

**DRAWING REGISTER**

PAGE NO.	TITLE	REVISION	DATE ISSUED
A.01	COVER PAGE/LOCATION PLAN/COMPLIANCE DIAGRAMS	A	02.03.2021
A.02	PLAN: SITE ANALYSIS (Existing)	A	02.03.2021
A.03	PLAN: SITE (Proposed)	A	02.03.2021
A.04	PLAN: BASEMENT + GROUND FLOOR	A	02.03.2021
A.05	PLANS: FIRST FLOOR + ROOF	A	02.03.2021
A.06	ELEVATIONS: NTH / STH / EST / WST	A	02.03.2021
A.07	SHADOW DIAGRAMS - EXISTING	A	02.03.2021
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**32 Reddall Street, Manly NSW 2095**

Lot 87, Sec DP 70416

Land Area 696.7 m<sup>2</sup>

**CONTROLS**

**LEP Floor Space Ratio Map (Sheet FSR\_006)**

max floor space ratio F (0.6:1)

**LEP Height of Buildings Map (Sheet HOB\_006)**

Maximum Building Height J (9m)

**LEP Land Zoning Map (Sheet LZN\_006)**

R1 : General Residential

**DCP EXCAVATION**

Maximum volume of excavation for the site

Max permitted excavation 350 m3

**DCP 4.1.5 Open Space and Landscaping**

Total open space at least 55% of site area

Total landscaped area at least 35% of open space



1 Aerial View

**SCHEDULE OF EXTERNAL FINISHES**



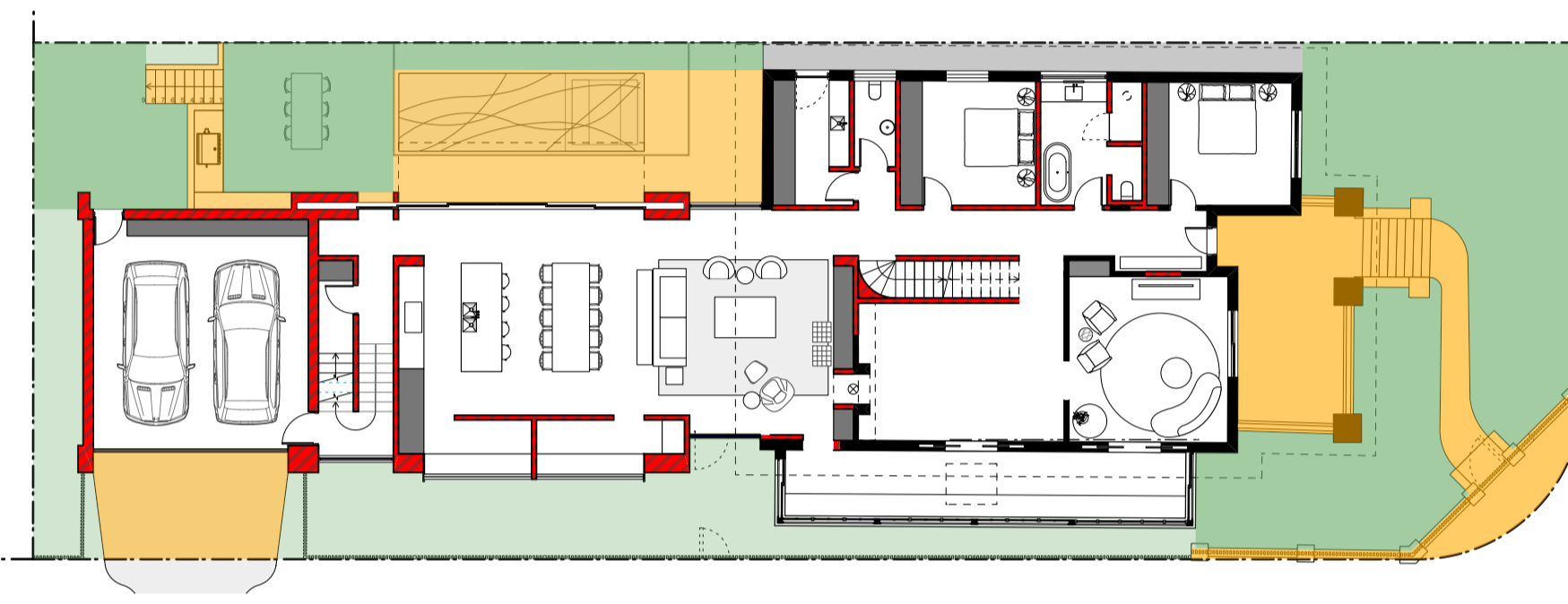
PT2 - Existing painted timberwork  
TL1 - Slate look roof tiles to new and old rooves  
TM1 - Stained external timber work including rafters, privacy screens, etc  
MR1 - Mirror cladding to wall in connection between old and new  
BK1 - Existing brickwork to be retained  
PT1 - Dark brown paint to match bricks over textured render  
PB1 - Existing pebble columns to be retained  
ST1 - Existing sandstone to be re-used in landscape walls

**DCP 4.1.5 Open Space and Landscaping**

Site Area	696.7 m <sup>2</sup>			
Open Space Area	Area OS3			
	Control	Existing	Compliant	Proposed
Total Open Space	55% of site area min.	57.9%	<b>YES</b>	38%
				<b>NO</b>
	<b>Total</b>	383.2 m <sup>2</sup> min.	403.5 m <sup>2</sup>	<b>YES</b>
Landscaped Area	Control	Existing	Compliant	Proposed
	35% open space min.	69.7%	<b>YES</b>	37.7% open space
	<b>Total</b>	134.1 m <sup>2</sup> min.	267.1 m <sup>2</sup>	<b>YES</b>



3a Existing Landscaped area



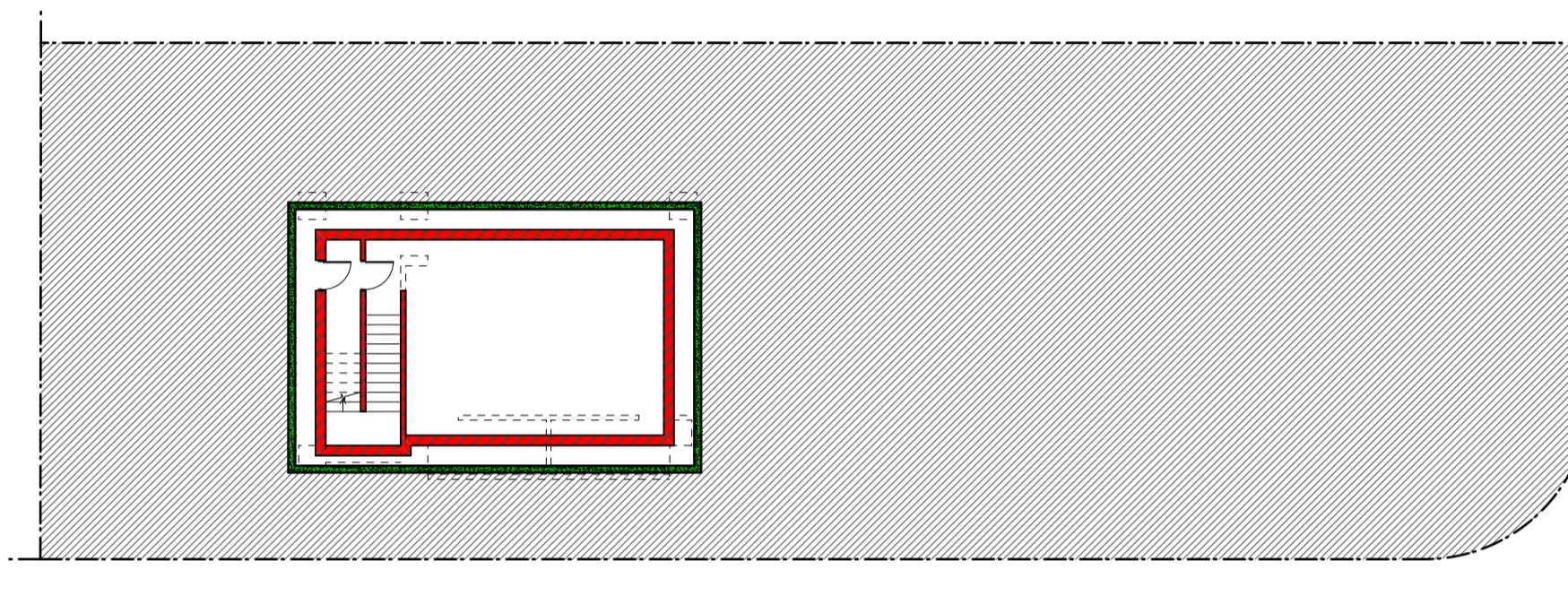
3b Proposed Landscaped area

**LEP Floor Space Ratio**

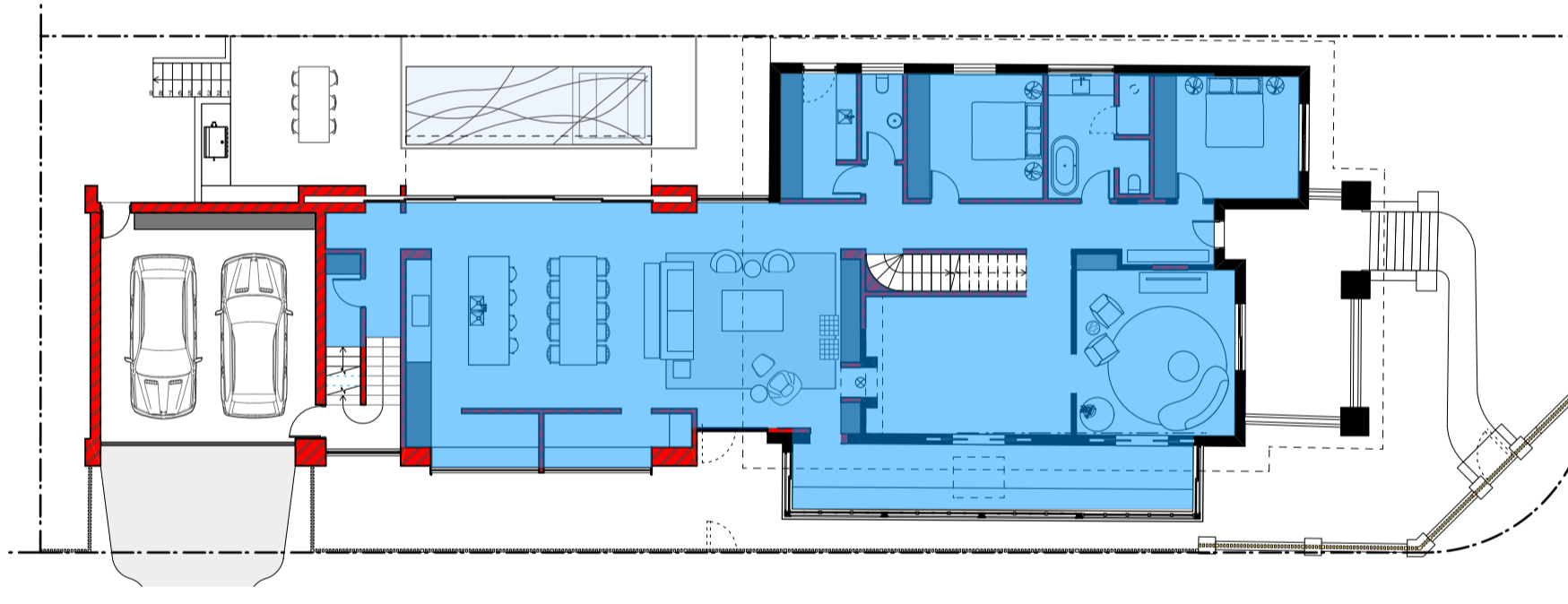
Site Area	696.7 m <sup>2</sup>			
MAX FSR	0.6:1 (418.02 m <sup>2</sup> )			
GFA	Existing	Compliant	Proposed	Compliant
	First Floor	na	na	111.5
Ground Floor	198 m <sup>2</sup>		261.2	
L Gnd Floor	na			
<b>Total</b>	212.1 m <sup>2</sup>	YES	372.7 sqm	YES
<b>FSR</b>	0.30:1	YES	0.53:1	YES



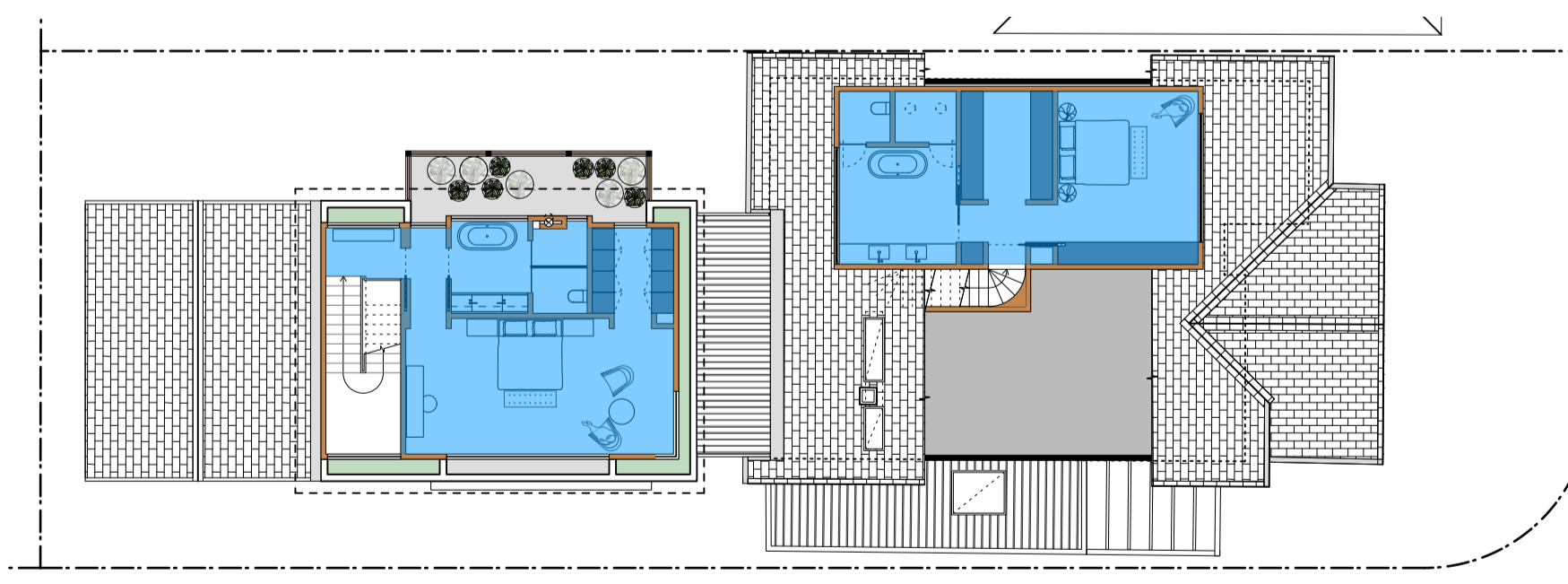
4a Existing Ground Floor GFA



4b Proposed Basement Floor GFA



4c Proposed Ground Floor GFA



4d Proposed First Floor GFA

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
floor above existing dwelling or building.	nil	
external wall: cavity brick	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
external wall: other/undecided	R1.70 (including construction)	
internal wall shared with garage: single skin masonry (R0.18)	nil	
flat ceiling, pitched roof	ceiling: R2.50 (up), roof: foil/sarking	dark (solar absorptance > 0.70)
raked ceiling, pitched/skillion roof: framed	ceiling: R2.50 (up), roof: foil/sarking	dark (solar absorptance > 0.70)
flat ceiling, flat roof: framed	ceiling: R2.50 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)

**Insulation requirements**

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.

**Windows and glazed doors**

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.

Each window or glazed door with improved frames, or pyrolytic low-glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.

**BASIX Certificate # A346623\_02**

Prepared by: BASIX Certificate Centre - 23 Feb. 2021

**BASIX Commitments**

Window / door no.	Orientation	Area of glass in: frame (m <sup>2</sup> )	Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
GF W01	NE	4.2	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
GF W02	SE	4.05	5.85	7.5	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
GF W03	NE	2.7	1.45	2.5	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
GF W04	SE	14.04	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
GF W05	SW	2.7	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
GF W06	SE	5.13	10.35	3	awning (adjustable) >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
GF W07	NW	5.13	9.35	5	none	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
GF W08	NW	19.17	1.75	5	awning (adjustable) >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
GF W09	NW	4.05	1.75	5	awning (adjustable) >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
FF W01	NE	2.4	0	0	projection/height above sill ratio >=0.29	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
FF W02	NE	4.8	0	0	projection/height above sill ratio >=0.29	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
FF W03	NE	2.4	0	0	projection/height above sill ratio >=0.29	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
FF W04	NW	5.87	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
FF W05	NE	22.6	3.43	7.8	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
FF W06	SE	5.87	3.15	7.5	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
FF W07	SE	12.32	0	0	projection/height above sill ratio >=0.36	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
FF W08	SE	6.9	7.65	3	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
FF W09	SW	5.26	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
FF W10	NW	6.9	6.65	5	none	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
FF W11	NW	3.36	0	0	awning (adjustable) >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
FF W12	NW	3.36	0	0	awning (adjustable) >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)



TEMPERATE NORTH  
EASTERLY BREEZE

N



WINTER  
SUN PATH



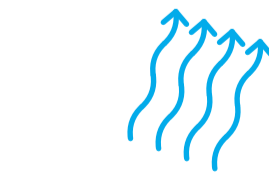
SUMMER  
SUN PATH



WINTER  
SUN PATH



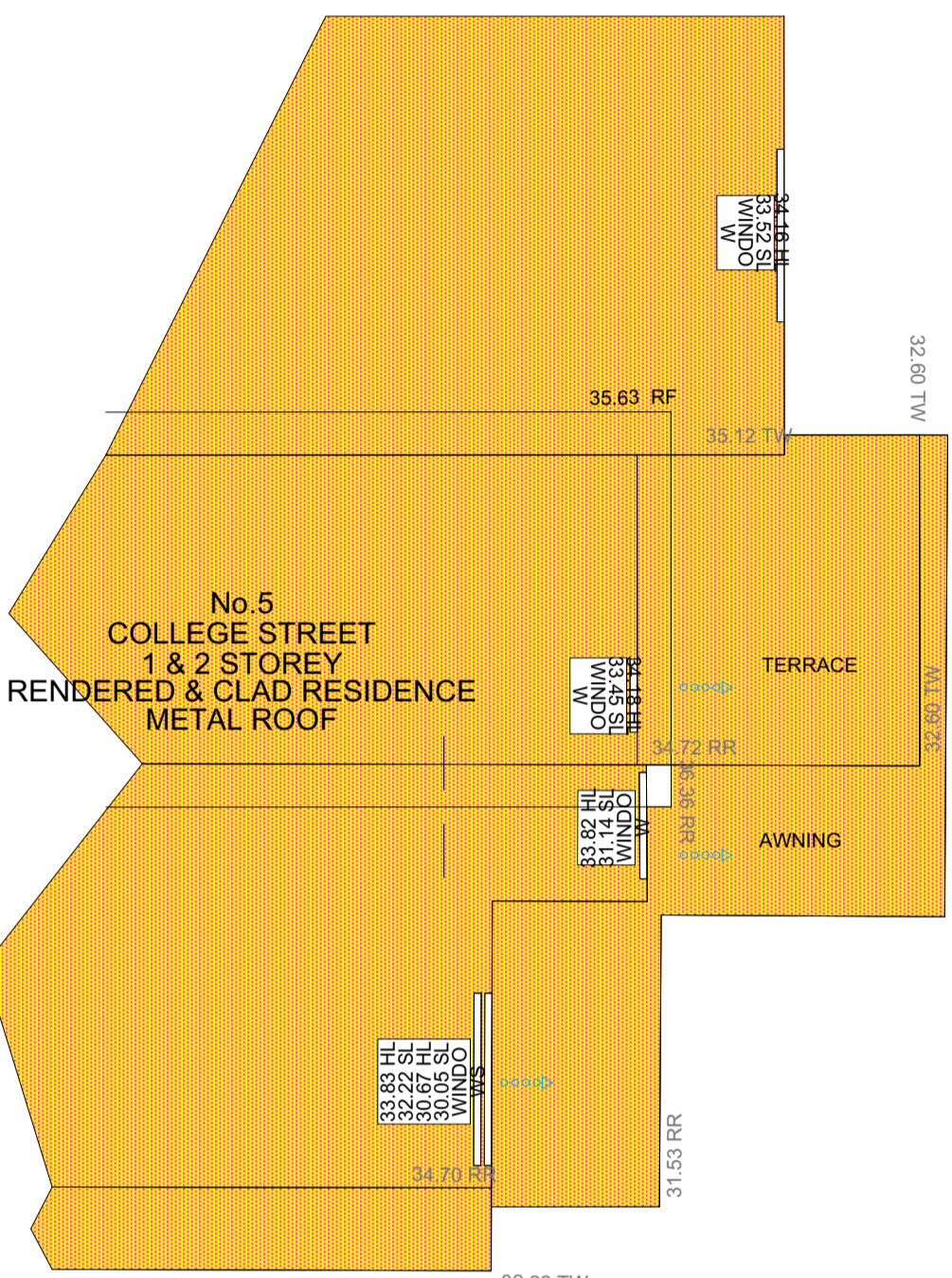
SUMMER  
SUN PATH



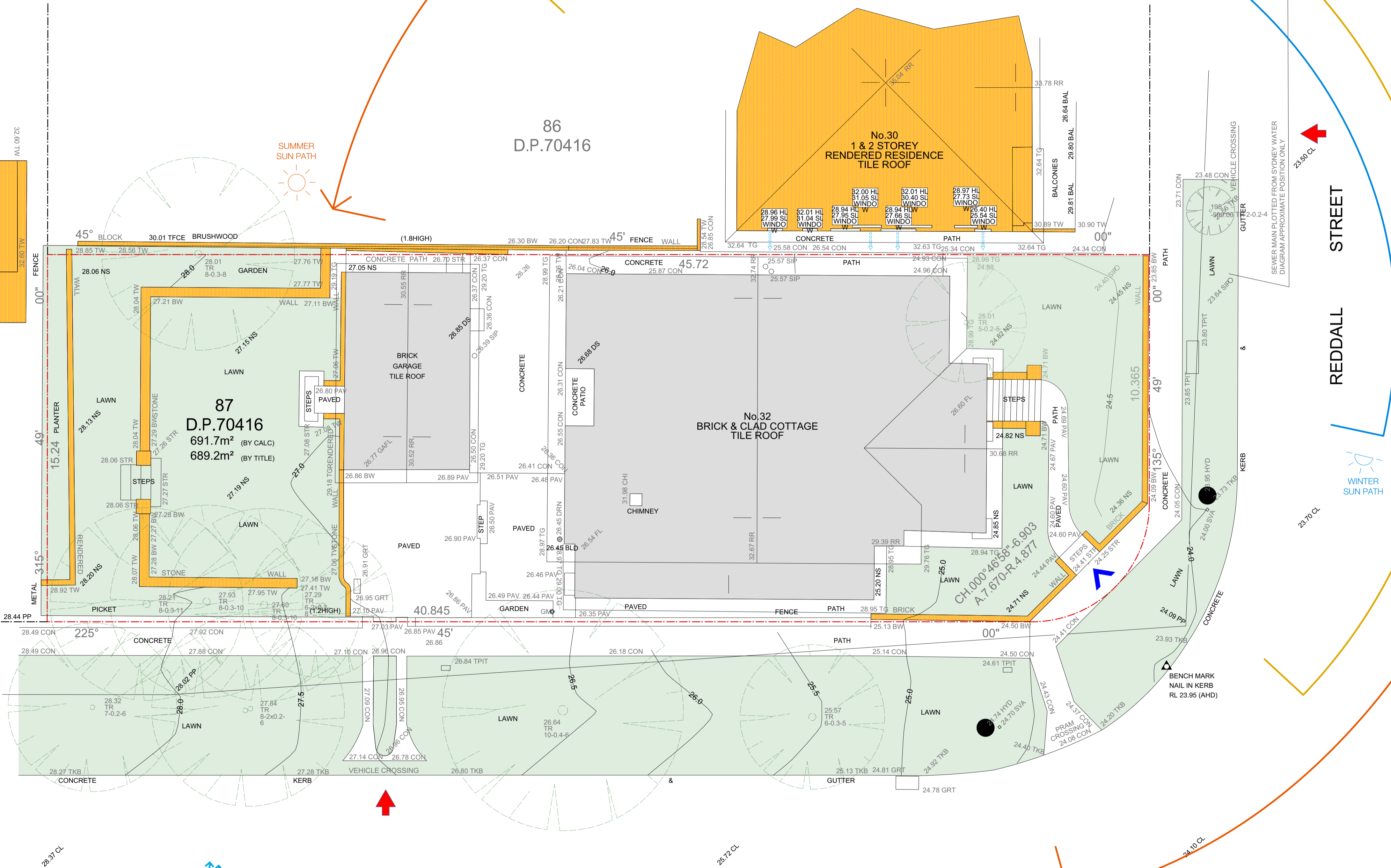
SOUTH WESTERLY  
WINTER WINDS

COLLEGE STREET

REDDALL STREET



88  
D.P.998494



1:100 @ A1, 1:200 @ A3 0021 JE  
scale project number drawn by

drawing title drawing number

A Development Application 02.03.2021 SITE ANALYSIS PLAN A02-A

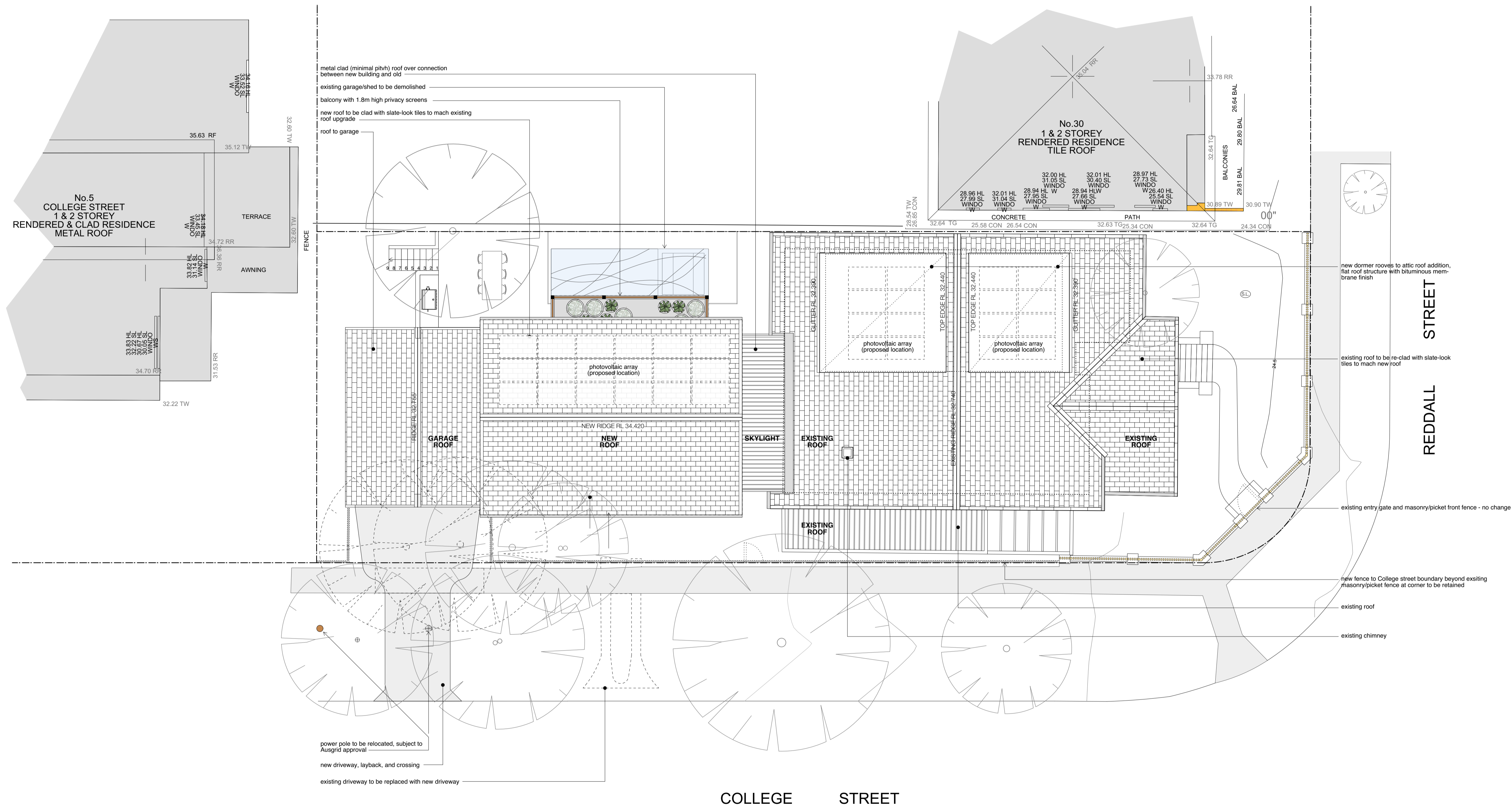
EATON ARCHITECTS

PO Box B49, Manly NSW 1655  
info@bkharchitects.com.au  
0422 392 710

client  
**Thomas Residence**

address  
**32 Reddall Street Manly NSW**

All works to be in accordance with Australian Standards, The Building Code of Australia, other relevant codes, and with Manufacturers' recommendations and instructions. Do not scale from drawings. Verify all dimensions on site prior to construction.



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1:100 @ A1, 1:200 @ A3  
 scale

0021  
 project number

JE  
 drawn by

drawing title  
**SITE PLAN**









drawing number  
**A03-A**

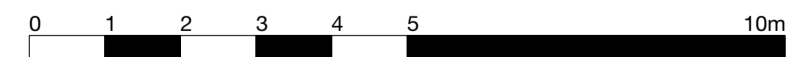
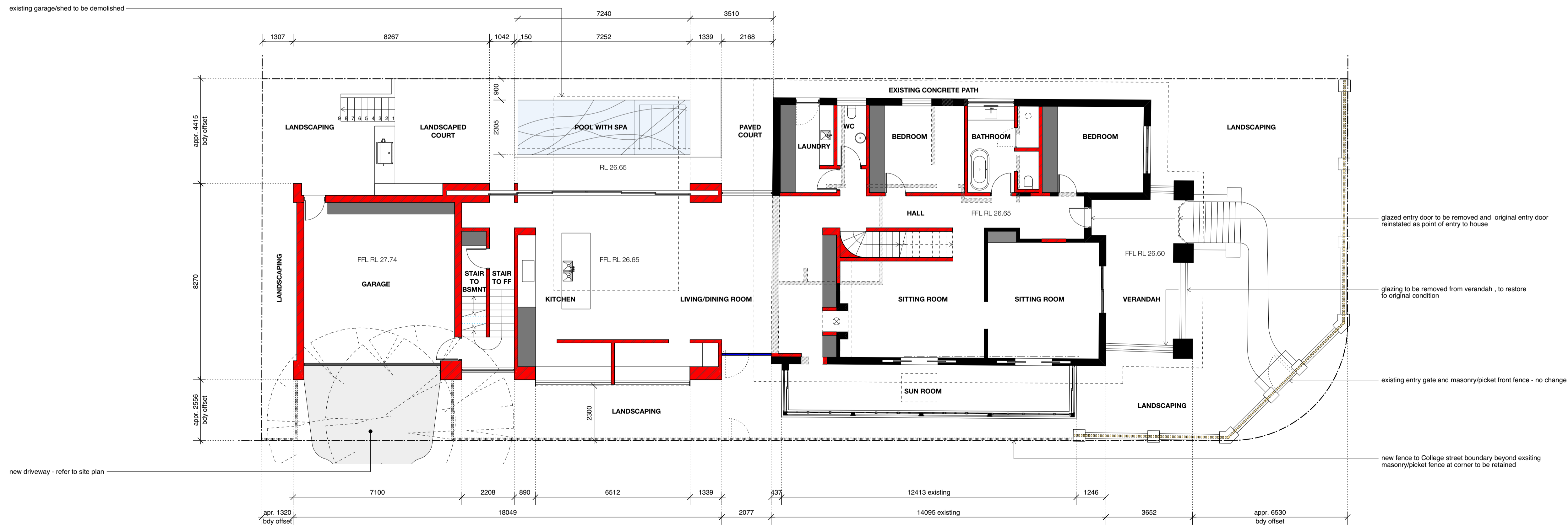
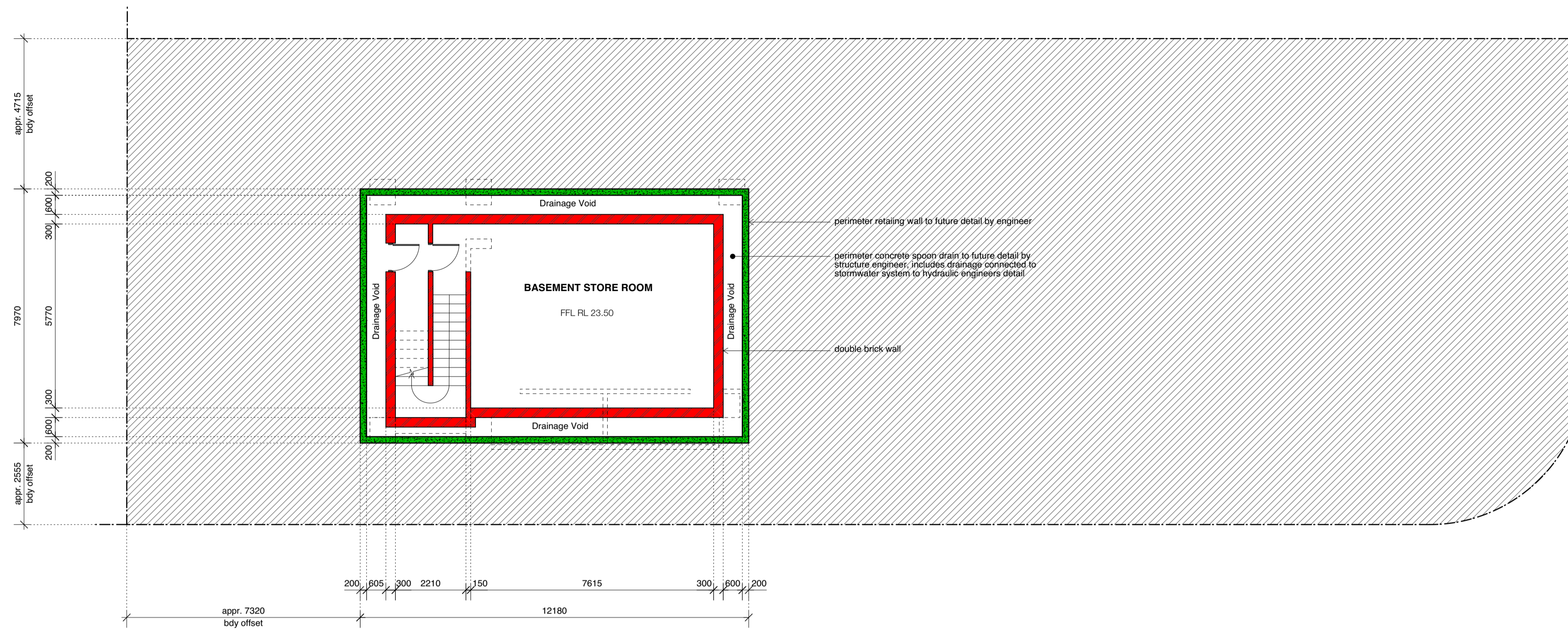
A  
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Development Application

02.03.2021

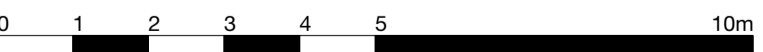
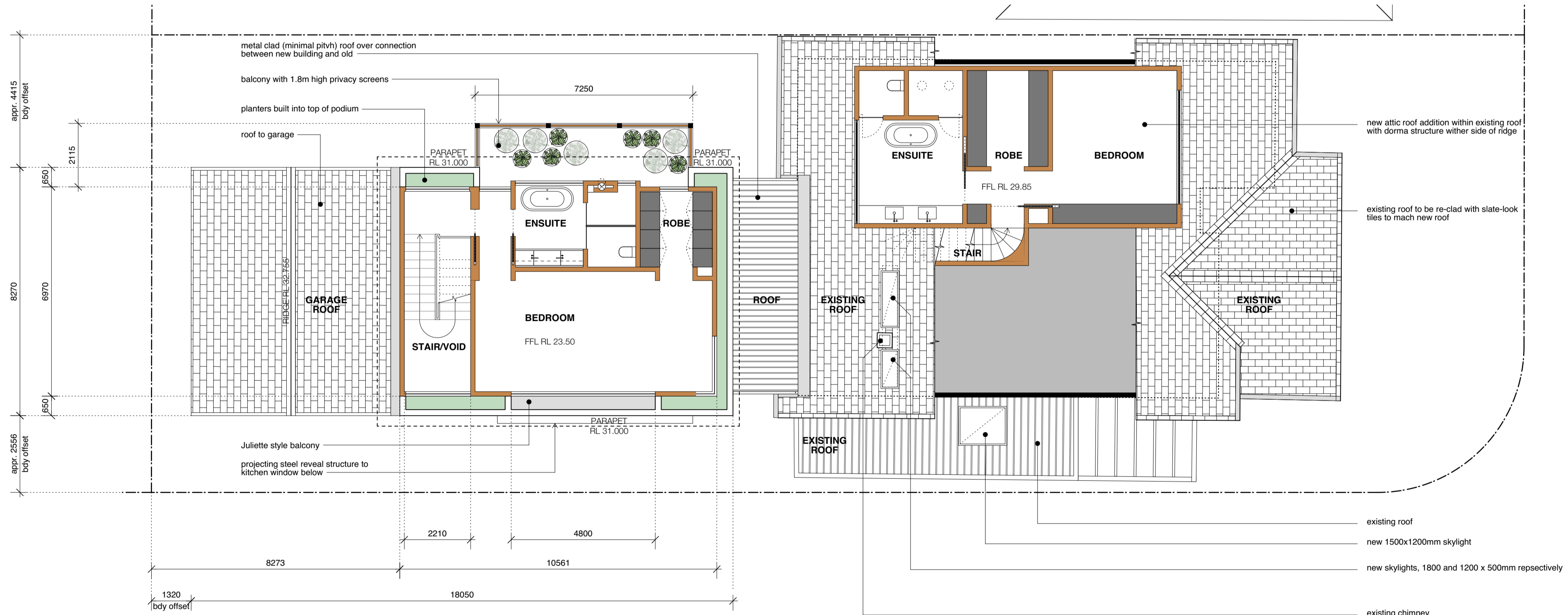
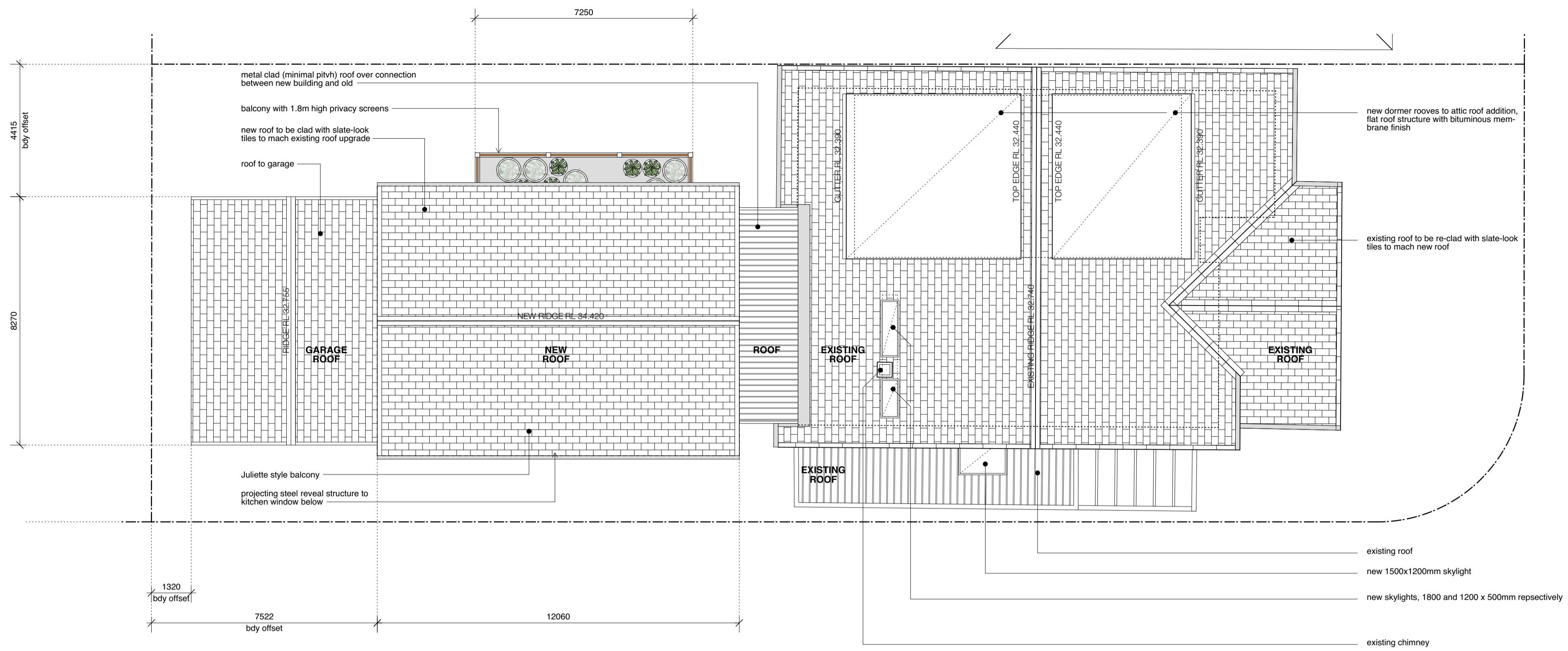
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- LEGEND**
-  existing structure to be retained
  -  proposed brickwork structure
  -  proposed lightweight structure
  -  proposed concrete structure
  -  existing structure to be demolished
  -  landscaping - refer to landscape architect's plans
  -  earth / ground condition unknown
  -  proposed fill / soil



**LEGEND**

[Symbol]	existing structure to be retained
[Symbol]	proposed brickwork structure
[Symbol]	proposed lightweight structure
[Symbol]	proposed concrete structure
[Symbol]	existing structure to be demolished
[Symbol]	landscaping - refer to landscape architect's plans
[Symbol]	earth / ground condition unknown
[Symbol]	proposed fill / soil



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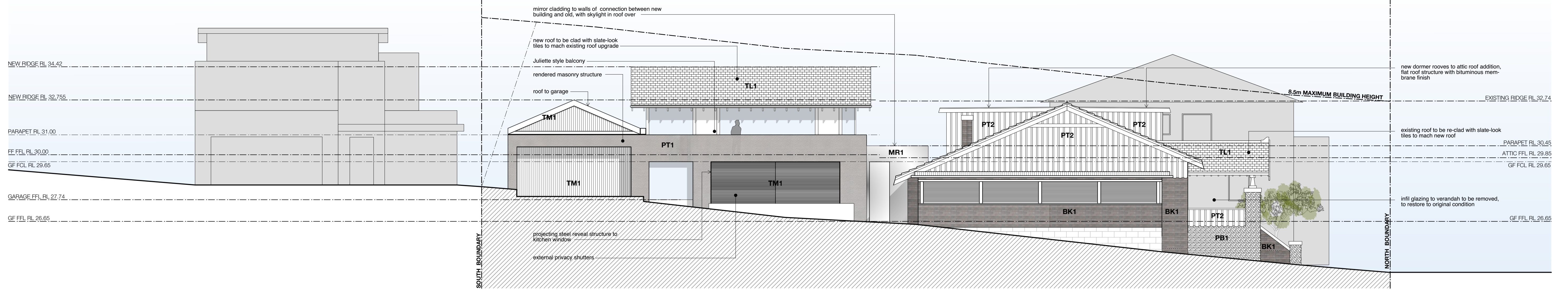
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**32 Reddall Street Manly NSW**

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JE drawn by

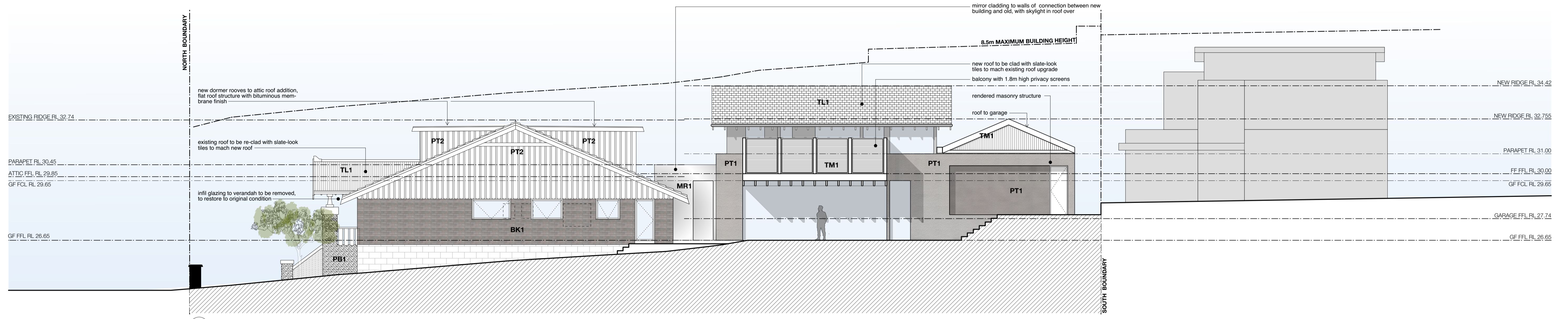
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**FIRST FLOOR AND ROOF PLANS**

drawing number  
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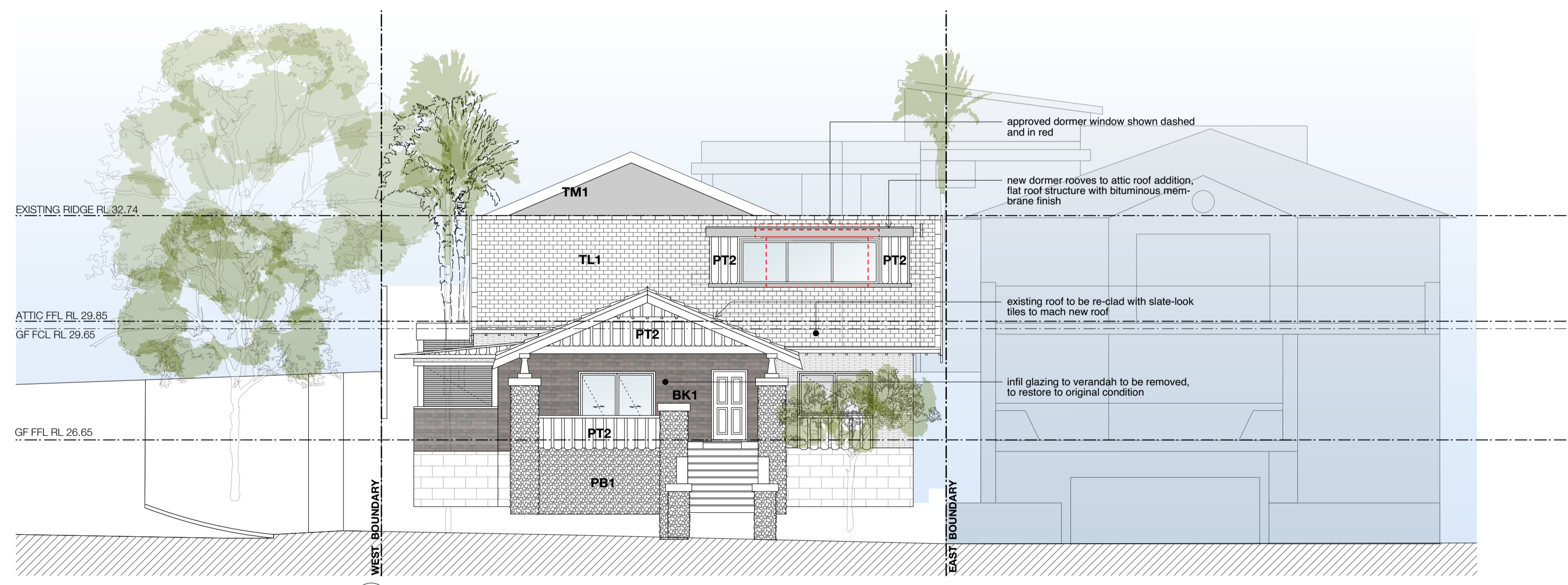
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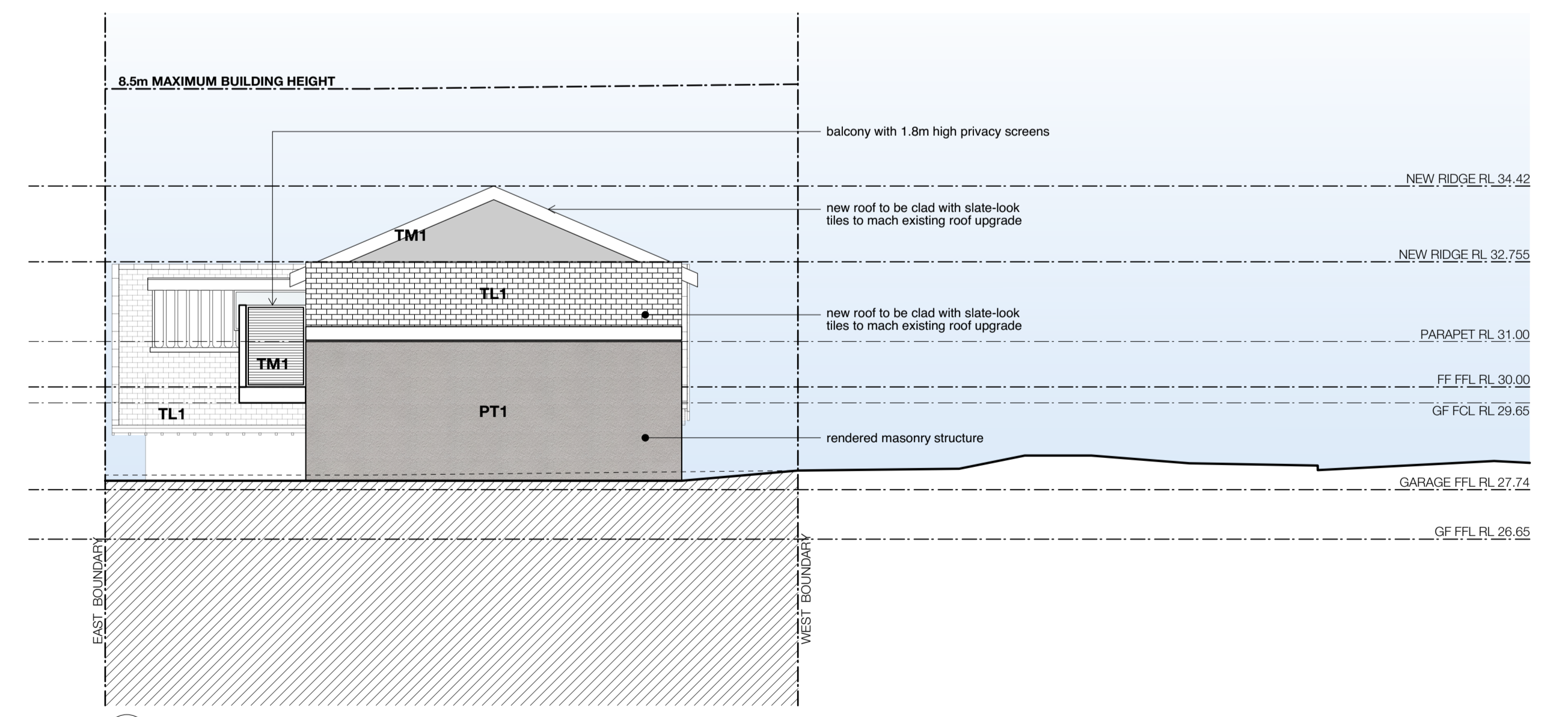
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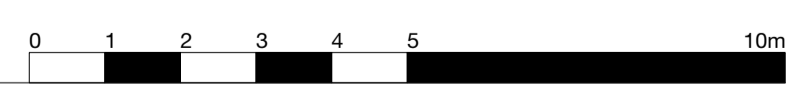
WEST ELEVATION  
Scale: 1:100



NORTH ELEVATION  
Scale: 1:100



SOUTH ELEVATION  
Scale: 1:100



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1:100 @ A1, 1:200 @ A3  
scale

0021  
project number

JE  
drawn by

drawing title  
**ELEVATIONS**

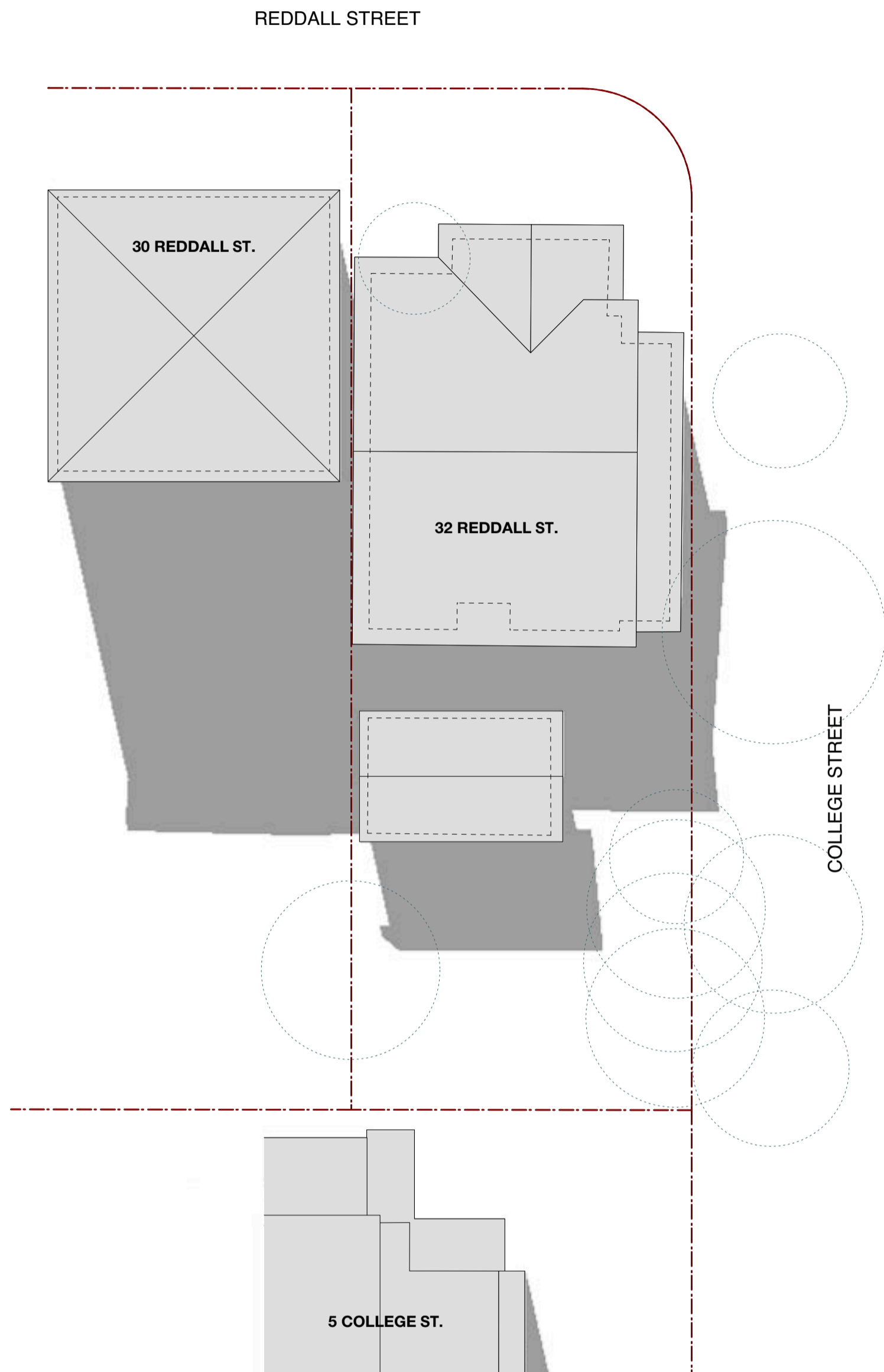
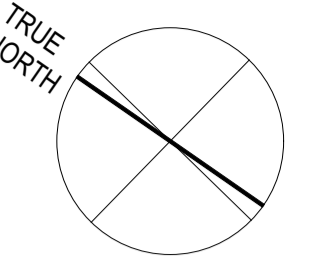
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A Development Application  
amendment

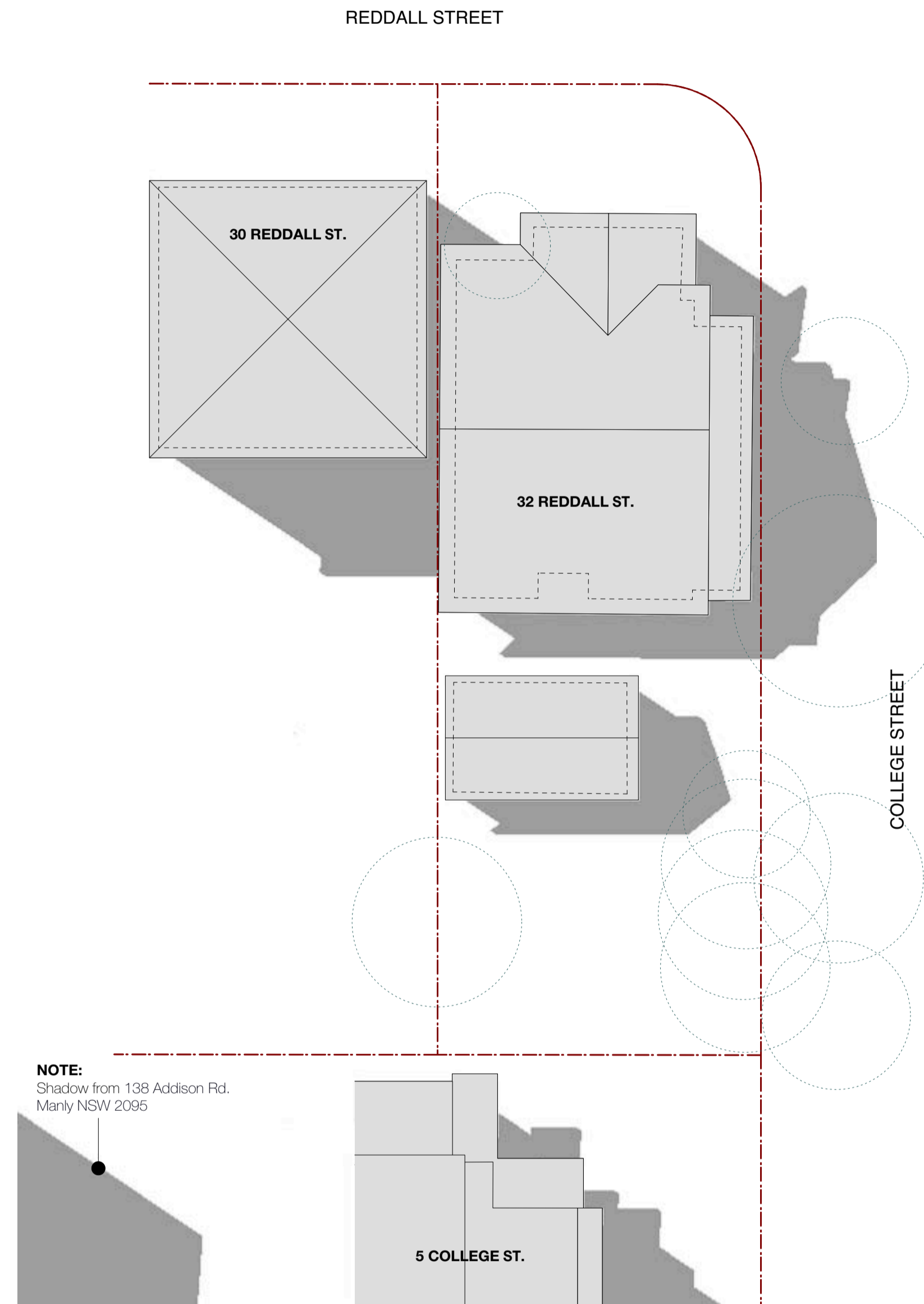
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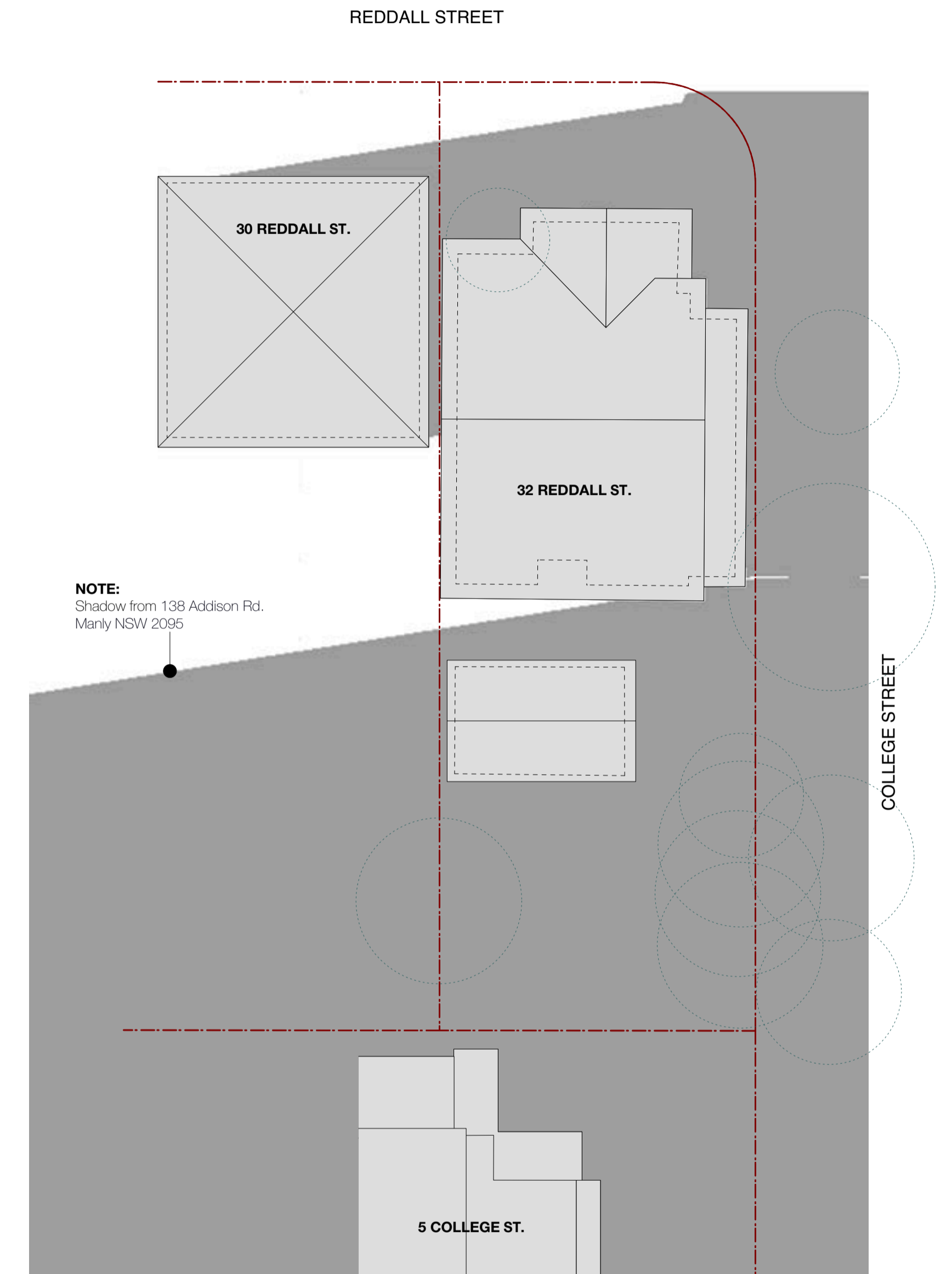
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 PREPARED BY C.M.S. SURVEYORS



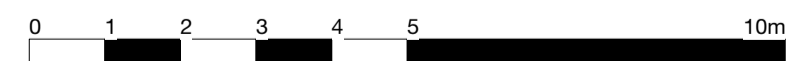
**EXISTING SHADOW - 21 June 9:00 am**



**EXISTING SHADOW - 21 June 12:00 pm**



**EXISTING SHADOW - 21 June 3:00 pm**



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**A** Development Application  
 amendment

02.03.2021

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 scale

0021  
 project number

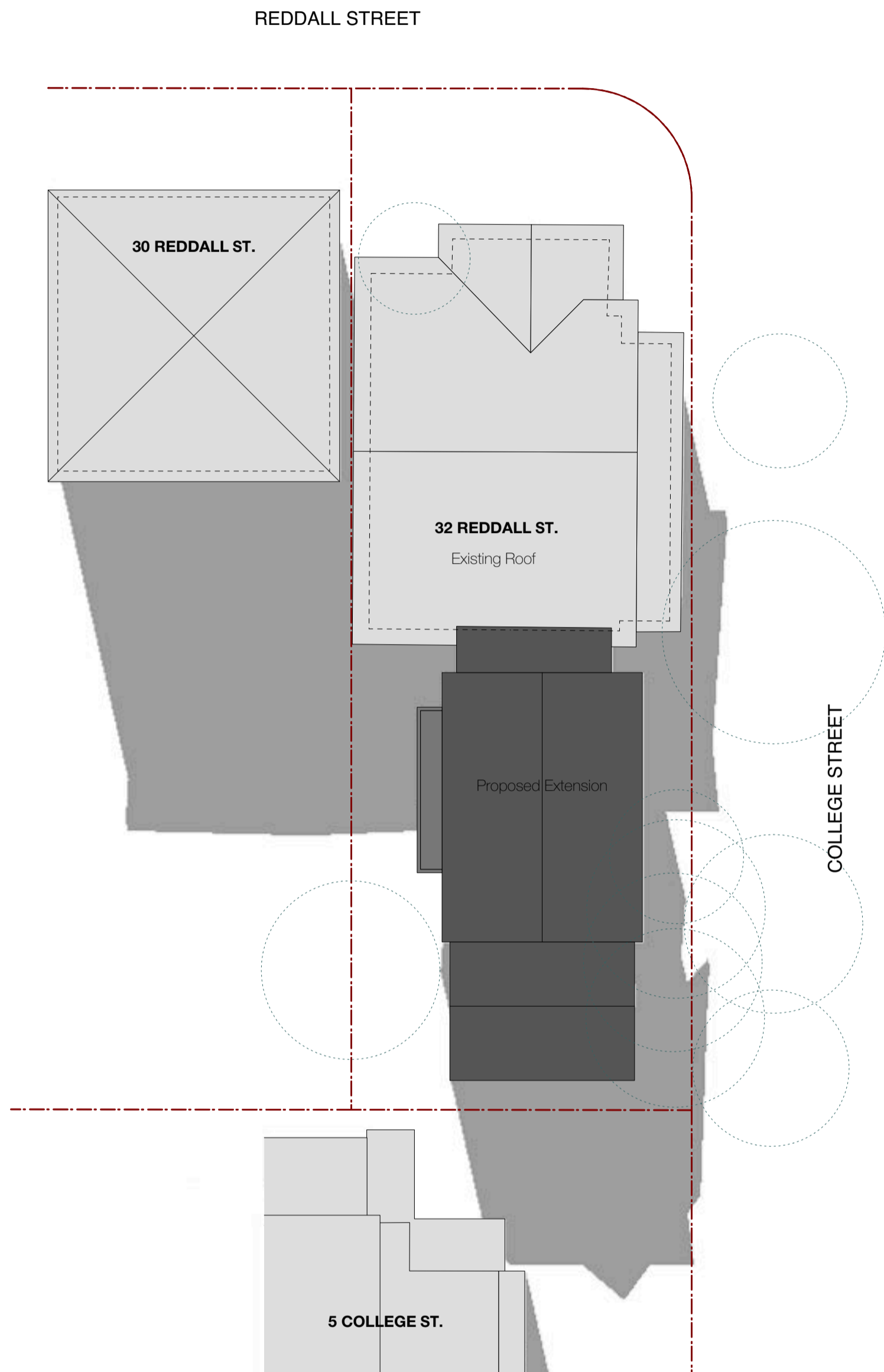
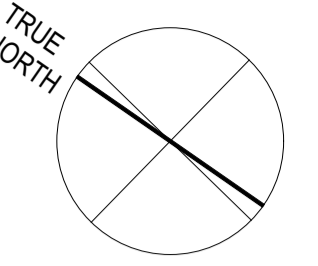
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 drawn by

drawing title  
**SHADOW DIAGRAMS  
 EXISTING SHADOWS**

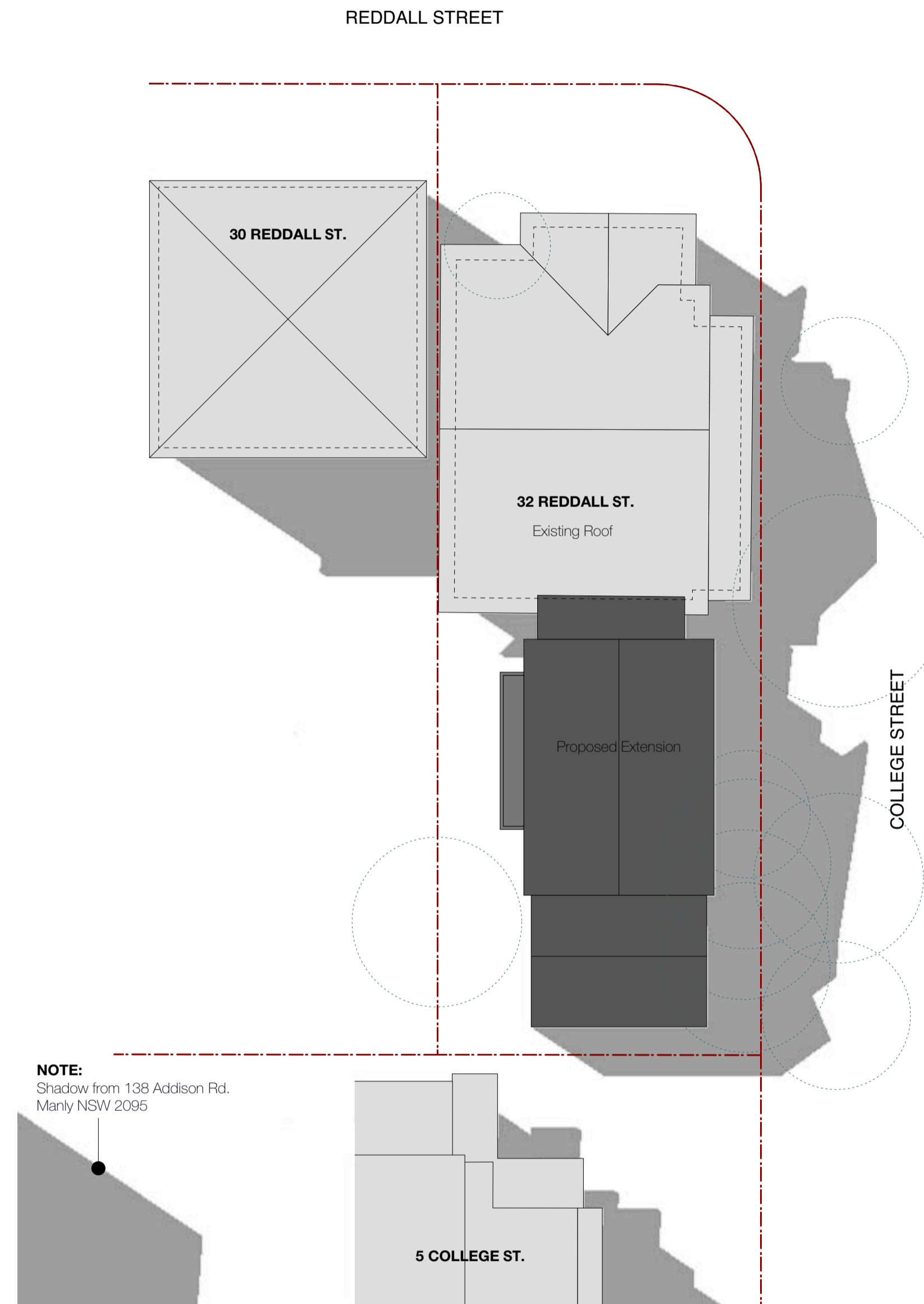
drawing number

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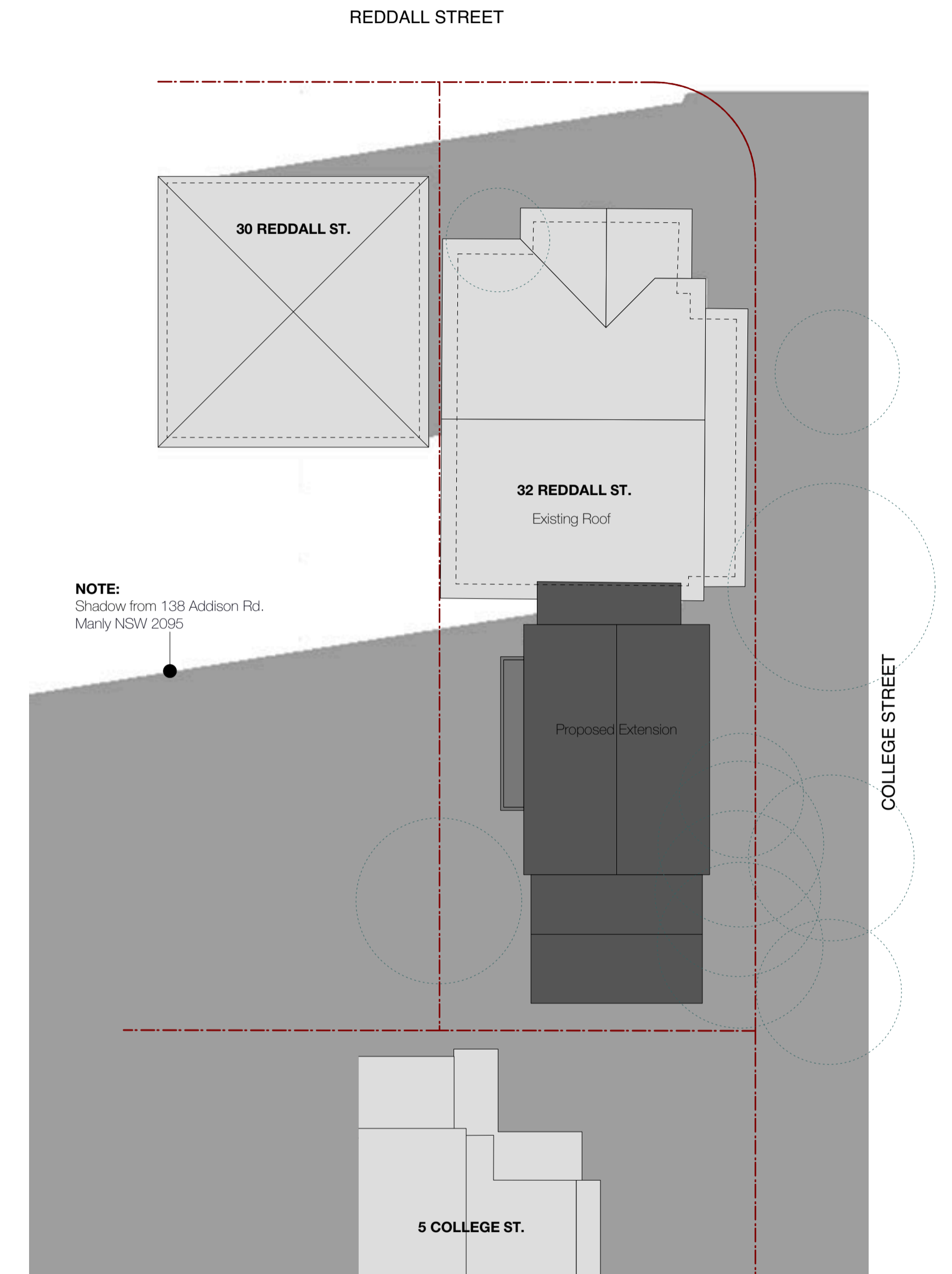
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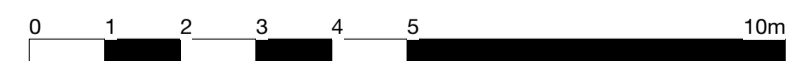
**PROPOSED SHADOW - 21 June 9:00 am**



**PROPOSED SHADOW - 21 June 12:00 pm**



**PROPOSED SHADOW - 21 June 3:00 pm**



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 scale

0021  
 project number

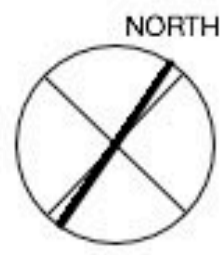
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 drawn by

drawing title  
**SHADOW DIAGRAMS  
 PROPOSED SHADOWS**

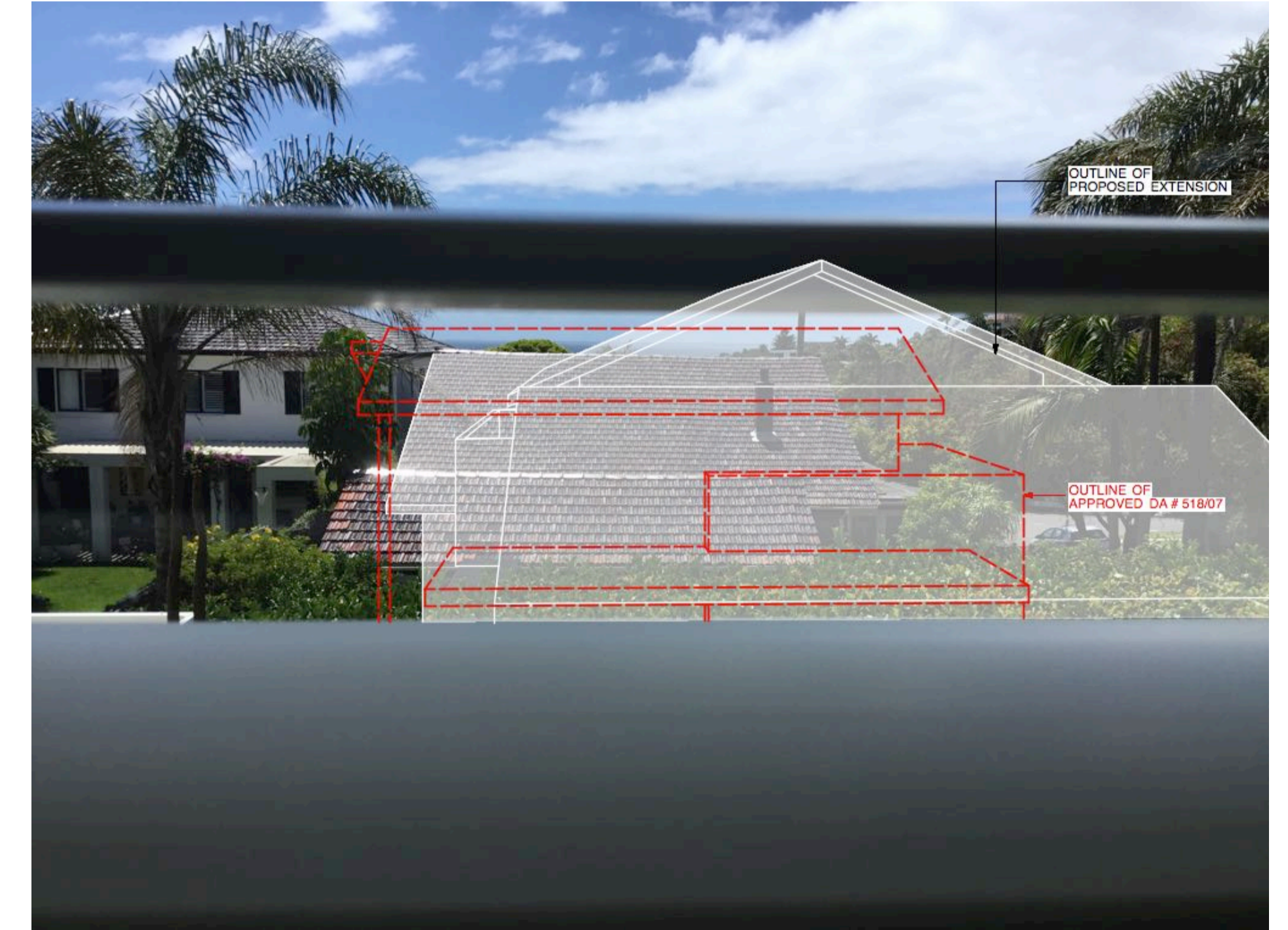
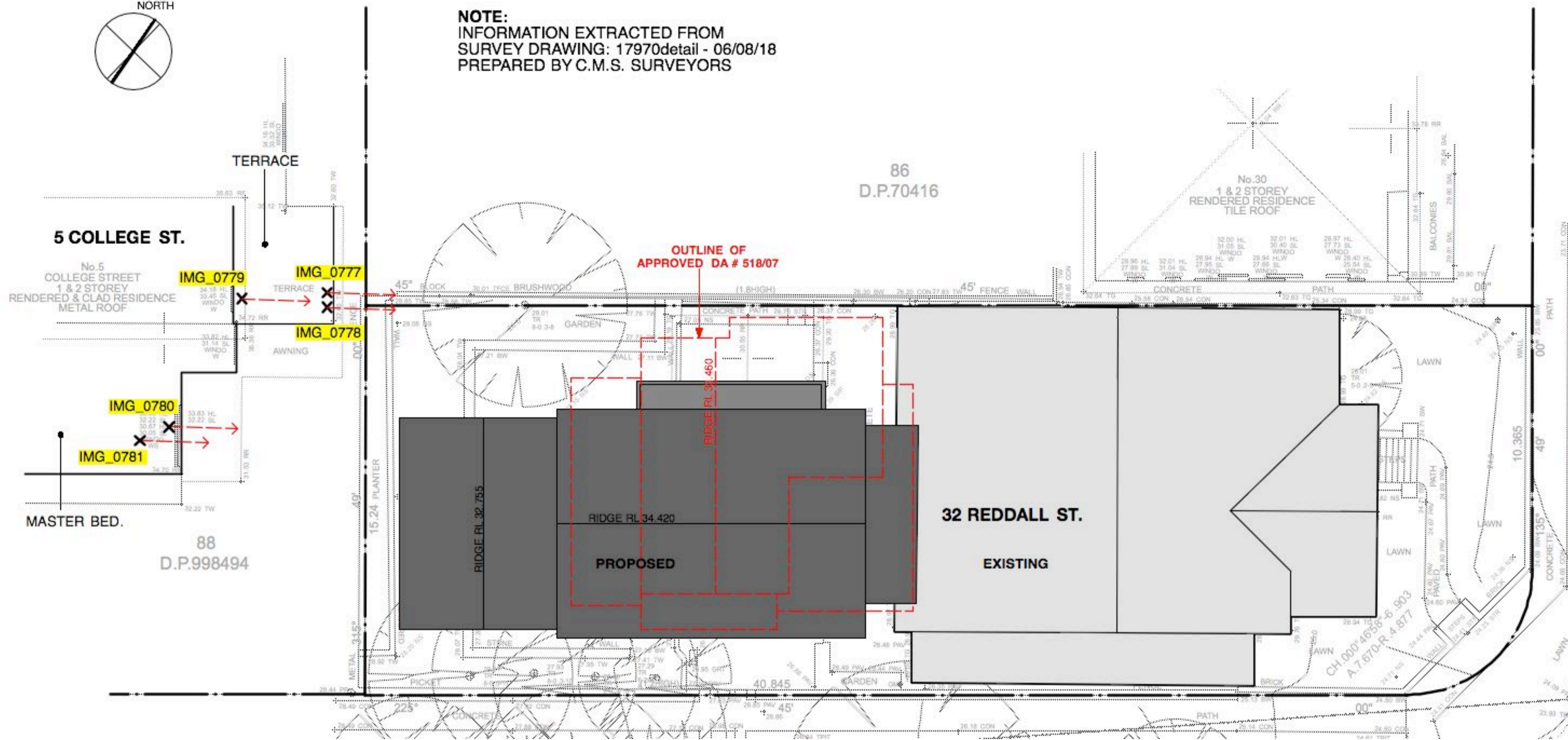
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**A08-A**



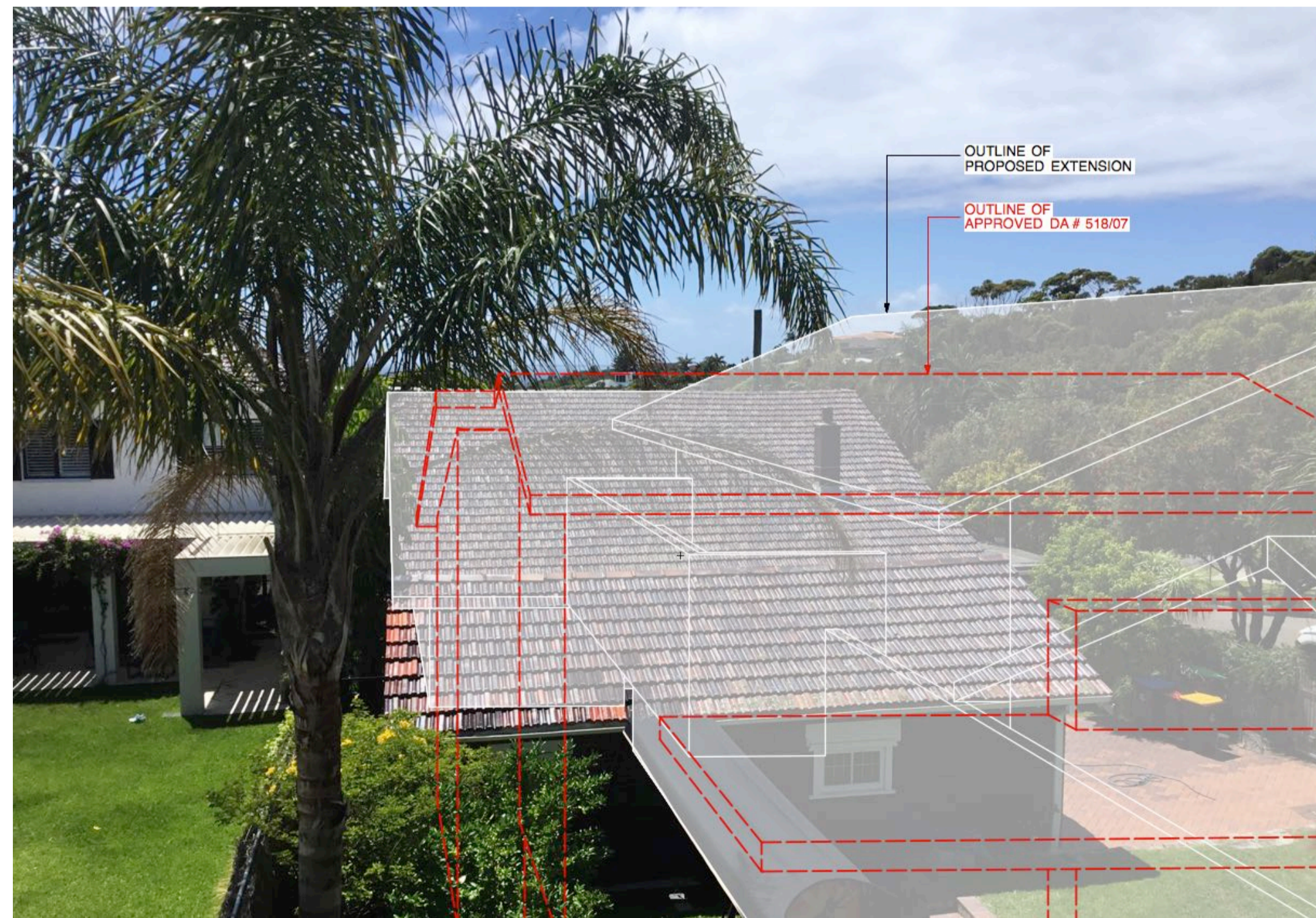


**NOTE:**  
 INFORMATION EXTRACTED FROM  
 SURVEY DRAWING: 17970detail - 06/08/18  
 PREPARED BY C.M.S. SURVEYORS



**LOCATION PLAN**  
 • CAMERA LOCATION / IMAGE NUMBER:       

**VIEW ANALYSIS**  
 REFERENCE IMAGE: IMG\_0780



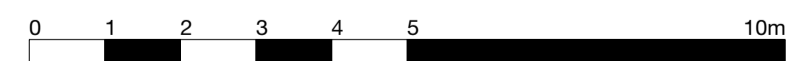
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 REFERENCE IMAGE: IMG\_0777



**VIEW ANALYSIS**  
 REFERENCE IMAGE: IMG\_0779



**VIEW ANALYSIS**  
 REFERENCE IMAGE: IMG\_0781



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address  
**32 Reddall Street Manly NSW**

1:NTS @ A1 scale  
 0021 project number  
 JE drawn by

drawing title  
**VIEW ANALYSIS**  
 drawing number  
**A09-A**

A Development Application  
 amendment 02.03.2021

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# 32 REDDALL STREET, MANLY, NSW 2095

## Landscape Documentation for Development Application



IMAGE TAKEN FROM NEARMAP 2019

### Drawing Register

Dwg No.	Drawing Name
LDA-00	Cover Page
LDA-01	Landscape Plan
LDA-02	Specification & Details
LDA-03	Planting Schedule & Imagery



**SITE PLAN**

Drawing Title:  
**Landscape Cover Sheet**  
DWG No:

**LDA-00**

**GEOSCAPES**  
LANDSCAPE ARCHITECTS  
Suite 215, 284 Victoria Ave, Chatswood NSW 2067 Ph. (02) 9411 1485  
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Architect:  
**EATON ARCHITECTS**

Client:  
Steve Thomas

Scale:  
1:NTS @ A1  
1:NTS @ A3

Date:  
25.02.2021

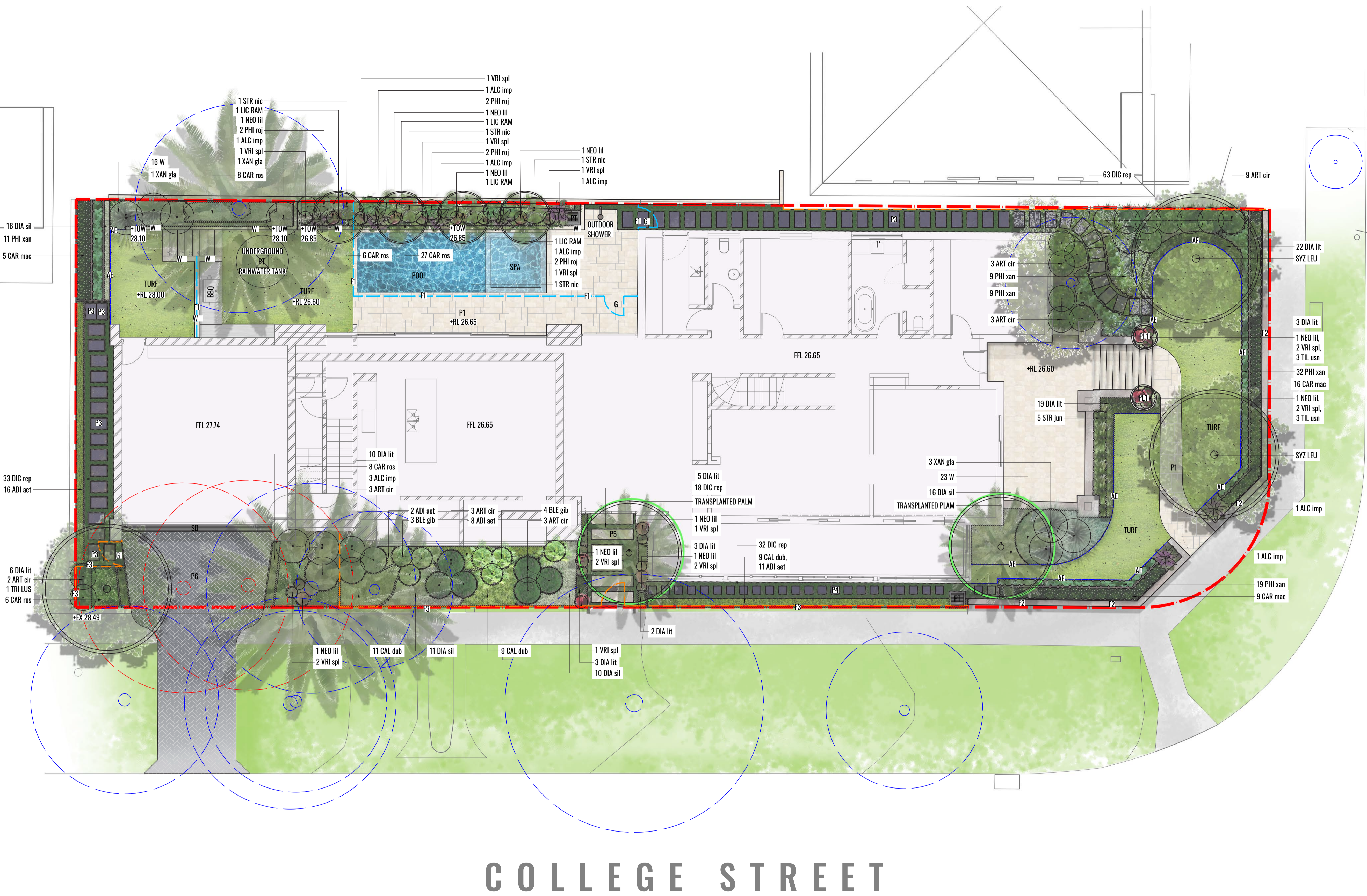
Job Number:  
190320

North:

Project: 32 REDDALL STREET

MANLY, NSW 2095

Revision		FOR DEVELOPMENT APPLICATION		
Rev	Date	Description	Drawn	Checked
A	10.05.19	FOR DA	TW	LW
B	20.05.19	STORM-WATER INCORPORATED	TW	BG
C	05.02.21	REVISED ARCHITECTURE BASE	TW	BG
D	25.02.21	STORMWATER INCORPORATED	TW	BG



REDDALL STREET

COLLEGE STREET

- LEGEND**
- EXTENT OF WORKS
  - EXISTING TREE TO BE RETAINED
  - TREE TO BE REMOVED
  - TRANSPLANTED TREE
  - PROPOSED TREE
  - MASS HEDGE/SHRUB PLANTING
  - ACCENT/FEATURE PLANTING
  - PROPOSED GROUNDCOVER PLANTING
  - NEW SANDSTONE PAVERS TO EXISTING CONCRETE PATH
  - PROPOSED TIMBER DECK
  - BLUESTONE STEPPERS 400X600MM
  - BLUESTONE STEPPERS 400X400MM
  - SANDSTONE STEPPERS - 400MM X VARIOUS LENGTHS
  - INTERLOCKING GRANITE HERRINGBONE PAVING TO DRIVEWAY
  - QUATRO DESIGN 1000 DESIGNER BOWL
  - POOL FENCE FRAMELESS GLASS BALUSTRADE
  - POOL FENCE FRAMELESS GLASS BALUSTRADE GATE
  - EXISTING FENCE WALL TO BE MODIFIED TO ARCHITECTS DETAILS
  - 1M HIGH PICKET FENCE & 900MM WIDE GATE
  - ALUMINIUM EDGING
  - PROPOSED WALL FACED AND CAPPED IN SANDSTONE RECYCLED FROM SITE
  - BUFFALO TURF
  - RAINWATER COLLECTION TANK / STORM WATER DRAIN

Drawing Title:  
**Landscape Plan**  
DWG No:  
**LDA-01**

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Client:  
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Scale: 1:75 @ A1  
1:150 @ A3  
Date: 25.02.2021  
Job Number: 190320  
Project: 32 REDDALL STREET  
Manly, NSW 2095

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# MAINTENANCE PLAN

Maintenance shall mean the care and maintenance of the landscape works by accepted horticultural practice as rectifying any defects that become apparent in the landscape works under normal use. The landscape contractor shall attend the site on a **weekly basis** to maintain the landscape works commencing from practical completion.

## Rubbish Removal

The Landscape Contractor shall undertake rubbish removal from the site on a **weekly basis** to ensure the site remains in tidy condition.

## Weed Eradication

Weed growth that may occur in grassed, planted or mulched areas is to be removed using environmentally acceptable methods i.e. non-residual glyphosate herbicide (e.g. 'Roundup', applied in accordance with the manufacturer's direction.

## Tree Replacement

Trees shall show signs of healthy vigorous growth and be free from disease and not exhibit signs of stress prior to handover to the client. Any trees or plant that die or fail to thrive, or are damaged or stolen will be replaced. Replacement material shall have the initial maintenance period extended in accordance with the landscape contract conditions. Trees and plant materials shall be equal to the minimum requirements of species specified and approved material delivered to site. Should the condition decline from the approved sample the Superintendent reserves the right to reject the tree / plants.

Frequency: as required.

## Stakes

Adjust and/or replace stakes and ties where required. Remove staking and guying when instructed by the Superintendent

## Pruning

Selective pruning may be required during the establishment period to promote a balanced canopy structure. These activities shall be carried out to the best horticultural and industry practice. All pruned material is to be removed from site.

## Mulched Surfaces

All planter beds and garden areas shall have a minimum depth of 75mm organic mulch. All mulch is to be free of deleterious matter such as soil, weeds, sticks and should conform to AS 4454.

Mulched surfaces are to be kept clean and tidy and free of any deleterious material and foreign matter. Reinstall depths to a uniform level of 75mm with mulch as specified, mulch to be free of any wood material impregnated with CCA or similar toxic treatment. Top up mulch levels prior to handover to client & estate management.

## Watering

Implement an appropriate hand watering regime in areas not irrigated in association with current watering programme to maintain plant health and vigour. The program shall reflect seasonal conditions and plant species.

Frequency: Weekly or as required.

## Soil In Natural Ground

Non-Australian native garden beds to have soil installed consisting of 50% existing site topsoil and 50% new topsoil equal or equivalent to 'Organic Garden Mix' as supplied by Australian Native Landscapes. Australian native garden beds to have soil installed consisting of 50% existing site topsoil and 50% new topsoil equal or equivalent to 'Native Low 'P' Mix' as supplied by Australian Native Landscapes. Soil to conform to AS4419 refer to typical detail.

## Pest and Disease Control

The Landscape Contractor shall spray for pests and disease infestations when the pest and fungal attack has been positively identified and when their populations have increased to a point that will become detrimental to plant growth. Apply all pesticides to manufacturer's directions.

Frequency: weekly inspection

## Fertilising

Generally check for signs of nutrient deficiencies (yellowing of leaves, failure to thrive), and adapt fertiliser regime to suit. Fertiliser should be applied at the beginning and the end of the (summer) growing season.

## Irrigation

A sub surface dripper style, electrically automated self timed irrigation system is recommended to be supplied to all garden bed areas and planter container. Regular checks are to be made to ensure continued successful operation. The Landscape Contractor shall be responsible for coordination and engagement of a specialist irrigation designer and installation contractor to design, supply and install an automatic subterranean drip irrigation system to all raised planter beds.

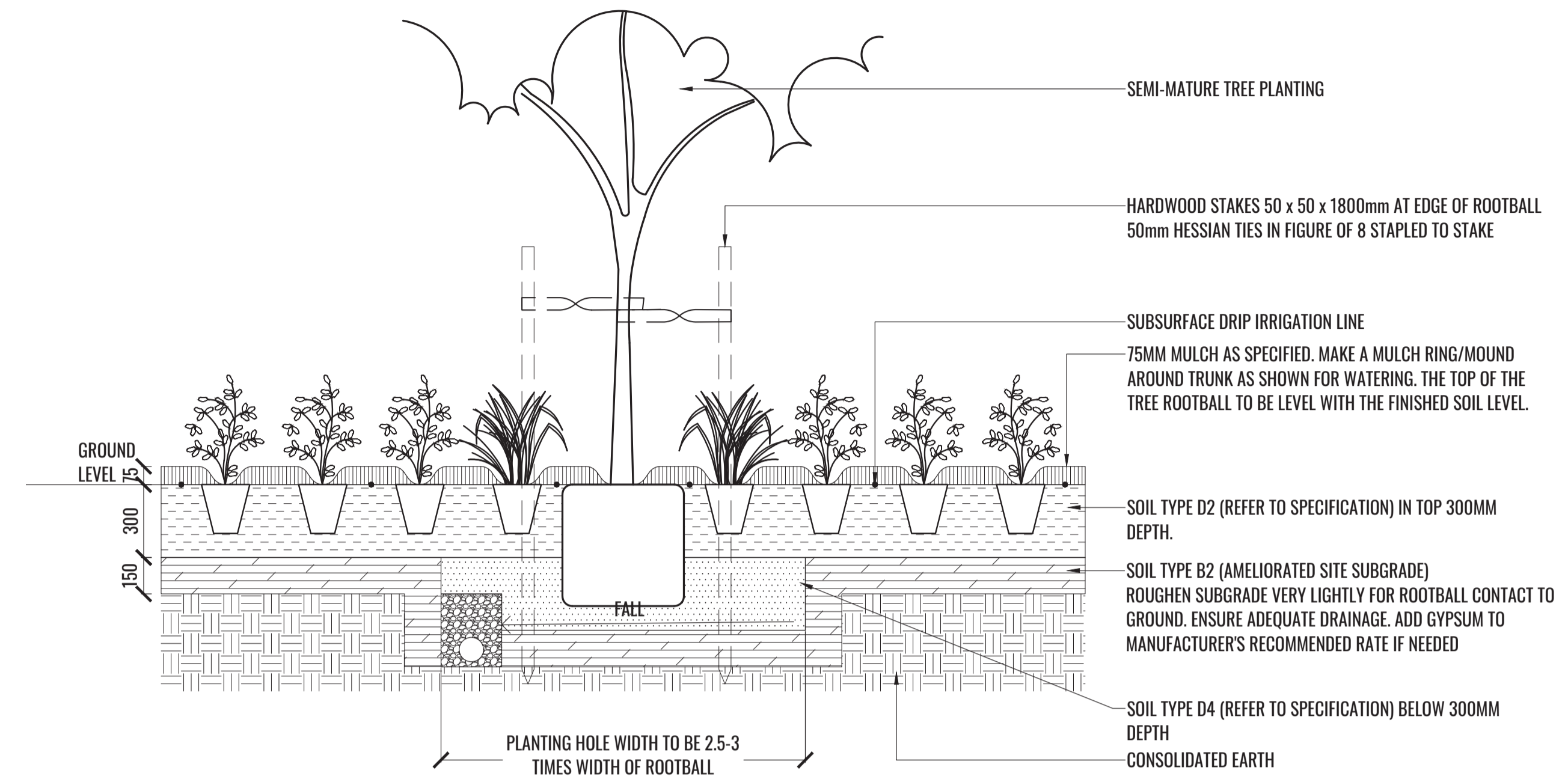
The irrigation system will need to provide designated landscaped areas with enough water for vigorous healthy plant growth. As a general rule landscaped areas will need 20-25mm, species dependant, of water per week. The landscape Contractor will need to monitor natural rainfall using a rain switch in order to set irrigation flow rates accordingly on a monthly basis.

## Standards

All grown or purchased plant stock must conform to all the conditions and requirements given in NATSPEC Guide: Specifying Trees. Soils to be in accordance with AS4419, mulching composts and conditioners to be in accordance with AS4454. Soils should conform to best practice specifications as listed in the Landscape Soils Handbook (Simon Leake & Elke Haegel 2017).

# TYPICAL LANDSCAPE DETAILS

TREE/SHRUB SIZE AND QUALITY TO BE TO NATSPEC STANDARD. SPECIES IS TO BE AS PER PLAN AND PLANT SCHEDULE. ENSURE ONLY HEALTHY AND VIGOROUS, DISEASE FREE, WELL MAINTAINED PLANTS ARE USED. TAKE CARE TO ENSURE FOLIAGE, BRANCHES, TRUNKS AND ROOT CROWNS ARE NOT DAMAGED BEFORE, DURING AND AFTER PLANTING. ENSURE OPTIMUM MAINTENANCE AND ESTABLISHMENT OF TREES/SHRUBS OCCURS AS SOON AS THEY ARE AT SITE



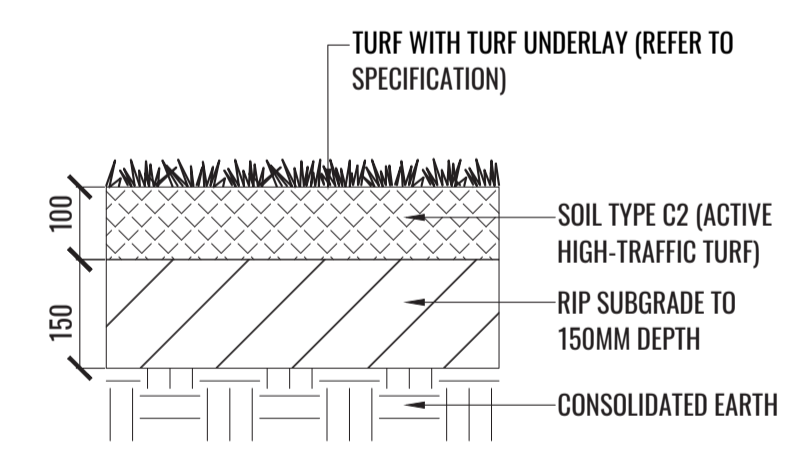
THOROUGHLY SOAK THE ROOTBALL OF TREE WITH FRESH WATER BEFORE TAKING OFF POT OR BAG. WHEN PLANTING HOLE IS COMPLETE USE A SHARP SPADE TO SHAVE OFF 20-50MM OF THE SIDES AND BASE OF ROOTBALL (TO ROOD PRUNE IT) BEFORE CAREFULLY PLACING INTO PLANTING HOLE. IF NORTH IS MARKED ON THE TREE, ENSURE ORIENTATION IS CORRECT WITH NORTH MARKING TO THE NORTH.

- REMOVE ANY STAKES, TIES AND LABELS. WATER ROOTBALL THOROUGHLY.
- TOP OF ROOTBALL TO FINISH FLUSH WITH TOP OF SOIL

## 1 MASS PLANTING AND TREE DETAIL

TYPICAL SECTION

SCALE 1:20



## 2 TURF DETAIL

TYPICAL SECTION

SCALE 1:10

Drawing Title:

**Specification & Details**

DWG No:

**LDA-02**



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Client:

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Scale:

AS SHOWN @ A1

Date:

25.02.2021

Job Number:

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North:

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<b>A</b>	10.05.19	FOR DA	TW	LW
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**FOR DEVELOPMENT APPLICATION**

Project:

**32 REDDALL STREET**

# PLANTING SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT	SIZE	PLANTING DENSITY	QTY	Long Nosed Bandicoot Planting
<b>Trees</b>							
SYZ LEU	<i>Syzygium leuhmannii</i>	Riberry Tree	15m	100L	As Shown	2	
TRI LUS	<i>Tristaniopsis laurina 'Luscious'</i>	Water Gum	12m	100L	As Shown	1	
LIC RAM	<i>Licuala ramsayi</i>	Australian Fan Palm	10-20m	100L	As Shown	4	
<b>Shrubs</b>							
ART cir	<i>Arthropodium cirratum</i>	New Zealand Rock Lily	1m	300mm	As Shown	26	
CAR mac	<i>Carissa macrocarpa 'Emerald Star'</i>	Natal Plum	1m	300mm	700ctrs	30	
PHI xan	<i>Philodendron 'Xanadu'</i>	Xanadu Philodendron	0.8m	200mm	4/m2 or 3/Lm	80	
STR jun	<i>Strelitzia juncea</i>	Narrow-Leaved Bird of Paradise	1.2m	200mm	As Shown	5	
STR nic	<i>Strelitzia nicolai</i>	Giant White Bird of Paradise	5m	300mm	As Shown	4	
BLE gib	<i>Blechnum gibbum 'Silver Lady'</i>	Silver Lady Fern	1m	300mm	As Shown	7	
<b>Accents / Feature Plants</b>							
ALC imp	<i>Alcantarea imperialis 'Purpurea'</i>	Giant Bromeliad	1m	300mm	As Shown	10	
NEO lil	<i>Neoregelia 'Lila'</i>	Pink Bromeliad	0.5-1m	300mm	As Shown	10	
PHI roj	<i>Philodendron 'Rojo Congo'</i>	Rojo Congo Philodendron	0.6m	300mm	As Shown	8	
VRI spl	<i>Vriesea splendens</i>	Flaming Sword Bromeliad	0.5-1m	300mm	As Shown	17	
XAN gla	<i>Xanthorrhoea glauca</i>	Grass Tree	2m	100L	As Shown	5	*
<b>Grasses &amp; Groundcovers</b>							
ADI aet	<i>Adiantum aethiopicum</i>	Maidenhair Fern	0.5m	140mm	6/m2	37	*
CAL dub	<i>Calochlaena dubia</i>	Brascken Fern	0.6m	140mm	5/m2	29	*
CAR ros	<i>Carpobrotus rossii</i>	Native Pig Face	0.3m	140mm	4/m2 or 3/Lm	55	
DIA lit	<i>Dianella caerulea 'Little Jess'</i>	Dianella Little Jess	0.4m	140mm	6/m2 or 4/Lm	73	*
DIA sil	<i>Dianella 'Silver Streak'</i>	Silver Streak Flax Lily	0.5m	140mm	5/m2 or 4/Lm	53	*
DIC rep	<i>Dichondra repens</i>	Kidney Weed	0.1m	140mm	6/m2	146	
SEN ser	<i>Senecio serpens</i>	Blue Chalksticks	0.3m	140mm	4/m2	39	

\*\* Final numbers to be confirmed within CC stage

# PLANT IMAGES



Syzygium leuhmannii



Tristaniopsis laurina 'Luscious'



Licuala ramsayi



Arthropodium cirratum



Philodendron 'Xanadu'



Strelitzia nicolai



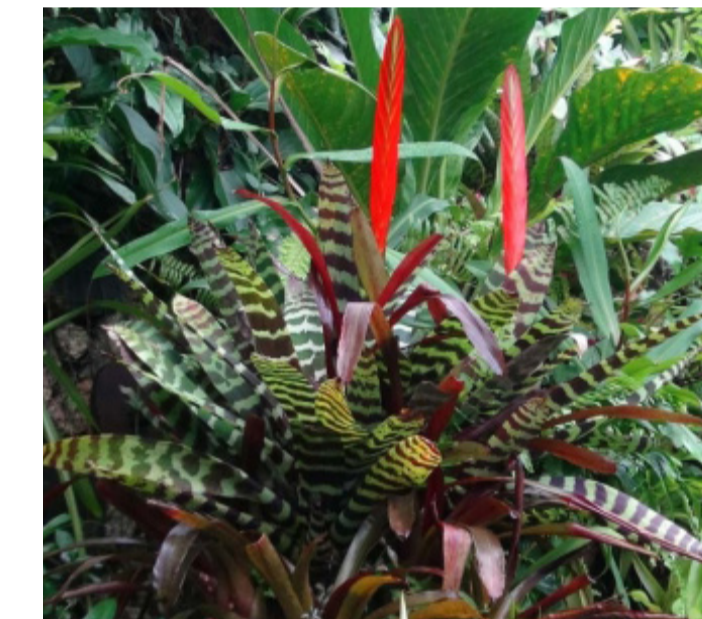
Carissa 'Emerald Star'



Philodendron 'Rojo Congo'



Xanthorrhoea glauca



Vriesea splendensV



Alcantarea imperialis 'Purpurea'



Neoregelia 'Lila'



Calochlaena dubia



Blechnum gibbum 'Silver Lady'



Dianella 'Silver Streak'



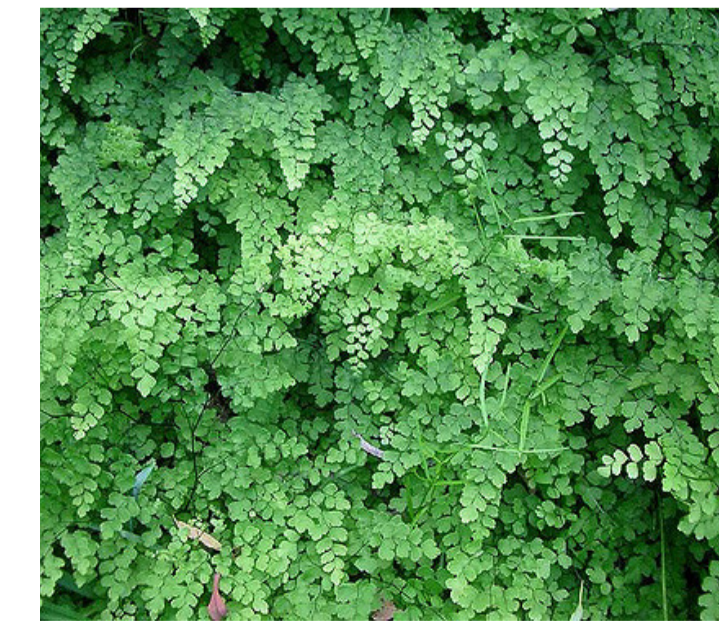
Dianella 'Little Jess'



Senecio serpens



Carpobrotus rossii



Adiantum aethiopicum



Dichondra repens

Drawing Title:  
**Planting Schedules & Imagery**  
DWG No:

**LDA-03**

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