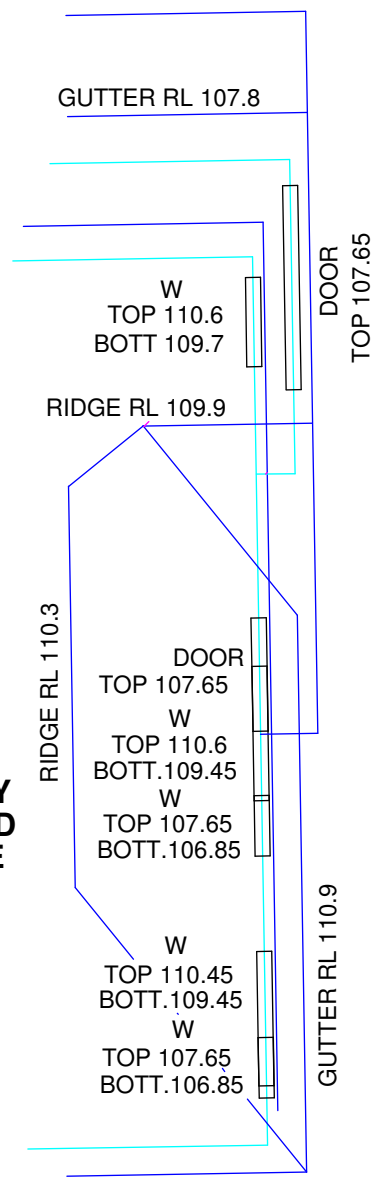


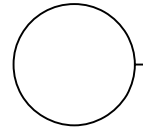
 northern beaches council


THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

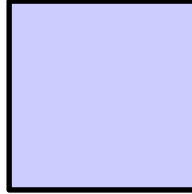
DA2025/0037

TWO STOREY
BRICK & CLAD
RESIDENCE
TILE ROOF
No.2

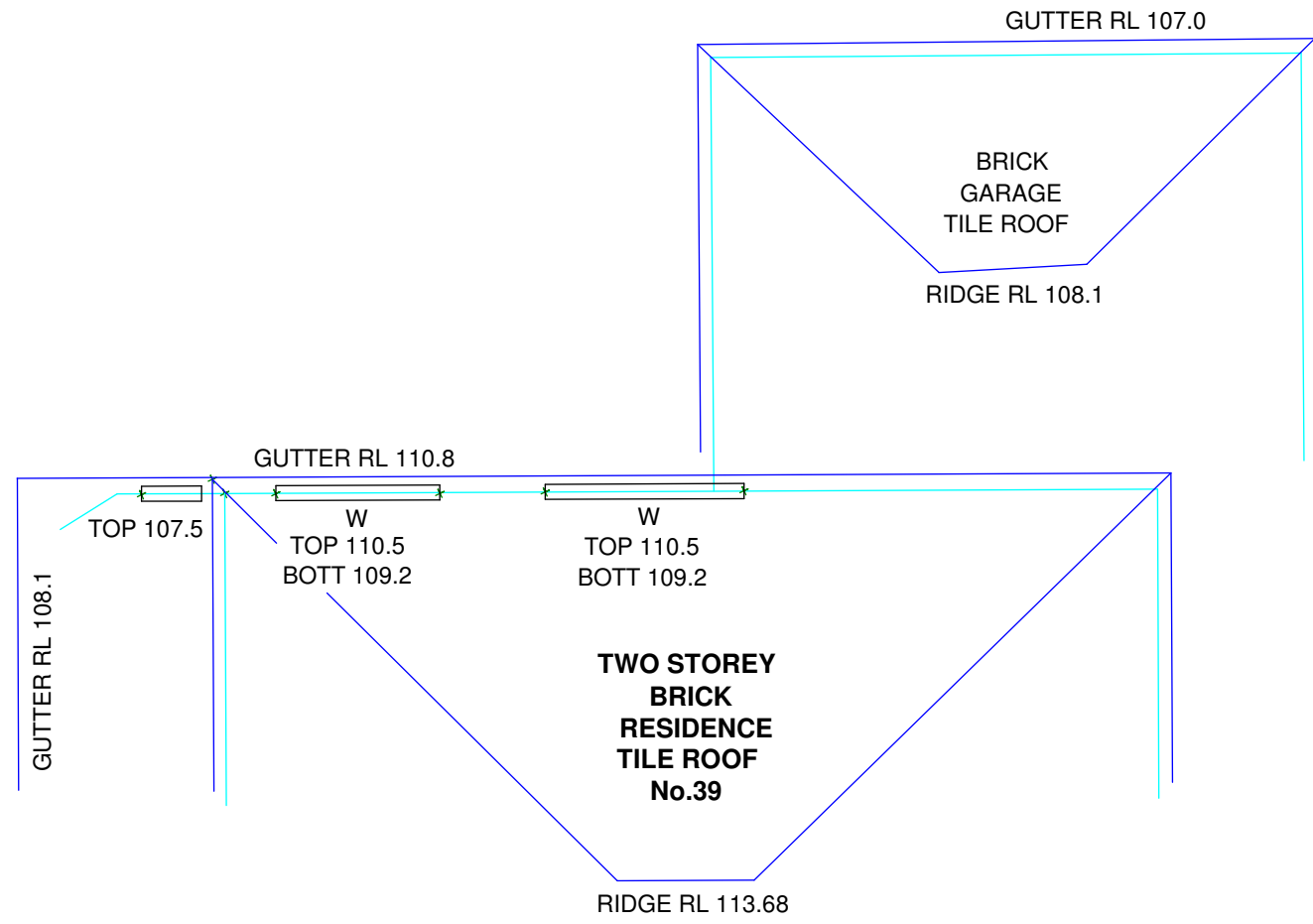


 **SITE ANALYSIS PLAN**
Scale: 1:100

 **OUTLINE OF PROPOSED DWELLING**

 **ANCILLARY STRUCTURES**

 **OUTLINE OF EXIST.TREES/
SHRUBS TO BE REMOVED**



| DATE | REV | AMENDMENTS |
|----------|-----|------------|
| 04/12/24 | A | DA ISSUE |

- DO NOT SCALE FROM DRAWING. USE WRITTEN DIMENSIONS ONLY
- BUILDER TO CHECK AND VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF WORK
- IT IS THE OWNERS RESPONSIBILITY TO ENSURE THAT THE ENGINEER HAS INVESTIGATED SUBSOIL CONDITIONS & DESIGNED ALL STRUCTURAL ELEMENTS TO SUIT
- THE DESIGNER'S DETAILS CONTAINED ON THIS DRAWING ARE SUPPLIED IN CONFIDENCE & ARE NOT TO BE USED FOR ANY OTHER PURPOSE EXCEPT THAT AUTHORIZED BY

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BUILDING DESIGN & TECHNOLOGY Pty Ltd
APPLICATION PREPARED BY: MARK MAKHOUL

Shop 2, 15 Bransgrove St Wentworthville 2145,
PO Box 705 Kings Langley NSW 2147
Ph: 02 9667 0614 Mob: 0412 100 759
E-mail: mark@build-design.com.au

SITE CALCULATIONS

SITE AREA: 708sqm

LANDSCAPED AREAS:
FRONT LANDSCAPED AREA: 112sqm
SECONDARY LANDSCAPED AREA: 62sqm
REAR LANDSCAPED AREA: 119sqm
POOL AREAS: 12sqm

TOTAL LANDSCAPED AREA: 305sqm (43% x SITE AREA)
REQUIRED LANDSCAPED AREA: 283.28sqm(40% x SITE AREA)

PRIVATE OPEN SPACE:
UNIT 1: 66sqm MIN 5M
UNIT 2: 80sqm MIN 5M
REQUIRED AREA: MIN 60sqm + MIN 5M

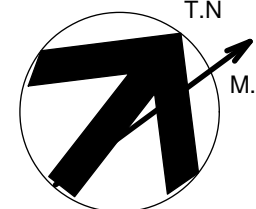
PROJECT : **PROPOSED DUPLEX LOCATED AT
41 FERGUSON ST FORESTVILLE**

TITLE: **SITE ANALYSIS PLAN**

SCALE : 1:100 @ A1
PROJECT DATE : OCT 2024
PROJECT No. 202426

DRAWN : MM
CHECKED :
DWG No. DA 0.01

REV : A



 northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2025/0037

TWO STOREY
BRICK & CLAD
RESIDENCE
TILE ROOF
No.2

ASHTON

13
DP 25368
708.2m BY DP
714.1m BY CALCULATION

AVENUE

FERGUSON
STREET

GROUND FLOOR DEMOLITION PLAN

Scale: 1:100

NOTE:

ALL DEMOLITION WORK TO BE DONE IN ACCORDANCE WITH AS 2601-2001.

DEMOLITION MUST BE CARRIED OUT BY A LICENSED DEMOLITION CONTRACTOR.

ALL DEMOLITION WORKS ARE TO BE DONE UNDER THE ENGINEERS SUPERVISION.

SITE VERIFY ALL MEASUREMENTS.

EXISTING WORKS TO BE DEMOLISHED SHOWN DOTTED.

ANY ASBESTOS FOUND IS TO BE REMOVED BY LICENSED & QUALIFIED TRADESPERSON.

TREES TO BE REMOVED SHOWN DOTTED.

A SINGLE ENTRANCE IS TO BE PROVIDED FOR ACCESS INTO THE SITE. THE FOOTPATH & VERGE/CROSSOVER IS TO BE PLANKED OUT WITH CLOSE BOARDED HARDWOOD PROTECTION PADS TO COVER THE ENTIRE WIDTH OF THE FOOTPATH OPENING & FENCE.

ANY DEMOLITION MATERIALS ARE TO BE RECYCLED/RE USED WHERE POSSIBLE.

ALL BUILDING WASTE IS TO BE STORED ON SITE & COVERED TO PREVENT AIR POLLUTION OR RUNOFF TO NEIGHBOURING SITES, WATER COURSES OR PUBLIC AREAS.

BUILDING OPERATIONS SUCH AS BRICK CUTTING, TOOL WASHING, MIXING MORTAR SHALL BE CONTAINED WITHIN THE SITE & ENSURE NO DISCHARGE ENTERS THE PUBLIC AREA OR STORMWATER DRAINAGE SYSTEM.

PUBLIC FOOTPATHS & ROADWAYS ADJACENT TO THE SITE MUST BE FULLY MAINTAINED & CLEANED DAILY DURING CONSTRUCTION.

OUTLINE OF PROPOSED
DEVELOPMENT

EXISTING STRUCTURES
TO BE DEMOLISHED

14
DP25368

TWO STOREY
BRICK
RESIDENCE
TILE ROOF
No.39

| DATE | REV | AMENDMENTS |
|----------|-----|------------------|
| 04/12/24 | A | DA ISSUE |
| 14/11/24 | - | CONSULTANT ISSUE |

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APPLICATION PREPARED BY: MARK MAKHOUL

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PO Box 705 Kings Langley NSW 2147
Ph: 02 9667 0614 Mob: 0412 100 750
E-mail: mark@build-design.com.au

PROJECT: **PROPOSED DUPLEX LOCATED AT
41 FERGUSON ST FORESTVILLE**

TITLE: **DEMOLITION PLAN**

SCALE: 1:100 @ A1

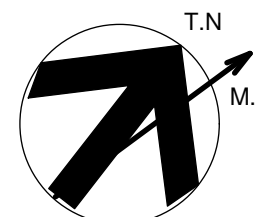
DRAWN: MM

PROJECT DATE: OCT 2024

CHECKED: REV: A

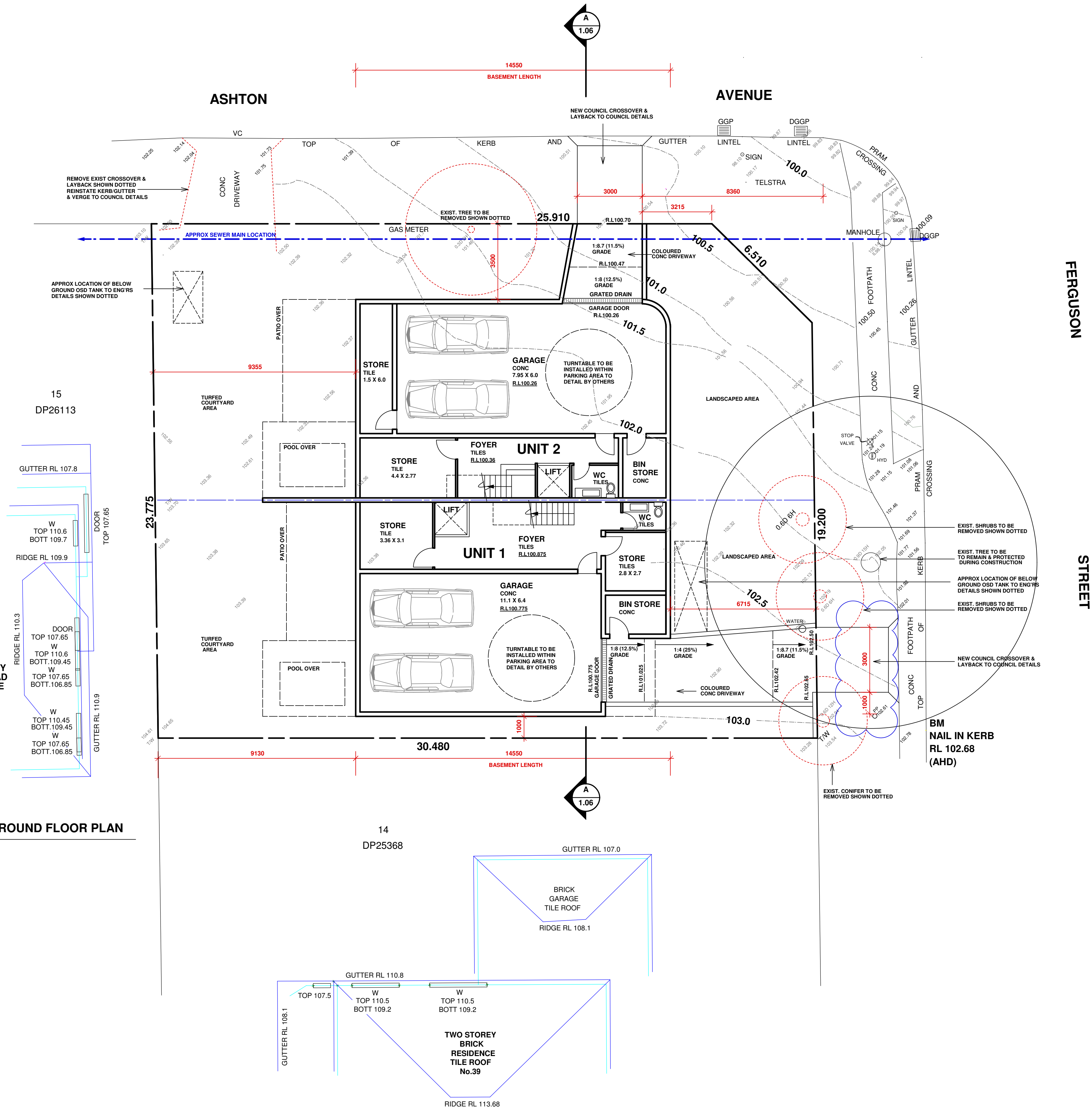
PROJECT No. 202426

DWG No. DA 0.02



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2025/0037

LOWER GROUND FLOOR PLAN
Scale: 1:100



BASIX INCLUSIONS SUMMARY CERT- 1776049M:
NatHERS CERT: U1- 0011596459 & U2- 0011596491

HOT WATER UNIT
ELECTRIC BOOSTED SOLAR HOT WATER UNIT TO BEST LOCATION BY OTHERS WITH 15 STCs CREDITS.

WATER SAVING FITTINGS
4 STAR (4.5-6L/M) SHOWER HEAD & WATER SAVING FITTINGS ARE TO BE INSTALLED
TO ALL KITCHEN & BASIN TAPS. DUAL FLUSH 4 STAR TOILETS ARE ALSO TO BE INSTALLED.

INSULATION- WALLS
R2.5 XPS FOIL BOARD TO EXTERNAL LOWER GROUND CONC WALLS.
10mm FOILBOARD INSULATION TO EXTERNAL CAVITY BRICK WALLS TO GROUND FLOOR.
R2.5 BULK INSULATION TO STUD WALL WITH FC CLADDING WITH FOIL SARKING.
R2.5 TO STUD WALL WITH TIMBER CLADDING WITH FOIL SARKING.
R2.5 XPS FOIL BOARD TO INTERNAL WALLS TO GARAGE FOYER.

INSULATION- FLOORS
R3.0 XPS FOIL BOARD TO EXPOSED OUTDOOR SLAB WITH AIR BELOW.

INSULATION- ROOF/CEILINGS
R1.5 ANTICON FOIL BACKET BLANKET TO UNDER METAL ROOFING.
R3.0 BATT INSULATION TO CEILINGS BELOW COLORBOND ROOF.
R3.0 XPS FOIL BOARD TO CONC ROOF AREA.

EXTERNAL WALLS/ROOFING- SOLAR ABSORPTANCE
LOWER GROUND FLOOR CONC WALLS- SOLAR ABSORPTANCE MEDIUM 0.475-0.7
GROUND FLOOR WALLS- SOLAR ABSORPTANCE LIGHT 0.475
FIRST FLOOR FC CLADDING WALLS- SOLAR ABSORPTANCE DARK 0.70

COLORBOND ROOFING & CONC SLAB - SOLAR ABSORPTANCE LIGHT <0.475-0.70

HEATING & COOLING
1 PHASE DUCTED A/C WITH A 4 STAR RATING FOR COOLING & HEATING WITH
ZONING TO LIVING & BEDROOM AREAS.

RAINWATER TANK
NEW 1,500L RAINWATER TANK TO EACH UNIT IS TO BE INSTALLED & CONNECTED TO LAUNDRY TAPS,
LANDSCAPED AREA & ONE OUTDOOR TAP WITHIN 10M OF POOL FOR BOTH UNITS.
A MIN 68sqm OF EACH ROOF AREA IS TO BE COLLECTED.

OVERFLOW IS TO BE CONNECTED TO DRAINAGE SYSTEM.

POOL
MAX 9 KL OUTDOOR POOL WITH A TIMER INSTALLED TO THE 4 STAR POOL PUMP. THE POOL MUST
HAVE A COVER & LOCATED OUTDOORS. ELECTRIC HEAT PUMP HEATING IS TO BE INSTALLED TO EACH POOL.

KITCHEN APPLIANCES
INDUCTION COOKTOP WITH ELECTRIC OVEN TO BE INSTALLED IN KITCHEN.

VENTILATION
ALL BATHROOMS, ENSUITES, LAUNDRY & KITCHEN ARE TO HAVE INDIVIDUAL DUCTED MECHANICAL
VENTILATION WITH MANUAL ON/OFF SWITCH DUCTED TO ROOF OR FACADE.

ALL FRIDGE SPACES TO BE WELL VENTILATED.

ARTIFICIAL LIGHTING
THE PRIMARY TYPE OF LIGHTING TO BE LED OR FLUORESCENT TO ALL ALL AREAS.

WINDOWS & SKYLIGHTS
WINDOWS TO BE ALUMINIUM FRAMED WITH A Uw VALUE 3.6/5.4 & SHGCw 0.47/0.58.
IN ACCORDANCE WITH BASIX/NatHERS CERTIFICATE.

NATURAL LIGHTING OR SKYLIGHTS TO AT LEAST 4 BATHROOMS.

SKYLIGHTS IF REQUIRED TO BE ALUMINIUM FRAMED DOUBLE GLAZED LOW E ARGON FILLED
WITH A Uw VALUE 2.7 & SHGCw 0.24 IN ACCORDANCE WITH BASIX/NatHERS CERTIFICATE

ALTERNATIVE ENERGY
DEVELOPMENT MUST INCLUDE A PHOTOVOLTAIC SYSTEM WITH THE CAPACITY TO
GENERATE 1.0KW OF ELECTRICITY INSTALLED AT AN ANGLE OF BETWEEN 0-10 DEG
FACING NORTH EAST.

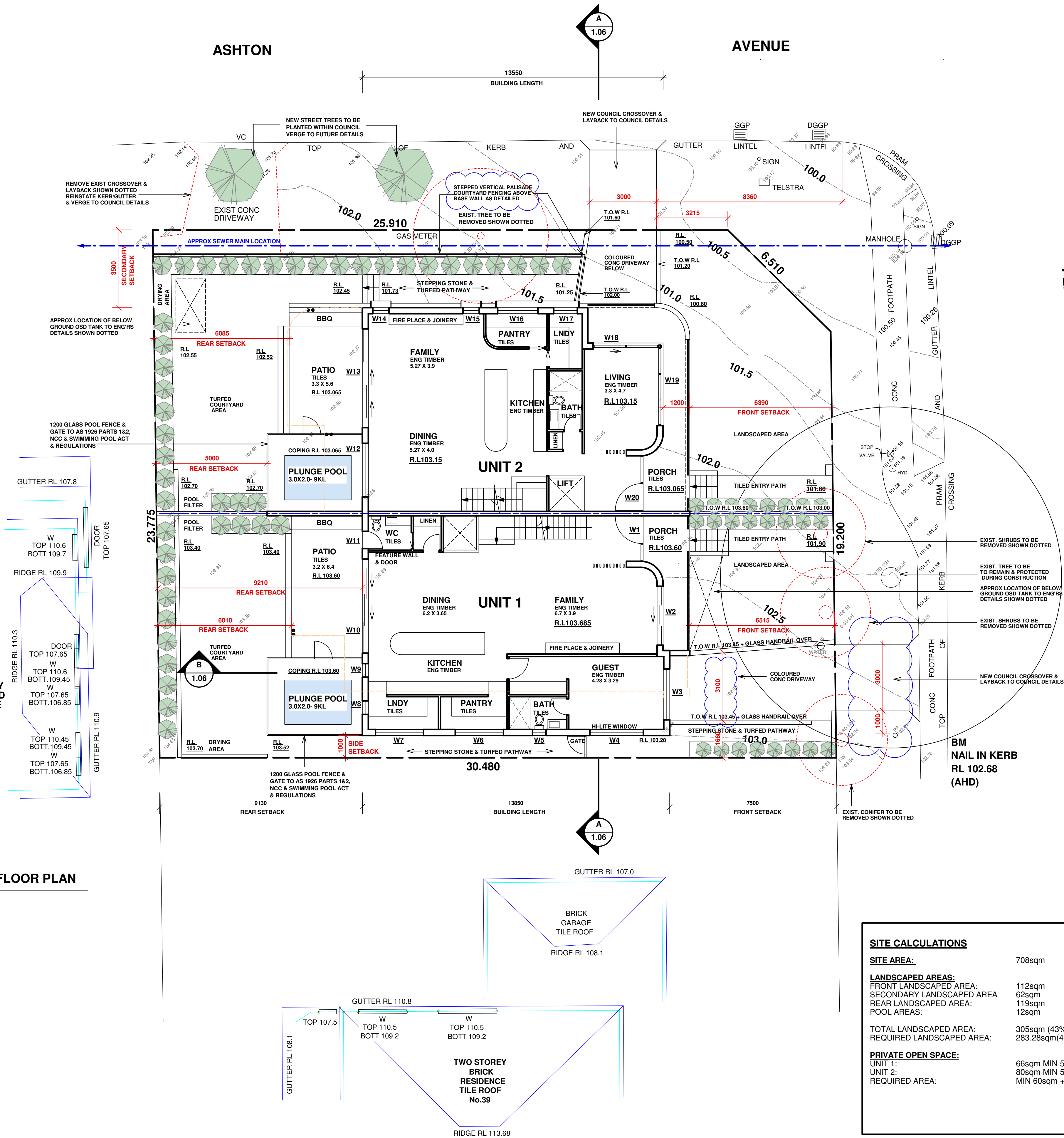
CLOTHES DRYING AREA
TOUT DOOR CLOTHES DRYING AREA TO BE INSTALLED TO LOCATION AS DIRECTED
ON SITE.

 northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2025/0037

GROUND FLOOR PLAN
Scale: 1:100



SITE CALCULATIONS

| | |
|----------------------------|----------------------------|
| SITE AREA: | 708sqm |
| LANDSCAPED AREAS: | |
| FRONT LANDSCAPED AREA: | 112sqm |
| SECONDARY LANDSCAPED AREA: | 62sqm |
| REAR LANDSCAPED AREA: | 119sqm |
| POOL AREAS: | 12sqm |
| TOTAL LANDSCAPED AREA: | 305sqm (43% x SITE AREA) |
| REQUIRED LANDSCAPED AREA: | 283.28sqm(40% x SITE AREA) |
| PRIVATE OPEN SPACE: | |
| UNIT 1: | 66sqm MIN 5M |
| UNIT 2: | 80sqm MIN 5M |
| REQUIRED AREA: | MIN 60sqm + MIN 5M |

| | | |
|----------|-----|--------------------|
| 04/03/25 | B | AMENDED AS CLOUDED |
| 04/12/24 | A | DA ISSUE |
| 14/11/24 | - | CONSULTANT ISSUE |
| DATE | REV | AMENDMENTS |

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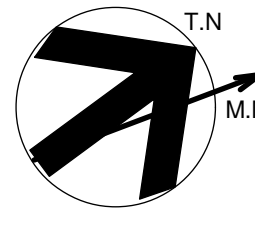
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APPLICATION PREPARED BY: MARK MAKHOUL

BDT

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PO Box 705 Kings Langley NSW 2147
Ph: 02 9667 0614 Mob: 0412 100 759
E-mail: mark@build-design.com.au

| | | | |
|----------------|--|-----------|---------|
| PROJECT : | PROPOSED DUPLEX LOCATED AT 41 FERGUSON ST FORESTVILLE | | |
| TITLE: | GROUND FLOOR PLAN | | |
| SCALE: | 1:100 @ A1 | DRAWN : | MM |
| PROJECT DATE : | OCT 2024 | CHECKED : | REV : B |
| PROJECT No. | 202426 | DWG No. | DA 1.02 |



T.N
M.M

BASIX INCLUSIONS SUMMARY CERT- 1776049M:
NatHERS CERT: U1- 0011596459 & U2- 0011596491

HOT WATER UNIT
ELECTRIC BOOSTED SOLAR HOT WATER UNIT TO BEST LOCATION BY OTHERS WITH 15 STCs CREDITS.

WATER SAVING FITTINGS
4 STAR (4.5-6L/M) SHOWER HEAD & WATER SAVING FITTINGS ARE TO BE INSTALLED
TO ALL KITCHEN & BASIN TAPS. DUAL FLUSH 4 STAR TOILETS ARE ALSO TO BE INSTALLED.

INSULATION- WALLS
R2.5 XPS FOIL BOARD TO EXTERNAL LOWER GROUND CONC WALLS.
10mm FOILBOARD INSULATION TO EXTERNAL CAVITY BRICK WALLS TO GROUND FLOOR.
R2.5 BULK INSULATION TO STUD WALL WITH FC CLADDING WITH FOIL SARKING.
R2.5 TO STUD WALL WITH TIMBER CLADDING WITH FOIL SARKING.
R2.5 XPS FOIL BOARD TO INTERNAL WALLS TO GARAGE FOYER.

INSULATION- FLOORS
R3.0 XPS FOIL BOARD TO EXPOSED OUTDOOR SLAB WITH AIR BELOW.

INSULATION- ROOF/CEILINGS
R1.5 ANTICON FOIL BACKET BLANKET TO UNDER METAL ROOFING.
R3.0 BATT INSULATION TO CEILINGS BELOW COLORBOND ROOF.
R3.0 XPS FOIL BOARD TO CONC ROOF AREA.

EXTERNAL WALLS/ROOFING- SOLAR ABSORPTANCE
LOWER GROUND FLOOR CONC WALLS- SOLAR ABSORPTANCE MEDIUM 0.475-0.7
GROUND FLOOR WALLS- SOLAR ABSORPTANCE LIGHT 0.475
FIRST FLOOR FC CLADDING WALLS- SOLAR ABSORPTANCE DARK 0.70

COLORBOND ROOFING & CONC SLAB - SOLAR ABSORPTANCE LIGHT <0.475-0.70

HEATING & COOLING
1 PHASE DUCTED A/C WITH A 4 STAR RATING FOR COOLING & HEATING WITH
ZONING TO LIVING & BEDROOM AREAS.

RAINWATER TANK
NEW 1,500L RAINWATER TANK TO EACH UNIT IS TO BE INSTALLED & CONNECTED TO LAUNDRY TAPS,
LANDSCAPED AREA & ONE OUTDOOR TAP WITHIN 10M OF POOL FOR BOTH UNITS.
A MIN 68sqm OF EACH ROOF AREA IS TO BE COLLECTED.

OVERFLOW IS TO BE CONNECTED TO DRAINAGE SYSTEM.

POOL
MAX 9 KL OUTDOOR POOL WITH A TIMER INSTALLED TO THE 4 STAR POOL PUMP. THE POOL MUST
HAVE A COVER & LOCATED OUTDOORS. ELECTRIC HEAT PUMP HEATING IS TO BE INSTALLED TO EACH POOL.

KITCHEN APPLIANCES
INDUCTION COOKTOP WITH ELECTRIC OVEN TO BE INSTALLED IN KITCHEN.

VENTILATION
ALL BATHROOMS, ENSUITES, LAUNDRY & KITCHEN ARE TO HAVE INDIVIDUAL DUCTED MECHANICAL
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ALL FRIDGE SPACES TO BE WELL VENTILATED.

ARTIFICIAL LIGHTING
THE PRIMARY TYPE OF LIGHTING TO BE LED OR FLUORESCENT TO ALL ALL AREAS.

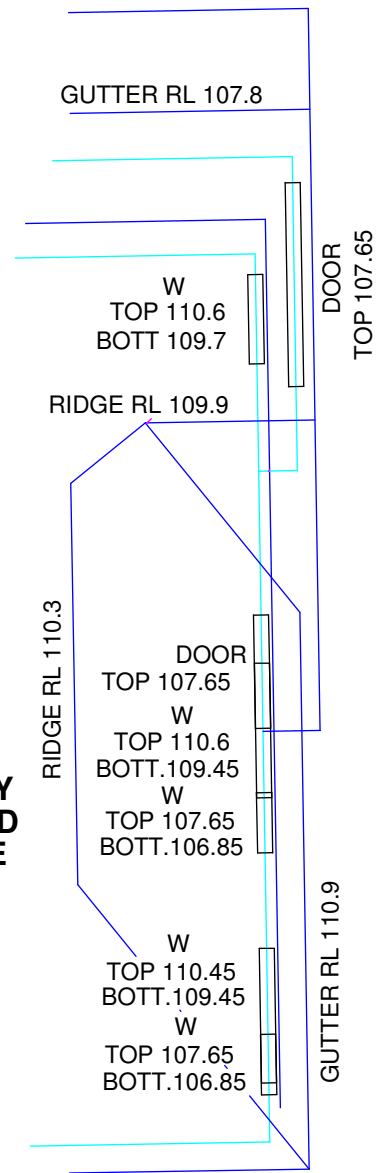
WINDOWS & SKYLIGHTS
WINDOWS TO BE ALUMINIUM FRAMED WITH A Uw VALUE 3.6/5.4 & SHGw 0.47/0.58.
IN ACCORDANCE WITH BASIX/NatHERS CERTIFICATE.

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FACING NORTH EAST.

CLOTHES DRYING AREA
1 OUT DOOR CLOTHES DRYING AREA TO BE INSTALLED TO TO LOCATION AS DIRECTED
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NatHERS CERT: U1- 0011596459 & U2- 0011596491

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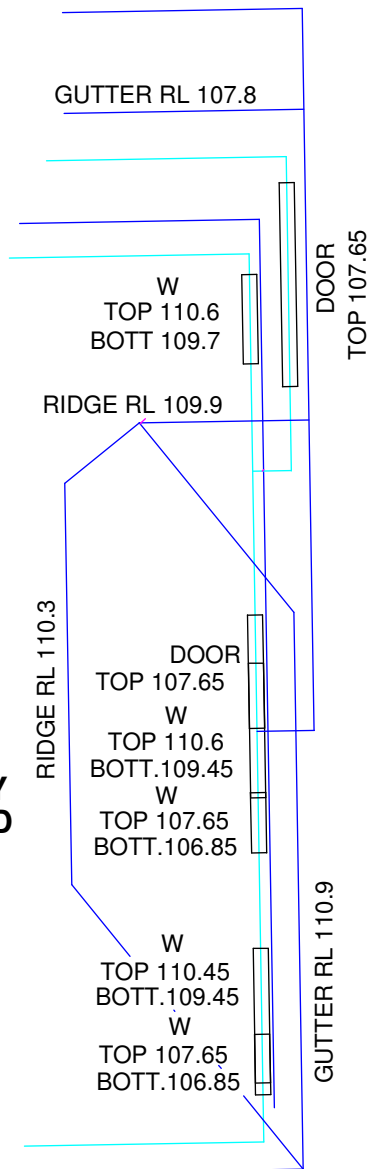
CLOTHES DRYING AREA
1 OUT DOOR CLOTHES DRYING AREA TO BE INSTALLED TO TO LOCATION AS DIRECTED
ON SITE.



**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2025/0037

**TWO STOREY
BRICK & CLAD
RESIDENCE
TILE ROOF
No.2**



FIRST FLOOR PLAN

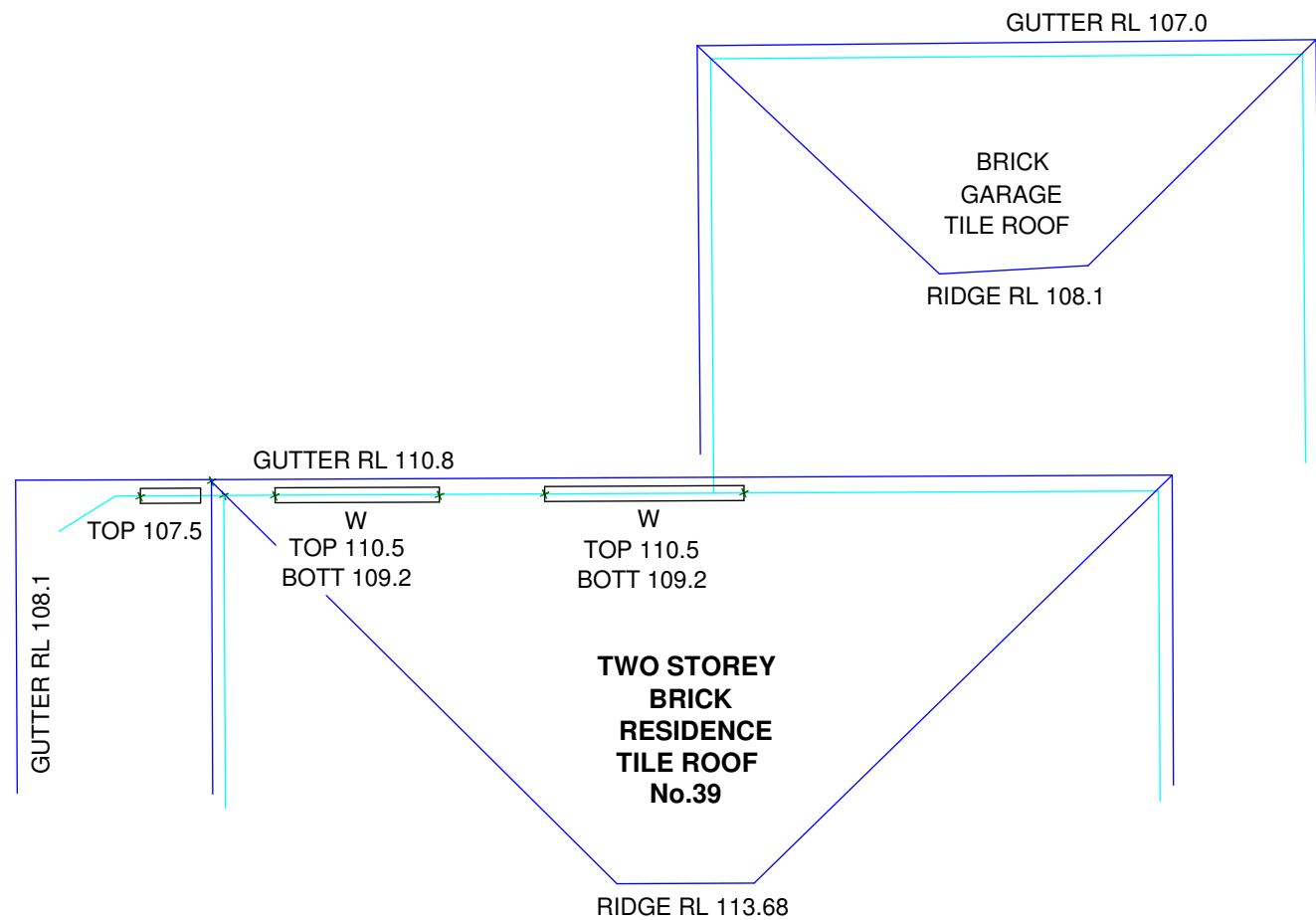
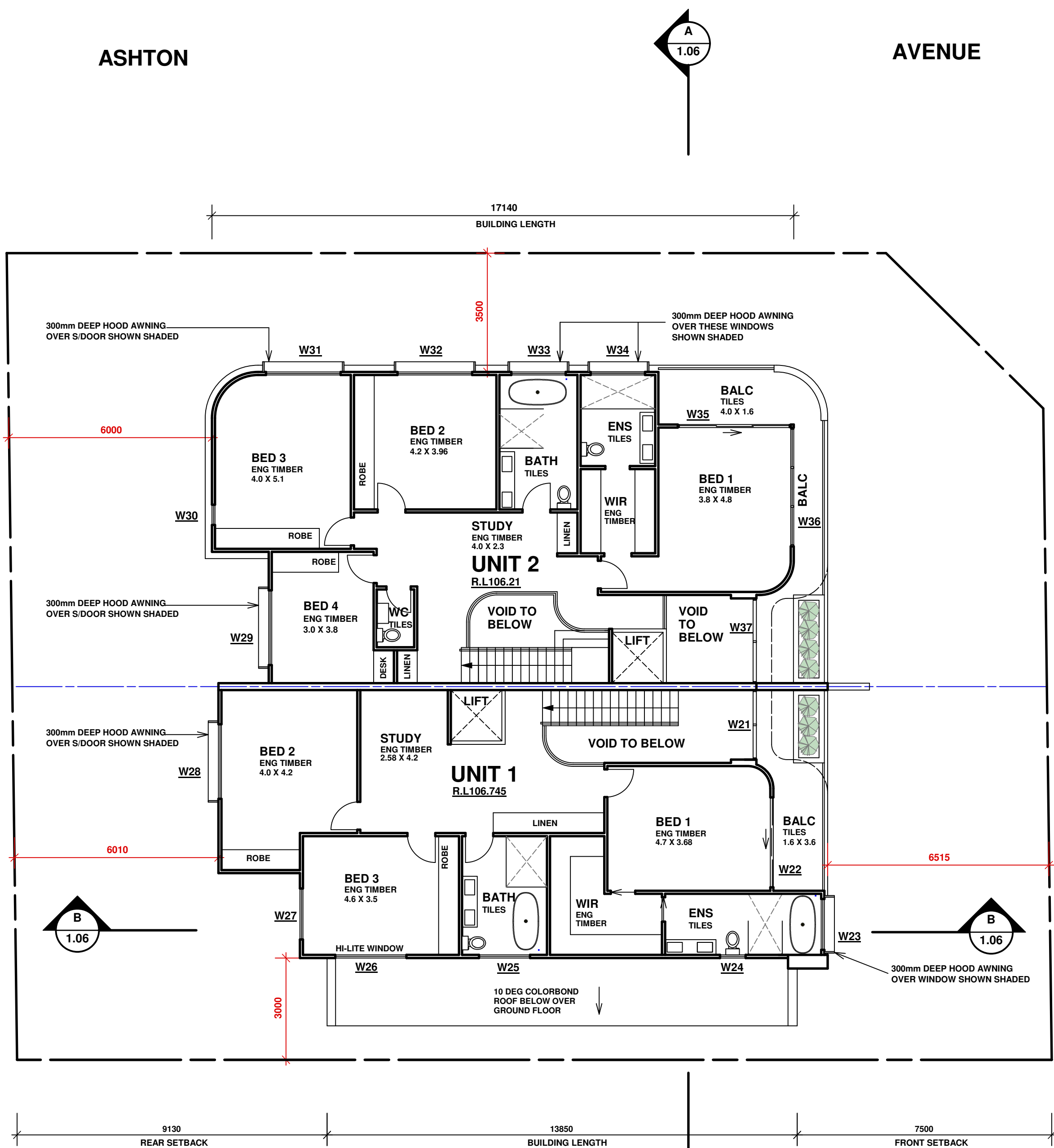
Scale: 1:100

ASHTON

AVENUE

FERGUSON

STREET



| DATE | REV | AMENDMENTS |
|----------|-----|------------------|
| 04/12/24 | A | DA ISSUE |
| 14/11/24 | - | CONSULTANT ISSUE |

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BUILDING DESIGN & TECHNOLOGY Pty Ltd
APPLICATION PREPARED BY: MARK MAKHOUL
Shop 2, 15 Bransgrove St Wentworthville 2145,
PO Box 705 Kings Langley NSW 2147
Ph: 02 9667 0814 Mob: 0412 100 759
E-mail: mark@build-design.com.au

PROJECT : **PROPOSED DUPLEX LOCATED AT
41 FERGUSON ST FORESTVILLE**

TITLE: **FIRST FLOOR PLAN**

SCALE: 1:100 @ A1

DRAWN: MM

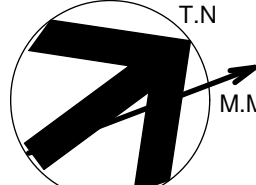
PROJECT DATE : OCT 2024

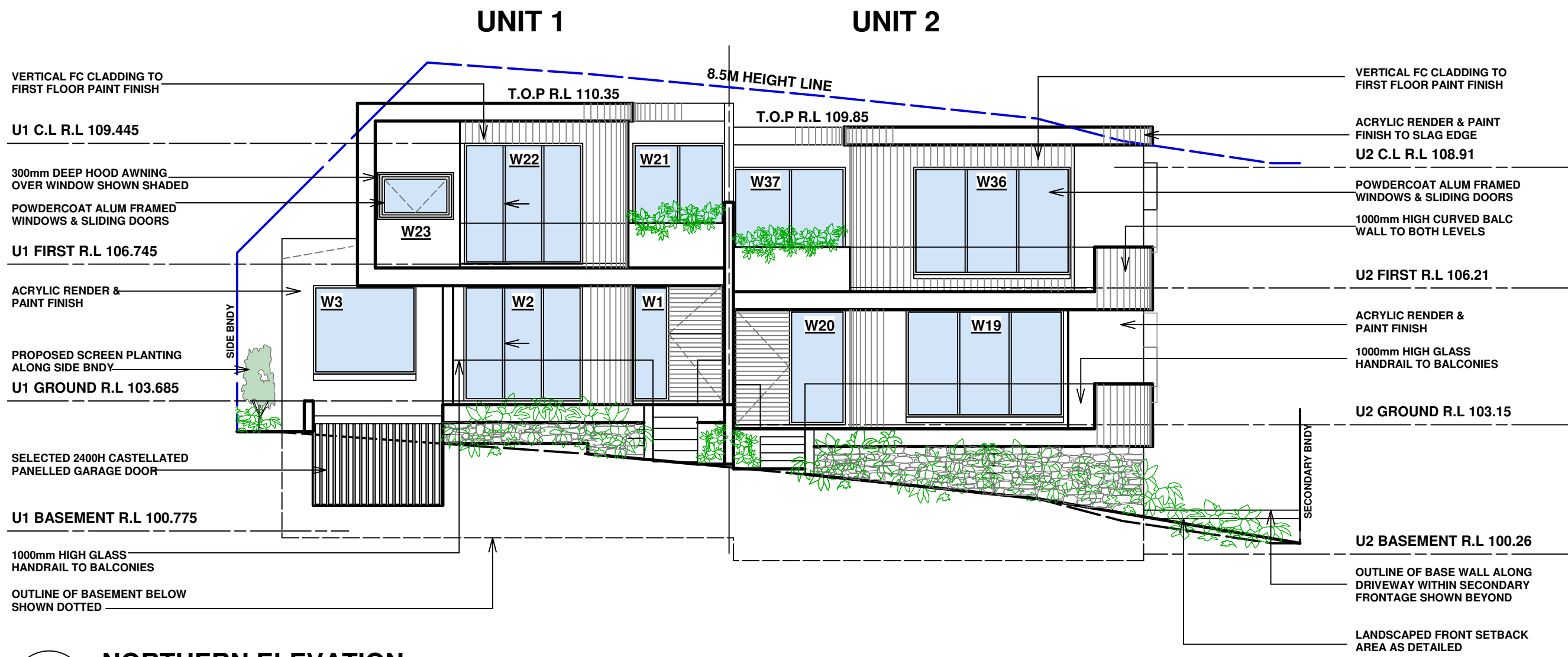
CHECKED :

REV : A

PROJECT No. 202426

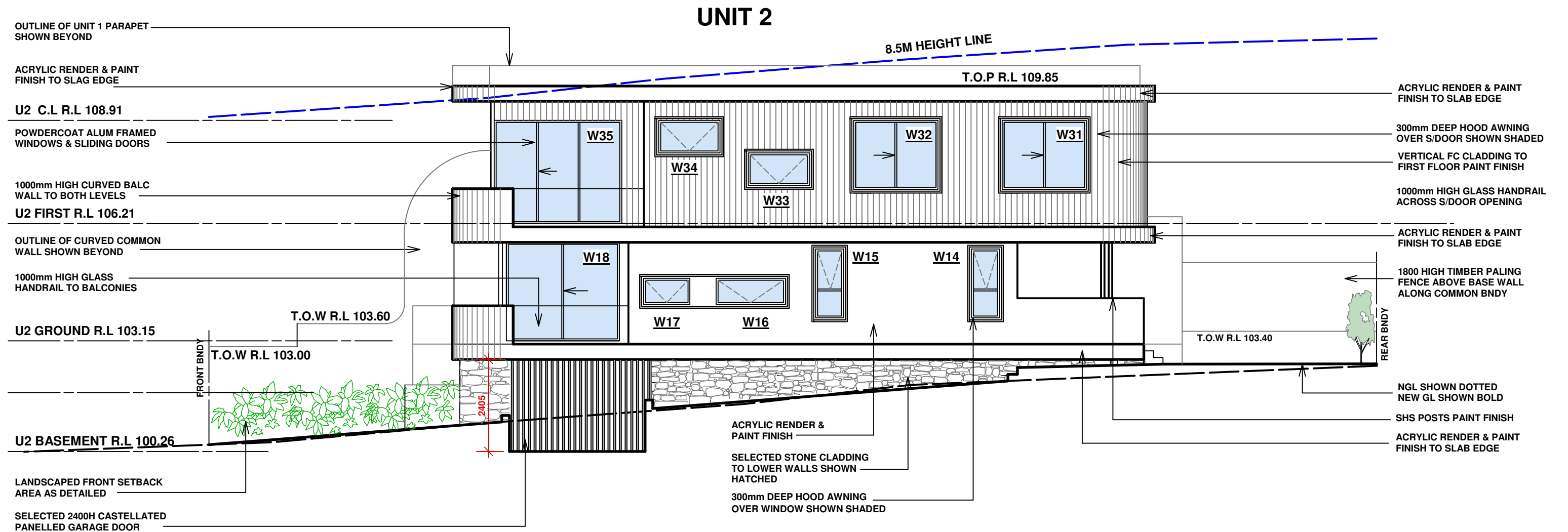
DWG No. DA 1.03





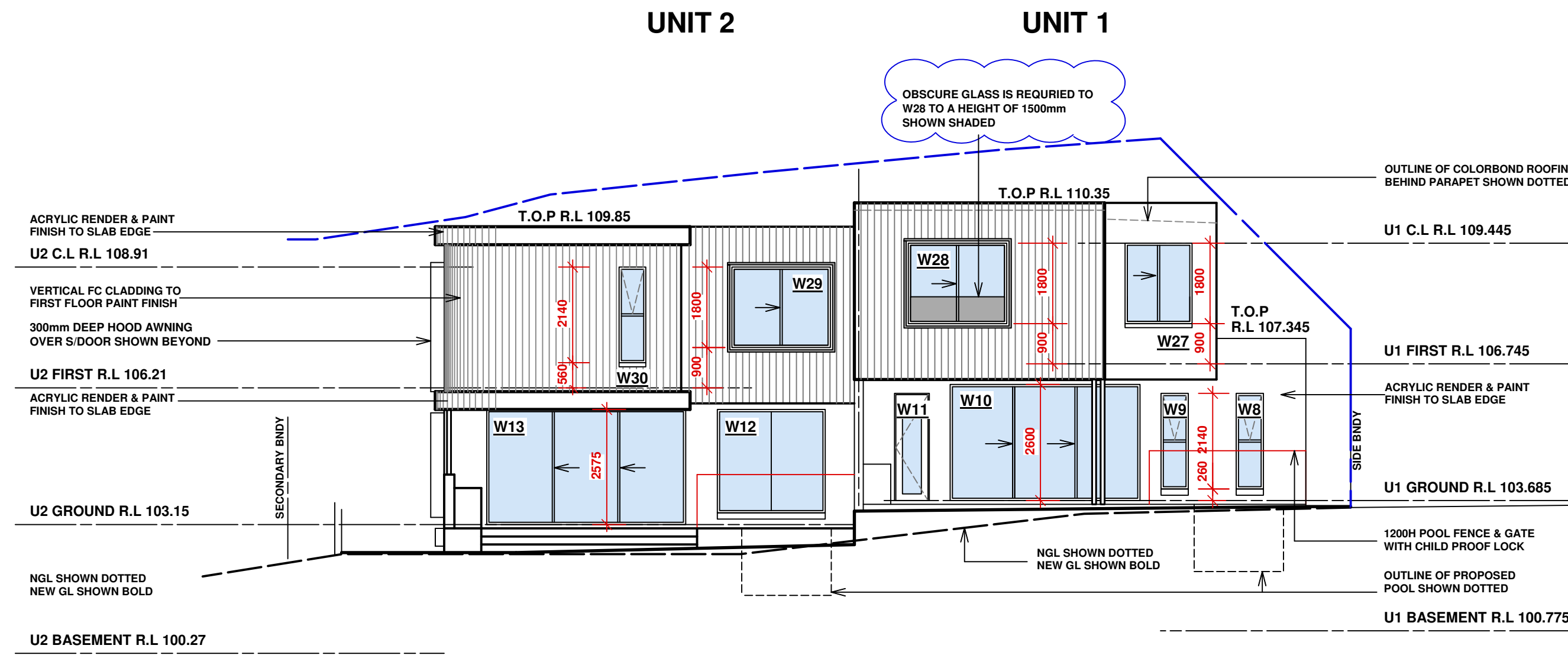
NORTHERN ELEVATION

Scale: 1:100



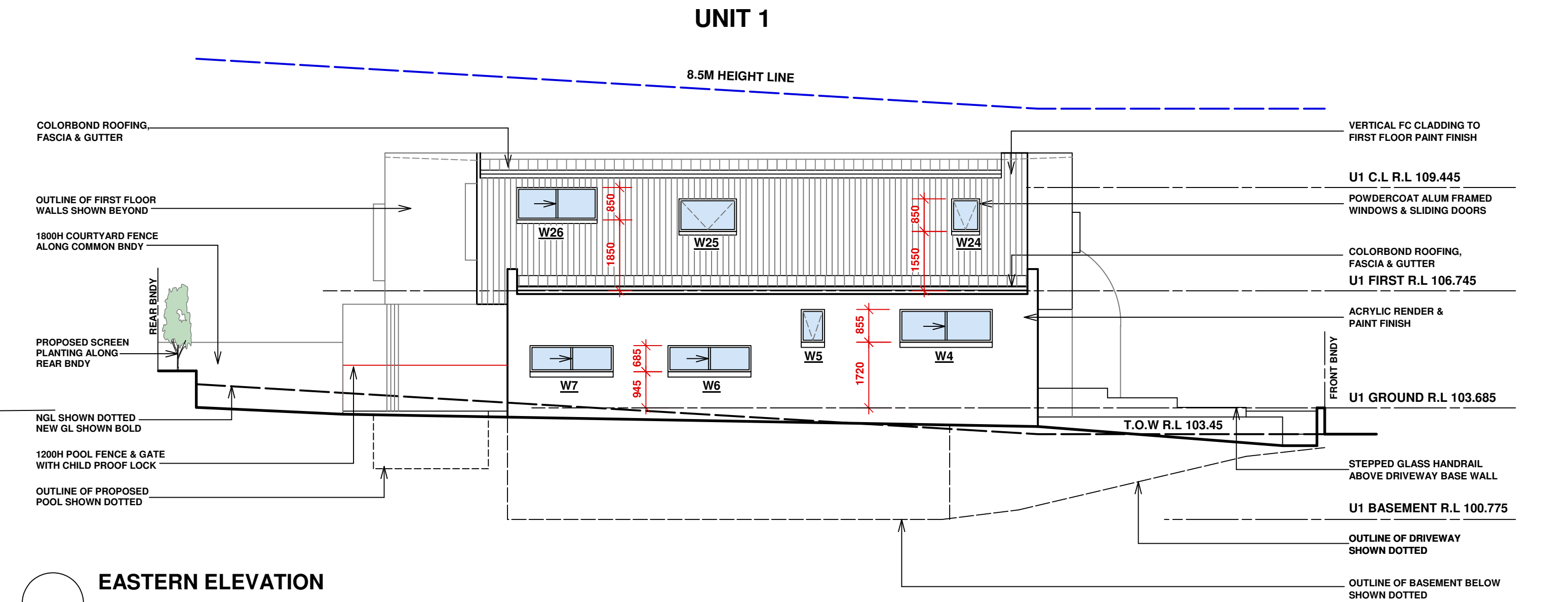
WESTERN ELEVATION

Scale: 1:100



SOUTHERN ELEVATION

Scale: 1:100



EASTERN ELEVATION

Scale: 1:100

| WINDOW SCHEDULE | | | | | TYPE |
|-----------------|-------|--------|-------|--|---------------------------------------|
| WINDOW NO | WIDTH | HEIGHT | TOTAL | | |
| 1 | 800 | 2575 | 1 | | GLAZED SIDELIGHT TO TIMBER ENTRY DOOR |
| 2 | 2650 | 2575 | 1 | | ALUM FRAMED SLIDING DOOR |
| 3 | 2290 | 1975 | 1 | | ALUM FRAMED FIXED WINDOW |
| 4 | 2400 | 850 | 1 | | ALUM FRAMED SLIDING WINDOW |
| 5 | 610 | 850 | 1 | | ALUM FRAMED AWNING WINDOW |
| 6 | 2170 | 685 | 1 | | ALUM FRAMED SLIDING WINDOW |
| 7 | 2170 | 685 | 1 | | ALUM FRAMED SLIDING WINDOW |
| 8 | 610 | 2140 | 1 | | ALUM FRAMED AWNING WINDOW |
| 9 | 610 | 2140 | 1 | | ALUM FRAMED AWNING WINDOW |
| 10 | 4250 | 2600 | 1 | | ALUM FRAMED SLIDING DOOR |
| 11 | 720 | 2400 | 1 | | TIMBER FRAMED GLAZED DOOR |
| 12 | 2410 | 2315 | 1 | | ALUM FRAMED FIXED WINDOW |
| 13 | 4450 | 2575 | 1 | | ALUM FRAMED SLIDING DOOR |
| 14 | 730 | 1800 | 1 | | ALUM FRAMED AWNING WINDOW |
| 15 | 730 | 1800 | 1 | | ALUM FRAMED AWNING WINDOW |
| 16 | 1810 | 685 | 1 | | ALUM FRAMED AWNING WINDOW |
| 17 | 1210 | 685 | 1 | | ALUM FRAMED AWNING WINDOW |
| 18 | 2950 | 2575 | 1 | | ALUM FRAMED SLIDING DOOR |
| 19 | 3520 | 2400 | 1 | | ALUM FRAMED FIXED WINDOW |
| 20 | 1225 | 2575 | 1 | | GLAZED SIDELIGHT TO TIMBER ENTRY DOOR |
| 21 | 2050 | 2400 | 1 | | ALUM FRAMED FIXED WINDOW |
| 22 | 2650 | 2700 | 1 | | ALUM FRAMED SLIDING DOOR |
| 23 | 1500 | 850 | 1 | | ALUM FRAMED AWNING WINDOW |
| 24 | 730 | 850 | 1 | | ALUM FRAMED AWNING WINDOW |
| 25 | 1500 | 850 | 1 | | ALUM FRAMED AWNING WINDOW |
| 26 | 2100 | 850 | 1 | | ALUM FRAMED AWNING WINDOW |
| 27 | 1500 | 1800 | 1 | | ALUM FRAMED SLIDING WINDOW |
| 28 | 2200 | 1800 | 1 | | ALUM FRAMED SLIDING DOOR |
| 29 | 2200 | 1800 | 1 | | ALUM FRAMED AWNING WINDOW |
| 30 | 600 | 2140 | 1 | | ALUM FRAMED AWNING WINDOW |
| 31 | 2200 | 1800 | 1 | | ALUM FRAMED SLIDING DOOR |
| 32 | 2200 | 1800 | 1 | | ALUM FRAMED SLIDING DOOR |
| 33 | 1600 | 850 | 1 | | ALUM FRAMED AWNING WINDOW |
| 34 | 1600 | 850 | 1 | | ALUM FRAMED AWNING WINDOW |
| 35 | 3330 | 2700 | 1 | | ALUM FRAMED SLIDING DOOR |
| 36 | 3500 | 2400 | 1 | | ALUM FRAMED FIXED WINDOW |
| 37 | 2500 | 2400 | 1 | | ALUM FRAMED FIXED WINDOW |
| TOTAL | | | 37 | | |



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

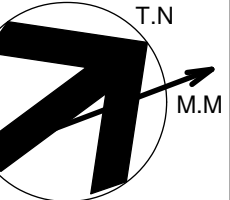
DA2025/0037

| DATE | REV | AMENDMENTS |
|----------|-----|--------------------|
| 04/03/25 | B | AMENDED AS CLOUDED |
| 04/12/24 | A | DA ISSUE |
| 14/11/24 | - | CONSULTANT ISSUE |

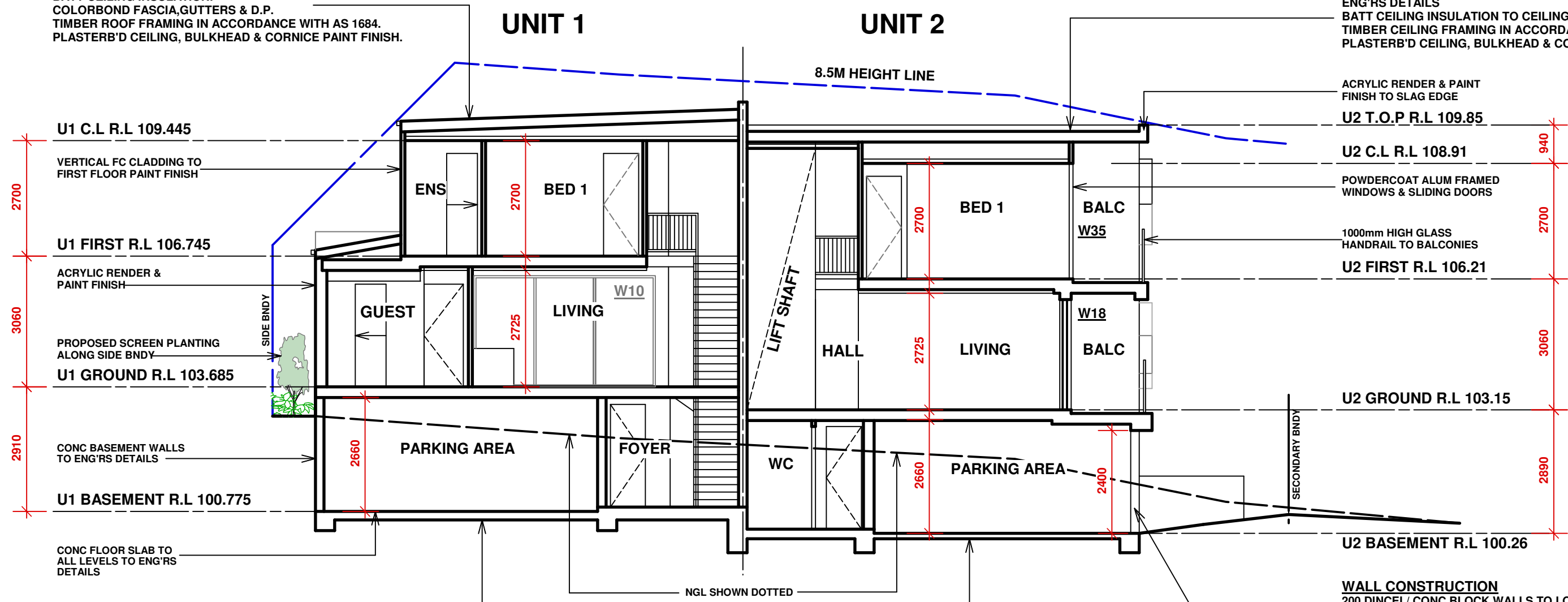
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4. THE DESIGNER'S DETAILS CONTAINED ON THIS DRAWING ARE SUPPLIED IN CONFIDENCE & ARE NOT TO BE USED FOR ANY OTHER PURPOSE EXCEPT THAT AUTHORIZED BY C. COPYRIGHT BUILDING DESIGN & TECHNOLOGY.

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| | | | |
|----------------|---|-----------|---------|
| PROJECT : | PROPOSED DUPLEX LOCATED AT 41 FERGUSON ST FORESTVILLE | | |
| TITLE: | ELEVATIONS 1 | | |
| SCALE : | 1:100 @ A1 | DRAWN : | MM |
| PROJECT DATE : | OCT 2024 | CHECKED : | REV : B |
| PROJECT No. | 202426 | DWG No. | DA 1.05 |



ROOF CONSTRUCTION
COLORBOND METAL ROOFING - PITCH AS NOTED.
BLANKET BACKED FOIL SARKING TO U/S ROOFING.
BATT CEILING INSULATION.
COLORBOND FASCIA, GUTTERS & D.P.
TIMBER ROOF FRAMING IN ACCORDANCE WITH AS 1684.
PLASTERB'D CEILING, BULKHEAD & CORNICE PAINT FINISH.



ROOF CONSTRUCTION
CONC SLAB ROOF WITH FALL TO FLOOR WASTES TO
ENGR'S DETAILS.
BATT CEILING INSULATION TO CEILINGS.
TIMBER CEILING FRAMING IN ACCORDANCE WITH AS 1684.
PLASTERB'D CEILING, BULKHEAD & CORNICE PAINT FINISH.

ACRYLIC RENDER & PAINT
FINISH TO SLAG EDGE
U2 T.O.P R.L. 109.85
U2 C.L.R.L. 108.91
POWDERCOAT ALUM FRAMED
WINDOWS & SLIDING DOORS
1000mm HIGH GLASS
HANDRAIL TO BALCONIES
U2 FIRST R.L. 106.21

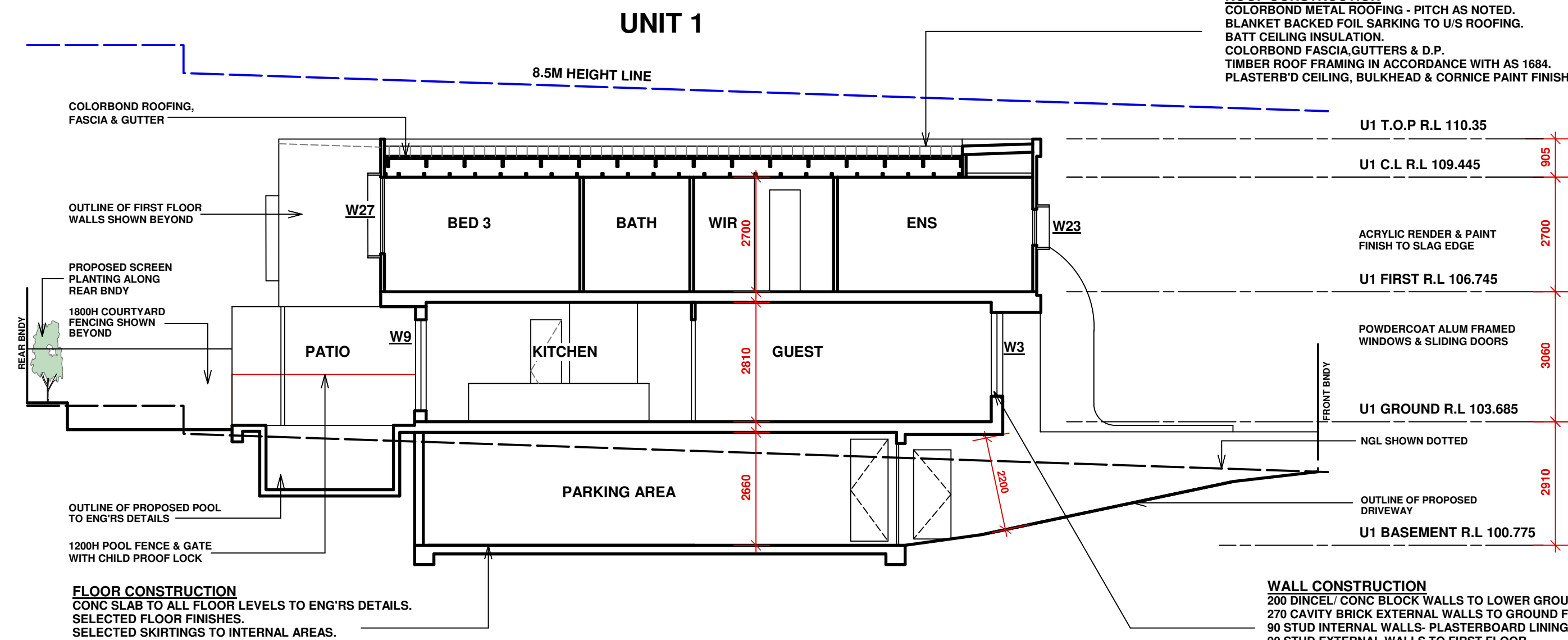
WALL CONSTRUCTION
200 DINCEL/ CONC BLOCK WALLS TO LOWER GROUND FLOOR.
270 CAVITY BRICK EXTERNAL WALLS TO GROUND FLOOR.
90 STUD INTERNAL WALLS- PLASTERBOARD LINING..
90 STUD EXTERNAL WALLS TO FIRST FLOOR.
SELECTED EXTERNAL FC CLADDING TO FIRST FLOOR WALLS AS NOTED.
ALUM. FRAMED WINDOWS.

FLOOR CONSTRUCTION
CONC SLAB TO ALL FLOOR LEVELS TO ENGR'S DETAILS.
SELECTED FLOOR FINISHES.
SELECTED SKIRTINGS TO INTERNAL AREAS.

SECTION AA

Scale: 1:100

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT
DA2025/0037



ROOF CONSTRUCTION
COLORBOND METAL ROOFING - PITCH AS NOTED.
BLANKET BACKED FOIL SARKING TO U/S ROOFING.
BATT CEILING INSULATION.
COLORBOND FASCIA, GUTTERS & D.P.
TIMBER ROOF FRAMING IN ACCORDANCE WITH AS 1684.
PLASTERB'D CEILING, BULKHEAD & CORNICE PAINT FINISH.

WALL CONSTRUCTION
200 DINCEL/ CONC BLOCK WALLS TO LOWER GROUND FLOOR.
270 CAVITY BRICK EXTERNAL WALLS TO GROUND FLOOR.
90 STUD INTERNAL WALLS- PLASTERBOARD LINING..
90 STUD EXTERNAL WALLS TO FIRST FLOOR.
SELECTED EXTERNAL FC CLADDING TO FIRST FLOOR WALLS AS NOTED.
ALUM. FRAMED WINDOWS.

FLOOR CONSTRUCTION
CONC SLAB TO ALL FLOOR LEVELS TO ENGR'S DETAILS.
SELECTED FLOOR FINISHES.
SELECTED SKIRTINGS TO INTERNAL AREAS.

SECTION BB

Scale: 1:100

FINISHES & COLOUR SCHEDULE

MAIN EXTERNAL FACADE = ACRYLIC RENDER & PAINT FINISH DULUX SHALE GREY

ALTERNATIVE OPTION- FACE BRICK = PGH LIFESTYLE NATURALS FROST - OR
SIMILAR

EXPOSED SLAB EDGE/ PARAPET = ACRYLIC RENDER & PAINT FINISH DULUX
NATURAL WHITE

SELECTED STONE CLADDING TO FRONT FACADE WALL

COLORBOND ROOFING = COLORBOND BASALT

COLORBOND GUTTER = COLORBOND BASALT

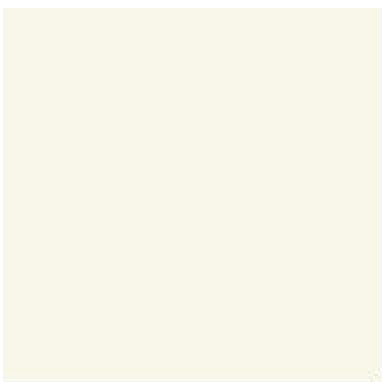
COLORBOND FASCIA = COLORBOND BASALT

EAVES LINING PAINT FINISH = DULUX NATURAL WHITE OR SIMILAR

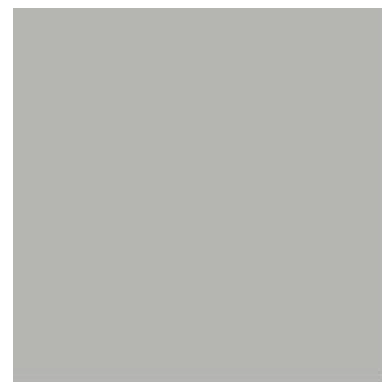
PAINTED POSTS = COLORBOND MONUMENT

ALUM FRAMED WINDOWS = COLORBOND MONUMENT

GARAGE DOOR= B&D CASTELLATED 35 VERTICAL FACADE IN BLACK



DULUX NATURAL WHITE



COLORBOND SHALE GREY



COLORBOND BASALT



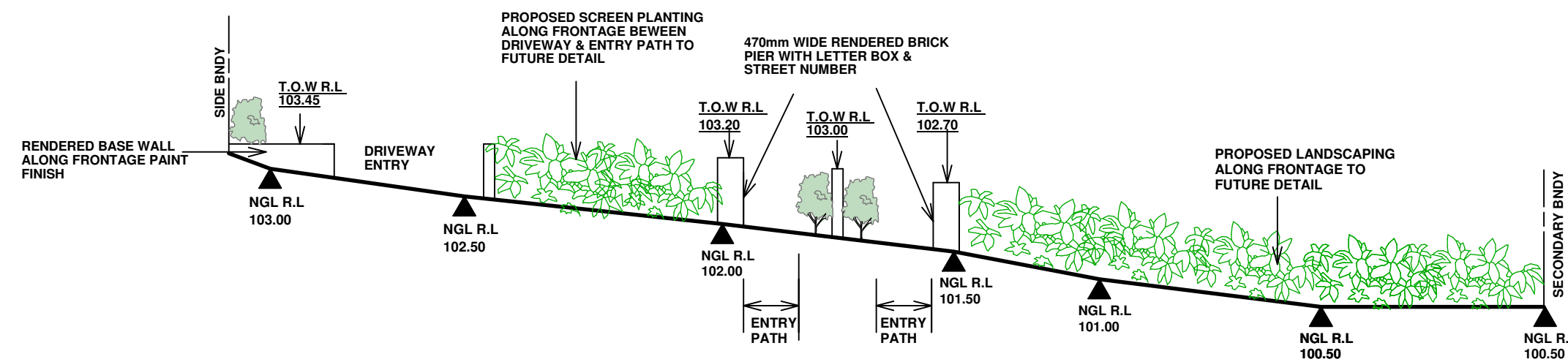
STONE CLADDING



COLORBOND MONUMENT

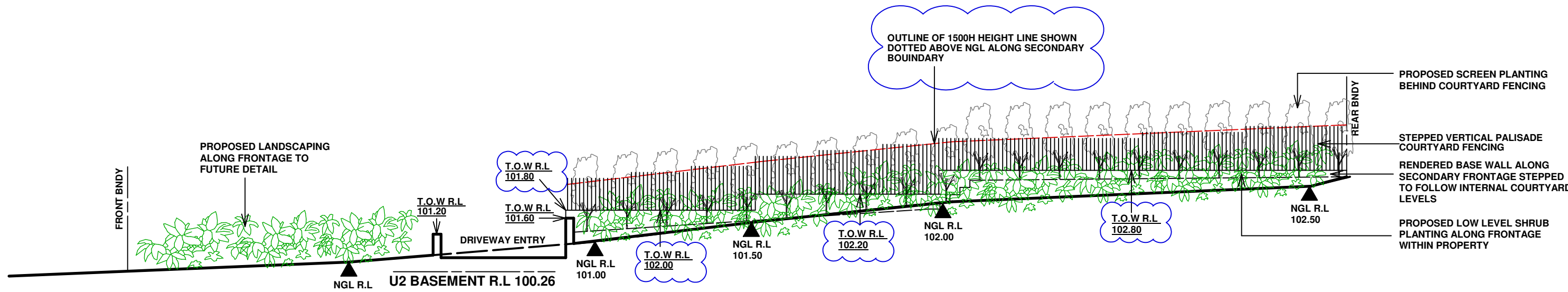


B&D CASTELLATED 35 VERTICAL CLADDING TO
GARAGE FACADE OR SIMILAR



MAIN FRONTAGE FENCE ELEVATION

Scale: 1:100



SECONDARY FRONTAGE FENCE ELEVATION

Scale: 1:100

| DATE | REV | AMENDMENTS |
|----------|-----|--------------------|
| 04/03/25 | B | AMENDED AS CLOUDED |
| 04/12/24 | A | DA ISSUE |

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PO Box 705 Kings Langley NSW 2147
Ph: 02 9687 0834 Mob: 0412 100 750
E-mail: mark@bdt-build-design.com.au

PROJECT : PROPOSED DUPLEX LOCATED AT
41 FERGUSON ST FORESTVILLE
TITLE: SECTIONS AA/BB, COLOUR SCHEDULE & FENCE ELEVATIONS
SCALE: 1:100 @ A1 DRAWN: MM
PROJECT DATE: OCT 2024 CHECKED: REV: B
PROJECT No. 202426 DWG No. DA 1.06

