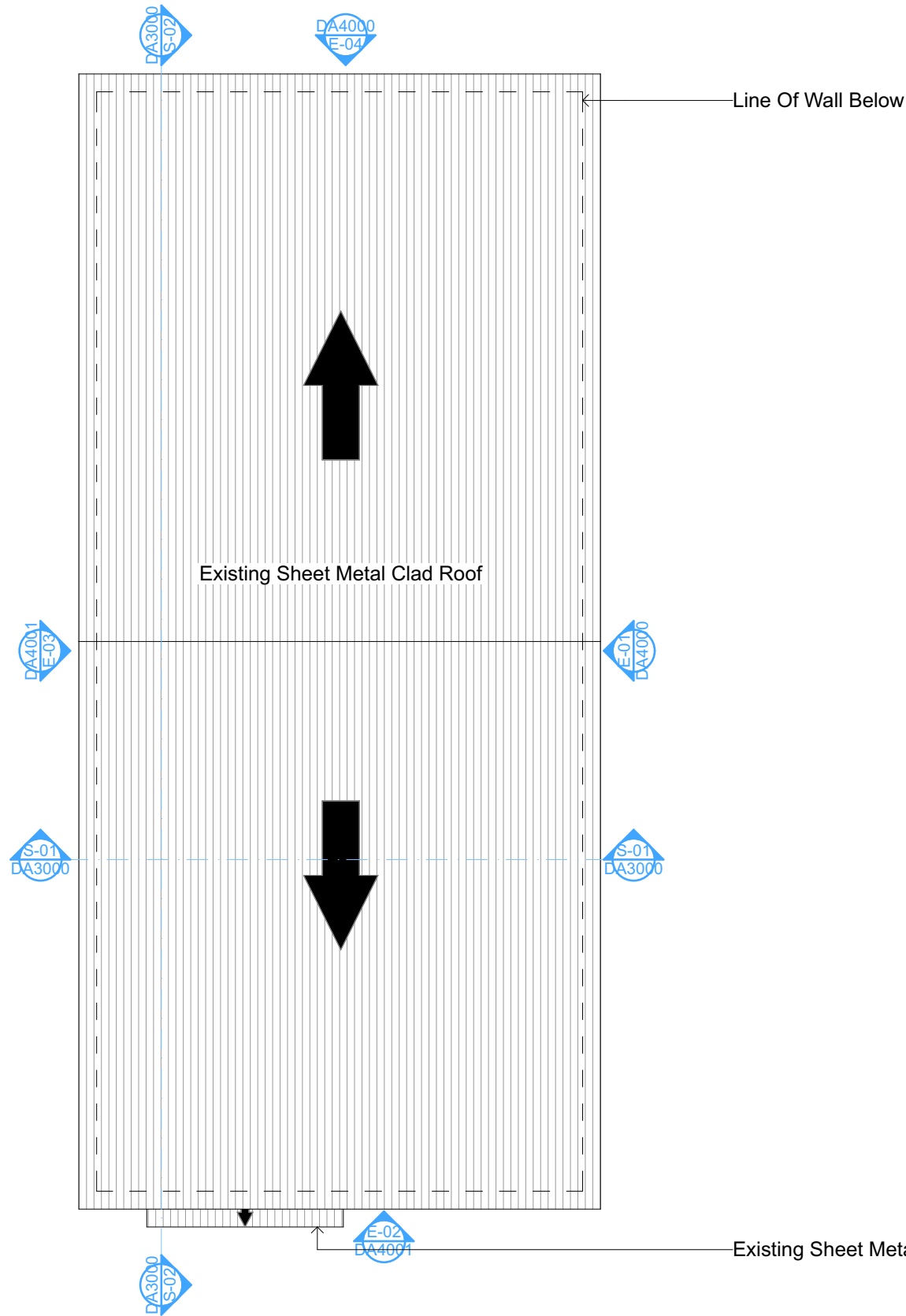
DRAWING TITLE: PLANS
MEZZANINE LEVEL

PROJECT NAME:
**Change of Use &
Alterations**


REVISION NO.

DRAWING NO.
DA2003

Plot Date: 24/2/20
Sheet Size: A3




- Denotes New Works
- Wall Legend**
- Denotes New Timber Framed Wall
 - Denotes New Masonry Wall
 - Denotes New Concrete Block Wall
 - Denotes New Concrete
 - Denotes Existing Wall
 - Denotes Demolished Item




Rapid Plans
Building Design and Architectural Drafting

PO Box 8187 Ferntree Gully VIC 3159
Tel: (03) 9455 8888 Mobile: 0414 945 024
Email: gregg@rapidplans.com.au

© Copyright Rapid Plans 2020


BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA


ACCREDITED
BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
10/92a Mona Vale Road, Warriewood is zoned B7 - Business Park
10/92a Mona Vale Road, Warriewood is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded Blue
Construction
Steel & Timber Framed, Timber Framed Walls
Refer to Engineers drawing for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1554
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 1288-2004
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.


Basic
Basic Certificate Number N/A

CDC Information
Setbacks & Open Space Ratios
have Been Determined As
Follows:

Setback Sth Property =
Built To Boundary (Exist.)
Setback Nth Property =
Built To Boundary (Exist.)
Average Front Setback =
Built To Boundary (Exist.)
Rear Set Back Lwr Flr =
Built To Boundary (Exist.)
Min Lwr N/A
Rear Set Back Up Flr =
Built To Boundary (Exist.)
Min Up N/A
Side Set Back Lwr Flr =
Built To Boundary (Exist.)
Min Lwr N/A
Side Set Back Up Flr =
Built To Boundary (Exist.)
Min Up N/A
Building Height = Existing
Max 8.5m
Site Area = 8,802m²
Site Coverage = 138m² (Exist.)
Max N/A
GFA =
Existing = 295.3m²
Proposed = 309.55m²

**Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancies
to Rapid Plans**

Project North



Drawn | Checked GBJ
Plot Date: 24/2/20
Project NO.: RP0120WIL
Project Status DA

Client Bob Wilson

Site: 10/92a Mona Vale Road,
Warriewood

DRAWING TITLE :
PLANS
ROOF

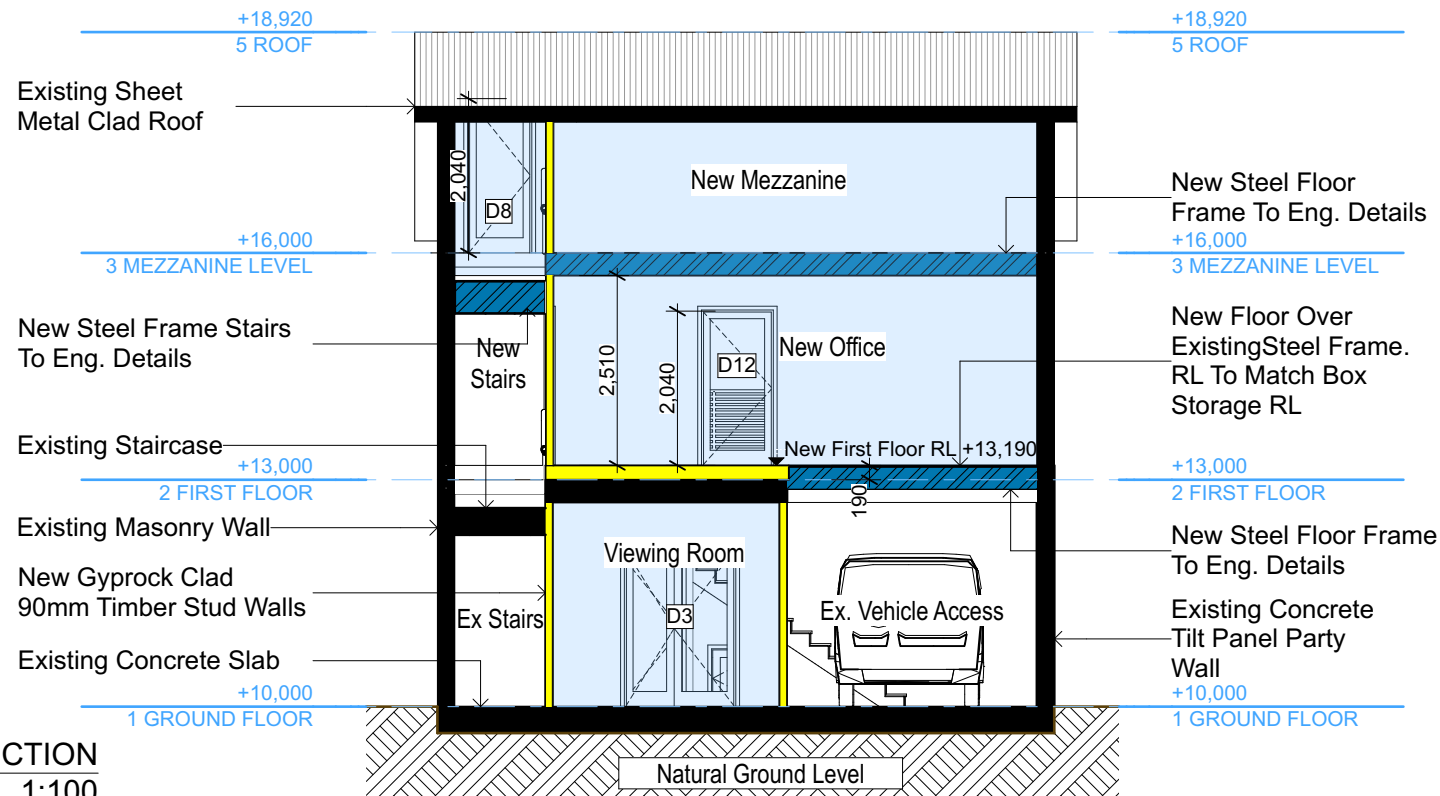
PROJECT NAME :
**Change of Use &
Alterations**

REVISION NO.

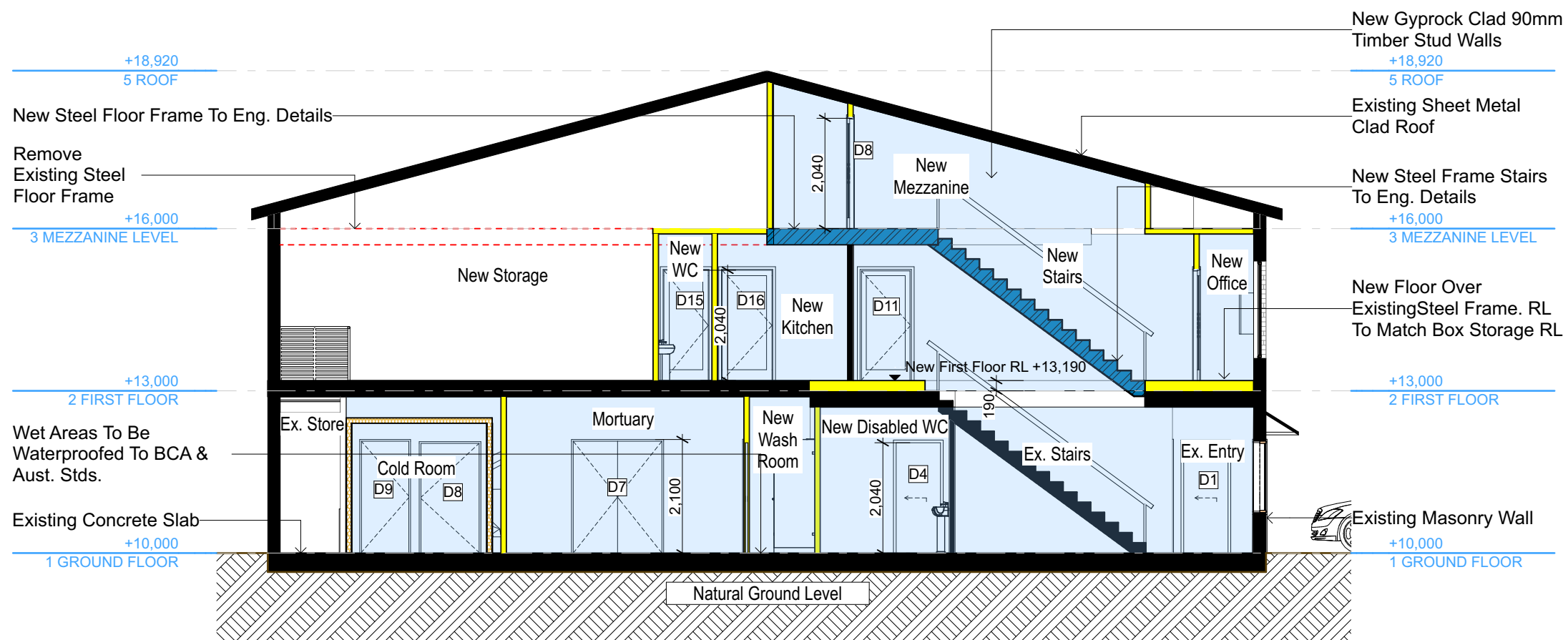
DRAWING NO.
DA2004

Plot Date: 24/2/20
Sheet Size: A3

S-01 SECTION
1:100



S-02 SECTION
1:100



- Denotes New Works
- Legend**
- Denotes New Timber Framed Wall
 - Denotes New Steel Floor
 - Denotes New Concrete
 - Denotes Existing Wall
 - Denotes Demolished Item

Rapid Plans
Building Design and Architectural Drafting

© Copyright Rapid Plans 2020

bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

bdaa
ACCREDITED
BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

10/92a Mona Vale Road, Warriewood is zoned B7 - Business Park.

10/92a Mona Vale Road, Warriewood is not considered a heritage item.

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue Construction.

Steel & Timber Framed, Timber Framed Walls.

Refer to Engineers drawings for structural details.

All work to Engineers Specification and BCA.

Timber framing to BCA and AS 1554.

Termite Management to BCA and AS 3660.1.

Glazing to BCA and AS2042-2007.

Waterproofing to BCA and AS 3740.

New Lighting to have minimum of 40% compact fluorescent lamps.

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic

Basic Certificate Number N/A

CDC Information

Setbacks & Open Space Ratios have Been Determined As Follows:

Setback Sth Property =
Built To Boundary (Exist.)

Setback Nth Property =
Built To Boundary (Exist.)

Average Front Setback =
Built To Boundary (Exist.)

Rear Set Back Lwr Fir =
Built To Boundary (Exist.)

Min Lwr N/A

Rear Set Back Up Fir =
Built To Boundary (Exist.)

Min Up N/A

Side Set Back Lwr Fir =
Built To Boundary (Exist.)

Min Lwr N/A

Side Set Back Up Fir =
Built To Boundary (Exist.)

Min Up N/A

Building Height = Existing
Max 8.5m

Site Area = 8,802m²

Site Coverage = 138m² (Exist.)
Max N/A

GFA =
Existing = 295.3m²
Proposed = 309.55m²

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 24/2/20
Project NO.: RP0120WIL
Project Status DA

Client Bob Wilson

Site: 10/92a Mona Vale Road, Warriewood

DRAWING TITLE: SECTIONS
SECTION 1

PROJECT NAME:
Change of Use & Alterations

REVISION NO.

DRAWING NO.
DA3000

Plot Date: 24/2/20
Sheet Size: A3

**DA APPLICATION
ONLY**
Not For Construction



Rapid Plans
Building Design and Architectural Drafting

Rapid Plans
www.rapidplans.com.au
PO Box 5193 Frenchs Forest DC NSW 2086
Fax : (02) 9505-8865 Mobile: 0414-045-024
Email : gregg@rapidplans.com.au



The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Plans to be read in conjunction with Basic Certificate
Works to be constructed shown in Shaded/Blue
Instruction
Steel & Timber Framed, Timber Framed Walls
work to Engineers drawings for structural details
work to Engineers Specification and BCA
Requirements to be in accordance with AS 1584
Termite Management to BCA and AS 3660.1
Roofing to BCA and AS01288-2047
Flooring to BCA and AS 2340
Lighting to have minimum of 40% compact fluorescent lamps
Workmanship and materials shall be in accordance with the
Requirements of Building Codes of Australia.

usix
usix Certificate Number N/A

DC Information
Setbacks & Open Space Ratios
Have Been Determined As
Follows:

Back Sth Property =
 uilt To Boundary (Exist.)
Back Nth Property =
 uilt To Boundary (Exist.)
verage Front Setback =
 uilt To Boundary (Exist.)
ear Set Back Lwr Fir =
 uilt To Boundary (Exist.)
 in Lwr N/A
ear Set Back Up Fir =
 uilt To Boundary (Exist.)
 in Lwr N/A
ide Set Back Lwr Fir =
 uilt To Boundary (Exist.)
 in Lwr N/A
ide Set Back Up Fir =
 uilt To Boundary (Exist.)
 in Lwr N/A
 ilding Height = Existing
 ax 8.5m
ite Area = 8,802m²
ite Coverage = 138m² (Exist.)
 ax N/A
FA =
 isting = 295.3m²
 ropsed = 309.55m²

**Builder to Check and Confirm all Measurements Prior to Commencement of any works.
Immediately Report any Discrepancies to Rapid Plans**

Project North



Drawn | Checked GBJ
Plot Date: 24/2/20
Project NO. RP0120WIL
Project Status DA

Client	Bob Wilson
Site:	10/92a Mona Vale Road, Warriewood

DRAWING TITLE :
ELEVATIONS
ELEVATIONS 1

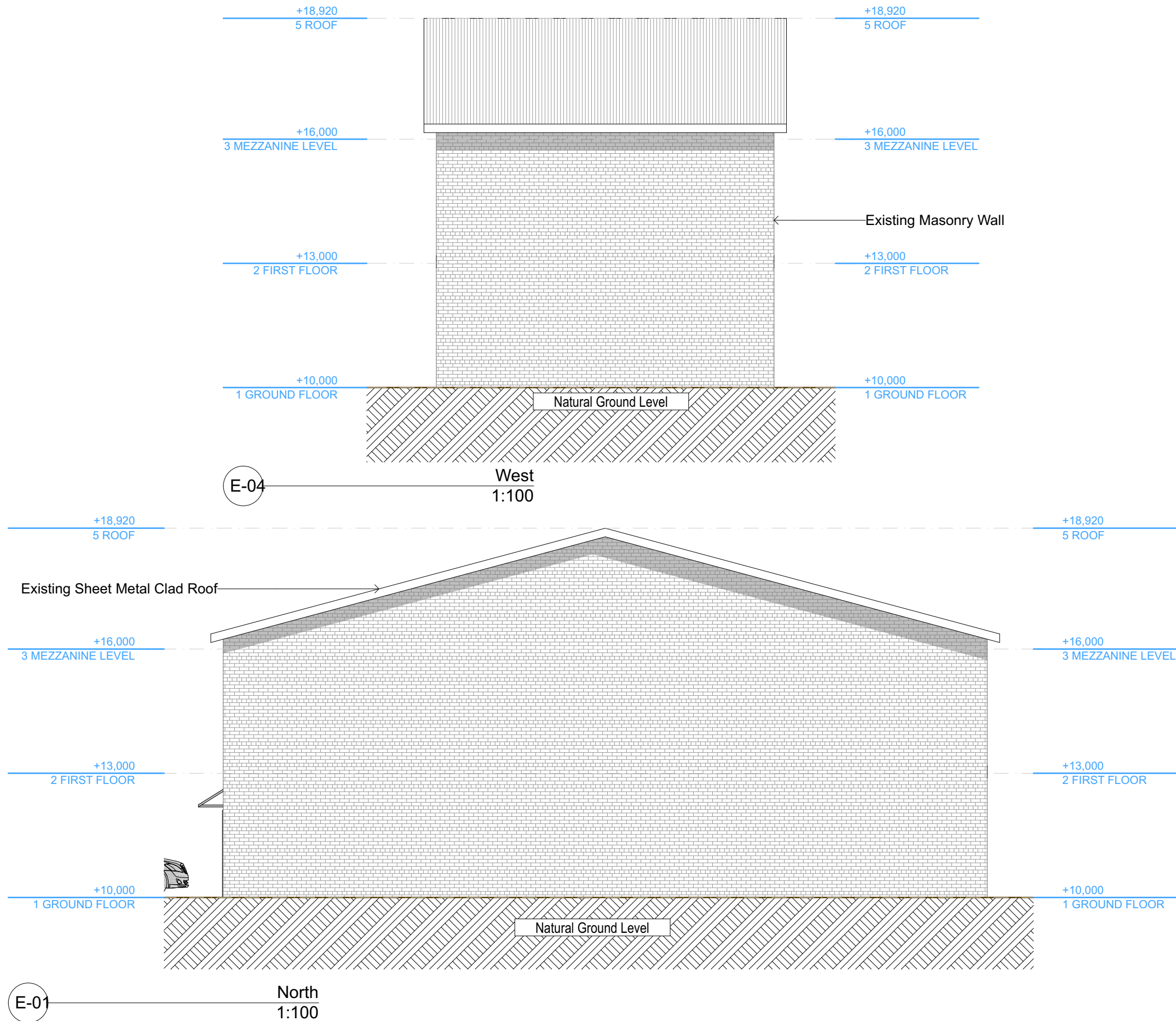
PROJECT NAME : **Change of Use & Alterations**

REVISION NO.

DRAWING NO.

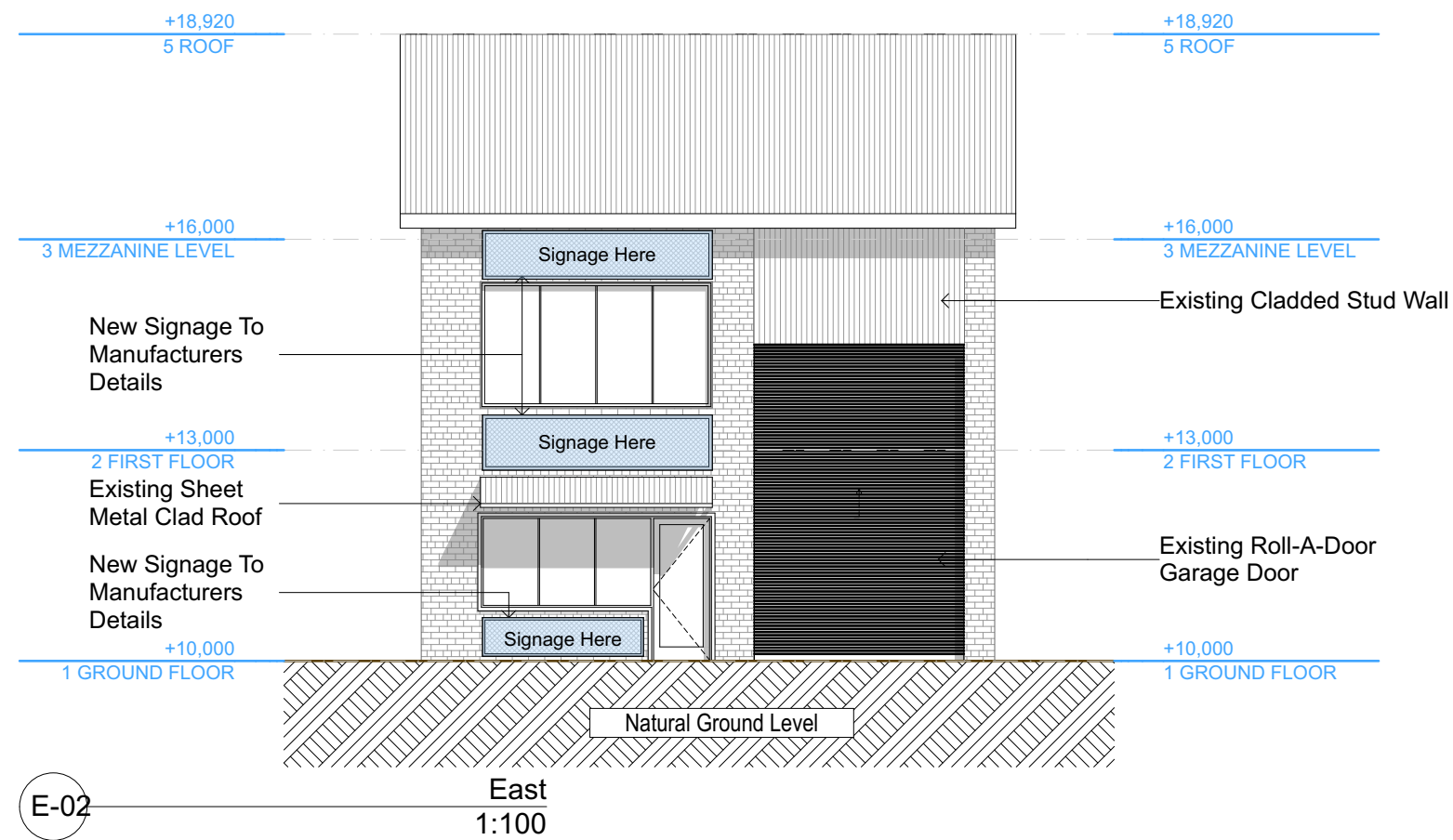
DA4000

Plot Date: 24/2/20
 Sheet Size: A3
 Volume: RAPID PLANS GREGG/Current
 Job: WILSON Kato/ARCAD Design/ARCAD
 WILSON - DA/Finai.pn



DA APPLICATION
ONLY
Not For Construction

*Note: External Built Form To Remain The Same.



**DA APPLICATION
ONLY
Not For Construction**

Rapid Plans
Building Design and Architectural Drafting

© Copyright Rapid Plans 2020

bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

bdaa
ACCREDITED
BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.

NOTES
10/92a Mona Vale Road, Warriewood is zoned B7 - Business Park
10/92a Mona Vale Road, Warriewood is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Steel & Timber Framed, Timber Framed Walls
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1554
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2004
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic
Basic Certificate Number N/A

CDC Information
Setbacks & Open Space Ratios
have Been Determined As
Follows:

Setback Sth Property =
Built To Boundary (Exist.)
Setback Nth Property =
Built To Boundary (Exist.)
Average Front Setback =
Built To Boundary (Exist.)
Rear Set Back Lwr Flr =
Built To Boundary (Exist.)
Min Lwr N/A
Rear Set Back Up Flr =
Built To Boundary (Exist.)
Min Up N/A
Side Set Back Lwr Flr =
Built To Boundary (Exist.)
Min Lwr N/A
Side Set Back Up Flr =
Built To Boundary (Exist.)
Min Up N/A
Building Height = Existing
Max 8.5m
Site Area = 8,802m²
Site Coverage = 138m² (Exist.)
Max N/A
GFA =
Existing = 295.3m²
Proposed = 309.55m²

**Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancies
to Rapid Plans**

Project North

Drawn | Checked GBJ
Plot Date: 24/2/20
Project NO.: RPD120WIL
Project Status DA

Client Bob Wilson

Site: 10/92a Mona Vale Road,
Warriewood

DRAWING TITLE :
ELEVATIONS
ELEVATIONS 2

PROJECT NAME :
**Change of Use &
Alterations**

REVISION NO.

DRAWING NO.
DA4001

Plot Date: 24/2/20
Sheet Size: A3