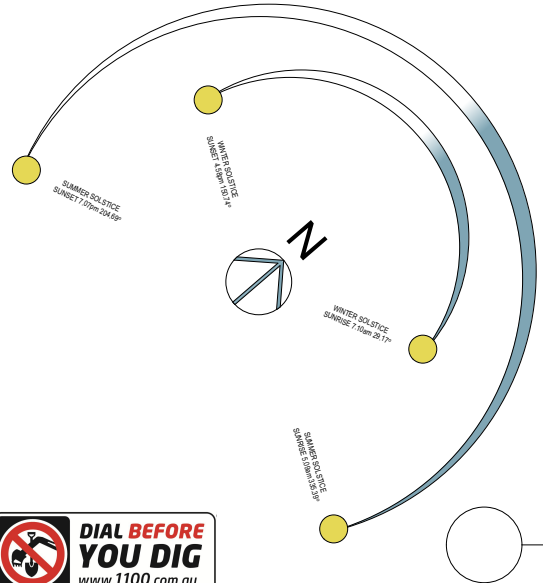


MAX. DRIVEWAY GRADIENT FOR 10 COURTLEY ROAD

<u>EXTERNAL COLOUR</u>			
ROOF	MEDIUM		
EXTERNAL WALL	MEDIUM		
<u>FUTURE FLOOR COVERING</u>			
GROUND FLOOR		FIRST FLOOR WALL	
ENTRY	TIMBER		
MUD	TILES	BEDS	CARPET
KITCHEN	TIMBER	HALL	CARPET
LIVING	TIMBER		
MEDIA	CARPET		
GUEST	CARPET		

#### BASIX NOTES

- WATER**
1. SHOWERHEADS: 4 STARS min
  2. TOILETS: 4 STARS min
  3. KITCHEN TAPS: 4 STARS min
  4. BATHROOM TAPS: 4 STARS min
  5. RAINWATER TANKS FOR GARDEN LAWN, TOILETS, LAUNDRY
  6. TOWN SUPPLY FOR HOT WATER & DRINKING
  7. OUTDOOR POOL - POOL SIZE (KL) TBC
  8. COVER TO POOL
- THERMAL**
1. WAFFLE POD SLAB: 225mm
  2. SUSPENDED TIMBER FLOOR: R3.5 BULK INSULATION
  3. EXTERNAL WALLS: R2.5 INSULATION
  4. INTERNAL WALLS (bath, laundry, wc): R2.0 INSULATION
  5. CEILING: R4.0 INSULATION
  6. ROOF: R1.5 BLANKET
  7. WINDOWS AS SINGLE CLEAR - AIRLIGHT WINDOWS (manufacturer) (refer to basix for glazing type)
  8. SKYLIGHTS: DOUBLE GLAZED
  9. SITE & ELECTRICAL PLAN REQUIRED FOR ASSESSMENT
- ENERGY**
1. GAS INSTANTANEOUS HOT WATER: 5 STARS min
  2. HEATING & COOLING TO DWELLING: DUCTING ONLY
  3. EXHAUST FANS & RANGE HOOD DUCTED TO ROOF OR FACADE
  4. LED OR FLURO LIGHTING
  5. POOL: NO HEATING
  6. 2kW PV SYSTEM
  7. GAS COOKTOP & ELECTRIC OVEN
  8. INDOOR & OUTDOOR CLOTHES LINES



SITE PLAN  
1:200



AUSTRALIAN STANDARDS AND BCA  
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- EARTHWORKS
  - GUTTERS / DOWNPIPES
  - FOOTINGS AND SLABS
  - MASONRY
  - GLAZING
  - SMOKE ALARMS
  - WATERPROOFING WET AREAS
  - ARTIFICIAL LIGHTING
  - MECHANICAL VENTILATION
  - STAIR CONSTRUCTION
  - BALUSTRADES
- TO COMPLY WITH BCA pt 3.1.1
  - TO COMPLY WITH AS/NZS 3500.3.2
  - TO COMPLY WITH AS2700
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  - TO COMPLY WITH BCA pt 3.7.2 & AS3796
  - TO COMPLY WITH AS3740
  - TO COMPLY WITH BCA pt 3.8.4.3
  - TO COMPLY WITH AS1668.2
  - TO COMPLY WITH BCA pt 3.9.1
  - TO COMPLY WITH BCA pt 3.9.2



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PH : (02) 920 4122

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CONSENT.

client  
**MRS.S & MR.F NILE**  
project  
**PROPOSED TWO STOREY DWELLING**  
site address  
**10 COURTLEY ROAD,  
BEACON HILL, NSW, 2100**

D 31/05/2021 UPDATED DA ISSUE D  
C 06/04/2021 UPDATED DA ISSUE C  
B 17/11/2020 DA SUBMISSION ISSUE B  
A 14/09/2020 PRE DA MEETING ISSUE A  
rev date revision notes

DR  
DR  
DR  
DR  
by



#### CUSTOM DESIGNED HOME

stage	drawn	checked	scale @ A3
DA	DR	AS	1:200,

#### SITE PLAN

lot no. | D.P. no. | dwelling type  
**Lot -7 | D.P. -DP 238 331**

drawing #  
**00.01.02**

revision  
**D**

- GENERAL NOTES**
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#### CDC REQUIREMENTS

**SITE AREA** 557.3m<sup>2</sup>  
**LAND ZONING:** R2  
**MAX HEIGHT OF BUILDING:** 8.5m  
**MAXIMUM GFA:** N/A  
**PROPOSED SITE COVERAGE:** 211.8m<sup>2</sup> or 38%

**LANDSCAPING**  
**MINIMUM PERMISSIBLE LANDSCAPE:** 40% or (minimum dimension 1500m)  
**MINIMUM LANDSCAPE AREA:** 222.8m<sup>2</sup>  
**PROPOSED LANDSCAPE AREA** 224.68m<sup>2</sup> or 40.3%  
**CUT & FILL MAXIMUM:** 1,000mm  
**PRIVATE OPEN SPACE:** 60m<sup>2</sup>

**REQUIRED SETBACKS**  
**REQUIRED FRONT SETBACK:** N/A  
**FRONT SETBACK:** 4,050mm  
**REQUIRED REAR SETBACK GF:** N/A  
**REAR SETBACK GF:** 3,809mm  
**REQUIRED REAR SETBACK FF:** N/A  
**REAR SETBACK FF:** 8,893mm  
**REQUIRED SIDE SETBACK GF:** 900mm  
**SIDE SETBACK RH GF:** 1,180mm  
**SIDE SETBACK LH GF:** 1,522mm  
**REQUIRED SIDE SETBACK FF:** N/A  
**SIDE SETBACK RH FF:** 2,025mm  
**SIDE SETBACK LH FF:** 1,522mm

**BOUNDARIES**  
**FRONT BOUNDARY WIDTH:** 15,200mm  
**LH SIDE BOUNDARY LENGTH:** 33,758mm  
**RH SIDE BOUNDARY LENGTH:** 19,800mm  
**REAR BOUNDARY WIDTH:** 30,390mm

**GROSS FLOOR AREA OF BUILDING FOR DA**  
**GROUND FLOOR:** 188.99m<sup>2</sup>-17m<sup>2</sup>  
**INCLUDING VERANDAH, PORCH, BALCONY, STAIR VOIDS INCLUDING GARAGE, OUT BUILDINGS AND ANY ENCLOSED SPACE WITH WALLS OVER 1.4m**  
**FIRST FLOOR:** 116.40m<sup>2</sup>  
**EXCLUDING VOID:**  
**TOTAL GFA:** 305.39m<sup>2</sup>

#### BUILDING QUANTITIES

**GROUND FLOOR LIVING AREA:** 161.18m<sup>2</sup>  
**GROUND FLOOR GARAGE AREA:** 45.02m<sup>2</sup>  
**FIRST FLOOR LIVING AREA:** 138.86m<sup>2</sup>  
**PROPOSED FLOOR AREA:** 345.06m<sup>2</sup>  
**PORCH AREA:** 4.90m<sup>2</sup>  
**ALFRESCO AREA:** 27.96m<sup>2</sup>  
**BALCONIES:** 4.30m<sup>2</sup>  
**TOTAL SLAB AREA ( 221.1m2 )**  
**INCL. AC & WATER TANK, INTEGRATED PADS (10m2)**  
**TOTAL AREA**  
**( LIVING / GARAGE / ALFRESCO / PORCH / BALCONIES )** 382.22m<sup>2</sup>

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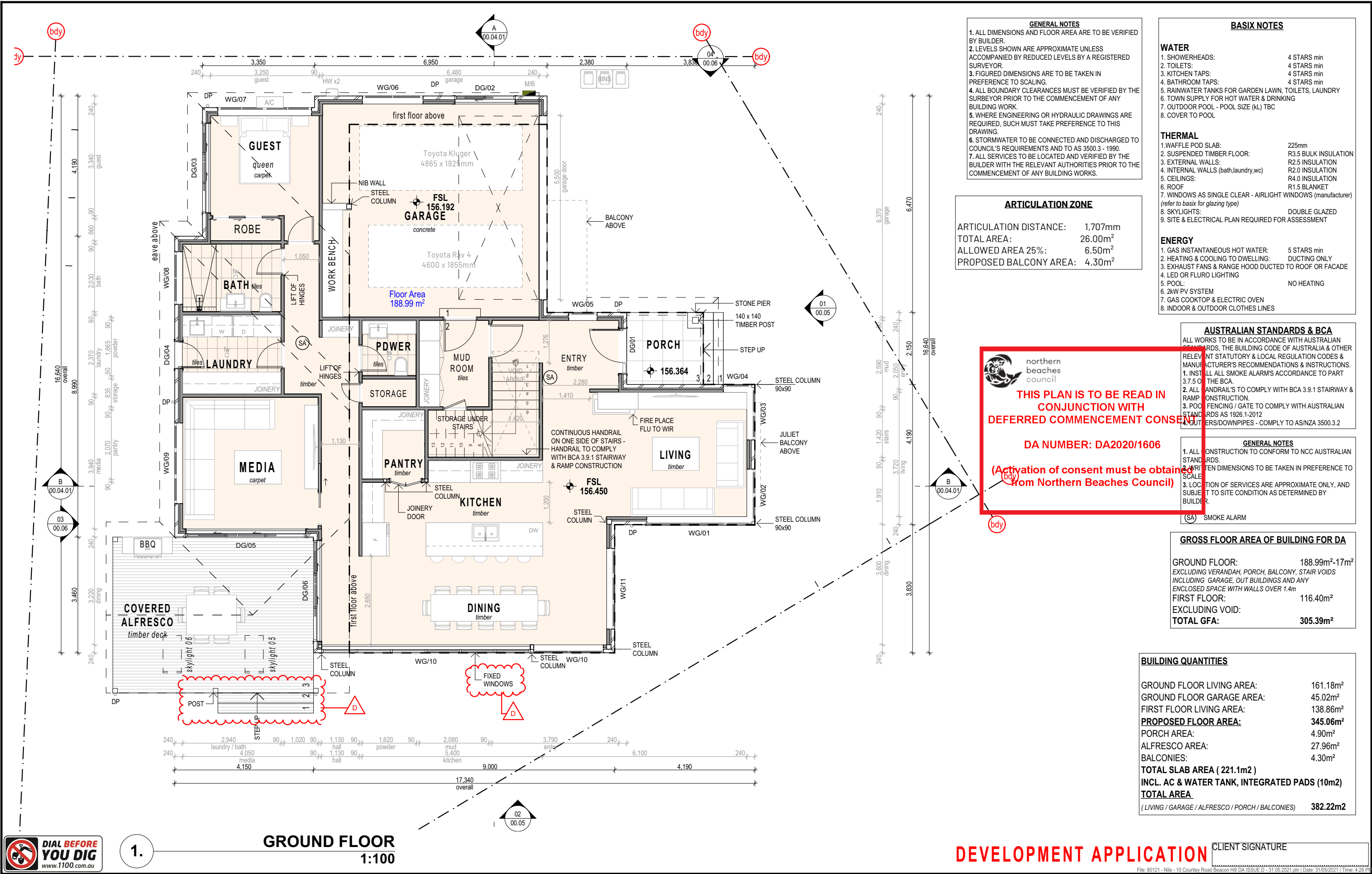
#### ARTICULATION ZONE

**ARTICULATION DISTANCE:** 1,707mm  
**TOTAL AREA:** 26.00m<sup>2</sup>  
**ALLOWED AREA 25%:** 6.50m<sup>2</sup>  
**PROPOSED BALCONY AREA:** 4.30m<sup>2</sup>

## DEVELOPMENT APPLICATION

CLIENT SIGNATURE

File: 80121 - Nile - 10 Courtley Road Beacon Hill DA (ISSUE D - 31.05.2021).ph | Date: 31/05/2021 | Time: 4:26 PM



1.



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rev date revision notes

DR  
DR  
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by



project No.  
**80121**

**CUSTOM DESIGNED HOME**



drawing  
**GROUND FLOOR**

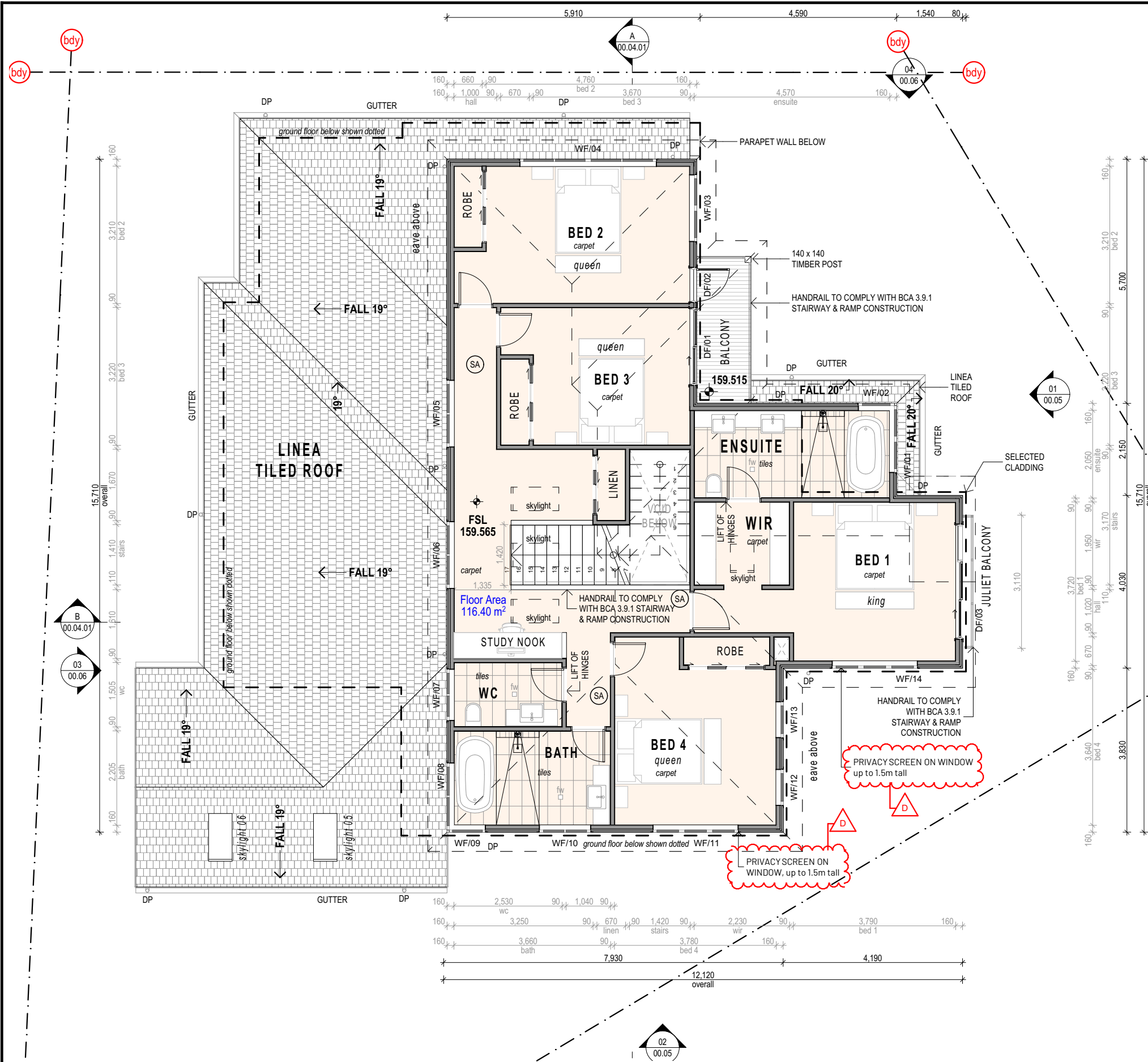
lot no. | D.P. no. | dwelling type  
**Lot -7 | D.P. -DP 238 331**

drawing # revision  
**00.02.01 D**

**DEVELOPMENT APPLICATION** CLIENT SIGNATURE

File: 80121 - Nile - 10 Courtley Road Beacon Hill DA ISSUE D - 31.05.2021.ph | Date: 31/05/2021 | Time: 4:26 PM





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  8. INDOOR & OUTDOOR CLOTHES LINES

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT**

**DA NUMBER: DA2020/1606**

**(Activation of consent must be obtained from Northern Beaches Council)**

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**GENERAL NOTES**

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3. LOCATION OF SERVICES ARE APPROXIMATE ONLY, AND SUBJECT TO SITE CONDITION AS DETERMINED BY BUILDER.

(SA) SMOKE ALARM

**GROSS FLOOR AREA OF BUILDING FOR DA**


GROUND FLOOR: 188.99m<sup>2</sup>-17m<sup>2</sup>  
EXCLUDING VERANDAH, PORCH, BALCONY, STAIR VOIDS INCLUDING GARAGE, OUT BUILDINGS AND ANY ENCLOSED SPACE WITH WALLS OVER 1.4m

FIRST FLOOR: 116.40m<sup>2</sup>  
EXCLUDING VOID:

**TOTAL GFA: 305.39m<sup>2</sup>**

**BUILDING QUANTITIES**

GROUND FLOOR LIVING AREA: 161.18m<sup>2</sup>  
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**TOTAL AREA**  
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client  
**MRS.S & MR.F NILE**

project  
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D 31/05/2021 UPDATED DA ISSUE D  
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rev date revision notes

DR  
DR  
DR  
DR  
by

North

project No.  
**80121**

**CUSTOM DESIGNED HOME**

stage drawn checked scale @ A3  
DA DR AS 1:100,

drawing  
**FIRST FLOOR**

lot no. | D.P. no. | dwelling type  
**Lot -7 | D.P. -DP 238 331**

drawing #  
**00.02.02**

revision  
**D**

File: 80121 - Nile - 10 Courtley Road Beacon Hill DA (ISSUE D - 31.05.2021).ph | Date: 31/05/2021 | Time: 4:26 PM





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(SA) SMOKE ALARM

### BASIS NOTES

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### LEGEND

CB	COLOURBOND
TR	TILED ROOF
FB	FACEBRICK
HC	HORIZONTAL CLADDING
DW	DECO WOOD
RB	RENDERED BRICK
MC	MATRIX CLADDING
SL	SKYLIGHT
DP	DOWNPipe
NRG	NRG BOARD RENDER OVER
FS	FEATURE STONE CLADDING

**NOTE:**  
PROTECTION OF OPENABLE  
WINDOWS IN ACCORDANCE WITH  
3.9.2.6



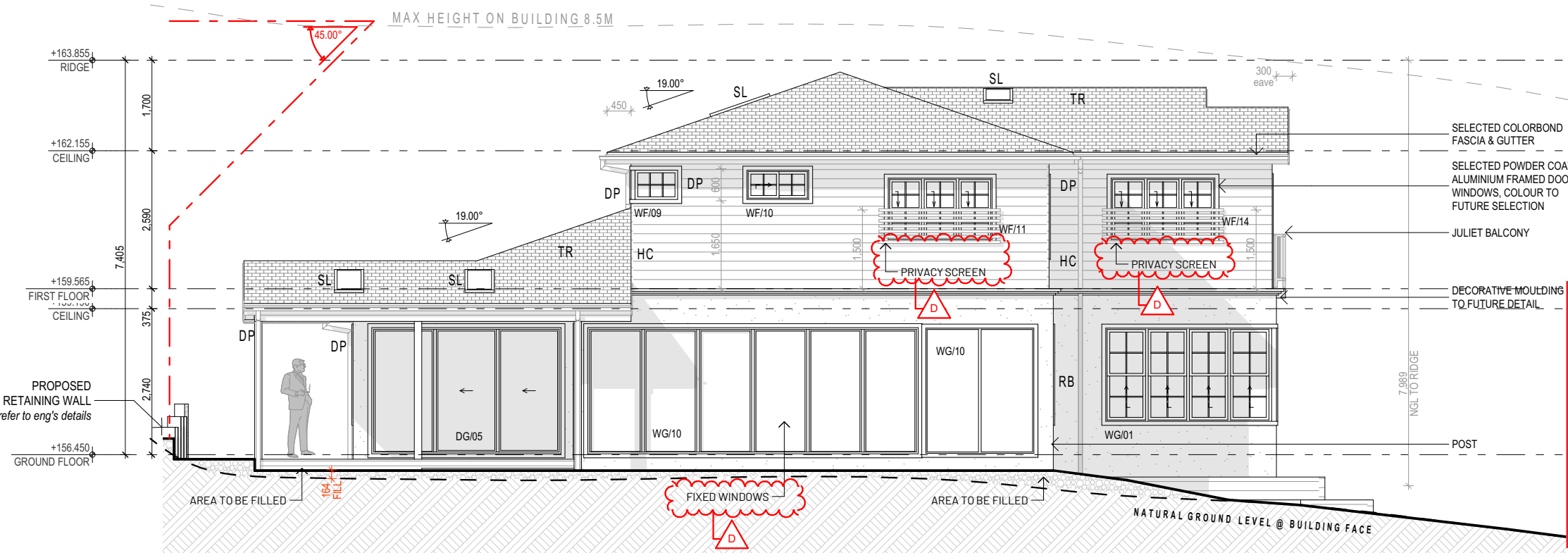
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**DA NUMBER: DA2020/1606**

**(Activation of consent must be obtained  
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**01 ELEVATION 01 NORTH**  
1:100



**02 ELEVATION 02 EAST**  
1:100

**DEVELOPMENT APPLICATION** CLIENT SIGNATURE



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rev date revision notes

DR  
DR  
DR  
DR  
by

project No.  
**80121**

**CUSTOM DESIGNED HOME**

0	1	2	3	metres	4
stage	drawn	checked	scale @ A3		
DA	DR	AS	1:100,		

drawing

**ELEVATIONS 01 & 02**

lot no. | D.P. no. | dwelling type  
**Lot -7 | D.P. -DP 238 331**

drawing #  
**00.03.01**

revision  
**D**

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4. BATHROOM TAPS: 4 STARS min
5. RAINWATER TANKS FOR GARDEN LAWN, TOILETS, LAUNDRY
6. TOWN SUPPLY FOR HOT WATER & DRINKING
7. OUTDOOR POOL - POOL SIZE (KL) TBC
8. COVER TO POOL

#### THERMAL

1. WAFFLE POD SLAB: 225mm
2. SUSPENDED TIMBER FLOOR: R3.5 BULK INSULATION
3. EXTERNAL WALLS: R2.5 INSULATION
4. INTERNAL WALLS (bath, laundry, wc): R2.0 INSULATION
5. CEILINGS: R4.0 INSULATION
6. ROOF: R1.5 BLANKET
7. WINDOWS AS SINGLE CLEAR - AIRLIGHT WINDOWS (manufacturer) (refer to basis for glazing type)
8. SKYLIGHTS: DOUBLE GLAZED
9. SITE & ELECTRICAL PLAN REQUIRED FOR ASSESSMENT

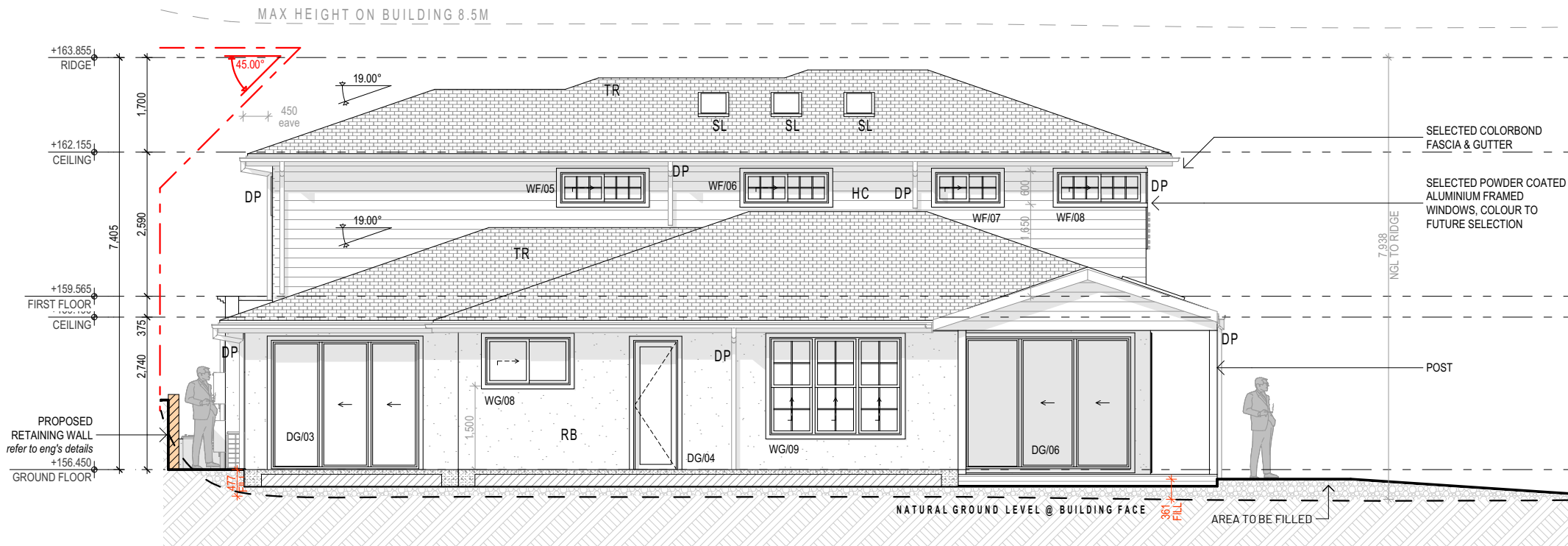
#### ENERGY

1. GAS INSTANTANEOUS HOT WATER: 5 STARS min
2. HEATING & COOLING TO DWELLING: DUCTING ONLY
3. EXHAUST FANS & RANGE HOOD DUCTED TO ROOF OR FACADE
4. LED OR FLUORO LIGHTING
5. POOL: NO HEATING
6. 2kW PV SYSTEM
7. GAS COOKTOP & ELECTRIC OVEN
8. INDOOR & OUTDOOR CLOTHES LINES

### LEGEND

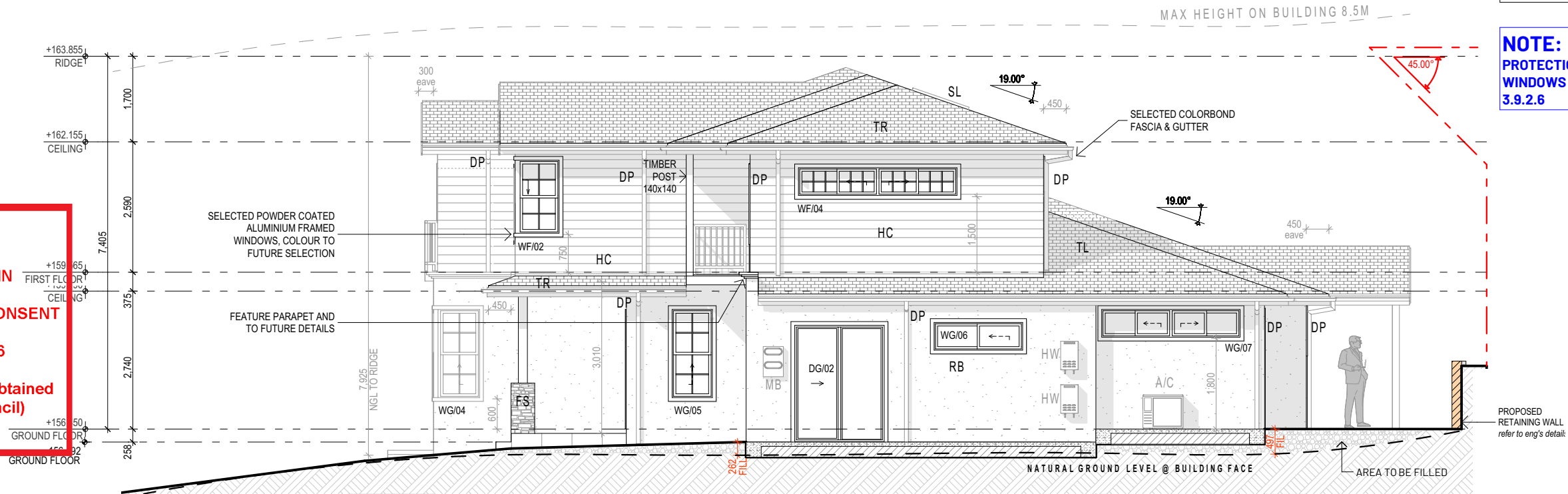
CB	COLOURBOND
TR	TILED ROOF
FB	FACEBRICK
HC	HORIZONTAL CLADDING
DW	DECO WOOD
RB	RENDERED BRICK
MC	MATRIX CLADDING
SL	SKYLIGHT
DP	DOWNPipe
NRG	NRG BOARD RENDER OVER
FS	FEATURE STONE CLADDING

**NOTE:**  
PROTECTION OF OPENABLE  
WINDOWS IN ACCORDANCE WITH  
3.9.2.6



01

**ELEVATION 03 SOUTH**  
1:100



02

**ELEVATION 04 WEST**  
1:100

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT**

**DA NUMBER: DA2020/1606**

**(Activation of consent must be obtained from Northern Beaches Council)**

**DEVELOPMENT APPLICATION** CLIENT SIGNATURE



AUSTRALIAN STANDARDS AND BCA  
ALL WORKS TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARDS, THE BUILDING CODE OF AUSTRALIA AND OTHER RELEVANT STATUTORY AND LOCAL REGULATION CODES AND WITH MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.

- EARTHWORKS
- GUTTERS / DOWNPIPES
- FOOTINGS AND SLABS
- MASONRY
- GLAZING
- SMOKE ALARMS
- WATERPROOFING WET AREAS
- ARTIFICIAL LIGHTING
- MECHANICAL VENTILATION
- STAIR CONSTRUCTION
- BALUSTRADES

- TO COMPLY WITH BCA pt 3.1.1
- TO COMPLY WITH AS/NZS 3500.3.2
- TO COMPLY WITH AS2670
- TO COMPLY WITH AS3700
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- TO COMPLY WITH AS3740
- TO COMPLY WITH BCA pt 3.8.4.3
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- TO COMPLY WITH BCA pt 3.9.1
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ALLURA HOMES  
PH : (02) 920 4122

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client  
**MRS.S & MR.F NILE**  
project  
**PROPOSED TWO STOREY DWELLING**  
site address  
**10 COURTLEY ROAD, BEACON HILL, NSW, 2100**

D 31/05/2021 UPDATED DA ISSUE D  
C 06/04/2021 UPDATED DA ISSUE C  
B 17/11/2020 DA SUBMISSION ISSUE B  
A 14/09/2020 PRE DA MEETING ISSUE A  
rev date revision notes

DR  
DR  
DR  
DR  
by

project No.  
**80121**

**CUSTOM DESIGNED HOME**

stage drawn checked scale @ A3  
DA DR AS 1:100,

drawing  
**ELEVATIONS 03 & 04**

lot no. | D.P. no. | dwelling type  
**Lot -7 | D.P. -DP 238 331**

drawing # revision  
**00.03.02 D**



### AUSTRALIAN STANDARDS & BCA

ALL WORKS TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARDS, THE BUILDING CODE OF AUSTRALIA & OTHER RELEVANT STATUTORY & LOCAL REGULATION CODES & MANUFACTURER'S RECOMMENDATIONS & INSTRUCTIONS.

1. INSTALL ALL SMOKE ALARMS ACCORDANCE TO PART 3.7.5 OF THE BCA.
2. ALL HANDRAIL'S TO COMPLY WITH BCA 3.9.1 STAIRWAY & RAMP CONSTRUCTION.
3. POOL FENCING / GATE TO COMPLY WITH AUSTRALIAN STANDARDS AS 1926.1-2012
4. GUTTERS/DOWNPipes - COMPLY TO AS/NZS 3500.3.2

### GENERAL NOTES

1. ALL DIMENSIONS AND FLOOR AREA ARE TO BE VERIFIED BY BUILDER.
2. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
3. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
4. ALL BOUNDARY CLEARANCES MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
5. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
6. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3 - 1990.
7. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORKS.

### GENERAL NOTES

1. ALL CONSTRUCTION TO CONFORM TO NCC AUSTRALIAN STANDARDS.
2. WRITTEN DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALE.
3. LOCATION OF SERVICES ARE APPROXIMATE ONLY, AND SUBJECT TO SITE CONDITION AS DETERMINED BY BUILDER.

(SA) SMOKE ALARM

### BASIS NOTES

#### WATER

1. SHOWERHEADS: 4 STARS min
2. TOILETS: 4 STARS min
3. KITCHEN TAPS: 4 STARS min
4. BATHROOM TAPS: 4 STARS min
5. RAINWATER TANKS FOR GARDEN LAWN, TOILETS, LAUNDRY
6. TOWN SUPPLY FOR HOT WATER & DRINKING
7. OUTDOOR POOL - POOL SIZE (KL) TBC
8. COVER TO POOL

#### THERMAL

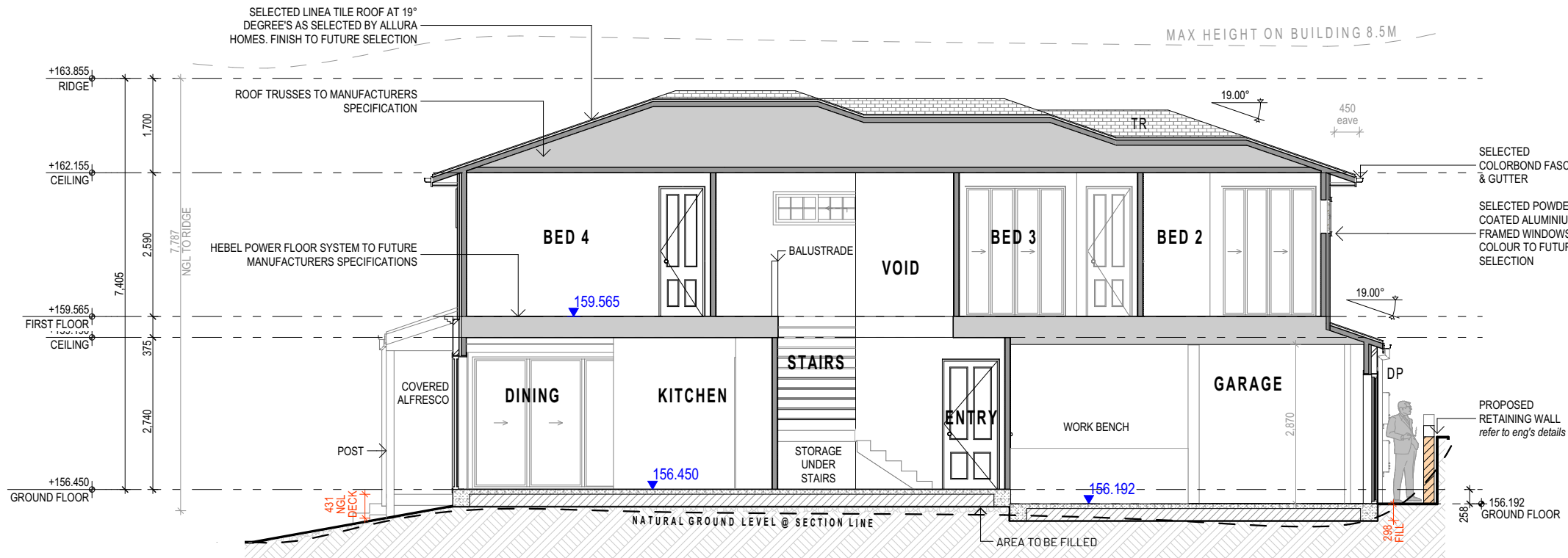
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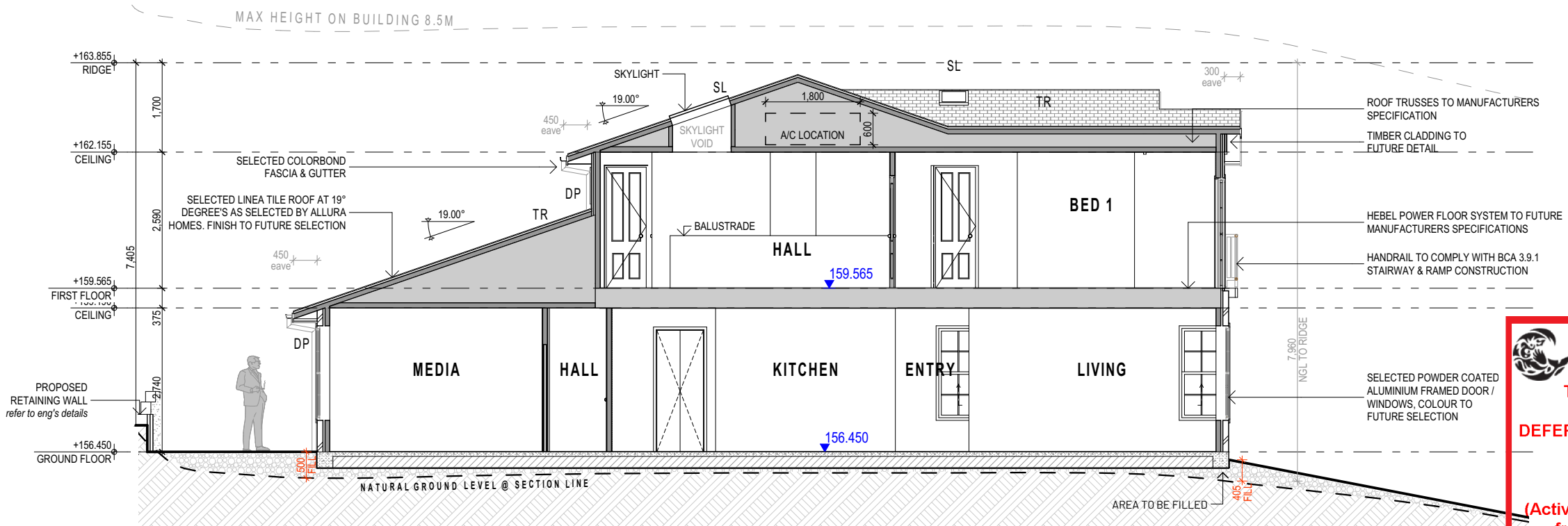
### LEGEND

CB	COLOURBOND
TR	TILED ROOF
FB	FACEBRICK
HC	HORIZONTAL CLADDING
DW	DECO WOOD
RB	RENDERED BRICK
MC	MATRIX CLADDING
SL	SKYLIGHT
DP	DOWNSPIPE
NRG	NRG BOARD RENDER OVER
FS	FEATURE STONE CLADDING



A

**SECTION A**  
1:100



B

**SECTION B**  
1:100



**THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT**

**DA NUMBER: DA2020/1606**

**(Activation of consent must be obtained from Northern Beaches Council)**

**DEVELOPMENT APPLICATION**

CLIENT SIGNATURE

File: 80121 - Nile - 10 Courtley Road Beacon Hill DA ISSUE D - 31.05.2021.ppt | Date: 31/05/2021 | Time: 4:27 PM



AUSTRALIAN STANDARDS AND BCA  
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project

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site address

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rev date revision notes

DR

DR

DR

by

project No.  
**80121**

**CUSTOM DESIGNED HOME**

0	1	2	3	metres	4
stage	drawn	checked	scale @ A3		
DA	DR	AS	1:100,		

drawing

**SECTIONS A & B**

lot no. | D.P. no. | dwelling type  
**Lot -7 | D.P. -DP 238 331**

drawing #  
**00.04.01**

revision  
**D**

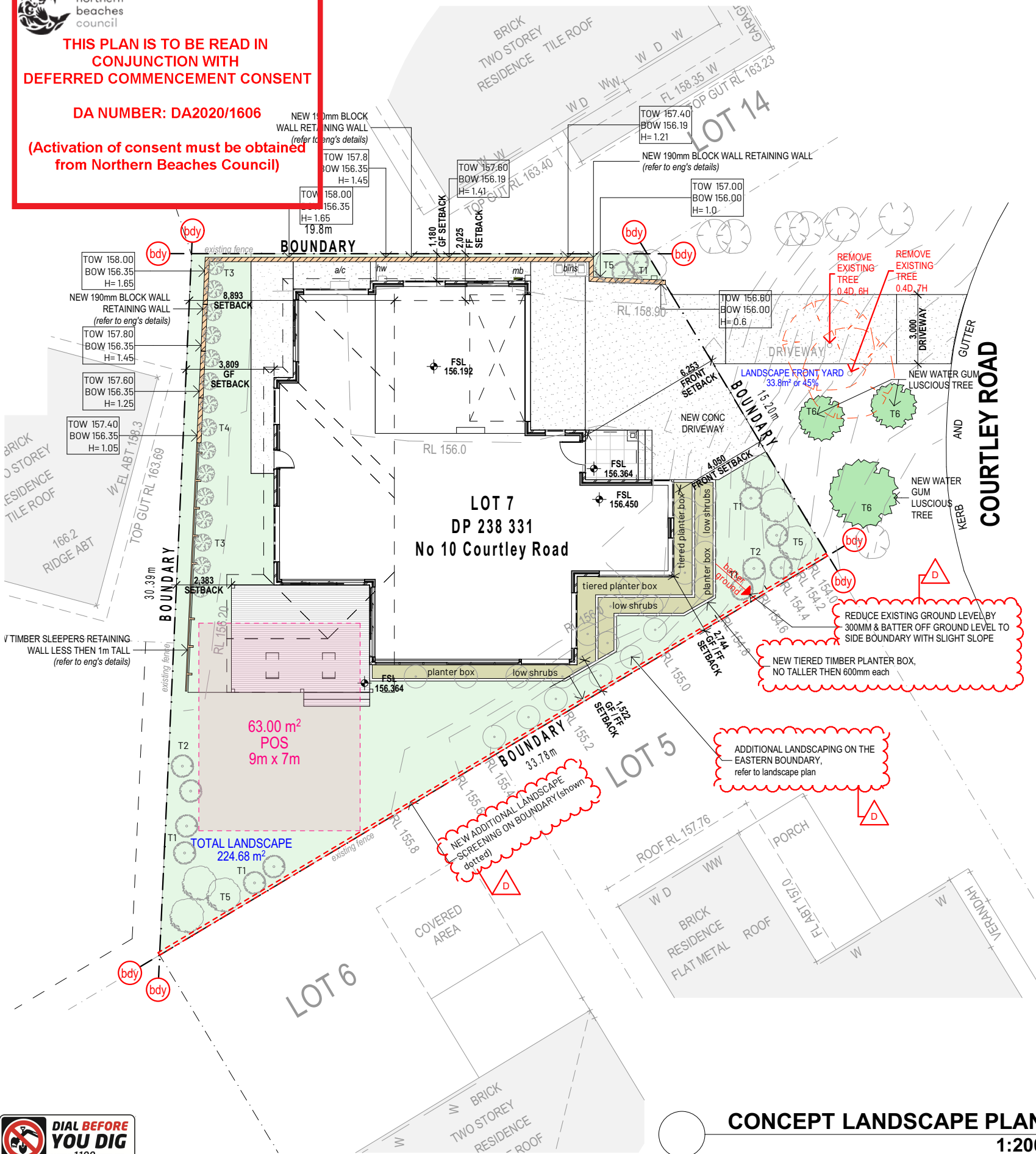


northern  
beaches  
council

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DA NUMBER: DA2020/1606

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#### NOTES

1. ALL LANDSCAPE WORKS SHALL BE CARRIED OUT BY MEMBERS OF THE LANDSCAPE CONTRACTORS ASSOCIATION OF AUSTRALIA
2. CONTRACTORS MUST VERIFY ALL DIMENSIONS AT THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS WHICH MUST BE APPROVED BEFORE MANUFACTURING.
3. DO NOT SCALE DRAWING, IF IN DOUBT - ASK
4. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL, HYDRAULIC AND SURVEY PLANS.
5. ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED AS PER ARBORIST REPORT & COUNCIL REQUIREMENTS.
6. ALL PRUNING SHALL BE IN ACCORDANCE WITH THE AS 4373.
7. THOROUGHLY ERADICATE WEEDS FROM ALL GARDEN AREAS.
8. NO VARIATION TO THE WORKS TO BE CARRIED OUT WITHOUT PRIOR APPROVAL FROM OWNER.
9. ALL MATERIALS TO BE THE BEST OF THEIR RESPECTIVE KINDS AND SHALL COMPLY WITH APPROVED SAMPLE TYPE SUBMITTED OR SPECIFIED.
10. SUBSTITUTION OF PLANT SPECIES OR VARIETIES WILL NOT BE PERMITTED
11. UNLESS OTHERWISE SPECIFIED OR DIRECTED, ALL INSTRUCTIONS ARE TO BE ISSUED BY THE CONSULTING LANDSCAPE DESIGNER.
12. ALL STORMWATER OUTLETS & SURFACE RUN OFF SHALL BE TO HYDRAULIC ENGINEERS DETAIL.
13. PROVIDE SUB-SOIL DRAINAGE TO GARDEN BEDS & LAWNS AREA WHERE REQUIRED - TO BE CONFIRMED ON SITE.
14. REFER TO SURVEY PLAN FOR POSITION OF ALL EXISTING SERVICES.
15. REFER TO ARCHITECTURAL ELEVATIONS & SECTIONS FOR EXISTING AND PROPOSED GROUND LINES.
16. ALL LANDSCAPE WORKS SHALL COMPLY WITH ALL COUNCILS DA & CC CONDITIONS AND ALL RELEVANT 'AUSTRALIAN STANDARDS' AND AUS SPEC NO.1 SPECIFICATION C273 - LANDSCAPING.
17. IRRIGATION SYSTEMS - IF REQUIRED, SHALL BE DESIGNED & INSTALLED TO COMPLY WITH AS 2698, AS 2698.1 - 1994, AS 2698.2 - 1985, AS 2698.3 - 1990, WATERBOARD AND OTHER RELEVANT AUTHORITY REGULATIONS.

#### MAINTENANCE

ALL LANDSCAPE WORKS ARE TO BE MAINTAINED FOR A PERIOD OF 12 MONTHS (OR AS REQUIRED BY COUNCIL DA CONSENT) BY LANDSCAPE CONTRACTOR AFTER FINAL COMPLETED AND SHALL BE MAINTAINED AT ALL TIMES IN A SUITABLE MANNER. REPLACE ALL PLANTS WHICH HAVE FAILED WITH THE SAME SPECIES. MULCH IS TO BE MAINTAINED AT SPECIFIED DEPTH. ALL PLANTS AND TURF SHALL BE WATERED ON A REGULAR BASIS TO MAINTAIN MOISTURE LEVELS REQUIRED FOR OPTIMUM GROWTH. ALL GARDEN AREAS ARE TO BE MAINTAINED FREE FROM WEEDS.

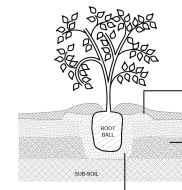
#### PROPOSED PLANT SCHEDULE

BOTANICAL NAME	COMMON NAME	HEIGHT	POT SIZE	QUANTITY
<b>GROUND COVER</b>				
T1 LIRIOPE MUSCARI	TURF LILY	0.5M	0.2L	6
T2 CLIVEA MINIATE	KAFFIR LILY	0.5M	0.2L	7
<b>LOW SHRUBS</b>				
T3 CAMELLIA JAPONICA	CAMELLIA	1M	0.3L	10
T4 RHAPHIOLEPIS UMBELLATA	INDIAN HAWTHORNE	1.5M	0.3L	5
<b>TALL SHRUBS</b>				
T5 MURRAYA PANICULATA	MURRAYA	3M	25L	8
<b>TREES</b>				
T6 TRISTANOPSIS LAURINA	WATER GUM	5-12M	100L	3

#### LEGEND

- CONCRETE
- TIMBER DECK
- SELECTED TILES
- TURF SELECTED BY CLIENT
- PRIVATE OPEN SPACE (POS)
- HOT WATER SYSTEM
- METER BOX
- AIR CONDITIONING UNIT
- LAPPED & CAPPED TIMBER FENCING TO BE NATURAL OR CLEAR FINISH ONLY.

- REMOVE TREE
- RETAIN EXISTING TREE



- NOTE:
1. DIG HOLE TWICE AS DEEP AS ROOT BALL & ALLOW AT LEAST 200mm AROUND SIDES FOR BACKFILLING WITH TOPSOIL.
  2. APPLY FERTILISER IN BASE OF HOLE. COVER WITH TOP SOIL. AVOID ROOT CONTACT.
  3. PLACE PLANT IN CENTRE OF HOLE. BACKFILL WITH SPECIFIED TOPSOIL, FIRING PROGRESSIVELY.
  4. WATER WELL INTO SAUCER AROUND CROWN OF PLANT.
  5. STAKE LARGER SHRUBS WHERE NECESSARY USING 50x50x1200mm HARDWOOD STAKES.

NOTE:

WIDTH OF PLANTING IS:

- 3: TIMES ROOT BALL DIAMETER IN HIGHLY COMPACTED SOIL.
- 2: TIMES ROOT BALL DIAMETER MINIMUM IN ALL OTHERS.
- 1: WHERE AVAILABLE PLANTING SPACE IS AVAILABLE.

ENSURE TREE'S ARE PLACED SO AS TO MATCH CROWN OF ROOT BALL WITH SURROUNDING SURFACE LEVEL. CAREFULLY PRUNE OFF ANY GIRDING ROOTS FROM ROOT BALL.

KEEP TOPSOIL/MULCH AWAY FROM TRUNK BASE.

NOTE:

FOR SLOPES GREATER THAN 1:8 & IF ROOT BALL IS RAISED ABOVE GRADE FROM RAISING RING OF SOIL & MULCH TO DIRECT WWATER INTO ROOT BALL.

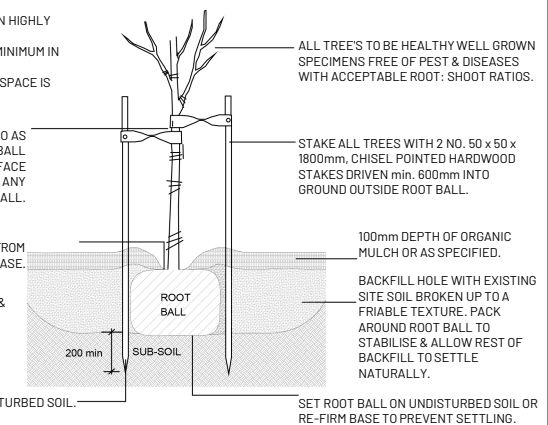
EXTEND STAKES INTO UNDISTURBED SOIL.

#### GROSS FLOOR AREA OF BUILDING FOR DA

GROUND FLOOR: 188.99m<sup>2</sup>-17m<sup>2</sup>  
EXCLUDING VERANDAH, PORCH, BALCONY, STAIR VOIDS  
INCLUDING GARAGE, OUT BUILDINGS AND ANY  
ENCLOSED SPACE WITH WALLS OVER 1.4m

FIRST FLOOR: 116.40m<sup>2</sup>  
EXCLUDING VOID:

TOTAL GFA: 305.39m<sup>2</sup>



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DR  
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DR  
by



project No.  
**80121**

#### CUSTOM DESIGNED HOME

stage drawn checked scale @ A3  
DA DR AS 1:200,

#### CONCEPT LANDSCAPE PLAN

lot no. | D.P. no. | dwelling type  
**Lot -7 | D.P. -DP 238 331**

drawing #  
**00.05.01**

revision  
**D**



PROJECT NUMBER: 80121  
SITE ADDRESS: 10 COURTLEY RD, BEACON HILL  
CLIENT NAME/S: FRED AND SILVANA NILE  
CLIENTS EMAIL: SILVANA.NILE@OUTLOOK.COM  
CLIENTS CONTACT NO: 0435 513 359

## STAGE 1.

COLOUR & DESIGN SELECTIONS

HOT WATER UNIT		IMAGE	VARIATION NO.
SUPPLIER: MODEL:	RINNAI INFINITY B26		
FASCIA		IMAGE	VARIATION NO.
COLOUR:	PEARL WHITE		
GUTTER		IMAGE	VARIATION NO.
COLOUR:	COLORBOND - MONUMENT		
DOWNPIPES		IMAGE	VARIATION NO.
COLOUR:	WATTYL - COLORBOND WINDSPRAY		
RAIN WATER TANK		IMAGE	VARIATION NO.
COLOUR:	N/A - UNDERGROUND		
GROUND FLOOR CLADDING		IMAGE	VARIATION NO.
SUPPLIER: TYPE: WIDTH: COLOUR: LOCATION:	N/A		
FIRST FLOOR CLADDING		IMAGE	VARIATION NO.
SUPPLIER: TYPE: WIDTH: COLOUR: LOCATION:	JAMES HARDIE LINEA 180MM WATTYL - COLORBOND WINDSPRAY FIRST FLOOR PERIMETER		
DECORATIVE MOULDING		IMAGE	VARIATION NO.
SUPPLIER: TYPE: COLOUR:	EZY BUILD D06 WATTYL - CALCIUM		
SIGNED:	APPROVED	DATE:	
SIGNED:		DATE:	

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2 ALLURA HOMES | STAGE 1 COLOUR & DESIGN SELECTIONS

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## STAGE 1.

COLOUR & DESIGN SELECTIONS

GROUND FLOOR BRICK		IMAGE	VARIATION NO.
SUPPLIER: RANGE: COLOUR: MORTAR JOINT STYLE:	PGH BRICKS COMMONS N/A FLUSH		
FIRST FLOOR BRICK		IMAGE	VARIATION NO.
SUPPLIER: RANGE: COLOUR: MORTAR JOINT STYLE:	N/A		
CULTURED STONE		IMAGE	VARIATION NO.
SUPPLIER: CODE: GROUT: LOCATION:	CTM FLOORING 9236401 WAL, ROC GRI 400 X 600 OLIVE (BLACK TRIM) FRONT ENTRY PIER		
GROUND FLOOR RENDER		IMAGE	VARIATION NO.
COLOUR: LOCATION:	WATTYL - COLORBOND WINDSPRAY FIRST FLOOR PERIMETER		
FIRST FLOOR RENDER		IMAGE	VARIATION NO.
COLOUR: LOCATION:	N/A		
GARAGE DOOR		IMAGE	VARIATION NO.
SUPPLIER: PROFILE: WINDOWS: COLOUR: FINISH:	DYNAMIC DOOR SERVICE RANCH N/A PERISHER WHITE WOODGRAIN		
EXTERNAL BALUSTRADE		IMAGE	VARIATION NO.
TYPE: COLOUR:	ALUMINIUM BALUSTRADE PEARL WHITE		
ALUMINIUM DOORS & WINDOWS, FLYSCREENS, LAUNDRY DOOR		IMAGE	VARIATION NO.
COLOUR: OBSCURED GLASS:	PEARL WHITE REMOVABLE FILM ONLY TO WG/08, WF/11, WF/14		
SIGNED:	APPROVED	DATE:	
SIGNED:		DATE:	

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## STAGE 1.

COLOUR & DESIGN SELECTIONS

ROOF TILES		IMAGE	VARIATION NO.
SUPPLIER: TYPE: COLOUR: RIDGE TYPE:	MONIER HORIZON BARRAMUNDI LAPPED		
PERGOLA ROOF		IMAGE	VARIATION NO.
DESCRIPTION: COLOUR:	TWIN WALL POLYCARBONATE ROOFING GREY		
COLORBOND ROOF		IMAGE	VARIATION NO.
COLOUR:	COLORBOND - MONUMENT		
SKYLIGHTS		IMAGE	VARIATION NO.
SUPPLIER: MODEL: SIZE: LOCATION:	VELUX FIXED SKYLIGHT SQUARE SET OPENING VARIES REFER TO PLANS		
PRIVACY SCREENS		IMAGE	VARIATION NO.
COLOUR:	PEARL WHITE		
ENTRANCE DOOR & SIDELIGHT		IMAGE	VARIATION NO.
SUPPLIER: RANGE: DESIGN CODE: SIZE: COLOUR OR STAIN: GLASS:	HUME DOORS & TIMBER JOINERY - ENTRANCE JUST10 & JUST5 2340MM X 970MM & 2340MM X 400MM WATTYL - CALCIUM CLEAR		
DRIVEWAY		IMAGE	VARIATION NO.
MATERIAL: COLOUR:	PLAIN CONCRETE N/A		
LETTERBOX		IMAGE	VARIATION NO.
TYPE: COLOUR:	PLYMOUTH PILLAR WATTYL - COLORBOND WINDSPRAY		
SIGNED:	APPROVED	DATE:	
SIGNED:		DATE:	

By signing this document, the owner acknowledges that these selections override any items in the original signed tender and that if any further changes are made, an administration fee of \$1,000.00 plus GST per change may apply. The owner also acknowledges that colour, texture and patterns may vary from images displayed. Whilst all products in this document are available at time of selections, should specific products not be in stock or discontinued at time of order, an alternative product will be proposed for approval.

4 ALLURA HOMES | STAGE 1 COLOUR & DESIGN SELECTIONS

PROJECT NUMBER: 80121  
SITE ADDRESS: 10 COURTLEY RD, BEACON HILL  
CLIENT NAME/S: FRED AND SILVANA NILE  
CLIENTS EMAIL: SILVANA.NILE@OUTLOOK.COM  
CLIENTS CONTACT NO: 0435 513 359

## STAGE 1.

COLOUR & DESIGN SELECTIONS

CLOTHESLINE		IMAGE	VARIATION NO.
COLOUR:	BASALT Midnight Siv		
FENCING/SLATES		IMAGE	VARIATION NO.
DESCRIPTION: COLOUR:	ALUMINIUM COLORBOND - MONUMENT DISCLAIMER: BY SIGNING THIS DOCUMENT, YOU ARE CONFIRMING THAT THIS SELECTION HAS BEEN MADE BY THE PROPERTY OWNER. ALLURA HOMES ACCEPTS RESPONSIBILITY FOR PROVIDING ANY FUNDS FROM NEIGHBOURING OWNERS.		
FIREPLACE		IMAGE	VARIATION NO.
MODEL: FASCIA: MAINTENANCE: LOCATION:	JETMASTER H-550X-AU TRIM 550 & CRANBOURNE 700 LIME STONE MANTLE & HEARTH GROUND FLOOR LIVING		
AIR CONDITIONING		IMAGE	VARIATION NO.
SUPPLIER: MODEL: LOCATION:	EPIC AIR 3-1/2 TON 3-PHASE DUCTED SYSTEM CIRCULAR GRILLES (SAME AS DOWNPIPES) WATTYL - COLORBOND WINDSPRAY		
GAS POINT LOCATIONS: EXTERNAL TAPS:		IMAGE	VARIATION NO.
	COOKTOP, BBQ, GAS HEATER, FIREPLACE UNDER METERBOX, EASTERN RETAINING WALL, WATER TANK		
CORNICE		IMAGE	VARIATION NO.
SUPPLIER: TYPE: LOCATION:	USS BORAL SQUARESET THROUGHOUT EXC. GARAGE (COVERED 90MM) & WET AREAS		
SKIRTING		IMAGE	VARIATION NO.
SUPPLIER: TYPE:	HUME DOORS & TIMBER HALF SPLAYED (92MM X 18MM)		
ARCHITRAVES		IMAGE	VARIATION NO.
SUPPLIER: TYPE:	HUME DOORS & TIMBER HALF SPLAYED (67MM X 18MM)		
SIGNED:	APPROVED	DATE:	
SIGNED:		DATE:	

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5 ALLURA HOMES | STAGE 1 COLOUR & DESIGN SELECTIONS

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE DEVELOPMENT APPLICATION REFERENCE COMMENCEMENT CONSENT DA NUMBER: DA2020/1606

Activation of consent must be obtained from Northern Beaches Council



AUSTRALIAN STANDARDS AND BCA  
ALL WORKS TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARDS, THE BUILDING CODE OF AUSTRALIA AND OTHER RELEVANT STATUTORY AND LOCAL REGULATION CODES AND WITH MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.

- EARTHWORKS
  - GUTTERS / DOWNPIPES
  - FOOTINGS AND SLABS
  - MASONRY
  - GLAZING
  - SMOKE ALARMS
  - WATERPROOFING WET AREAS
  - ARTIFICIAL LIGHTING
  - MECHANICAL VENTILATION
  - STAIR CONSTRUCTION
  - BALUSTRADES
- TO COMPLY WITH BCA pt 3.1.1
  - TO COMPLY WITH AS/NZS 3500.3.2
  - TO COMPLY WITH AS2601
  - TO COMPLY WITH AS3700
  - TO COMPLY WITH AS1288 and AS2047
  - TO COMPLY WITH BCA pt 3.7.2 & AS3796
  - TO COMPLY WITH AS3740
  - TO COMPLY WITH BCA pt 3.8.4.3
  - TO COMPLY WITH AS1668.2
  - TO COMPLY WITH BCA pt 3.9.1
  - TO COMPLY WITH BCA pt 3.9.2



ALLURA HOMES  
PH : (02) 920 4122

THESE DRAWINGS REMAIN THE PROPERTY OF ALLURA HOMES PTY LTD AND CAN NOT BE ALTERED OR REPRODUCED WITHOUT WRITTEN CONSENT.

client  
**MRS.S & MR.F NILE**  
project  
**PROPOSED TWO STOREY DWELLING**  
site address  
**10 COURTLEY ROAD,  
BEACON HILL, NSW, 2100**

D 31/05/2021 UPDATED DA ISSUE D  
C 06/04/2021 UPDATED DA ISSUE C  
B 17/11/2020 DA SUBMISSION ISSUE B  
A 14/09/2020 PRE DA MEETING ISSUE A  
rev date revision notes

DR  
DR  
DR  
DR  
DR  
by

project No.  
**80121**

### CUSTOM DESIGNED HOME

stage	drawn	checked	scale @ A3
DA	DR	AS	1:2.22

drawing

### SCHEDULE OF EXTERNAL FINISHES

lot no. | D.P. no. | dwelling type  
**Lot -7 | D.P. -DP 238 331**

drawing #  
**00.09.01**

revision  
**D**

## DEVELOPMENT APPLICATION

CLIENT SIGNATURE

File: 80121 - Nile - 10 Courtley Road Beacon Hill DA ISSUE D - 31.05.2021.pln | Date: 31/05/2021 | Time: 4:27 PM



northern  
beaches  
council

THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
DEFERRED COMMENCEMENT CONSENT

DA NUMBER: DA2020/1606

(Activation of consent must be obtained  
from Northern Beaches Council)

# STORMWATER MANAGEMENT PLANS

## PROPOSED DOUBLE STOREY DWELLING

### Lot 7, 10 COURTLEY ROAD, BEACON HILL

NOT FOR CONSTRUCTION

#### DRAINAGE NOTES

##### PIPE SIZE:

THE MINIMUM PIPE SIZE SHALL BE:

- 90mm DIA WHERE THE LINE ONLY RECEIVES ROOFWATER RUNOFF; OR
- 100mm DIA WHERE THE LINE RECEIVES RUNOFF FROM PAVED OR UNPAVED AREAS ON THE PROPERTY

THE MINIMUM PIPE VELOCITY SHOULD BE 0.6 m/s AND A MAXIMUM PIPE VELOCITY OF 6.0 m/s DURING THE DESIGN STORM.

##### PIPE GRADE:

THE MINIMUM PIPE GRADE SHALL BE:

- 1.0% FOR PIPES LESS THAN 225mm DIA
- 0.5% FOR ALL LARGER PIPES

PIPES WITH A GRADIENT GREATER THAN 20% WILL REQUIRE ANCHOR BLOCKS AT THE TOP AND BOTTOM OF THE INCLINED SECTION; AND AT INTERVALS NOT EXCEEDING 3.0m

ANCHOR BLOCKS ARE DESIGNED ACCORDING TO *CLAUSE 7.9 OF AS3500.3:2018*

##### DEPTH OF COVER FOR PVC PIPES:

MINIMUM PIPE COVER SHALL BE AS FOLLOWS:

LOCATION	MINIMUM COVER
NOT SUBJECT TO VEHICLE LOADING	100mm SINGLE RESIDENTIAL 300mm ALL OTHER DEVELOPMENTS
SUBJECT TO VEHICLE LOADING UNDER A SEALED ROAD	450mm WHERE NOT IN A ROAD 600mm
UNSEALED ROAD	750mm
PAVED DRIVEWAY	100mm PLUS DEPTH OF CONCRETE

SEE AS2032 INSTALLATION OF UPVC PIPES FOR FURTHER INFORMATION.

CONCRETE PIPE COVER SHALL BE IN ACCORDANCE WITH *AS3725-2007 LOADS ON BURIED CONCRETE PIPES*, HOWEVER A MINIMUM COVER OF 450mm WILL APPLY.

WHERE INSUFFICIENT COVER IS PROVIDED, THE PIPE SHALL BE COVERED AT LEAST 50mm THICK OVERLAY AND SHALL THEN BE PAVED WITH AT LEAST:

- 150mm REINFORCED CONCRETE WHERE SUBJECT TO HEAVY VEHICLE TRAFFIC;
- 75mm THICKNESS OF BRICK OR 100mm OF CONCRETE PAVING WHERE SUBJECT TO LIGHT VEHICLE TRAFFIC; OR
- 50mm THICK BRICK OR CONCRETE PAVING WHERE NOT SUBJECT TO VEHICLE TRAFFIC.

##### CONNECTIONS TO STORMWATER DRAINS UNDER BUILDINGS:

SHALL BE CARRIED OUT IN ACCORDANCE WITH *SECTION 6.2.8 OF AS3500.3:2018*

##### ABOVE GROUND PIPEWORK:

SHALL BE CARRIED OUT IN ACCORDANCE WITH *SECTION 6 OF AS3500.3:2018*

##### PIT SIZES AND DESIGN:

DEPTH (mm)	MINIMUM PIT SIZE (mm)
UP TO 450mm	450 x 450
450mm TO 600mm	600 x 600
600mm TO 900mm	600 x 900
900mm TO 1500mm	900 x 900 (WITH STEP IRONS)
1500mm TO 2000mm	1200 x 1200 (WITH STEP IRONS)

ALL PIPES SHOULD BE CUT FLUSH WITH THE WALL OF THE PIT.

PITS GREATER THAN 600mm DEEP SHALL HAVE A MINIMUM ACCESS OPENING OF 600 x 600mm

THE GRATED COVERS OF PITS LARGER THAN 600 x 600mm ARE TO BE HINGED TO PREVENT THE GRATE FROM FALLING INTO THE PIT.

THE BASE OF THE DRAINAGE PITS SHOULD BE AT THE SAME LEVEL AS THE INVERT OF THE OUTLET PIPE. RAINWATER SHOULD NOT BE PERMITTED TO POND WITHIN THE STORMWATER SYSTEM

##### TRENCH DRAINS:

CONTINUOUS TRENCH DRAINS ARE TO BE OF WIDTH NOT LESS THAN 150mm AND DEPTH NOT LESS THAN 100mm. THE BARS OF THE GRATING ARE TO BE PARALLEL TO THE DIRECTION OF SURFACE FLOW.

##### STEP IRONS:

PITS BETWEEN 1.2m AND 6m ARE TO HAVE STEP IRONS IN ACCORDANCE WITH AS1657. FOR PITS GREATER THAN 6m OTHER MEANS OF ACCESS MUST BE PROVIDED.

##### IN-SITU PITS:

IN-SITU PITS ARE TO BE CONSTRUCTED ON A CONCRETE BED OF AT LEAST 150mm THICK. THE WALLS ARE TO BE DESIGNED TO MEET THE MINIMUM REQUIREMENTS OF *CLAUSE 7.5.1 OF AS3500.3:2018*. PITS DEEPER THAN 1.8m SHALL BE CONSTRUCTED WITH REINFORCED CONCRETE.

##### GRATES:

GRATES ARE TO BE GALVANISED STEEL GRID TYPE. GRATES ARE TO BE OF HEAVY-DUTY TYPE IN AREAS WHERE THEY MAY BE SUBJECT TO VEHICLE LOADING.

#### GENERAL NOTES

- FINAL LOCATION OF NEW DOWNPIPES TO BE DETERMINED BY BUILDER/ARCHITECT AT TIME OF CONSTRUCTION.
- THESE DRAWINGS TO BE READ IN CONJUNCTION WITH ARCHITECTS AND OTHER CONSULTANTS DRAWINGS. ANY DISCREPANCIES TO BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH WORK.
- ALL MATERIALS AND WORKMANSHIP TO BE IN ACCORDANCE WITH AS/NZS 3500.3:2018 STORMWATER DRAINAGE, BCA AND LOCAL COUNCIL POLICY/CONSENT/REQUIREMENTS.
- ALL DIMENSIONS AND LEVELS TO BE VERIFIED BY BUILDER ON-SITE PRIOR TO COMMENCEMENT OF WORKS. THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS NOR TO BE USED FOR SETOUT PURPOSES.
- ALL SURVEY INFORMATION AND PROPOSED BUILDING AND FINISHED SURFACE LEVELS SHOWN IN THESE DRAWINGS ARE BASED ON LEVELS OBTAINED FROM DRAWINGS BY OTHERS. THESE DRAWINGS DEPICT THE DESIGN OF SURFACE STORMWATER RUNOFF DRAINAGE SYSTEMS ONLY AND DO NOT DEPICT ROOF DRAINAGE OR SUBSOIL DRAINAGE SYSTEMS UNLESS NOTED OTHERWISE. THE DESIGN OF ROOF AND SUBSOIL DRAINAGE SYSTEMS IS THE RESPONSIBILITY OF OTHERS.
- ALL STORMWATER DRAINAGE PIPES ARE TO BE uPVC AT MINIMUM 1% GRADE UNLESS NOTED OTHERWISE.
- IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE AND LEVEL ALL EXISTING SERVICES OR OTHER STRUCTURES WHICH MAY AFFECT/BE AFFECTED BY THIS DESIGN PRIOR TO COMMENCEMENT OF WORKS.
- ALL PITS WITHIN DRIVEWAYS TO BE 150mm THICK CONCRETE OR EQUAL.
- THIS PLAN IS THE PROPERTY OF QUANTUM ENGINEERS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION FROM QUANTUM ENGINEERS.

#### PLAN NOTES

- ROOF DRAINAGE NOTE:** AS 3500 ROOF DRAINAGE REQUIRES EAVES GUTTERS TO BE SIZED FOR 20 YEAR 5 MIN. STORM = 205mm/hr. FOR EAVES GUTTERS, AS 3500.3:2018 THEN HAS THE FOLLOWING REQUIREMENTS:
  - FOR TYPICAL STANDARD QUAD GUTTER WITH  $A_e = 6000\text{mm}^2$  AND GUTTER SLOPE 1:500 AND STEEPER, THIS REQUIRES ONE DOWNPIPE PER  $30\text{m}^2$  ROOF AREA.
  - DOWNPIPES TO BE MINIMUM 90mm DIA. OR 100 x 50mm FOR GUTTERS SLOPE 1:500 AND STEPPER.
  - OVERFLOW METHOD TO FIGURE G1 OF AS 3500.3:2018 IT IS THE RESPONSIBILITY OF THE PLUMBER AND / OR BUILDER TO COMPLY WITH THIS. THIS DRAWING SHOWS PRELIMINARY LOCATIONS / NUMBERS OF DOWNPIPES ONLY WHICH ARE TO BE VERIFIED BY BUILDER / PLUMBER
- TREE PRESERVATION:** IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ANY PRIOR APPROVAL REQUIRED FROM COUNCIL WITH RESPECT TO POTENTIAL IMPACT ON TREES FOR ANY WORKS SHOWN ON THIS DRAWING PRIOR TO THE COMMENCEMENT OF THOSE WORKS
- ALL ROOF GUTTERS TO HAVE OVERFLOW PROVISION IN ACCORDANCE WITH AS 3500.3:2018 AND SECTIONS 3.5, 3.7.7 AND APPENDIX G OF AS 3500.3:2018
- THIS DRAWING IS NOT TO BE USED FOR SET-OUT PURPOSES - REFER TO ARCHITECTURAL DRAWINGS
- LOCATION OF SURFACE STORMWATER GRATED INLET PITS MAY BE VARIED OR NEW PITS INSTALLED AT THE CONSTRUCTION STAGE PROVIDED DESIGN INTENT OF THIS DRAWING IS MAINTAINED

LEGEND	
SURFACE INLET PIT	
SURFACE INLET PIT (WITH ENVIROPOD 200 MICRON)	
ACCESS GRATE (WITH ENVIROPOD 200 MICRON)	
ACCESS GRATE (TO HED PIT)	
450 SQUARE INTERVAL	450 X 450
GRATE LEVEL = 75.50	SL 75.50
INVERT LEVEL = RL 75.20	IL 75.20
PROPOSED DOWNPIPE 90mm DIA. OR 100mm x 50mm MIN.	
GRATED TRENCH DRAIN	
ABSORPTION TRENCH	
PROPOSED ROOF GUTTER FALL	
PROPOSED DOWNPIPE SPREADER	
STORMWATER PIPE 100mm DIA. MIN. UNO	
SUBSOIL PIPE	
EXISTING STORMWATER PIPE	
INSPECTION RISER	
RAINWATER HEAD	



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NER (1052208) RPEQ (25464)  
APEC Engineer IntPE(Aus)

#### CLIENT

ALLURA HOMES

#### OWNER

MRS. S & MR. F NILE

#### DRAWING TITLE

DETAILS, NOTES & LEGEND

PROPOSED DOUBLE STOREY DWELLING

Lot 7, 10 COURTLEY ROAD,  
BEACON HILL

#### REVISION

#### DRAWN

#### DESCRIPTION

#### DATE

A

DC

ISSUED FOR CDC

21.01.2020

B

DC

REVISED ARCHITECTURAL PLANS

29.01.2020

C

DC

ISSUED FOR DA

07.04.2021

D

DC

RE-ISSUED FOR DA (COUNCIL RFI)

23.06.2021

#### DESIGNED BY

#### No. IN SET

DC

7

#### SCALE - SIZE

#### REVISION

-

D

#### JOB NUMBER

#### DRAWING No.

200002

D1



## OSD WARRANT

LGA: NORTHERN BEACHES COUNCIL  
RELEVANT CODE: WATER MANAGEMENT FOR DEVELOPMENT POLICY

### APPENDIX 16 - ON SITE DETENTION CHECKLIST (PART 4.2, REGION 2):

- SITE AREA 557.3m<sup>2</sup>
- SITE AREA X 0.40 (40%) 222.92m<sup>2</sup> (a)
- POST-DEV IMPERVIOUS AREA 333.0m<sup>2</sup> (b)

"OSD WILL NOT BE REQUIRED WHEN (a) IS GREATER THAN (b)"

(b) IS GREATER THAN (a), HENCE OSD REQUIRED

OSD DESIGN METHOD: (STREAMLINE METHOD)

$$\begin{aligned} \text{SSR} &= 200\text{m}^3 \text{ PER Ha} \\ &= 200 \times 0.05573 \\ &= 11.46\text{m}^3 \end{aligned}$$

$$\begin{aligned} \text{PSD} &= 400 \text{ L/sec PER Ha} \\ &= 400 \times 0.05573 \\ &= 22.92 \text{ L/sec} \end{aligned}$$

### SECTION 9.3.2.1 RAINWATER RE-USE FOR SINGLE RESIDENTIAL DEVELOPMENT:

"COUNCIL MAY PERMIT THE VOLUME OF RAINWATER REUSE TO BE CREDITED AGAINST THE CALCULATED OSD STORAGE VOLUME AS DETERMINED BY THIS SPECIFICATION".

"TO ACHIEVE A FULL CREDIT AGAINST THE DETERMINED OSD VOLUME RAINWATER REUSE MUST BE USED FOR FLUSHING OF TOILETS AS A MINIMUM, HOWEVER RAINWATER CAN BE USED FOR NON-POTABLE USAGE SUCH AS WATERING OF GARDENS, WASHING CARS, CLOTHES WASHING ETC. COMBINING OSD AND RAINWATER REUSE WATER IN ONE TANK IS PERMITTED."

5m<sup>3</sup> RAINWATER TANK AS PER BASIX FOR CREDIT AGAINST OSD VOLUME

THEREFORE FINAL OSD VOLUME = 6.46m<sup>3</sup>  
FINAL RWT VOLUME = 5.00m<sup>3</sup>

## DRAINAGE PIPE LEGEND

- EXISTING STORMWATER PIPE
- DRAINAGE PIPES VIA GRAVITY
- DRAINAGE PIPES TO RWT/OSD

NOTE: ALL PIPES TO BE 100mm DIA PVC UNO

## DOWNPIPE LEGEND

- RP 150 INDICATES DOWNPIPE TO RWT/OSD
- INDICATES DOWNPIPE DIAMETER
- DP 150 INDICATES DOWNPIPE DIRECTLY TO STREET
- INDICATES DOWNPIPE DIAMETER
- DOWNPIPE PENETRATING FLOOR SLAB
- DOWNPIPE COMMENCING BELOW FLOOR SLAB

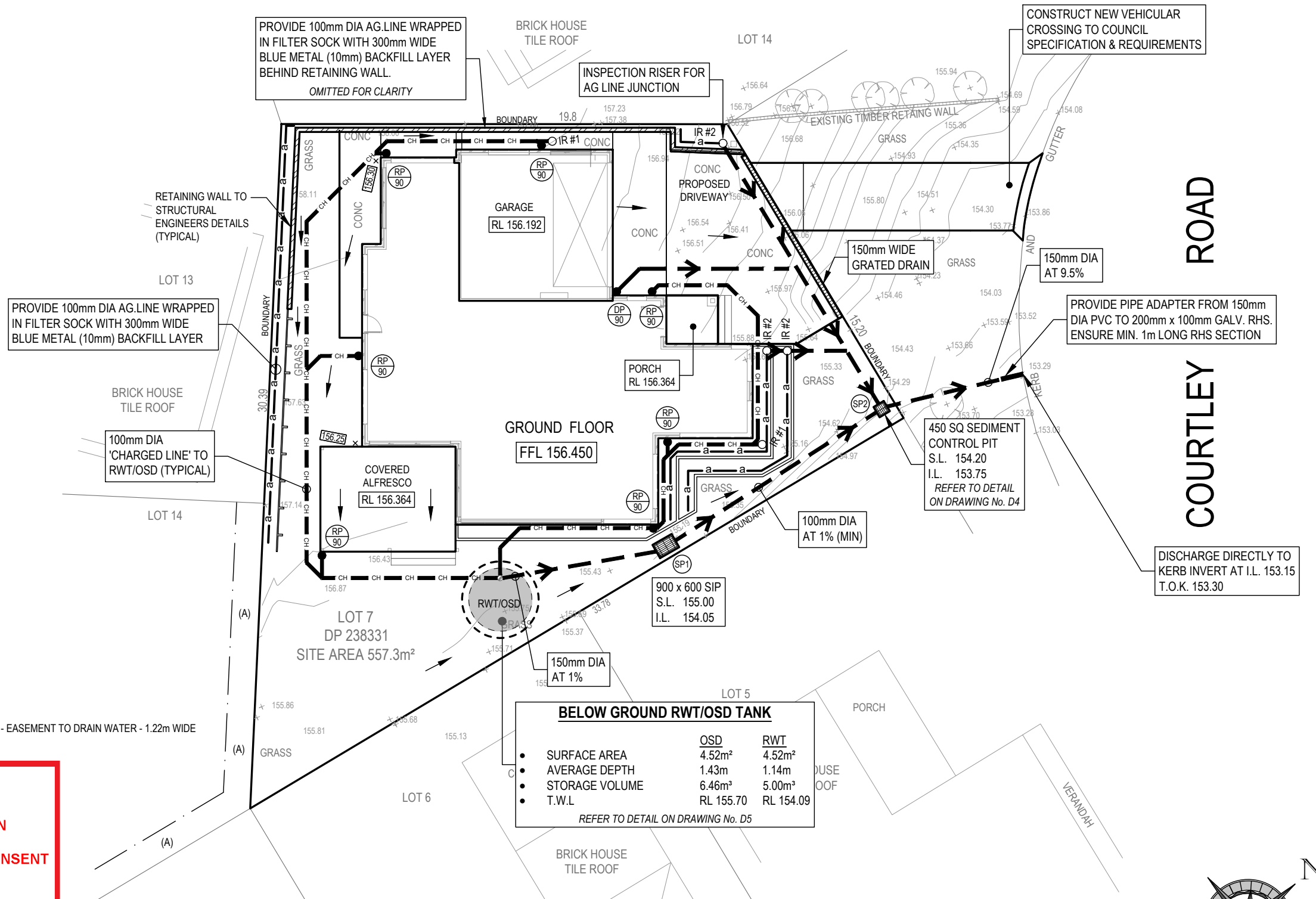


THIS PLAN IS TO BE READ IN  
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DA NUMBER: DA2020/1606

(Activation of consent must be obtained  
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ALL PROPOSED LEVELS TO BE CHECKED ON  
SITE BEFORE COMMENCEMENT OF WORKS



SITE/GROUND FLOOR PLAN  
1:200



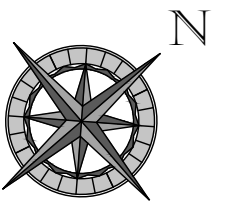
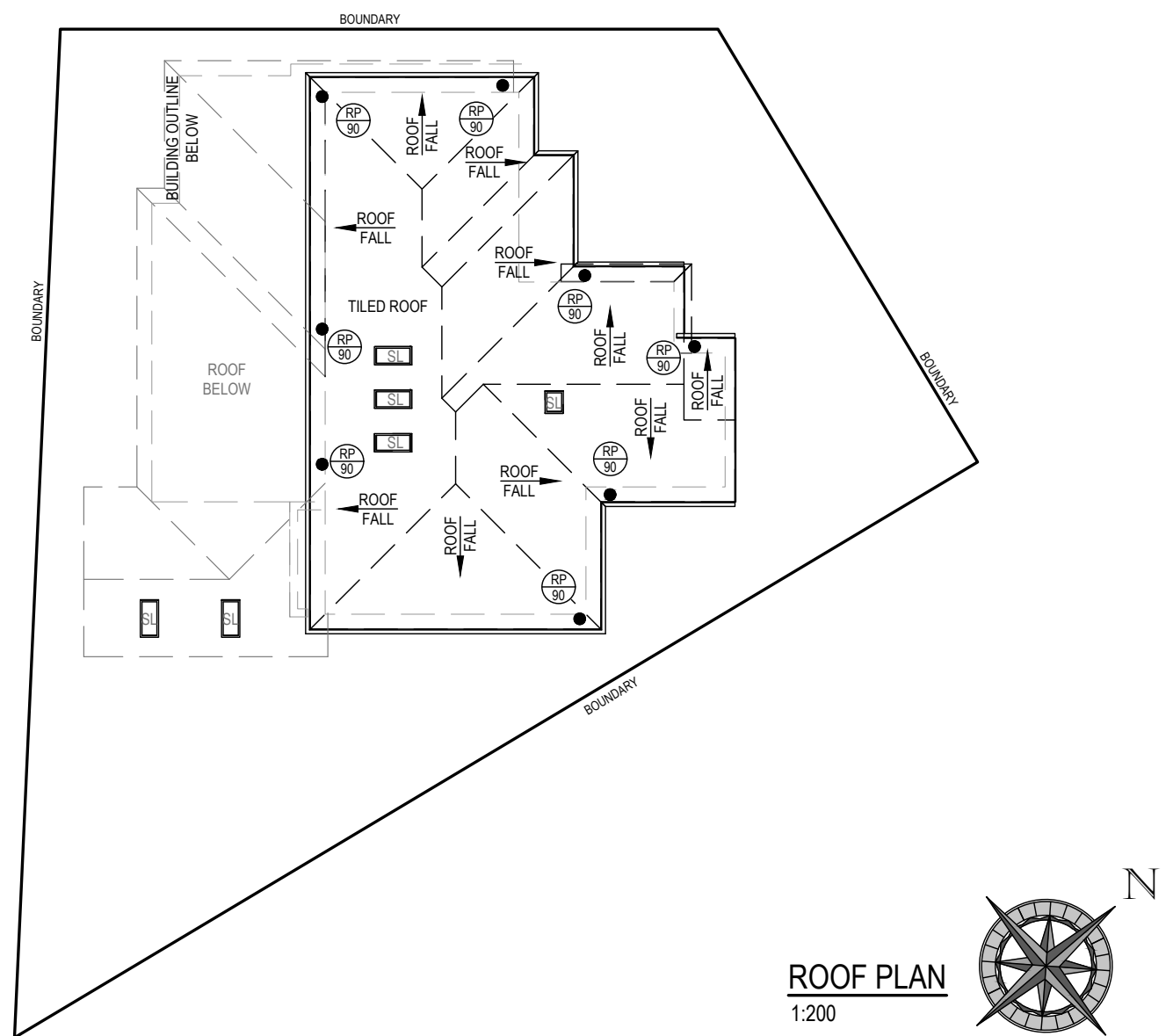
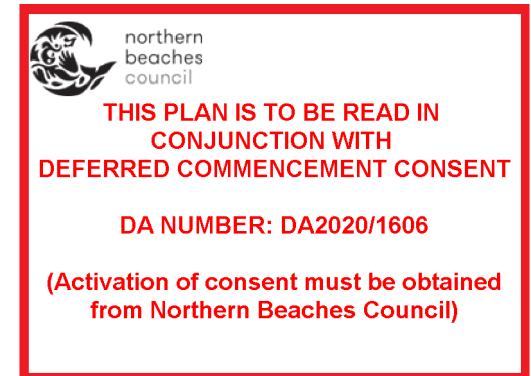
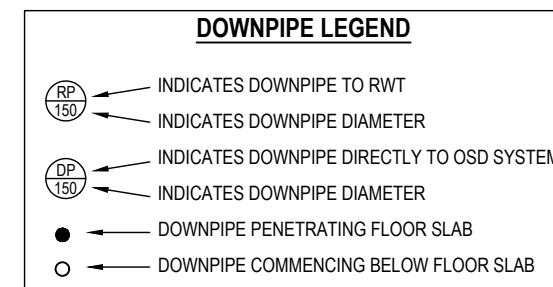
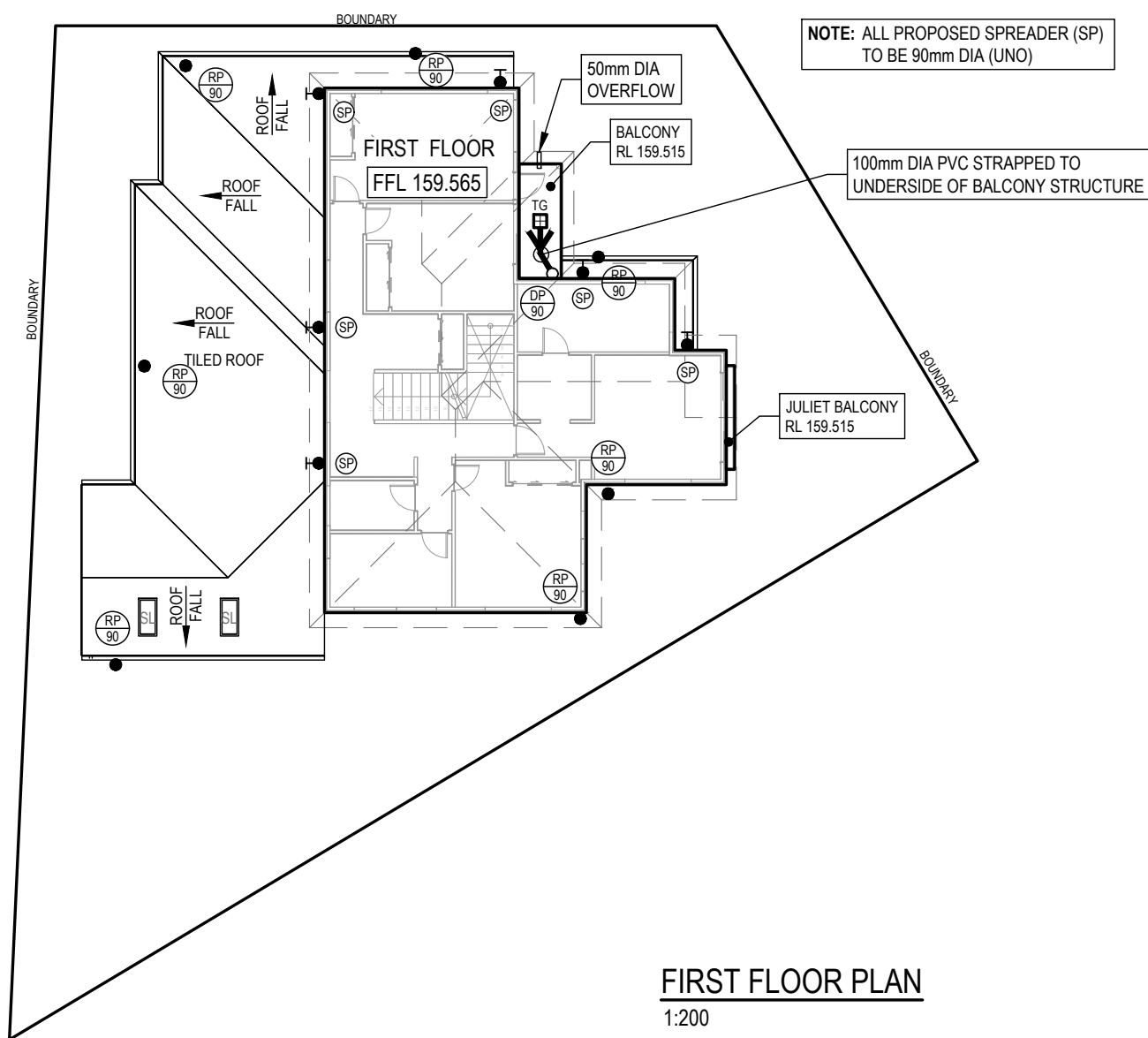
APPROVED BY  
ROBERT ELTOBAGI  
BE(CIVIL) MIEAust CPEng  
NER (1052208) RPEQ (25464)  
APEC Engineer InPE(Aus)

CLIENT  
ALLURA HOMES  
OWNER  
MRS. S & MR. F NILE

DRAWING TITLE  
SITE/GROUND FLOOR PLAN  
PROPOSED DOUBLE STOREY DWELLING  
Lot 7, 10 COURTLEY ROAD,  
BEACON HILL

REVISION	DRAWN	DESCRIPTION	DATE
A	DC	ISSUED FOR CDC	21.01.2020
B	DC	REVISED ARCHITECTURAL PLANS	29.01.2020
C	DC	ISSUED FOR DA	07.04.2021
D	DC	RE-ISSUED FOR DA (COUNCIL RFI)	23.06.2021

DESIGNED BY	No. IN SET
DC	7
SCALE - SIZE	REVISION
1:200 - A3	D
JOB NUMBER	DRAWING No.
200002	D2



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**APPROVED BY**  
**ROBERT ELTOBAGI**  
*E(CIVIL) MIEAust CPEng*  
*IER (1052208) RPEQ (25464)*  
*PEC Engineer IntPE(Aus)*



CLIENT

---

ALLURA HOMES

OWNER  
MRS. S & MR. F NILE

**DRAWING TITLE**

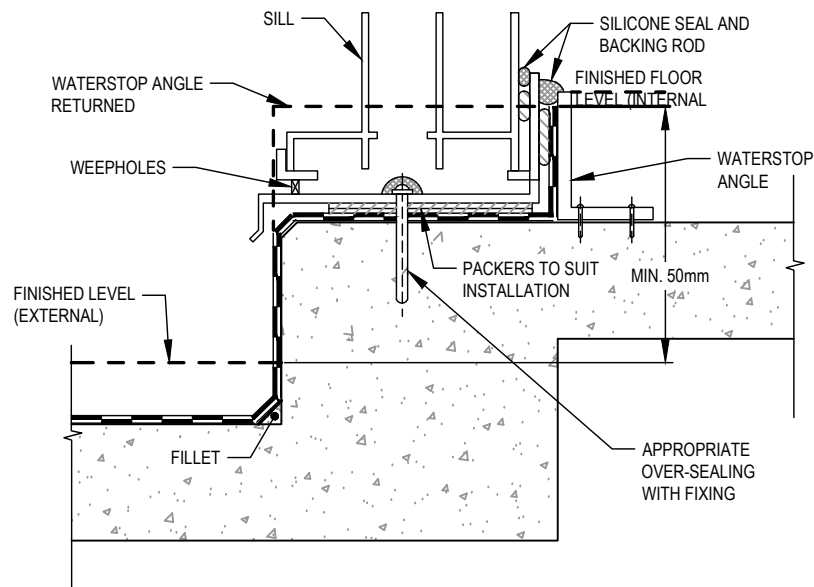
**ROOF & FIRST FLOOR PLANS**

**PROPOSED DOUBLE STOREY DWELLING**

**Lot 7, 10 COURTLEY ROAD,  
BEACON HILL**

REVISION	DRAWN	DESCRIPTION	DATE	DESIGNED BY	No. IN SET
A	DC	ISSUED FOR CDC	21.01.2020	DC	7
B	DC	REVISED ARCHITECTURAL PLANS	29.01.2020	SCALE - SIZE	REVISION
C	DC	ISSUED FOR DA	07.04.2021	1:200 - A3	D
D	DC	RE-ISSUED FOR DA (COUNCIL RFI)	23.06.2021	JOB NUMBER	DRAWING No.
				200002	D3

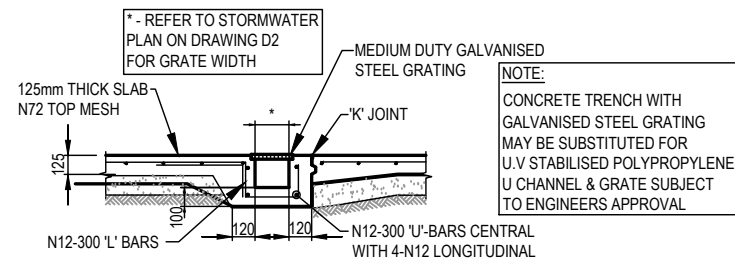




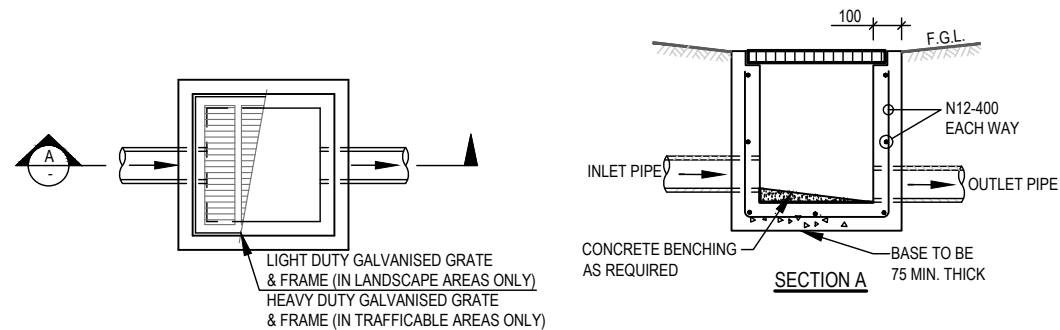
- NOTES:**
1. SUB-SILL IS INSTALLED BEFORE DOOR.
  2. SEAL BETWEEN SILL, PACKER AND MEMBRANE BEFORE DRILLING FIXING HOLES.

**AS 4654.2-2012, CLAUSE 2.5.2:**  
FALLS IN FINISHES SHALL ENSURE WATER DRAINS TO THE DRAINAGE OUTLET. WATER SHALL NOT BE RETAINED ON THE FINISHED SURFACE WITH THE EXCEPTION OF RESIDUAL WATER REMAINING DUE TO SURFACE TENSION. THE FALL SHALL BE IN THE STRUCTURAL SUBSTRATE, OR FORMED BY A SCREED OVER THE STRUCTURAL SUBSTRATE.  
**NOTE:** FALLS FOR SURFACE DRAINAGE SHOULD BE NO FLATTER THAN 1 IN 100.

## MEMBRANE TERMINATION AT EXTERNAL OPENING DOORS (SILL WITH SUB-SILL) NTS



## GRATED DRAIN NTS



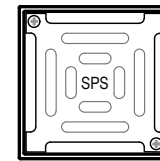
## TYPICAL PIT (SIP) NTS

**NOTE:**  
ALL PROPOSED SITE PITS ARE TO BE CONSTRUCTED IN CONCRETE CAST IN SITU, FRC OR FRC.  
PLASTIC OR BRICK PITS ARE NOT ACCEPTABLE WITHOUT CONFIRMATION FROM DESIGN ENGINEER.

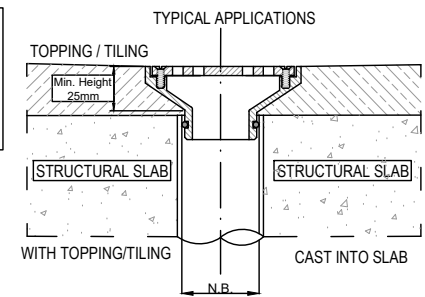
## SPS 150mm SQUARE VARI-LEVEL FLOOR DRAIN

**SPECIFICATION CODES:**  
Q150G/C109 (BRONZE GRATE, CI LOWER BODY)  
Q150N/C109 (NICKEL BRONZE GRATE, CI LOWER BODY)  
Q150S4/C109 (POLISHED 304SS, CI LOWER BODY)  
Q150S/C109 (SATIN 316SS GRATE, CI LOWER BODY)  
FOR 80MM OUTLET, USE SUFFIX "C89" NOT "C109"

150mm SQUARE



N.B.  
80  
100



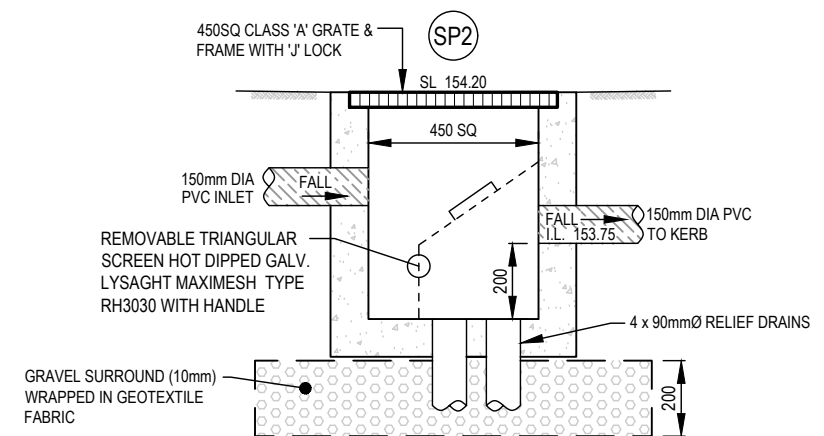
## TERRACE GRATE (SPS) - TG NTS



**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
DEFERRED COMMENCEMENT CONSENT**

**DA NUMBER: DA2020/1606**

**(Activation of consent must be obtained  
from Northern Beaches Council)**



## SEDIMENT CONTROL PIT - SP2 NTS



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APEC Engineer IntPE(Aus)

CLIENT

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OWNER

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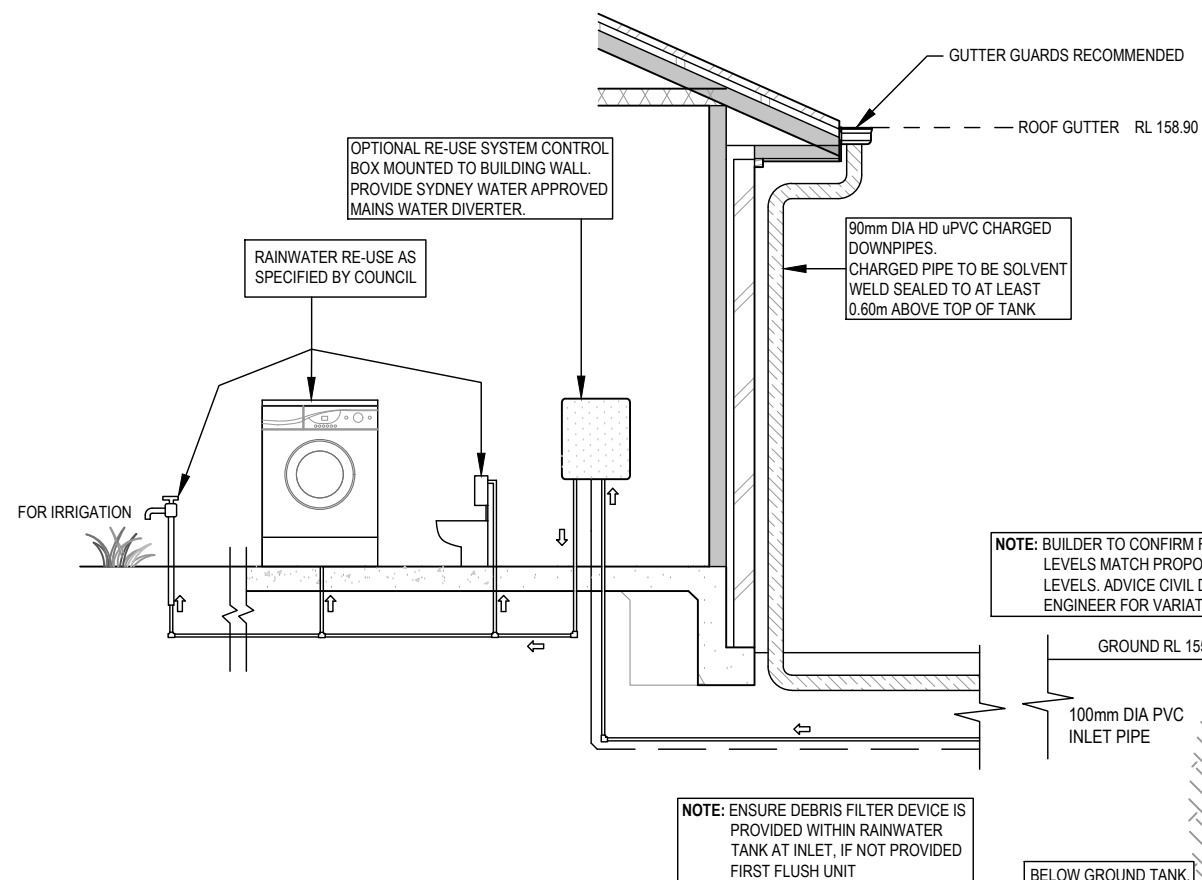
DRAWING TITLE

STORMWATER DETAILS

PROPOSED DOUBLE STOREY DWELLING

Lot 7, 10 COURTLEY ROAD,  
BEACON HILL

REVISION	DRAWN	DESCRIPTION	DATE	DESIGNED BY	No. IN SET
A	DC	ISSUED FOR CDC	21.01.2020	DC	7
B	DC	REVISED ARCHITECTURAL PLANS	29.01.2020	<b>SCALE - SIZE</b>	<b>REVISION</b>
C	DC	ISSUED FOR DA	07.04.2021	AS NOTED - A3	D
D	DC	RE-ISSUED FOR DA (COUNCIL RFI)	23.06.2021	<b>JOB NUMBER</b>	<b>DRAWING No.</b>
				200002	D4



## COMBINED OSD & RWT TANK - BELOW GROUND

NTS



## TYPICAL WARNING SIGN

NTS

EVERY EXTERNAL SUPPLY OUTLET FROM RAINWATER RE-USE TANK TO BE LABELED WITH METALLIC WARNING SIGN

### COMBINED OSD & RWT TANK - BELOW GROUND

(AS PER BASIX & COUNCIL REQUIREMENTS)

SIZE: 11,460 LITRES (MIN)  
11,500 LITRE CONCRETE TANK BY "SYDNEY WATER TANKS" OR SIMILAR  
(2810DIA x 3090H)  
INSTALL TO MANUFACTURES SPECIFICATIONS, AS3500 AND COUNCIL REQUIREMENTS

- FOR RE-USE AS SPECIFIED BY BASIX CERTIFICATE & COUNCIL
- ENSURE TOP OF TANK IS MIN 0.6m BELOW ROOF GUTTERS TO ENSURE SUFFICIENT HEAD FOR THE SYSTEM
- TANK TO BE INSTALLED BY LICENSED PLUMBER IN ACCORDANCE WITH AS/NZS 3500:2018 AND NSW CODE OF PRACTICE PLUMBING AND DRAINAGE 2006

## ORIFICE PLATE SIZE CALCULATIONS

### Discharge Orifice Design

$$Q(m^3/s) = C_d A_o (2gh)^{1/2}$$

$C_d = 0.6$  (Assumed)

$A_o$  = area of orifice

$h$  = head to centre of orifice

Head to orifice centre = 1.385 m

PSD = 22.92 L/s

Area of orifice = 0.007 m<sup>2</sup>

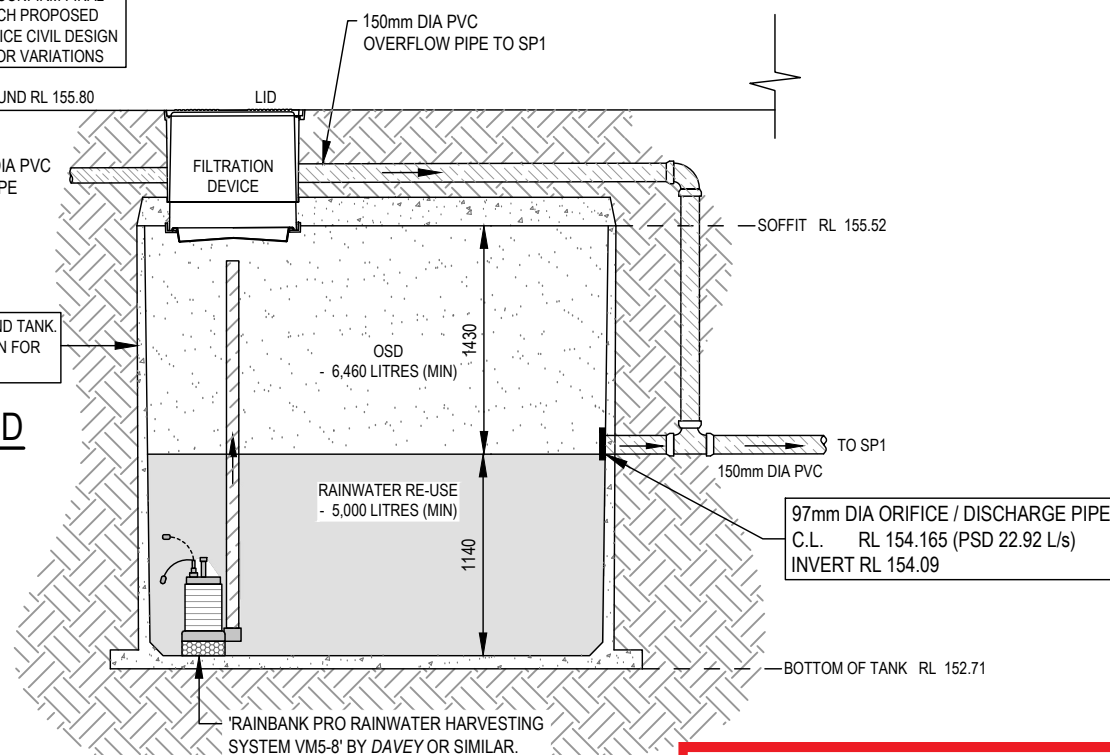
**Diameter of orifice = 96.6 mm diameter**

Area of plate = 0.037 m<sup>2</sup>

5 times area of orifice

Each side (minimum) = 0.191 m

**Dimension of Orifice Plate = 191 mm**  
(min. Adopt 200mm x 200mm square plate)

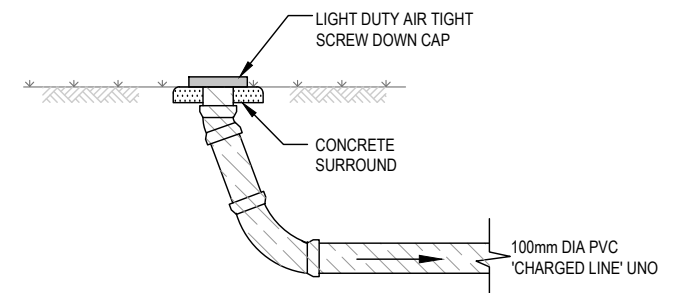


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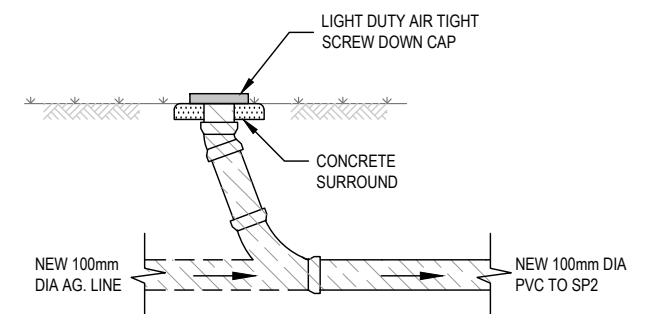
**DA NUMBER: DA2020/1606**

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## INSPECTION RISER - IR #1

NTS



## AG. LINE INSPECTION RISER - IR #2

NTS

### APPROVED BY

ROBERT ELTOBBAGI  
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NER (1052208) RPEQ (25464)  
APEC Engineer InPE(Aus)

*[Signature]*

### CLIENT

ALLURA HOMES

### OWNER

MRS. S & MR. F NILE

### DRAWING TITLE

OSD/RWT & INSPECTION RISER DETAILS

### PROPOSED DOUBLE STOREY DWELLING

Lot 7, 10 COURTLEY ROAD,  
BEACON HILL

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				200002	D5



DUST CONTROL:

• NOTE: DURING EXCAVATION, DEMOLITION AND CONSTRUCTION, ADEQUATE MEASURES SHALL BE TAKEN TO PREVENT DUST FROM AFFECTING THE AMENITY OF THE NEIGHBORHOOD.

THE FOLLOWING MEASURES MUST BE ADOPTED:

1. PHYSICAL BARRIERS SHALL BE ERECTED AT RIGHT ANGLES TO PREVENT WIND DIRECTION OR SHALL BE PLACED AROUND OR OVER DUST SOURCES TO PREVENT WIND OR ACTIVITY FROM GENERATING DUST.
2. EARTHWORKS AND SCHEDULING ACTIVITIES SHALL BE MANAGED TO COINCIDE WITH THE NEXT STAGE OF DEVELOPMENT TO MINIMISE THE AMOUNT OF TIME THE SITE IS LEFT TO CUT OR EXPOSED.
3. ALL MATERIALS SHALL BE STORED OR STOCKPILED AT THE BEST LOCATIONS.
4. THE GROUND SURFACE SHOULD BE DAMPENED SLIGHTLY TO PREVENT DUST FROM BECOMING AIRBORNE BUT SHOULD NOT BE WET TO THE EXTENT THAT RUN-OFF OCCURS.
5. ALL VEHICLES CARRYING SOIL OR RUBBLE TO OR FROM THE SITE SHALL AT ALL TIMES BE COVERED TO PREVENT THE ESCAPE OF DUST.
6. ALL EQUIPMENT WHEELS SHALL BE WASHED BEFORE EXISTING THE SITE USING MANUAL OR AUTOMATED SPRAYERS AND DRIVE - THROUGH WASHING BAYS.
7. GATES SHALL BE CLOSED BETWEEN VEHICLE MOVEMENTS SHALL BE FITTED WITH SHADE CLOTH.
8. CLEANING OF FOOTPATHS AND ROADWAYS SHALL CARRIED OUT DAILY.
9. ALL BUILDERS REFUSE, SPOIL AND/OR MATERIAL UNSUITABLE FOR USE IN LANDSCAPE AREAS SHALL BE REMOVED FROM SITE ON COMPLETION OF THE BUILDING WORKS.

NOTES:

1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY SITE MANAGER IN ACCORDANCE WITH COUNCIL REQUIREMENTS.
2. ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS.
3. DRAINAGE IS TO BE CONNECTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE.
4. ROADS AND FOOTPATH TO BE SWEEPED DAILY AS REQUIRED BY COUNCIL.
5. IF YOU DO NOT COMPLY WITH COUNCIL REQUIREMENTS & DOCUMENTATION, YOU MAY BE LIABLE TO PROSECUTION FROM GOVERNMENT AUTHORITIES .

LEGEND:

- UNDISTURBED VEGETATION
- SEDIMENT FENCE
- STOCK PILES
- STABILIZED SITE ACCESS
- MESH & GRAVEL INLET FILTER
- WATER DIVERSION
- STORMWATER PIT WITH SEDIMENT BARRIER



THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT

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CLIENT

ALLURA HOMES

OWNER

MRS. S & MR. F NILE

DRAWING TITLE

SEDIMENT CONTROL PLAN

PROPOSED DOUBLE STOREY DWELLING

Lot 7, 10 COURTLEY ROAD,  
BEACON HILL

REVISION

DRAWN

DESCRIPTION

DATE

DESIGNED BY

No. IN SET

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29.01.2020

SCALE - SIZE REVISION

C

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ISSUED FOR DA

07.04.2021

1:200 - A3

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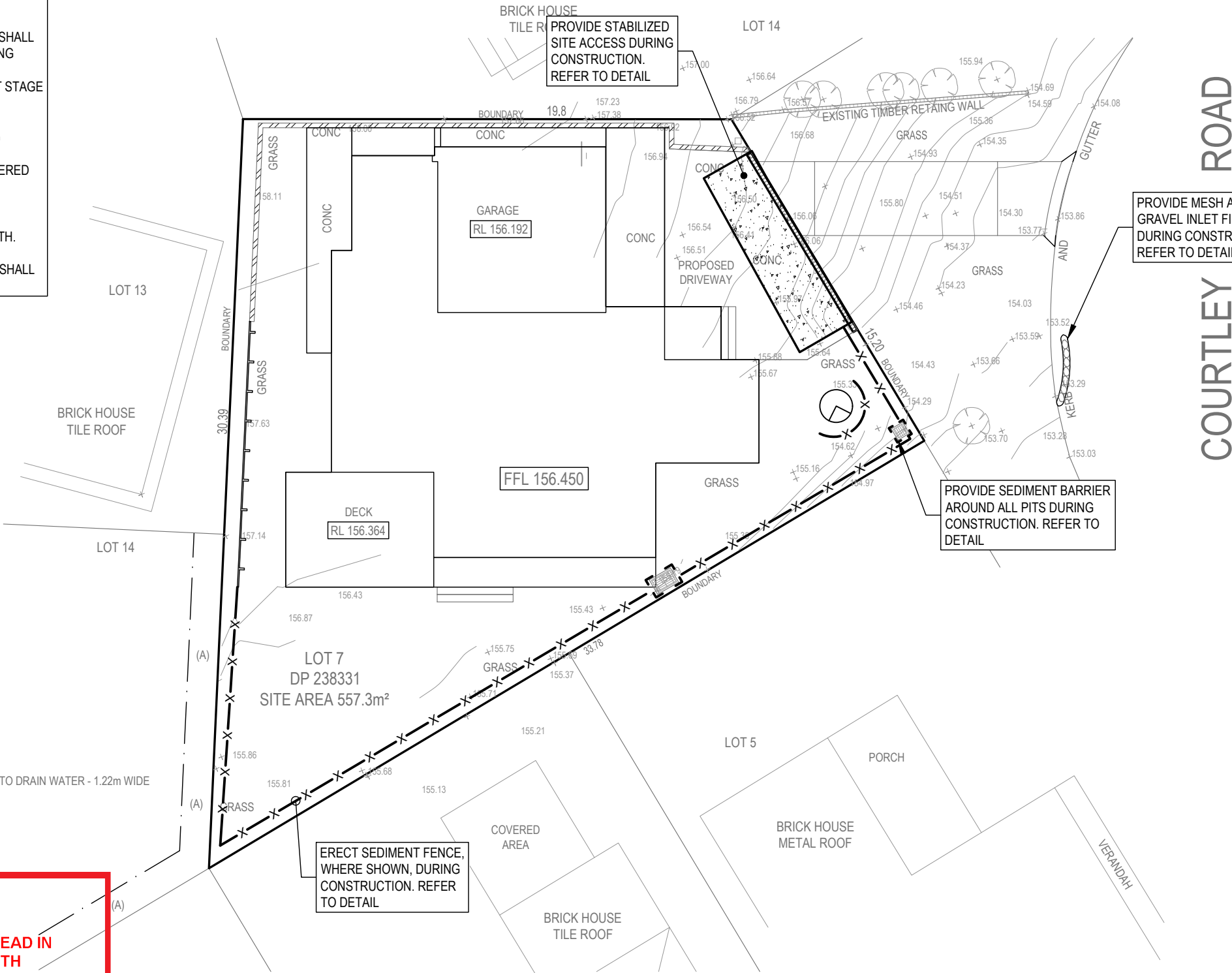
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JOB NUMBER

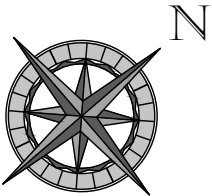
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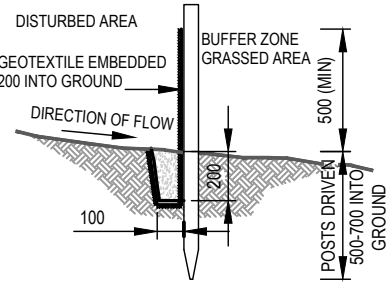
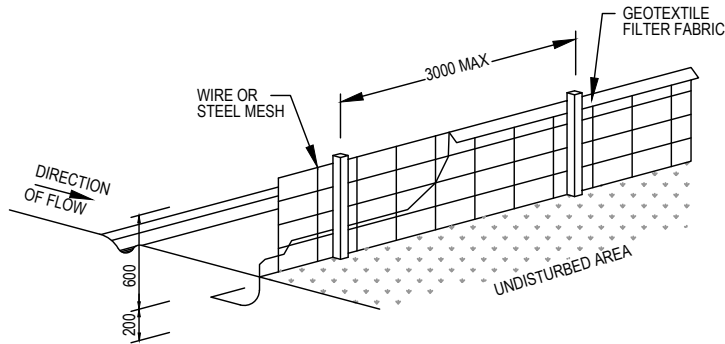
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D6



SEDIMENT CONTROL PLAN  
1:200





### SEDIMENT FENCE DETAIL

NTS

#### CONSTRUCTION NOTES:

1. CONSTRUCT SEDIMENT FENCES AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE CONTOURS OF THE SITE, BUT WITH SMALL RETURNS AS SHOWN IN THE DRAWING TO LIMIT THE CATCHMENTS AREA OF ANY ONE SECTION. THE CATCHMENTS AREA SHOULD BE SMALL ENOUGH TO LIMIT WATER FLOW IF CONCENTRATED AT ONE POINT TO 50 LITRES PER SECOND IN THE DESIGN STORM EVENT, USUALLY THE 10 YEAR EVENT.
2. CUT A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
3. DRIVE 1.5m LONG STAR PICKETS INTO GROUND AT 2.5m INTERVALS (MAX) AT THE DOWNSLOPE EDGE OF THE TRENCH. ENSURE ANY STAR PICKETS ARE FITTED WITH SAFETY CAPS.
4. FIX SELF-SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF THE POSTS ENSURING IT GOES TO THE BASE OF THE TRENCH. FIX THE GEOTEXTILE WITH WIRE TIES OR AS RECOMMENDED BY THE MANUFACTURER. ONLY USE GEOTEXTILE SPECIFICALLY PRODUCED FOR SEDIMENT FENCING. THE USE OF SHADE CLOTH FOR THIS PURPOSE IS NOT SATISFACTORY.
5. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH 150mm OVERLAP.
6. BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.

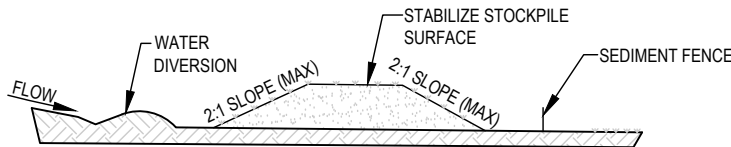


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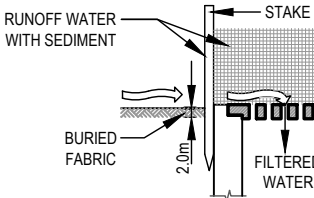


### STOCKPILE

NTS

#### NOTE:

1. PLACE STOCKPILES MORE THAN 2 (PREFERABLY 5) METRES FROM EXISTING VEGETATION, CONCENTRATED WATER FLOW, ROADS AND HAZARD AREAS.
2. CONSTRUCT ON THE CONTOUR AS LOW, FLAT, ELONGATED MOUNDS.
3. WHERE THERE IS SUFFICIENT AREA, TOPSOIL STOCKPILES SHALL BE LESS THAN 2 METRES IN HEIGHT.
4. WHERE THEY ARE TO BE IN PLACE FOR MORE THAN 10 DAYS, STABILIZE FOLLOWING THE APPROVED ESCP OR SWMP TO REDUCE THE C-FACTOR TO LESS THAN 0.10.
5. CONSTRUCT EARTH BANKS (LOW FLOW) ON THE UPSLOPE SIDE TO DIVERT WATER AROUND STOCKPILES AND SEDIMENT FENCES 1 TO 2 METRES ON THE DOWNSLOPE.

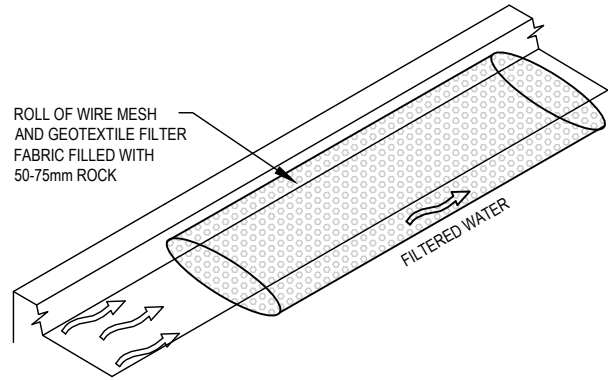


### SEDIMENT BARRIER AROUND PIT

NTS

#### CONSTRUCTION NOTES:

1. FABRICATE A SEDIMENT BARRIER MADE FROM GEOTEXTILE OR STRAW BALES.
2. FOLLOW STRAW FILTER AND SEDIMENT FENCE FOR INSTALLATION PROCEDURES FOR THE STRAW BALES OR GEOTEXTILE. REDUCE THE PICKET SPACING TO 1 METRE CENTRES.
3. IN WATERWAYS, ARTIFICIAL SAG POINTS CAN BE CREATED WITH SANDBAGS OR EARTH BANKS AS SHOWN IN THE DRAWING.
4. DO NOT COVER THE INLET WITH GEOTEXTILE UNLESS THE DESIGN IS ADEQUATE TO ALLOW FOR ALL WATERS TO BYPASS IT.

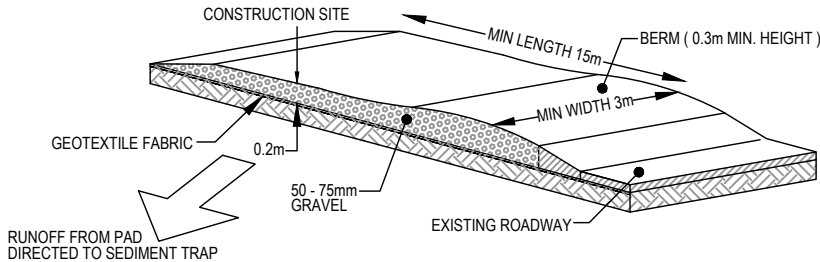


### MESH AND GRAVEL FILTER

NTS

#### CONSTRUCTION NOTES:

1. INSTALL FILTERS TO KERB INLETS ONLY AT SAG POINTS
2. FABRICATE A SLEEVE MADE FROM GEOTEXTILE OR WIRE MESH LONGER THAN THE LENGTH OF THE INLET PIT AND FILL IT WITH 25mm TO 50mm GRAVEL.
3. FORM AN ELLIPTICAL CROSS-SECTION ABOUT 150mm(h) x 400mm(w).
4. PLACE THE FILTER AT THE OPENING LEAVING AT LEAST 100mm SPACE BETWEEN IT AND THE KERB INLET. MAINTAIN THE OPENING WITH SPACER BLOCKS.
5. FORM A SEAL WITH THE KERB TO PREVENT SEDIMENT BYPASSING THE FILTER.
6. SANDBAGS FILLED WITH GRAVEL CAN SUBSTITUTE FOR THE MESH OR GEOTEXTILE PROVIDING THEY ARE PLACED SO THAT THEY FIRMLY ABUT EACH OTHER AND SEDIMENT-LADEN WATERS CANNOT PASS BETWEEN.



### STABILIZED SITE ACCESS

NTS

#### CONSTRUCTION NOTES:

1. STRIP THE TOPSOIL, LEVEL THE SITE AND COMPACT THE SUBGRADE
2. COVER THE AREA WITH NEEDLE-PUNCHED GEOTEXTILE
3. CONSTRUCT A 200mm THICK PAD OVER THE GEOTEXTILE USING ROAD BASED OR 30mm AGGREGATE
4. ENSURE THE STRUCTURE IS AT LEAST 15m LONG OR TO BUILD ALIGNMENT AND AT LEAST 3 METRES WIDE.
5. WHERE A SEDIMENT FENCE JOINS ONTO THE STABILIZED ACCESS, CONSTRUCT A HUMP IN THE STABILIZED ACCESS TO DIVERT WATER TO THE SEDIMENT FENCE.



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