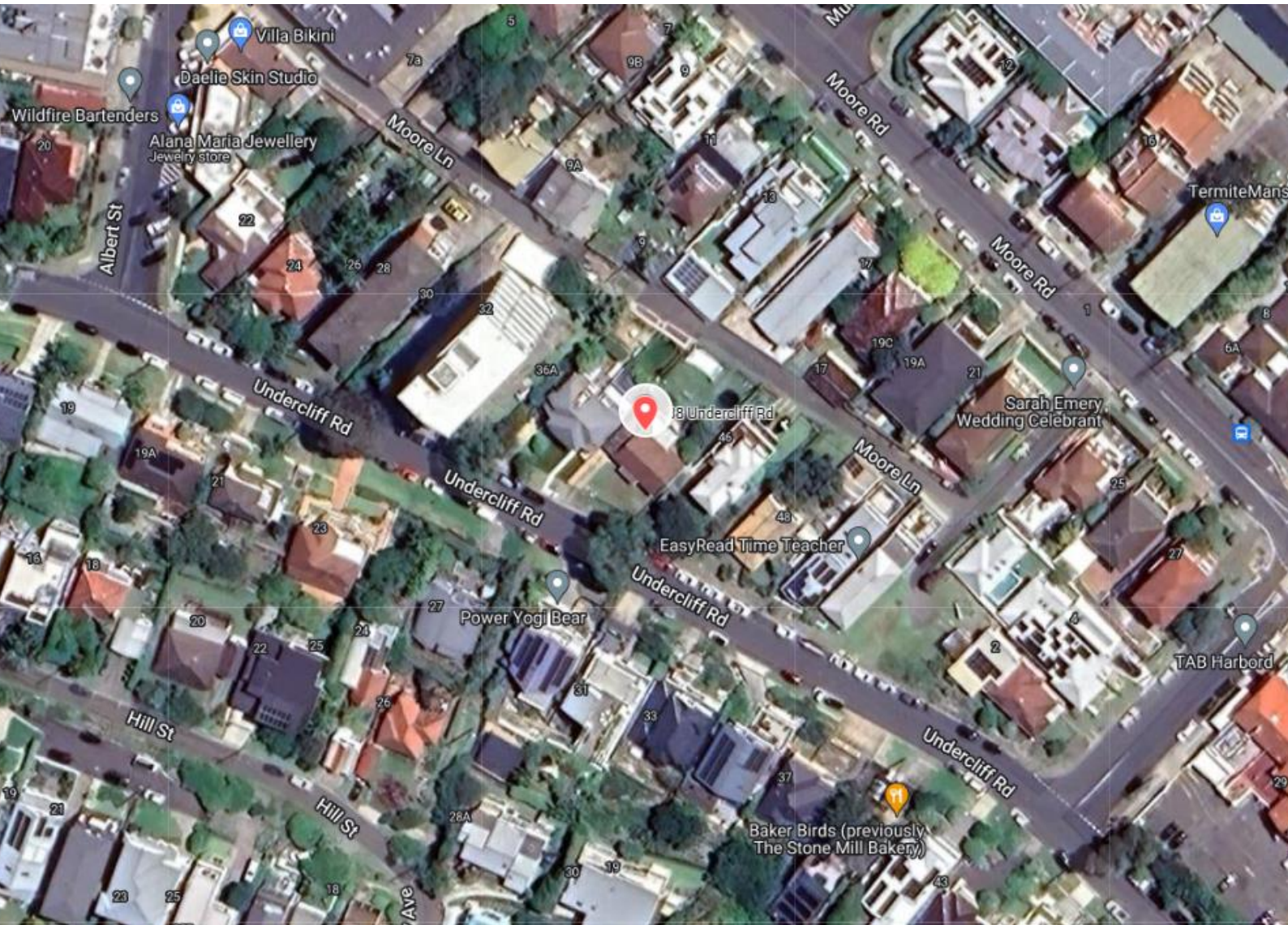




IGS INTEGRATED
GROUP
SERVICES



38 Undercliff Rd, Freshwater NSW

BASIX Assessment Report

18th December 2024



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1. EXECUTIVE SUMMARY

IGS has been commissioned to assess the interaction of the residential area of the proposed development at 38 Undercliff Rd, Freshwater NSW, with the local environment in terms of BASIX compliance.

A BASIX Certificate is a regulatory requirement and demonstrates compliance with the NSW Government's sustainability targets. BASIX assessment and certification has been completed for this project (Certificate No 1768406M_02).

Dwellings within the development have been assessed in terms of their passive energy design using the BASIX Thermal Comfort protocol. They have also been assessed in terms of their ability to conserve water and also to minimise energy consumption via appliances and hot water etc.

With the recommendations provided in the BASIX certificate, the development meets and exceeds the minimum requirements for all the following areas.

- Water Efficiency
- Energy Efficiency
- Thermal Comfort

This development achieves the following targets:

- Water Efficiency: 44% reduction (minimum requirements under BASIX: 40%)
- Energy Efficiency: 78% reduction (minimum requirements under BASIX: 72%)
- Thermal Comfort: Will pass the minimum thermal performance requirements under BASIX.

2. INTRODUCTION

BASIX is an NSW State Planning Policy Tool which assesses the environmental performance of new residential premises against a range water, energy and greenhouse gas emissions targets. The assessment has three core components, BASIX Thermal Comfort, BASIX Water and BASIX Energy.

The thermal comfort assessment requires that the thermal performance of dwellings is evaluated and measures put in place to ensure annual heating and cooling loads do not exceed pre-defined limits without compromising the occupant's thermal comfort. This assessment uses computer simulation to evaluate the estimated building fabric thermal performance and passive solar design features such as orientation and solar shading.

The energy section evaluates gas and electrical energy used for heating, cooling lighting, ventilation and appliances. The BASIX Energy target requires the development to use 72% less energy than the NSW average.

The water assessment takes account of landscaping, stormwater management as well as water efficiency performance of fixtures and fitting such as taps and showers. The BASIX target for water requires that potable water consumption is at least 40% lower than the NSW average.

Note: this report is only a guide to the BASIX certificate, for full details of BASIX requirements please refer to the BASIX certificate.

3. BUILDING DESCRIPTION

The proposed development will be located at 38 Undercliff Rd, Freshwater NSW.

3.1 Information Used in Review

Our review is based on the following architectural drawings by MHNDUNION Architects (Table 1).

Table 1. Architectural drawings list.

Drawing title	Drawing number
Site Analysis Plan	DA1001
Site, Waste Management & Roof Plan	DA1002
Demolition Plan	DA1003
Draft Strata Subdivision Plan	DA1004
Garage Plan	DA2000
Ground Floor Plan	DA2001
Level 1 Floor Plan	DA2002
Level 2 Floor Plan	DA2003
Roof Plan	DA2004
North Elevation	DA3000
South Elevation	DA3001
West Elevation	DA3002
East Elevation	DA3003
Cross Section 1	DA4000
Cross Section 2	DA4001
Cross Section 3	DA4002
Long Section A	DA4010
Long Section B	DA4011

4. BASIX WATER SECTION

The water efficiency performance of the development has been assessed using the online BASIX Tool. The assessment has considered the common area and central system features including the landscape design, plant species, water catchment areas, rain water tank size and efficiency of preferred fixtures and fittings in the dwellings.

The proposed development will meet the mandatory BASIX water target of 40% as long as the water commitments detailed in Table 2 are installed. For details of the requirements necessary to achieve this target, please refer to the BASIX Certificate No. 1768406M_02.

Table 2. Water Commitments.

Common Areas and Central Systems	
Common areas	<ul style="list-style-type: none"> No common showerhead facility. No common toilet facility. No common taps facility. No common clothes washer facility.
Private Dwellings	
Fixtures	<ul style="list-style-type: none"> 3-star (Water Rating) showerheads with a flow rate > 7.5 but ≤ 9 L/min. 4-star (Water Rating) toilets. 5-star (Water Rating) kitchen taps. 5-star (Water Rating) bathroom taps.
Pool	<ul style="list-style-type: none"> Lot 1: Outdoor swimming pool with the volume of 9.3kL, with no cover and no shading. Lot 2: Outdoor swimming pool with the volume of 8.2kL, with no cover and no shading.
Alternative water supply	<ul style="list-style-type: none"> Rainwater tank for each house, with capacity of minimum 2,500L (minimum), collecting run-off from minimum 115m² of roof area, with 10m² planter box area, connected to private landscape, Laundry and swimming pools.

5. BASIX THERMAL COMFORT SECTION

The preliminary thermal performance of the development has been evaluated using FirstRate5 software; this computer simulation of residential developments is used to assess the potential of a residential development to have low heating and cooling energy requirements once operational.

5.1 Modelling Assumptions

FirstRate5 software calculates the transient hourly heat gains and losses for each space inside a building taking into account the building's thermal storage, typical residential occupancy and operational profiles plus hourly weather data for the site.

Building geometry and orientation were modelled according to supplied drawings.

The "base-case" building fabric and estimated glazing and thermal performance requirements are described in Table 3 below. Please note the estimated requirements below are based on the nominated construction materials by the architect.

Table 3. Building Fabric Requirements.

Element	Insulation/glazing
External walls	Minimum added R2.2 insulation.
Internal walls	Party walls between units: <ul style="list-style-type: none"> • Minimum added R1.0 insulation. Any other Walls: <ul style="list-style-type: none"> • Stud, plasterboard with no added insulation.
Floor	Where unconditioned area below: <ul style="list-style-type: none"> • Suspended Concrete Slab Floor with minimum added R2.0 thermal insulation. All other Units: <ul style="list-style-type: none"> • Concrete Slab with no added insulation.
Ceiling	Where unconditioned area above: <ul style="list-style-type: none"> • Concrete slab with added R4.0 thermal insulation.
Roof	Concrete with no added insulation (ceiling insulation).
Ceiling Penetration	<ul style="list-style-type: none"> • Sealed LED downlights and exhaust fans. • 1200mm diameter ceiling fan for living area and bedrooms.
Glazing	Maximum total system U-Value of 3.1 and SHGC of 0.27 \pm 5%.
Skylight	Maximum total system U-Value of 4.22 and SHGC of 0.72 \pm 5%.

Note:

The preliminary thermal insulation and glazing performance requirements outlined in this report nominate the estimated minimum BASIX requirements only. The specified performance values therefore do not consider requirements for any other disciplines such as Acoustics, Fire or Safety compliance. Where required, the development shall comply with any additional requirements related to the local council or other design disciplines in addition to the compliance requirements detailed in this report.

Compliance with the minimum BASIX requirements does not warrant thermal comfort. All services consultants and contractors shall design and construct the development to comply with the minimum requirements of the NCC Vol 1 & 2 and NSW Section J requirements.

6. BASIX ENERGY SECTION

The Energy performance of the development has been assessed using the online BASIX Tool. The assessment has considered Common Area and Central System features including the lifts, ventilation and lighting for common areas (corridors, lobbies, car park etc.), centralised domestic hot water and the efficiency of preferred lighting and appliances in the dwellings. The proposed development will meet the mandatory BASIX Energy target of 72% as long as the energy commitments detailed in Table 4 are installed.

Table 4. Energy Commitments.

Component		Commitment
	Ventilation	<ul style="list-style-type: none"> Carpark: no mechanical ventilation. Plant or service rooms: ventilation supply only.
	Lighting	<ul style="list-style-type: none"> Carpark: LED lighting with motion sensors. Plant or service rooms: LED lighting with manual on / manual off.
Private Dwellings	Ventilation	<ul style="list-style-type: none"> Bathroom Exhaust: Individual fan, ducted to façade or roof, interlocked to light with timer off. Kitchen Exhaust: Individual fan, ducted to façade or roof, manual on/off switch. Laundry Exhaust: Individual fan, ducted to façade or roof, interlocked to light.
	Alternative Energy Supply	<ul style="list-style-type: none"> 2.3kW for each house. Panels tilt between $>0^{\circ}$ to $\leq 10^{\circ}$ degree to the horizontal. North-east aspect.
	Hot water	<ul style="list-style-type: none"> 5.5-star gas instantaneous.
	Pool heating	<ul style="list-style-type: none"> Electric heat pump to be controlled by timer. Not specified pool pump type.
	Heating & Cooling to living and bedroom areas	<ul style="list-style-type: none"> Heating: 3-phase air-conditioning / EER 3.0 – 3.5. Cooling: 3-phase air-conditioning / EER 3.0 – 3.5.
	Appliances	<ul style="list-style-type: none"> Induction cooktops and electric ovens. Indoor clothes drying line. Outdoor clothes drying line.

7. DISCLAIMER

This report is prepared using the information described above and inputs from other consultants. Whilst IGS has endeavoured to ensure the information used is accurate, no responsibility or liability to any third party is accepted for any loss or damage arising out of the use of this report by any third party. Any third party wishing to act upon any material contained in this report should first contact IGS for detailed advice which will take into account that party's particular requirements.

Computer performance assessment provides an estimate of building performance. This estimate is based on a necessarily simplified and idealised version of the building that does not and cannot fully represent all the intricacies of the building once built. As a result, simulation results only represent an interpretation of the potential performance of the building. Although great care has been taken to prepare this report, IGS does not make any representations or give any warranties or assurances as to the accuracy or completeness of the information contained in the report or that the report is free from errors or omissions. IGS and its employees and agents shall not be liable for any loss arising because of, any person using or relying on the

report and whether caused by reason or error, negligent act or omission in the report. This draft BASIX assessment and certification has been prepared based on the preliminary architectural and building services design with the view to conducting a detailed assessment once the design is further developed.

Performance of the completed building may be significantly affected by the quality of construction; commissioning, ongoing management of the building, and the way the building is operated, monitored and maintained. Building fabric inputs require verifiable manufacturer data to confirm thermal properties.

This report is intended as a guide to assist with the application of BASIX. It should be read in conjunction with the BASIX and the NCC applicable to the development; specific applications may vary during the design development of the project.

8. SUMMARY & CONCLUSION

The proposed development has been assessed in terms of its ability to conserve water and minimise energy consumption. Furthermore, the thermal performance (passive and fabric design) of the development will comply with the BASIX thermal comfort requirements.

Subject to the provisions of this report the proposed development will be able to achieve the BASIX requirements. For further details, please refer to the BASIX Certificate 1768406M_02 provided.

APPENDIX A – BASIX CERTIFICATE

BASIX[®]Certificate

Building Sustainability Index www.basix.nsw.gov.au

Multi Dwelling

Certificate number: 1768406M_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary

Date of issue: Wednesday, 18 December 2024

To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



Project summary

Project name	38 Undercliff Rd, Freshwater NSW_02
Street address	38 UNDERCLIFF ROAD FRESHWATER 2096
Local Government Area	NORTHERN BEACHES
Plan type and plan number	Deposited Plan DP5118
Lot no.	22
Section no.	-
No. of residential flat buildings	0
Residential flat buildings: no. of dwellings	0
Multi-dwelling housing: no. of dwellings	2
No. of single dwelling houses	0

Project score

Water	✓ 44	Target 40
Thermal Performance	✓ Pass	Target Pass
Energy	✓ 78	Target 72
Materials	✓ -100	Target n/a

If any changes to this BASIX certificate are required, please contact IGS with following details:

- Project reference: 38 Undercliff Rd, Freshwater NSW
- Contact number: 0430 108 801





Certificate Prepared by

Name / Company Name: IGS

ABN (if applicable): 68163019029

Description of project

Project address	
Project name	38 Undercliff Rd, Freshwater NSW_02
Street address	38 UNDERCLIFF ROAD FRESHWATER 2096
Local Government Area	NORTHERN BEACHES
Plan type and plan number	Deposited Plan DP5118
Lot no.	22
Section no.	-
Project type	
No. of residential flat buildings	0
Residential flat buildings: no. of dwellings	0
Multi-dwelling housing: no. of dwellings	2
No. of single dwelling houses	0
Site details	
Site area (m²)	576.7
Roof area (m²)	255.9
Non-residential floor area (m²)	-
Residential car spaces	4
Non-residential car spaces	-

Common area landscape		
Common area lawn (m²)	0	
Common area garden (m²)	0	
Area of indigenous or low water use species (m²)	0	
Assessor details and thermal loads		
Assessor number	DMN/12/1407	
Certificate number	0009018433	
Climate zone	56	
Project score		
Water	 44	Target 40
Thermal Performance	 Pass	Target Pass
Energy	 78	Target 72
Materials	 -100	Target n/a

Description of project

The tables below describe the dwellings and common areas within the project

Multi-dwelling houses

Dwelling no.	No. of bedrooms	Conditioned floor area (m²)	Unconditioned floor area (m²)	Area of garden & lawn (m²)	Indigenous species (min area m²)
G01	4+	255	0	118.4	0

Dwelling no.	No. of bedrooms	Conditioned floor area (m²)	Unconditioned floor area (m²)	Area of garden & lawn (m²)	Indigenous species (min area m²)
G02	4+	255	0	114.9	0

Description of project

The tables below describe the dwellings and common areas within the project

Common areas of the development (non-building specific)

Common area	Floor area (m²)	Common area	Floor area (m²)
Undercover car park area	105	Plant or service room	60

Schedule of BASIX commitments

1. Commitments for multi-dwelling housing

(a) Dwellings

- (i) Water
- (ii) Energy
- (iii) Thermal Performance and Materials

2. Commitments for common areas and central systems/facilities for the development (non-building specific)

(a) Buildings 'Other'

- (i) Materials

(b) Common areas and central systems/facilities

- (i) Water
- (ii) Energy

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for multi-dwelling housing

(a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install: <div style="margin-left: 20px;">(aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and</div> <div style="margin-left: 20px;">(bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.</div>		✓ ✓	✓ ✓
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(g) The pool or spa must be located as specified in the table.	✓	✓	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

	Fixtures					Appliances		Individual pool				Individual spa		
Dwelling no.	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
G01	3 star (> 7.5 but <= 9 L/min)	4 star	5 star	5 star	-	-	-	9.3	no	outdoors	no	-	-	-
All other dwellings	3 star (> 7.5 but <= 9 L/min)	4 star	5 star	5 star	-	-	-	8.2	no	outdoors	no	-	-	-

	Alternative water source							
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
All dwellings	Individual water tank (No. 1)	Tank size (min) 2500 liters	To collect run-off from at least: 115 square metres of roof area; 0 square metres of garden and lawn area; and 10 square metres of planter box area.	yes	-	yes	yes	-

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓ ✓	
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓ ✓ ✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	
(j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.	✓	✓	✓

	Hot water	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	gas instantaneous - 5.5 star	individual fan, ducted to façade or roof	interlocked to light with timer off	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	interlocked to light

	Cooling		Heating		Natural lighting	
Dwelling no.	living areas	bedroom areas	living areas	bedroom areas	No. of bathrooms or toilets	Main kitchen
All dwellings	3-phase airconditioning / EER 3.0 - 3.5	3-phase airconditioning / EER 3.0 - 3.5	3-phase airconditioning / EER 3.0 - 3.5	3-phase airconditioning / EER 3.0 - 3.5	0	-

	Individual pool			Individual spa		Appliances other efficiency measures				
Dwelling no.	Pool heating system	Pool Pump	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Dishwasher	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	electric heat pump	not specified	yes	-	-	induction cooktop & electric oven	-	-	yes	yes

	Alternative energy		
Dwelling no.	Photovoltaic system (min rated electrical output in peak kW)	Photovoltaic collector installation	Orientation inputs
All dwellings	between >0° to <=10° degree to the horizontal	2.3	NE

(iii) Thermal Performance and Materials	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✓		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✓	

(iii) Thermal Performance and Materials	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
(g) Where there is an in-slab heating or cooling system, the applicant must: (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✓	✓	✓
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✓	✓	✓
(i) The applicant must show on The plans accompanying The development application for The proposed development, The locations of ceiling fans set out in The Assessor Certificate.	✓		
(j) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.		✓	

	Thermal loads		
Dwelling no.	Area adjusted heating load (in MJ/m²/yr)	Area adjusted cooling load (in MJ/m²/yr)	Area adjusted total load (in MJ/m²/yr)
All dwellings	17	12	29.000

	Construction of floors and walls				
Dwelling no.	Concrete slab on ground (m²)	Suspended floor with open subfloor (m²)	Suspended floor with enclosed subfloor (m²)	Suspended floor above garage (m²)	Primarily rammed earth or mudbrick walls
All dwellings	107	-	24	50	-

	Floor types									
	Concrete slab on ground				Suspended floor above enclosed subfloor			Suspended floor above open subfloor		
Dwelling no.	Area (m²)	Insulation	Low emissions option	Dematerialisation	Construction type	Area (m²)	Insulation	Construction type	Area (m²)	Insulation
All dwellings	107	-	-	conventional slab	concrete - suspended, frame: light steel frame	24	-	-	-	-

	Floor types										
	First floor above habitable rooms or mezzanine			Suspended floor above garage			Garage floor				
Dwelling no.	Construction type	Area (m²)	Insulation	Construction type	Area (m²)	Insulation	Construction type	Area (m²)	Insulation	Low emissions option	Dematerialisation
All dwellings	concrete - suspended, frame: light steel frame	200	-	concrete - suspended, frame: light steel frame	50	-	concrete slab on ground, frame: light steel frame	45	-	-	conventional slab

	External walls								
	External wall type 1				External wall type 2				
Dwelling no.	Wall type	Area (m²)	Insulation	Low emissions option	Wall type	Area (m²)	Insulation	Low emissions option	
All dwellings	brick veneer, frame : light steel frame	500	-	none	framed (metal clad), frame : light steel frame	250	-	none	

	External walls							
	External wall type 3				External wall type 4			
Dwelling no.	Wall type	Area (m²)	Insulation	Low emissions option	Wall type	Area (m²)	Insulation	Low emissions option
All dwellings	-	-	-	-	-	-	-	-

	Internal walls								
	Internal walls shared with garage			Internal wall type 1			Internal wall type 2		
Dwelling no.	Wall type	Area (m²)	Insulation	Wall type	Area (m²)	Insulation	Wall type	Area (m²)	Insulation
All dwellings	plasterboard, frame: light steel frame	60	-	plasterboard, frame: light steel frame	800	-	cavity brick wall, frame: light steel frame	400	-

	Ceiling and roof								
	Flat ceiling / pitched roof			Raked ceiling / pitched or skillion roof			Flat ceiling / flat roof		
Dwelling no.	Construction type	Area (m ²)	Insulation	Construction type	Area (m ²)	Insulation	Construction type	Area (m ²)	Insulation
All dwellings	-	-	Ceiling:,Roof:	-	-	Ceiling:,Roof:	framed - metal roof, frame: light steel frame	85.3	Ceiling:,Roof:

	Glazing type			Frame types				
Dwelling no.	Single glazing (m ²)	Double glazing (m ²)	Triple glazing (m ²)	Aluminium frames (m ²)	Timber frames (m ²)	uPVC frames (m ²)	Steel frames (m ²)	Composite frames (m ²)
All dwellings	-	150	-	150	-	-	-	-

2. Commitments for common areas and central systems/facilities for the development (non-building specific)

(a) Buildings 'Other'

(i) Materials	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Floor types", "External wall types", "Internal wall types", "Ceiling and roof types", "Frames" and "Glazing" tables below.			✓
(b) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all specifications included in the tables below.		✓	
(c) The applicant must construct the floors, walls, roof, ceiling and roof, windows, glazed doors and skylights of the development in accordance with the specifications listed in the tables below. In the case of glazing, a 5% variance from the area values listed in the "Frames" and "Glazing" tables is permitted.	✓	✓	✓
(d) The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the below tables.			✓

Floor types

Floor type	Area (m2)	Insulation	Low emissions option
concrete slab on ground, frame:	200	-	none

External wall types

External wall type	Construction type	Area (m2)	Low emissions option	Insulation
External wall type 1	brick veneer, frame: light steel frame	200	-	-

Internal wall types

Internal wall type	Construction type	Area (m2)	Insulation
Internal wall type 1	plasterboard, frame: light steel frame	100	-

Reinforcement concrete frames/columns

Building has reinforced concrete frame/columns?	Volume (m³)	Low emissions option
-	-	-

Ceiling and roof types

Ceiling and roof type	Area (m²)	Roof Insulation	Ceiling Insulation
framed - metal roof, frame: light steel frame	85.3	-	-

Glazing types**Frame types**

Single glazing (m²)	Double glazing (m²)	Triple glazing (m²)	Aluminium frames (m²)	Timber frames (m²)	uPVC frames (m²)	Steel frames (m²)	Composite frames (m²)
-	40	-	40	-	-	-	-

(b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	no common facility	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

	Common area ventilation system		Common area lighting		
Common area	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/ BMS
Undercover car park area	no mechanical ventilation	-	light-emitting diode	motion sensors	-
Plant or service room	ventilation supply only	thermostatically controlled	light-emitting diode	manual on / manual off	-

Central energy systems	Type	Specification
Other	-	-

Notes

1. In these commitments, "applicant" means the person carrying out the development.
2. The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
3. This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.
4. If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).
5. If a star or other rating is specified in a commitment, this is a minimum rating.
6. All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.

Legend

1. Commitments identified with a "✔" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
2. Commitments identified with a "✔" in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
3. Commitments identified with a "✔" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment it is required to monitor in relation to the building or part, has been fulfilled).

APPENDIX B – REFERENCED ARCHITECTURAL DRAWINGS

**38 UNDERCLIFF ROAD
FRESHWATER NSW 2030**

PROJECT

Proposed demolition of existing single dwelling and construction of new Class 1 dual-occupancy [attached] dwelling with garaging, pool and associated landscape works.

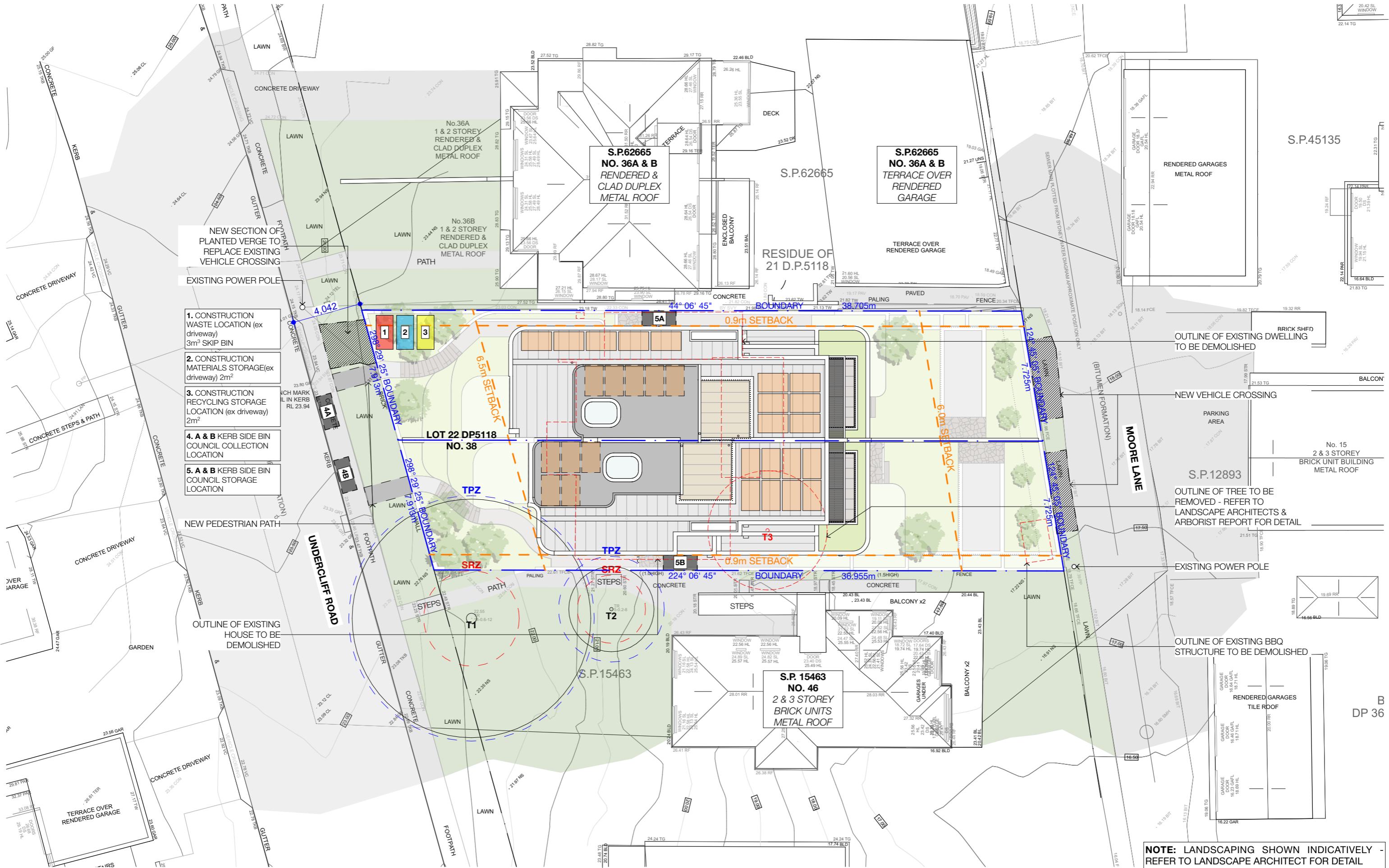
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NUMBER		TITLE	REV.	PAPER	SCALE
DEVELOPMENT APPLICATION					
	DA0000	COVERPAGE	DA02	A3	NTS
	DA0001	BASIX COMMITMENTS	DA02	A3	NTS
ANALYSIS & SITE PLANS					
	DA1001	SITE ANALYSIS PLAN	DA02	A3	1:200
	DA1002	SITE, WASTE MANAGEMENT & ROOF PLAN	DA02	A3	1:200
	DA1003	DEMOLITION PLAN	DA02	A3	1:200
	DA1004	DRAFT STRATA SUBDIVISION PLAN	DA02	A3	NTS
GENERAL ARRANGEMENT					
	DA2000	GARAGE PLAN	DA02	A3	1:100
	DA2001	GROUND FLOOR PLAN	DA02	A3	1:100
	DA2002	LEVEL 1 FLOOR PLAN	DA02	A3	1:100
	DA2003	LEVEL 2 FLOOR PLAN	DA02	A3	1:100
	DA2004	ROOF PLAN	DA02	A3	1:100
ELEVATIONS					
	DA3000	NORTH ELEVATION	DA02	A3	1:100
	DA3001	SOUTH ELEVATION	DA02	A3	1:100
	DA3002	WEST ELEVATION	DA02	A3	1:100
	DA3003	EAST ELEVATION	DA02	A3	1:100
SECTIONS - SHORT					
	DA4000	CROSS SECTION 1	DA02	A3	1:100
	DA4001	CROSS SECTION 2	DA02	A3	1:100
	DA4002	CROSS SECTION 3	DA02	A3	1:100
SECTIONS - LONG					
	DA4010	LONG SECTION A	DA02	A3	1:100
	DA4011	LONG SECTION B	DA02	A3	1:100
EXTERNAL FINISHES					
	DA6000	EXTERNAL FINISHES	DA02	A3	NTS
COUNCIL CONTROLS					
	DA9100	LANDSCAPED AREA CALCULATIONS	DA02	A3	1:200
	DA9101	EXCAVATION / OR FILL CALCULATIONS	DA02	A3	1:200
OTHER SUPPORTING DOCUMENTS					
	DA9300	ENVELOPE DIAGRAMS	DA02	A3	NTS
	DA9301	MAXIMUM BUILDING HEIGHT DIAGRAMS	DA02	A3	NTS
	DA9302	ARTISTIC IMPRESSION	DA02	A3	NTS



DEVELOPMENT APPLICATION

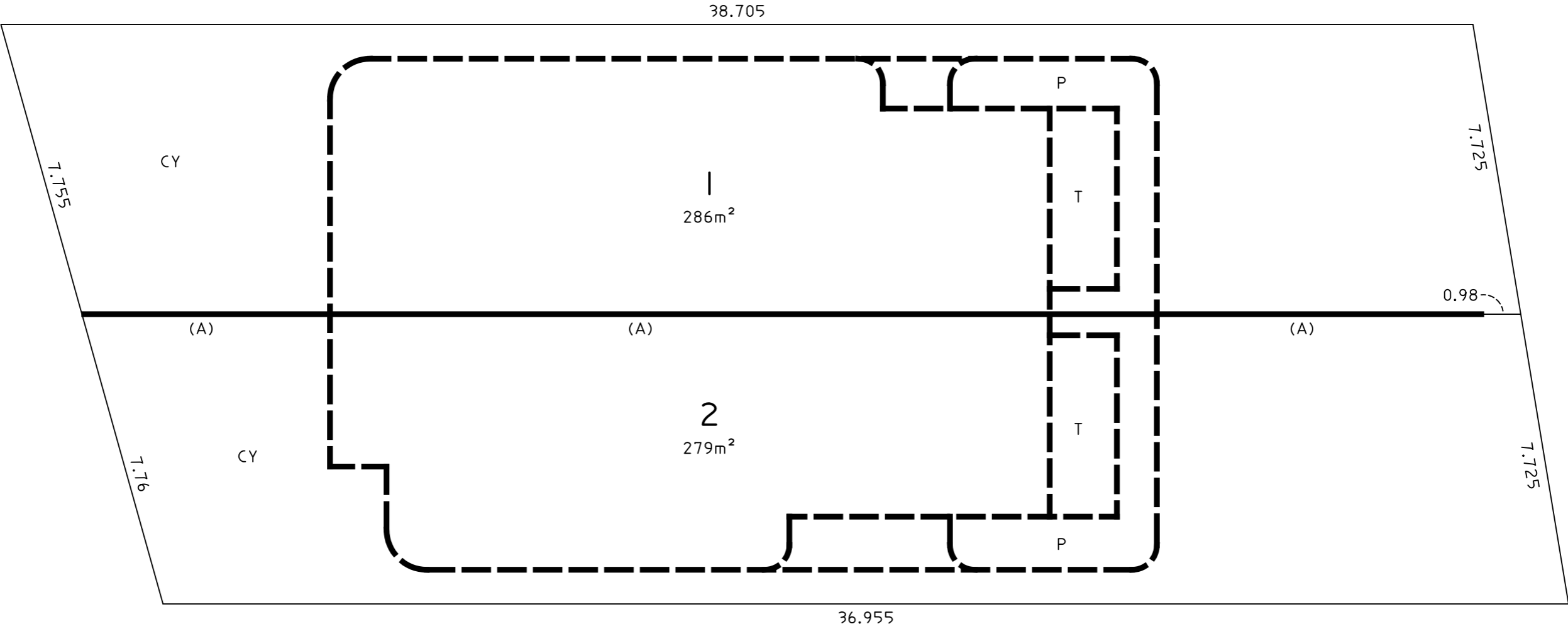
REV. INIT. DATE REVISION DETAILS				GENERAL NOTES	DA LEGEND	BASIC COMMITMENTS	ARCHITECT:	DRAWING TITLE:	PROJECT NUMBER:	DWG NUMBER:
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION	<div>1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT.</div> <div>2. DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED.</div> <div>3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK.</div> <div>4. MHNDU DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS.</div> <div>5. CONTRACTOR TO NOTIFY MHNDU OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES, OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURING.</div> <div>6. CONTRACTOR TO ENSURE CONSISTENCY BETWEEN MATERIALS.</div> <div>7. MHNDU TO REVIEW ALL CONTRACTOR'S DETAILED DRAWINGS / SETTING OUT PRIOR TO CONSTRUCTION.</div> <div>8. PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE.</div>	<div>LEGEND</div> <div><div>AL ALUMINIUM</div><div>BSW BRICK WORK</div><div>CKT COOK TOP</div><div>CT CERAMIC TILE</div><div>DB ELEC BOARD</div><div>DP DOWN PIPE</div><div>FC FIBRE CEMENT</div><div>GM GAS MAIN</div><div>KS KITCHEN SINK</div><div>LB LETTER BOX</div><div>LD LINEAR DRAIN</div><div>MD METAL DECK</div><div>OF OVERFLOW</div><div>PC POWDER COATED</div><div>PP RENDER + PAINT</div><div>PH PHOTO VOLTAGE</div><div>RP RENDER + PAINT</div><div>SH SHOWER HEAD</div><div>ST STONE</div><div>TM TIMBER</div><div>WM WASH MACHINE</div><div>CONCRETE</div><div>MASONRY</div><div>FRAMING</div><div>GROUND</div><div>GRAVEL / LOOSE FILL</div><div>INSULATION</div><div>STONE</div><div>CONCRETE</div><div>BLOCK / BRICK</div><div>RENDER</div><div>STONE / PAVING</div><div>TIMBER</div><div>GLAZING</div><div>SOFT LANDSCAPING</div><div>GRAVEL / PEBBLES</div></div>	<div>BASIC COMMITMENTS</div> <div>(ALL OTHER BASIC COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)</div>	<div>ARCHITECT:</div> <div>MHNDU</div> <div>35 RICHARDS LANE</div> <div>SURRY HILLS SYDNEY NSW 2010</div> <div>+61 2 9101 1111</div> <div>F +61 2 9101 1100</div> <div>www.mhndu.com</div> <div><div>Nominated Architect</div><div>Bricks Measurement</div><div>NSW Registration Number: 4307</div></div> <div><div>JRH Dickson Unit Pty Ltd,</div><div>ABN 84 003 717 682</div></div>	<div>DRAWING TITLE:</div> <div>COVERPAGE</div> <div>PROJECT ADDRESS:</div> <div>38 UNDERCLIFF ROAD, NSW FRESHWATER 2096</div> <div>LOT 22 DP 5118</div>	<div>ISSUE DATE:</div> <div>16/12/2024</div> <div>SCALE:</div> <div>NTS @ A3</div> <div>DRAWN BY:</div> <div>JD</div> <div>CHECKED:</div> <div>AEH</div>	<div>REVISION:</div> <div>DA02</div>

REF: BIMcloud: bcb-26 - BIMcloud Basic for Archited 25/24-091 - 38 Undercliff Road Freshwater - DA



REV	INT.	DATE	REVISION DETAILS	GENERAL NOTES		DA LEGEND		MATERIAL CUT		MATERIAL SURFACE		BASIX COMMITMENTS (ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)		ARCHITECT: MHNDU 35 RICHARDS LANE SURRY HILLS SYDNEY NSW 2010 T +61 2 9101 1111 F +61 2 9101 1100 www.mhndu.com MHNDU Design Urban Pty Ltd. ABN 94 003 717 682 NSW Registration Number 4907		DRAWING TITLE: SITE, WASTE MANAGEMENT & ROOF PLAN PROJECT ADDRESS: 38 UNDERCLIFF ROAD, NSW FRESHWATER 2096 LOT 22 DP 5118		PROJECT NUMBER: 24-091 ISSUE DATE: 16/12/2024 SCALE: 1:200 @ A3		DWG NUMBER: DA1002 REVISION: DA02 DRAWN BY: JD CHECKED: AEH	
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION																		
DA02	JD	16/12/2024	DEVELOPMENT APPLICATION	1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT. 2. DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED. 3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. 4. MHNDU DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS. 5. CONTRACTOR TO NOTIFY MHNDU OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES, OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURING. 6. CONTRACTOR TO ENSURE CONSISTENCY BETWEEN MATERIALS IS MAINTAINED. 7. MHNDU TO REVIEW ALL CONTRACTORS DETAILED DRAWINGS / SETTING OUT PRIOR TO CONSTRUCTION. 8. PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE.		LEGEND - - - TO BE DEMOLISHED AL ALUMINIUM B BASIN BWK BRICK WORK CKT COOK TOP CT CERAMIC TILE D DRYER DP DOWN PIPE FC FIBRE CEMENT ST GM GAS MAIN KS KITCHEN SINK LB LETTER BOX LD LINEAR DRAIN MD METAL DECK OV OVERFLOW PC POWDER COATED PV PHOTO VOLTAC R RENDER + PAINT RW RAINWATER HEAD S STONE T TIMBER WM WASH MACHINE		EXISTING BUILDING CONCRETE MASONRY FRAMING GROUND GRAVEL / LOOSE FILL INSULATION STONE		CONCRETE BLOCK / BRICK RENDER STONE / PAVING TIMBER GLAZING SOFT LANDSCAPING GRAVEL / PEBBLES		BASIX COMMITMENTS (ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)		ARCHITECT: MHNDU 35 RICHARDS LANE SURRY HILLS SYDNEY NSW 2010 T +61 2 9101 1111 F +61 2 9101 1100 www.mhndu.com MHNDU Design Urban Pty Ltd. ABN 94 003 717 682 NSW Registration Number 4907		DRAWING TITLE: SITE, WASTE MANAGEMENT & ROOF PLAN PROJECT ADDRESS: 38 UNDERCLIFF ROAD, NSW FRESHWATER 2096 LOT 22 DP 5118		PROJECT NUMBER: 24-091 ISSUE DATE: 16/12/2024 SCALE: 1:200 @ A3		DWG NUMBER: DA1002 REVISION: DA02 DRAWN BY: JD CHECKED: AEH	

NOTE: LANDSCAPING SHOWN INDICATIVELY - REFER TO LANDSCAPE ARCHITECT FOR DETAIL



CY - COURTYARD
P - PLANTER
T - TERRACE

THE WHOLE OF THE STRUCTURE OF THE BUILDING STANDING ON EACH LOT, INCLUDING WALLS, FLOORS, CEILINGS, AND ROOFS, FORMS PART OF THE LOT AND IS NOT COMMON PROPERTY.

WALLS SHOWN THUS FORM PART OF THEIR SUBJECT LOT AND ARE NOT COMMON PROPERTY.

(A) - THE COMMON WALL DENOTED (A) IS COMMON PROPERTY.

AREAS SHOWN ON THE FLOOR PLAN HAVE BEEN CALCULATED FOR THE PURPOSE OF THE STRATA SCHEMES DEVELOPMENT ACT 2015 ONLY. THEY MAY DIFFER FROM FLOOR AREAS FOR OTHER PURPOSES.

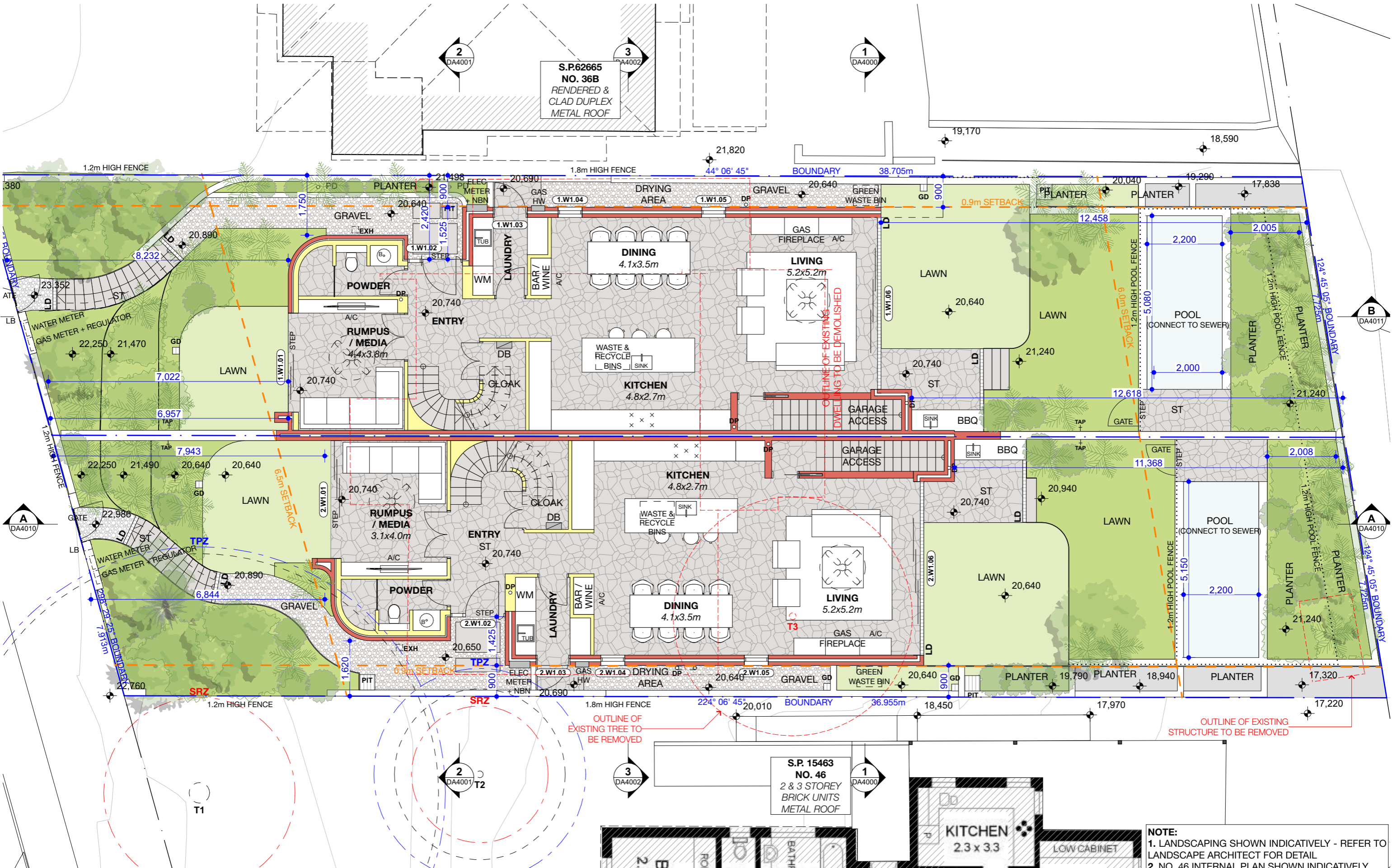
THOSE PARTS OF SERVICE LINES WHICH SERVICE ONE LOT ONLY AND ARE LOCATED OUTSIDE OF THAT LOT ARE COMMON PROPERTY.

FOR CLARITY NOT ALL COMMON PROPERTY STRUCTURES ARE SHOWN.

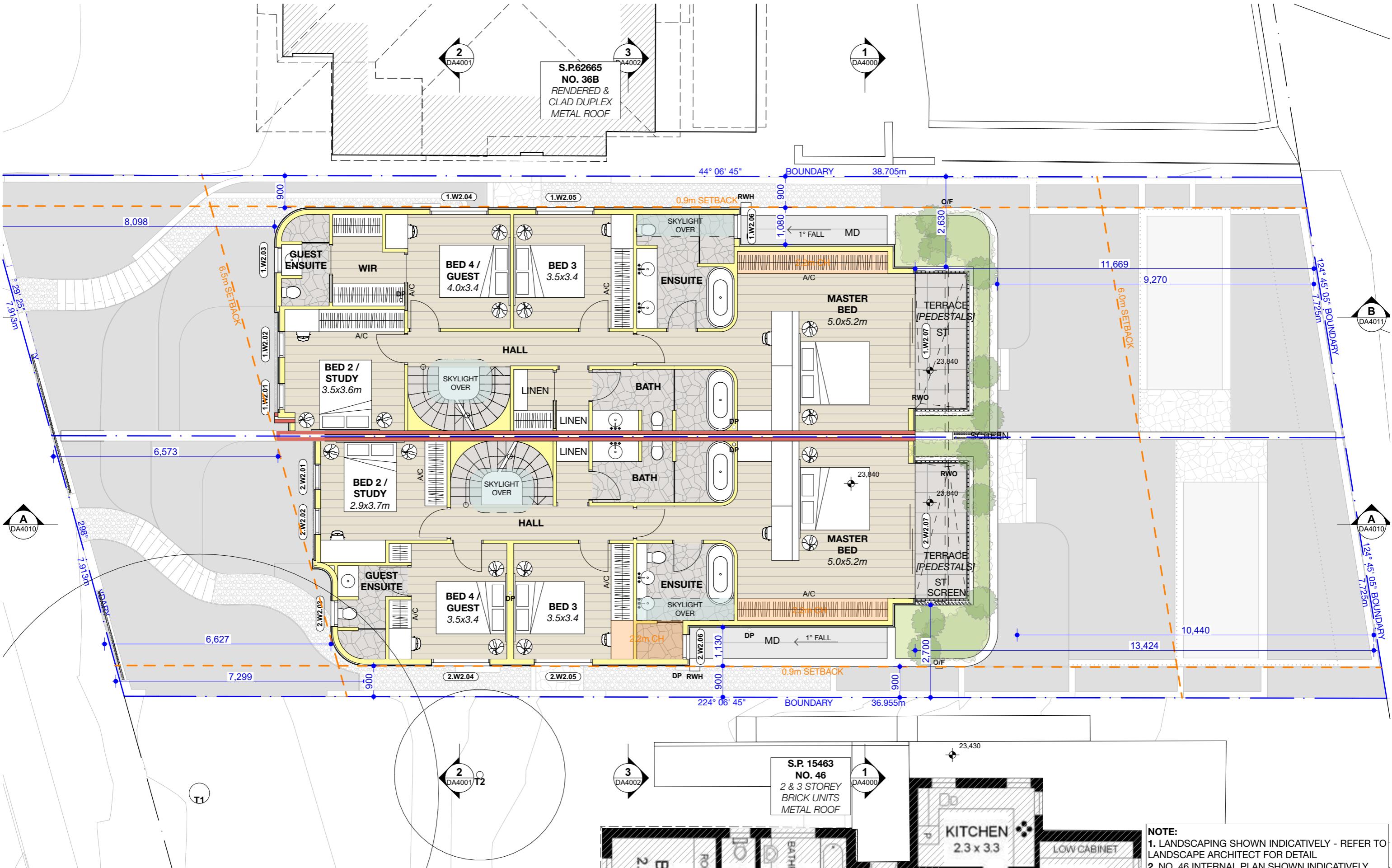
LOTS 1 AND 2 ARE LIMITED IN STRATUM FROM 10 METRES BELOW TO 15 METRES ABOVE THE UPPER SURFACE OF THEIR RESPECTIVE CONCRETE GARAGE FLOOR SLAB.

NOTE: DRAFT STRATA PLAN SHOWN TAKEN FROM DRAFT STRATA PLAN PREPARED BY CMS SURVEYORS
- REFER TO SEPARATE DOCUMENT SUBMITTED AS PART OF DA APPLICATION FOR FURTHER INFORMATION

REV	INIT.	DATE	REVISION DETAILS	GENERAL NOTES	DA LEGEND	MATERIAL CUT	MATERIAL SURFACE	BASIX COMMITMENTS	ARCHITECT:	DRAWING TITLE:	PROJECT NUMBER:	DWG NUMBER:
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION	1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT.	LEGEND - - - TO BE DEMOLISHED	EXISTING BUILDING CONCRETE MASONRY FRAMING	CONCRETE BLOCK / BRICK RENDER STONE / PAVING TIMBER GLAZING SOFT LANDSCAPING GRAVEL / PEBBLES	(ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)	MHNDU 35 RICHARDS LANE SURRY HILLS SYDNEY NSW 2010 T +61 2 9101 1111 F +61 2 9101 1100 www.mhndu.com	DRAFT STRATA SUBDIVISION PLAN	24-091	DA1004
DA02	JD	16/12/2024	DEVELOPMENT APPLICATION	2. DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED.	AL ALUMINIUM S BASIN BWK BRICK WORK CKT COOK TOP CT CERAMIC TILE D DRYER DB ELEC BOARD DP DOWN PIPE FM GAS MAIN KS KITCHEN SINK LB LETTER BOX LD LINEAR DRAIN MD METAL DECK OF OVERFLOW PVC POWDER COATED PV PHOTO VOLTAGE RWP RAINWATER HEAD ST STONE T TIMBER WM WASH MACHINE	GROUND GRAVEL / LOOSE FILL INSULATION STONE		Nominated Architect Bridin Meyerson NSW Registration Number 4907	PROJECT ADDRESS: 38 UNDERCLIFF ROAD, NSW FRESHWATER 2096 LOT 22 DP 5118	ISSUE DATE: 16/12/2024 SCALE: NTS @ A3	DRAWN BY: JD	CHECKED: AEH
				3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK.								
				4. MHNDU DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS.								
				5. CONTRACTOR TO NOTIFY MHNDU OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES, OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURING.								
				6. CONTRACTOR TO ENSURE CONSISTENCY BETWEEN MATERIALS IS MAINTAINED								
				7. MHNDU TO REVIEW ALL CONTRACTORS DETAILED DRAWINGS / SETTING OUT PRIOR TO CONSTRUCTION.								
				8. PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE.								



REV	INT.	DATE	REVISION DETAILS	GENERAL NOTES	DA LEGEND	MATERIAL CUT	MATERIAL SURFACE	BASIX COMMITMENTS	ARCHITECT:	DRAWING TITLE:	PROJECT ADDRESS:	PROJECT NUMBER:	DWG NUMBER:
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION	1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT.	LEGEND	EXISTING BUILDING	CONCRETE	(ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 17684065M AND STAMPED PLANS)	MHNDUNION	GROUND FLOOR PLAN	38 UNDERCLIFF ROAD, NSW FRESHWATER 2096	24-091	DA2001
DA02	JD	16/12/2024	DEVELOPMENT APPLICATION	2. DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED.	AL ALUMINIUM	CONCRETE	CONCRETE		35 RICHARDS LANE			16/12/2024	DA02
				3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK.	BW BRICK WORK	MASONRY	BLOCK / BRICK		SYRRI HILLS SYDNEY NSW 2010			SCALE:	DRAWN BY:
				4. MHNDU DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS.	CKT COOK TOP	RENDER	STONE / PAVING		T +61 2 9101 1111			1:100 @ A3	JD
				5. CONTRACTOR TO NOTIFY MHNDU OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES, OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURING.	CT CERAMIC TILE	FRAMING	TIMBER		F +61 2 9101 1100			CHECKED:	AEH
				6. CONTRACTOR TO ENSURE CONSISTENCY BETWEEN MATERIALS IS MAINTAINED.	DP DRYER	GROUND	GLAZING		www.mhndu.com				
				7. MHNDU TO REVIEW ALL CONTRACTORS DETAILED DRAWINGS / SETTING OUT PRIOR TO CONSTRUCTION.	DR DOWN PIPE	GRAVEL / LOOSE FILL	SOFT LANDSCAPING		ABN 94 003 717 682				
				8. PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE.	DM GAS MAIN	INSULATION			Nominated Architect				
					KS KITCHEN SINK	STONE			NSW Registration Number 4907				
					WM WASH MACHINE	STONE							



REV	INT.	DATE	REVISION DETAILS
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION
DA02	JD	16/12/2024	DEVELOPMENT APPLICATION

GENERAL NOTES

- ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT.
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- PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE.

DA LEGEND

LEGEND

TO BE DEMOLISHED

AL ALUMINUM
B BASIN
BWK BRICK WORK
CKT COOK TOP
CT CERAMIC TILE
D DRYER
DP ELEC BOARD
DOWN PIPE
FC FIBRE CEMENT
GM GAS MAIN
KS KITCHEN SINK

LB LETTER BOX
LD LINEAR DRAIN
MD METAL DECK
OF OVERFLOW
PC POWDER COATED
PV PHOTO VOLTAGE
RWP RAINWATER HEAD
ST STONE
T TIMBER
WM WASH MACHINE

MATERIAL CUT

EXISTING BUILDING

CONCRETE

MASONRY

FRAMING

GROUND

GRAVEL / LOOSE FILL

INSULATION

STONE

MATERIAL SURFACE

CONCRETE

BLOCK / BRICK

RENDER

STONE / PAVING

TIMBER

GLAZING

SOFT LANDSCAPING

GRAVEL / PEBBLES

BASIX COMMITMENTS
(ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)

ARCHITECT:
MHNDU
35 RICHARDS LANE
SURRY HILLS SYDNEY NSW 2010
T +61 2 9101 1111
F +61 2 9101 1100
www.mhndu.com
MHNDU Design Urban Pty Ltd. ABN 94 003 717 682
NSW Registration Number 4907

DRAWING TITLE:
LEVEL 1 FLOOR PLAN

PROJECT ADDRESS:
38 UNDERCLIFF ROAD, NSW FRESHWATER 2096

LOT 22 DP 5118

PROJECT NUMBER:
24-091

ISSUE DATE:
16/12/2024

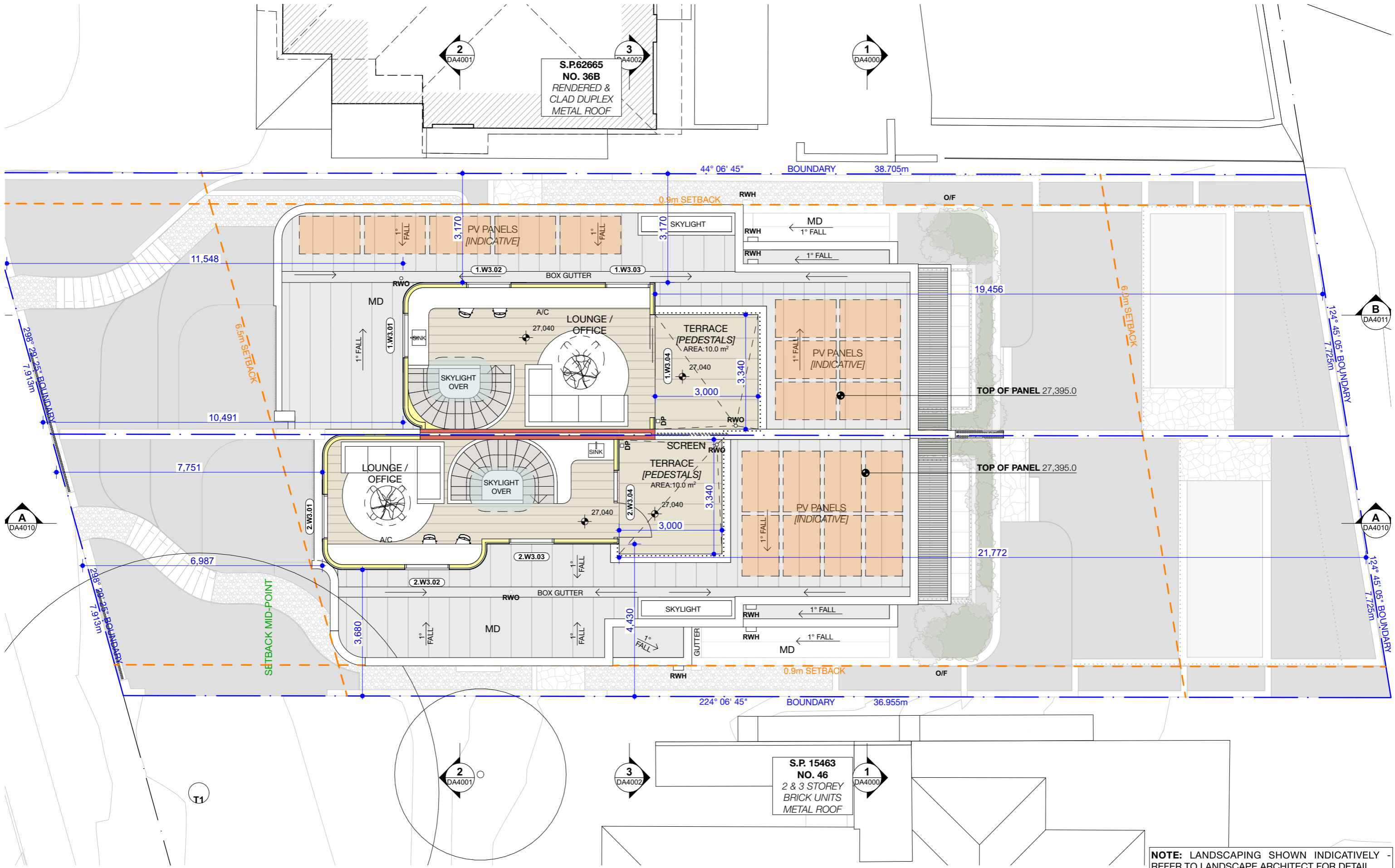
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DWG NUMBER:
DA2002

REVISION:
DA02

CHECKED:
AEH

NOTE:
1. LANDSCAPING SHOWN INDICATIVELY - REFER TO LANDSCAPE ARCHITECT FOR DETAIL
2. NO. 46 INTERNAL PLAN SHOWN INDICATIVELY



NOTE: LANDSCAPING SHOWN INDICATIVELY - REFER TO LANDSCAPE ARCHITECT FOR DETAIL

REV	INIT.	DATE	REVISION DETAILS
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION
DA02	JD	16/12/2024	DEVELOPMENT APPLICATION

GENERAL NOTES

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DA LEGEND	
LEGEND	
AL ALUMINIUM	LB LETTER BOX
B BASIN	LD LINEAR DRAIN
BWK BRICK WORK	MD METAL DECK
CKT COOK TOP	OP OVERFLOW
CT CERAMIC TILE	PVC POWDER COATED
D DRYER	PV PHOTO VOLTAGE
DB ELEC BOARD	RP RENDER + PAINT
DP DOWN PIPE	RWH RAINWATER HEAD
FC FIBRE CEMENT	ST STONE
GM GAS MAIN	T TIMBER
KS KITCHEN SINK	WM WASH MACHINE

MATERIAL CUT	
EXISTING BUILDING	CONCRETE
MASONRY	FRAMING
GROUND	GRAVEL / LOOSE FILL
INSULATION	STONE

MATERIAL SURFACE	
CONCRETE	BLOCK / BRICK
RENDER	STONE / PAVING
TIMBER	GLAZING
SOFT LANDSCAPING	GRAVEL / PEBBLES

BASIX COMMITMENTS
(ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)

ARCHITECT:
MHNDU
35 RICHARDS LANE
SURRY HILLS SYDNEY NSW 2010
T +61 2 9101 1111
F +61 2 9101 1100
www.mhndu.com
Nominated Architect
Bridn Meyerson
NSW Registration Number 4907

DRAWING TITLE:
LEVEL 2 FLOOR PLAN

PROJECT ADDRESS:
38 UNDERCLIFF ROAD, NSW FRESHWATER 2096

LOT 22 DP 5118

PROJECT NUMBER:
24-091

ISSUE DATE:
16/12/2024

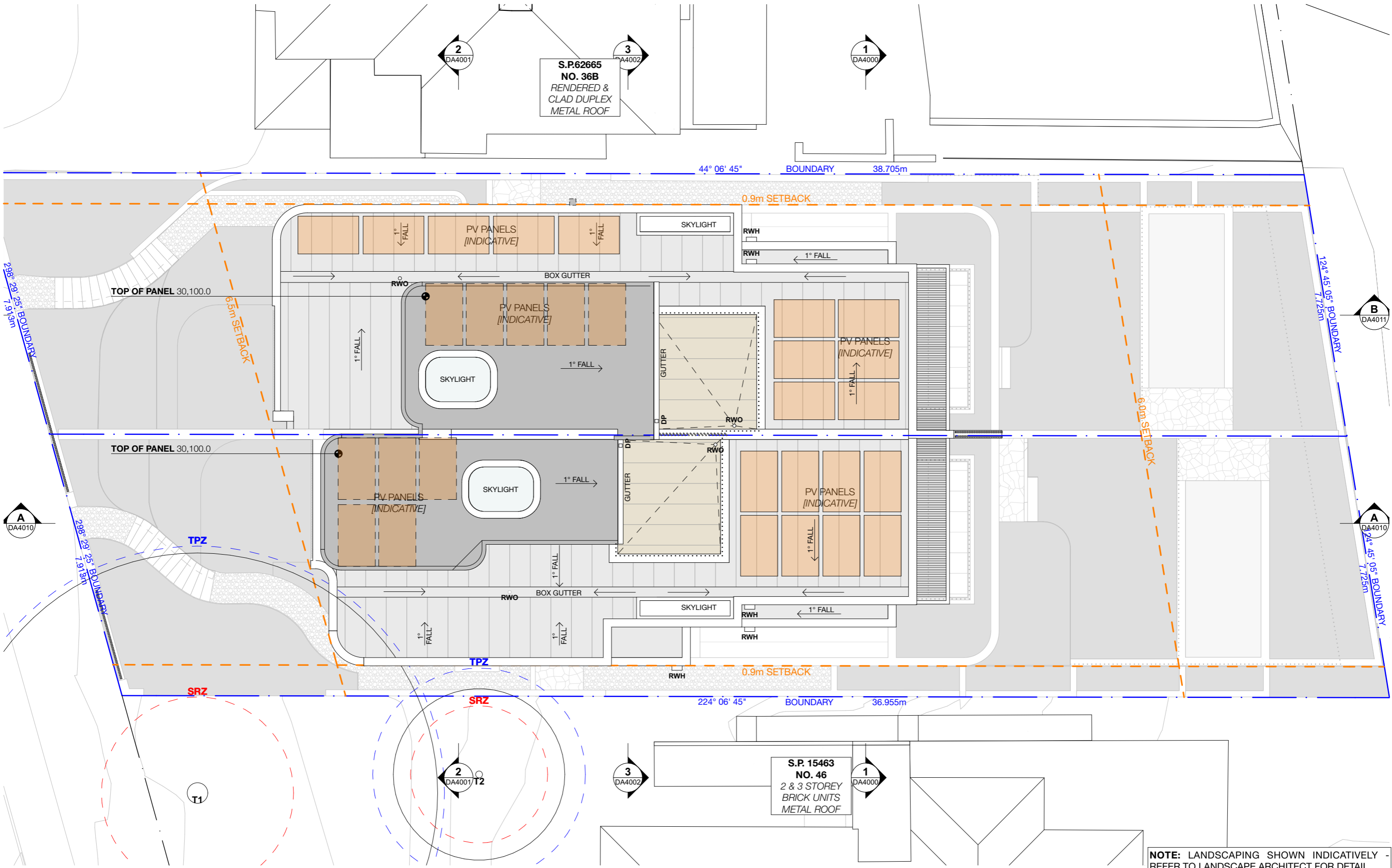
SCALE:
1:100 @ A3

DRAWN BY:
JD

CHECKED:
AEH

DWG NUMBER:
DA2003

REVISION:
DA02



NOTE: LANDSCAPING SHOWN INDICATIVELY - REFER TO LANDSCAPE ARCHITECT FOR DETAIL

REV	INIT.	DATE	REVISION DETAILS
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION
DA02	JD	16/12/2024	DEVELOPMENT APPLICATION

GENERAL NOTES

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DA LEGEND
LEGEND
TO BE DEMOLISHED
AL ALUMINIUM
B BASIN
BRW BRICK WORK
CKT COOK TOP
CT CERAMIC TILE
D DRYER
DB ELEC BOARD
DP DOWN PIPE
FC FIBRE CEMENT
GM GAS MAIN
KS KITCHEN SINK
LB LETTER BOX
LD LINEAR DRAIN
MD METAL DECK
MO OVERFLOW
OP OVERFLOW
PVC POWDER COATED
PV PHOTO VOLTIC
RE RENDER + PAINT
RWH RAINWATER HEAD
ST STONE
T TIMBER
WM WASH MACHINE

MATERIAL CUT
EXISTING BUILDING
CONCRETE
MASONRY
FRAMING
GROUND
GRAVEL / LOOSE FILL
INSULATION
STONE

MATERIAL SURFACE
CONCRETE
BLOCK / BRICK
RENDER
STONE / PAVING
TIMBER
GLAZING
SOFT LANDSCAPING
GRAVEL / PEBBLES

BASIX COMMITMENTS
(ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)

ARCHITECT:
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F +61 2 9101 1100
www.mhndu.com
Nominated Architect
Bridin Meyerson
NSW Registration Number 4907

DRAWING TITLE:
ROOF PLAN

PROJECT ADDRESS:
38 UNDERCLIFF ROAD, NSW FRESHWATER 2096

LOT 22 DP 5118

PROJECT NUMBER:
24-091

ISSUE DATE:
16/12/2024

SCALE:
1:100 @ A3

DRAWN BY:
JD

CHECKED:
AEH

DWG NUMBER:
DA2004

REVISION:
DA02

REF: BIMcloud: bdb-26 - BIMcloud Basic for Archicad 26/24-091_38 Undercliff Road Freshwater DA



NOTE: LANDSCAPING SHOWN INDICATIVELY - REFER TO LANDSCAPE ARCHITECT FOR DETAIL

REV				INT.	DATE	REVISION DETAILS		GENERAL NOTES										DA LEGEND										LEGEND										MATERIAL CUT										MATERIAL SURFACE										BASIX COMMITMENTS (ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)										ARCHITECT:										DRAWING TITLE:										PROJECT NUMBER:										DWG NUMBER:									
DA01				JD	17/10/2024	DEVELOPMENT APPLICATION		1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT. 2. DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED. 3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. 4. MHNDU DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS. 5. CONTRACTOR TO NOTIFY MHNDU OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES, OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURING. 6. CONTRACTOR TO ENSURE CONSISTENCY BETWEEN MATERIALS IS MAINTAINED. 7. MHNDU TO REVIEW ALL CONTRACTORS' DETAILED DRAWINGS / SETTING OUT PRIOR TO CONSTRUCTION. 8. PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE.										LEGEND -- TO BE DEMOLISHED AL ALUMINIUM B BASIN BWK BRICK WORK CKT COOK TOP CT CERAMIC TILE D DRYER DB ELEC BOARD DP DOWN PIPE FC FIBRE CEMENT GM GAS MAIN KS KITCHEN SINK LB LETTER BOX LD LINEAR DRAIN MD METAL DECK OF OVERFLOW PVC POWDER COATED PV PHOTO VOLTAGE RWH RAINWATER HEAD ST STONE T TIMBER WM WASH MACHINE										EXISTING BUILDING CONCRETE MASONRY FRAMING GROUND GRAVEL / LOOSE FILL INSULATION STONE										CONCRETE BLOCK / BRICK RENDER STONE / PAVING TIMBER GLAZING SOFT LANDSCAPING GRAVEL / PEBBLES										35 RICHARDS LANE SURRY HILLS SYDNEY NSW 2010 T +61 2 9101 1111 F +61 2 9101 1100 www.mhndu.com <small>Nominated Architect Bridn Meyer NSW Registration Number 4907</small>										NORTH ELEVATION PROJECT ADDRESS: 38 UNDERCLIFF ROAD, NSW FRESHWATER 2096 LOT 22 DP 5118										24-091 ISSUE DATE: 16/12/2024 SCALE: 1:100 @ A3										DA3000 REVISION: DA02 CHECKED: AEH																													
DA02				JD	16/12/2024	DEVELOPMENT APPLICATION																																																																																		DA LEGEND										LEGEND									



NOTE: LANDSCAPING SHOWN INDICATIVELY - REFER TO LANDSCAPE ARCHITECT FOR DETAIL

REV	INIT.	DATE	REVISION DETAILS	GENERAL NOTES		DA LEGEND		MATERIAL CUT		MATERIAL SURFACE		BASIX COMMITMENTS (ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)		ARCHITECT:		DRAWING TITLE:		PROJECT NUMBER:		DWG NUMBER:	
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION	1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT. 2. DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED. 3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. 4. MHNDU DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS. 5. CONTRACTOR TO NOTIFY MHNDU OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES, OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURING. 6. CONTRACTOR TO ENSURE CONSISTENCY BETWEEN MATERIALS IS MAINTAINED. 7. MHNDU TO REVIEW ALL CONTRACTORS DETAILED DRAWINGS / SETTING OUT PRIOR TO CONSTRUCTION. 8. PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE.		LEGEND -- -- TO BE DEMOLISHED		AL ALUMINIUM LB LETTER BOX S BASIN LD LINEAR DRAIN BWK BRICK WORK MD METAL DECK CKT COOK TOP OF OVERFLOW CT CERAMIC TILE P/C POWDER COATED D DRYER PV PHOTO VOLTAGE DB ELEC BOARD RP RENDER + PAINT DP DOWN PIPE RWH RAINWATER HEAD FC FIBRE CEMENT ST STONE GM GAS MAIN T TIMBER KS KITCHEN SINK WM WASH MACHINE		EXISTING BUILDING CONCRETE BLOCK / BRICK RENDER STONE / PAVING TIMBER GLAZING SOFT LANDSCAPING GRAVEL / PEBBLES		35 RICHARDS LANE SURRY HILLS SYDNEY NSW 2010 T +61 2 9101 1111 F +61 2 9101 1100 www.mhndu.com <small>Nominated Architect Bridin Meyerson NSW Registration Number 4907</small>		SOUTH ELEVATION PROJECT ADDRESS: 38 UNDERCLIFF ROAD, NSW FRESHWATER 2096 LOT 22 DP 5118		24-091 ISSUE DATE: 16/12/2024 SCALE: 1:100 @ A3		DA3001 REVISION: DA02 CHECKED: AEH			
DA02	JD	16/12/2024	DEVELOPMENT APPLICATION			REF: BIMcloud: bdb-26 - BIMcloud Basic for Archicad 26/24-091_38 Undercliff Road Freshwater DA															



NOTE: LANDSCAPING SHOWN INDICATIVELY -
REFER TO LANDSCAPE ARCHITECT FOR DETAIL

REV	INIT.	DATE	REVISION DETAILS
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION
DA02	JD	16/12/2024	DEVELOPMENT APPLICATION

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CONCRETE
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RENDER
STONE / PAVING
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SOFT LANDSCAPING
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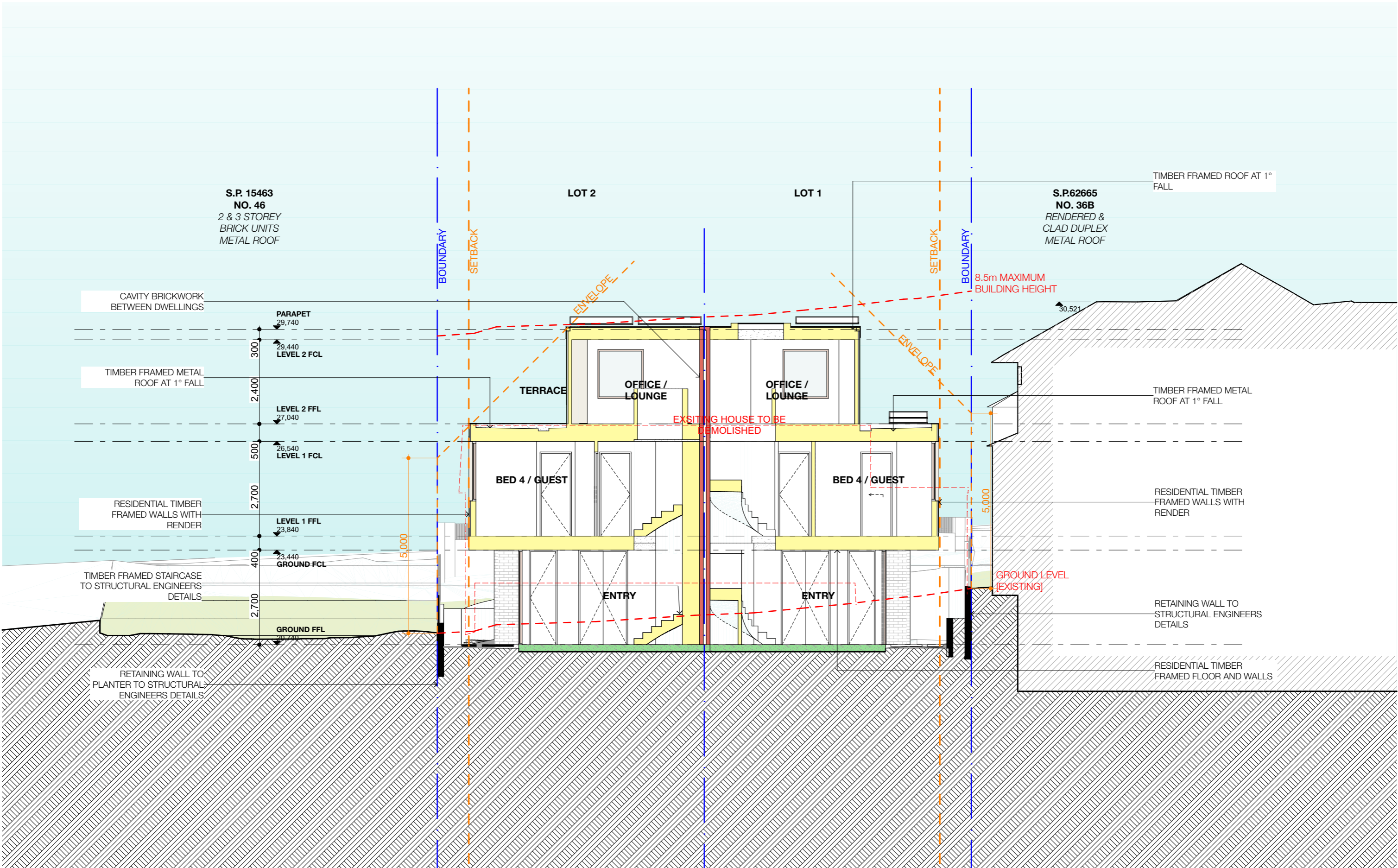
BASIX COMMITMENTS
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ARCHITECT:
MHNDU
35 RICHARDS LANE SURRY HILLS SYDNEY NSW 2010 T +61 2 9101 1111 F +61 2 9101 1100 www.mhndu.com
Nominated Architect Bridn Meyerson NSW Registration Number 4907

DRAWING TITLE:
EAST ELEVATION
PROJECT ADDRESS:
38 UNDERCLIFF ROAD, NSW FRESHWATER 2096 LOT 22 DP 5118

PROJECT NUMBER:
24-091
ISSUE DATE:
16/12/2024
SCALE:
1:100 @ A3
DRAWN BY:
JD
DWG NUMBER:
DA3003
REVISION:
DA02
CHECKED:
AEH

REF: BMDout: bdb-26 - BMDcloud Basic for Archicad 26/24-091_38 Undercliff Road Freshwater DA



REV	INT.	DATE	REVISION DETAILS
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION
DA02	JD	16/12/2024	DEVELOPMENT APPLICATION

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B BASIN
BRW BRICK WORK
CKT COOK TOP
CT CERAMIC TILE
D DRYER
DB ELEC BOARD
DP DOWN PIPE
FC FIBRE CEMENT
GM GAS MAIN
KS KITCHEN SINK
LB LETTER BOX
LD LINEAR DRAIN
MD METAL DECK
OF OVERFLOW
PVC POWDER COATED
PV PHOTO VOLTAC
RP RENDER + PAINT
RWH RAINWATER HEAD
ST STONE
T TIMBER
WM WASH MACHINE

MATERIAL CUT
EXISTING BUILDING
CONCRETE
MASONRY
FRAMING
GROUND
GRAVEL / LOOSE FILL
INSULATION
STONE

MATERIAL SURFACE
CONCRETE
BLOCK / BRICK
RENDER
STONE / PAVING
TIMBER
GLAZING
SOFT LANDSCAPING
GRAVEL / PEBBLES

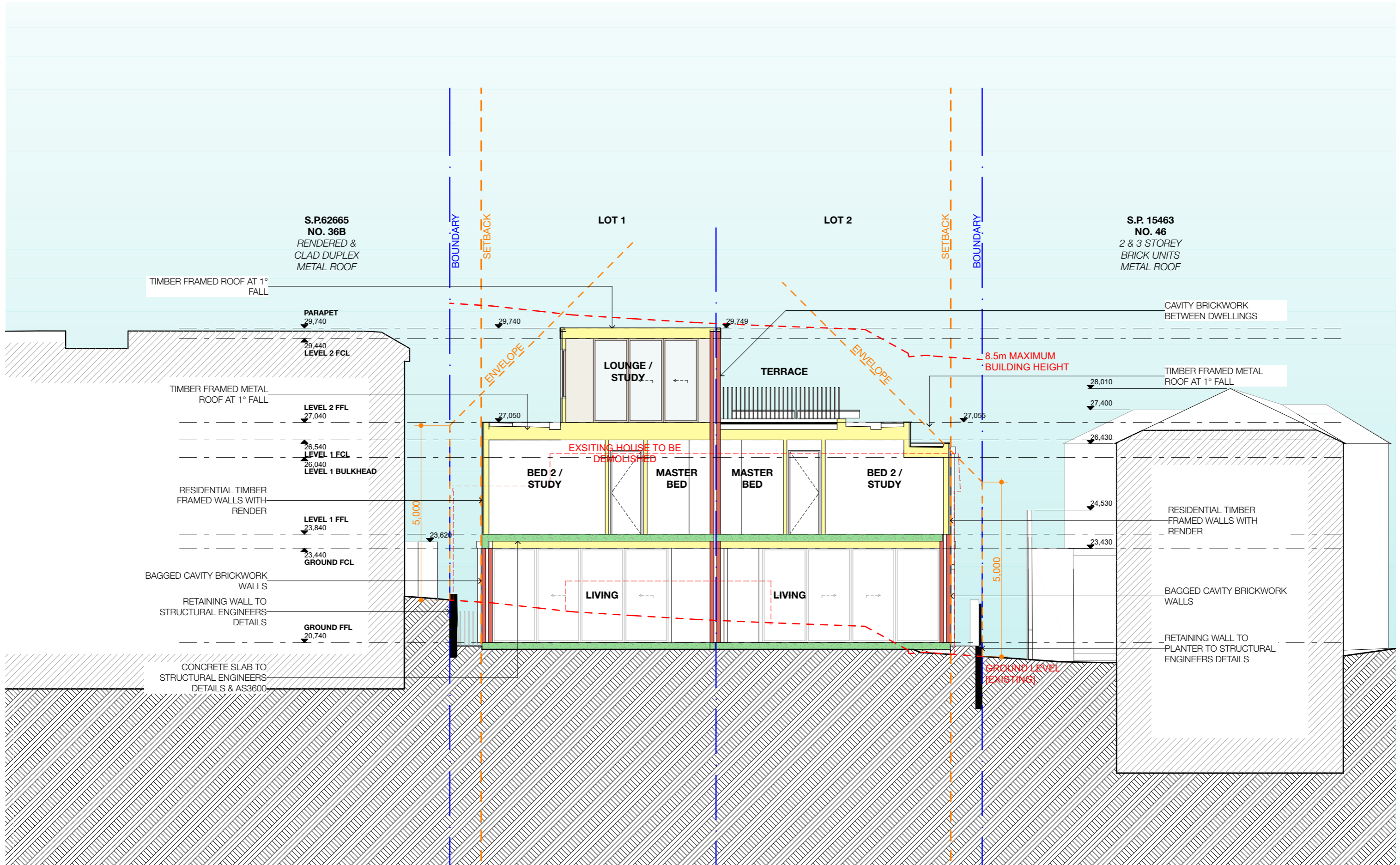
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ARCHITECT:
MHNDU UNION
35 RICHARDS LANE
SURRY HILLS SYDNEY NSW 2010
T +61 2 9101 1111
F +61 2 9101 1100
www.mhndu.com
MHNDU Design Urban Pty Ltd. ABN 94 003 717 682
Nominated Architect Bridn Meyererson NSW Registration Number 4907

DRAWING TITLE:
CROSS SECTION 2
PROJECT ADDRESS:
38 UNDERCLIFF ROAD, NSW FRESHWATER 2096
LOT 22 DP 5118

PROJECT NUMBER:
24-091
ISSUE DATE:
16/12/2024
SCALE:
1:100 @ A3
DRAWN BY:
JD
DWG NUMBER:
DA4001
REVISION:
DA02
CHECKED:
AEH

REF: BIMcloud: bdb-26 - BIMcloud Basic for Archicad 26/24-091_38 Undercliff Road Freshwater DA



REV	INT.	DATE	REVISION DETAILS
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION
DA02	JD	16/12/2024	DEVELOPMENT APPLICATION

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LEGEND	
- - - TO BE DEMOLISHED	
AL ALUMINIUM	LB LETTER BOX
B BASIN	LD LINEAR DRAIN
BWK BRICK WORK	MD METAL DECK
CKT COOK TOP	OF OVERFLOW
CT CERAMIC TILE	PVC POWDER COATED
D DRYER	PV PHOTO VOLTAC
DB ELEC BOARD	RP RENDER + PAINT
DP DOWN PIPE	RWH RAINWATER HEAD
FC FIBRE CEMENT	ST STONE
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MATERIAL CUT
EXISTING BUILDING
CONCRETE
MASONRY
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GRAVEL / LOOSE FILL
INSULATION
STONE

MATERIAL SURFACE
CONCRETE
BLOCK / BRICK
RENDER
STONE / PAVING
TIMBER
GLAZING
SOFT LANDSCAPING
GRAVEL / PEBBLES

BASIX COMMITMENTS
(ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)

ARCHITECT:

MHNDU UNION

35 RICHARDS LANE
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T +61 2 9101 1111
F +61 2 9101 1100
www.mhndu.com

Notified Architect
Bridn Meyer
NSW Registration Number 4907

DRAWING TITLE:

CROSS SECTION 3

PROJECT ADDRESS:

38 UNDERCLIFF ROAD, NSW FRESHWATER 2096

LOT 22 DP 5118

PROJECT NUMBER:

24-091

ISSUE DATE:

16/12/2024

SCALE:

1:100 @ A3

DRAWN BY:

JD

DWG NUMBER:

DA4002

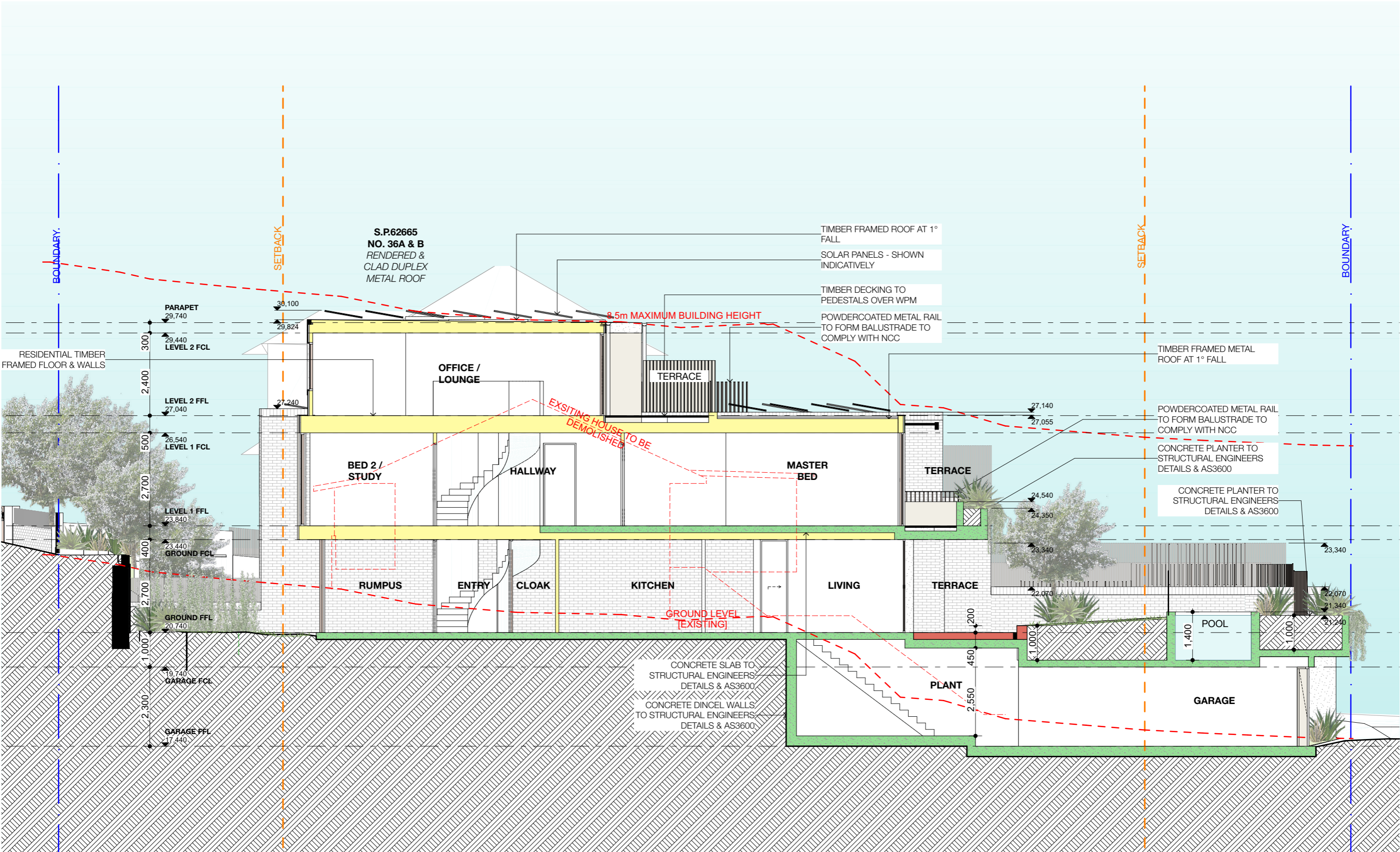
REVISION:

DA02

CHECKED:

AEH

REF: BIMcloud: bdb-26 - BIMcloud Basic for Archicad 26/24-091_38 Undercliff Road Freshwater DA



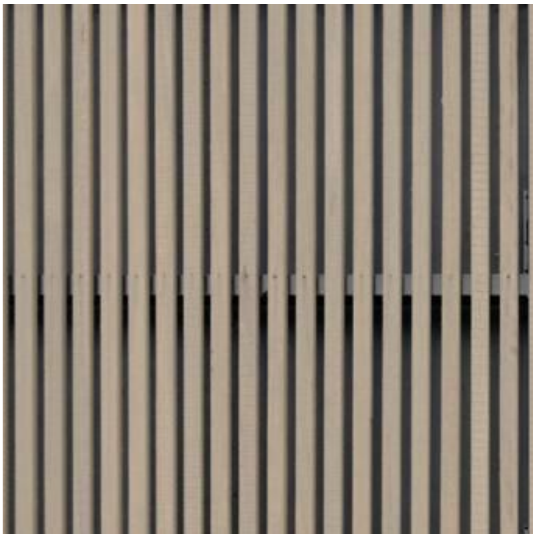
REV	INT.	DATE	REVISION DETAILS	GENERAL NOTES		DA LEGEND		MATERIAL CUT		MATERIAL SURFACE		BASIX COMMITMENTS		ARCHITECT:		DRAWING TITLE:		PROJECT NUMBER:		DWG NUMBER:	
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION																		
DA02	JD	16/12/2024	DEVELOPMENT APPLICATION	1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT. 2. DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED. 3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. 4. MHNDDU DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS. 5. CONTRACTOR TO NOTIFY MHNDDU OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES, OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURING. 6. CONTRACTOR TO ENSURE CONSISTENCY BETWEEN MATERIALS IS MAINTAINED. 7. MHNDDU TO REVIEW ALL CONTRACTORS DETAILED DRAWINGS / SETTING OUT PRIOR TO CONSTRUCTION. 8. PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE.		LEGEND - - - TO BE DEMOLISHED		AL ALUMINIUM S BASIN BWK BRICK WORK CKT COOK TOP CT CERAMIC TILE D DRYER DB ELEC BOARD DP DOWN PIPE FC FIBRE CEMENT GM GAS MAIN KS KITCHEN SINK LB LETTER BOX LD LINEAR DRAIN MD METAL DECK OF OVERFLOW PC POWDER COATED PV PHOTO VOLTAGE RDR RENDER + PAINT RWI RAINWATER HEAD ST STONE T TIMBER WM WASH MACHINE		CONCRETE BLOCK / BRICK RENDER STONE / PAVING TIMBER GLAZING SOFT LANDSCAPING GRAVEL / PEBBLES		ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 17684065M AND STAMPED PLANS		ARCHITECT: MHNDDU 35 RICHARDS LANE SURRY HILLS SYDNEY NSW 2010 T +61 2 9101 1111 F +61 2 9101 1100 www.mhndu.com ABN 94 003 717 682		DRAWING TITLE: LONG SECTION A PROJECT ADDRESS: 38 UNDERCLIFF ROAD, NSW FRESHWATER 2096 LOT 22 DP 5118		PROJECT NUMBER: 24-091 ISSUE DATE: 16/12/2024 SCALE: 1:100 @ A3		DWG NUMBER: DA4010 REVISION: DA02 CHECKED: AEH	



2 3 2 1 3 6 3 2



1. BWK - BAGGED BRICKWORK



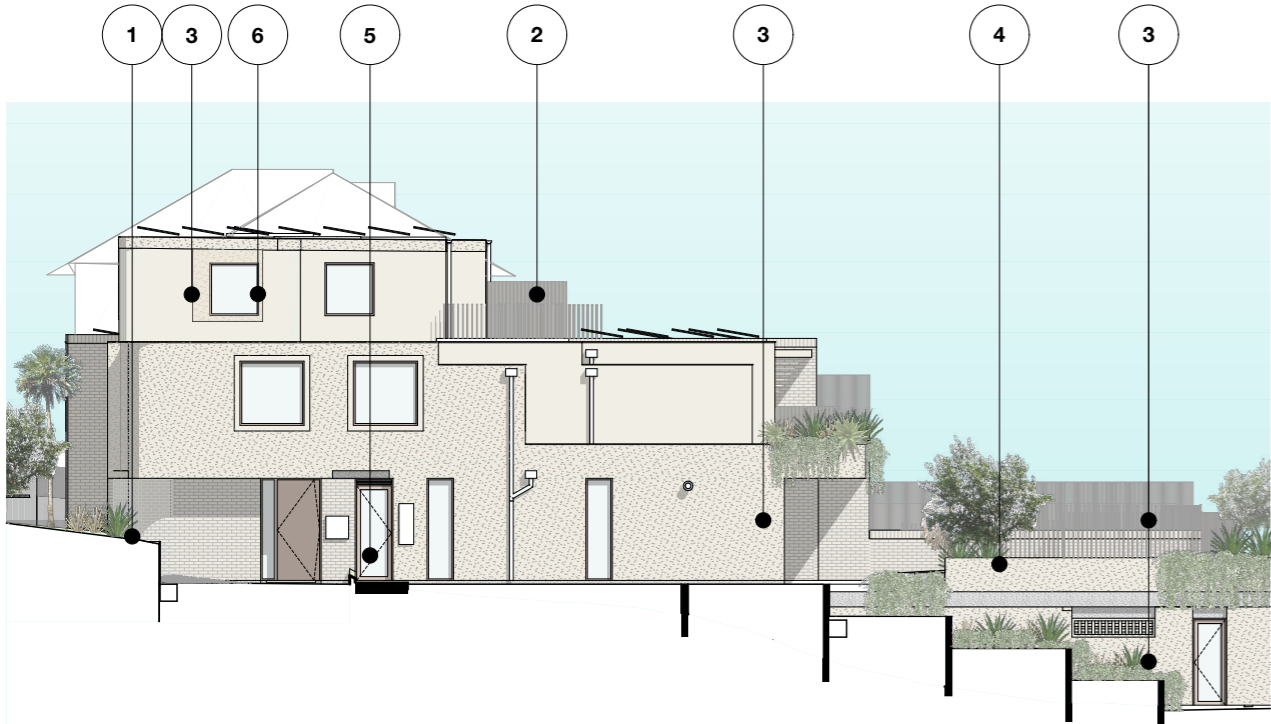
2. T - PAINTED BATTENS



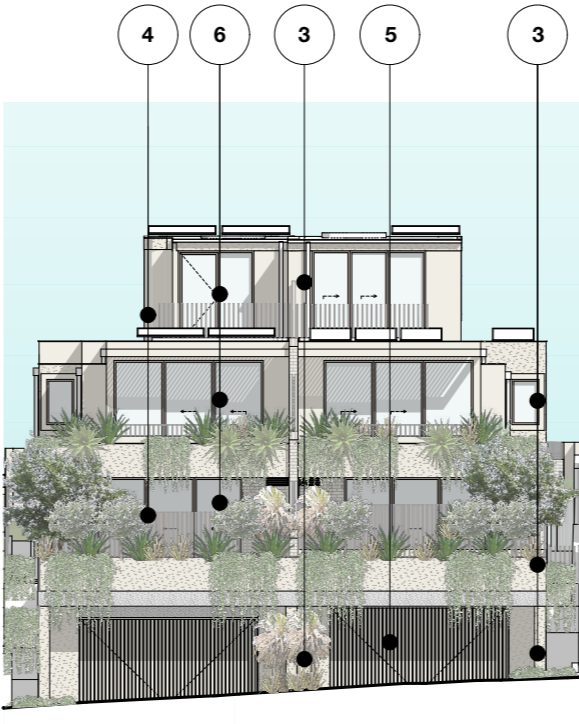
3. RP - PIGMENTED RENDER - DULUX STONE MASTER



4. P/C - POWDER-COATED STEEL ROD FENCING



SIDE ELEVATION



REAR LANE ELEVATION



5. T - PAINTED DOOR



6. P/C AL - POWDER-COATED ALUMINIUM WINDOWS AND DOORS

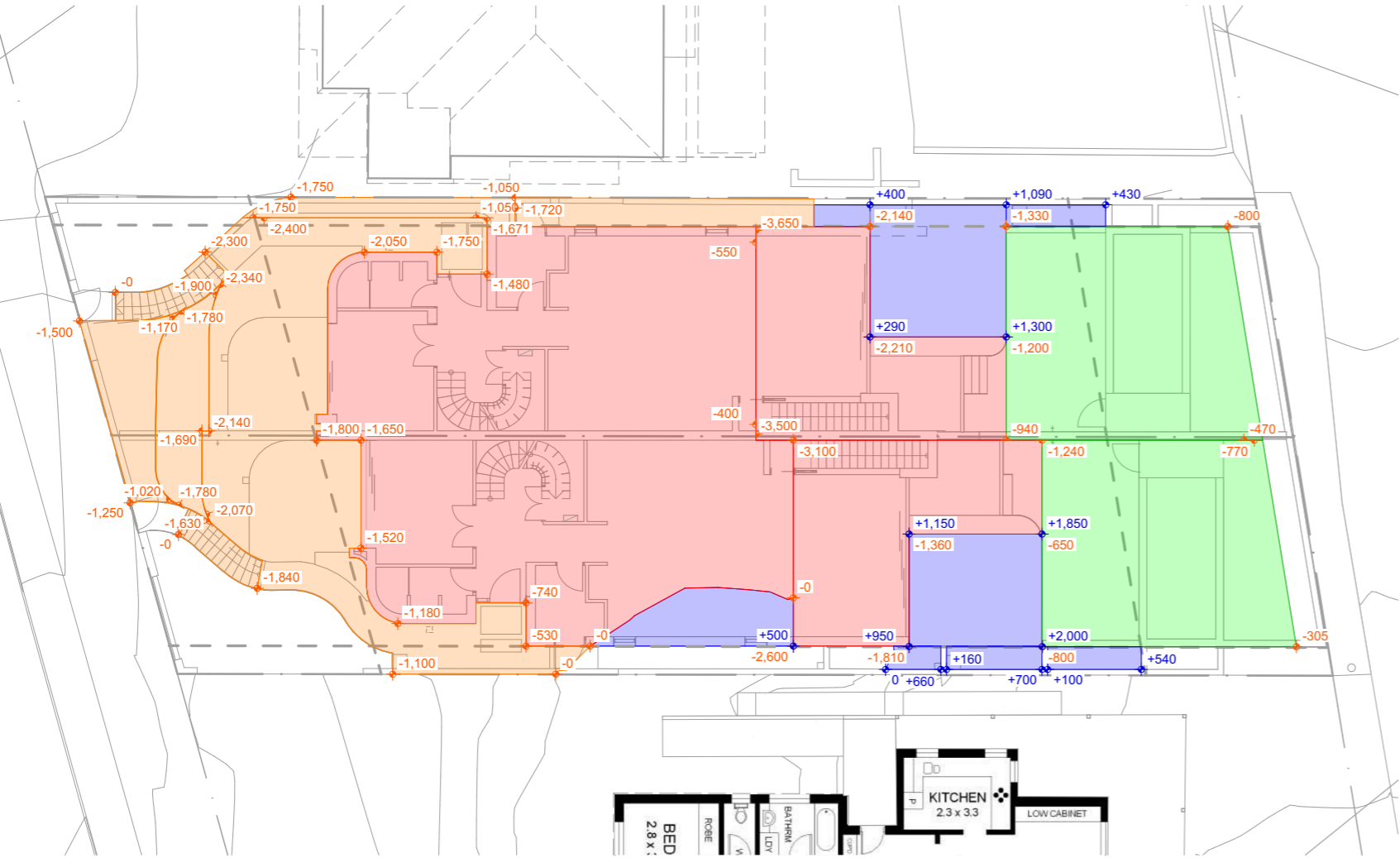
REV	INIT.	DATE	REVISION DETAILS	GENERAL NOTES	DA LEGEND	MATERIAL CUT	MATERIAL SURFACE	BASIX COMMITMENTS (ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)	ARCHITECT: <div>MHNDUNION</div> <div>35 RICHARDS LANE SURRY HILLS SYDNEY / NSW 2010 T +61 2 9101 1111 F +61 2 9101 1100 www.mhndu.com</div> <div><div>Nominated Architect</div><div>Bridn Meyerson</div><div>NSW Registration Number 4907</div></div> <div>MHNDU Design Urban Pty Ltd. ABN 94 003 717 682</div>	DRAWING TITLE: <div>EXTERNAL FINISHES</div> <div>PROJECT ADDRESS: 38 UNDERCLIFF ROAD, NSW FRESHWATER 2096</div> <div>LOT 22 DP 5118</div>	PROJECT NUMBER: <div>24-091</div> <div>ISSUE DATE: 16/12/2024</div> <div>SCALE: NTS @ A3</div>	DWG NUMBER: <div>DA6000</div> <div>REVISION: DA02</div> <div>CHECKED: AEH</div>	
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION										
DA02	JD	16/12/2024	DEVELOPMENT APPLICATION										
				1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT.	<div>LEGEND</div> <div>--- TO BE DEMOLISHED</div> <div>AL ALUMINIUM LB LETTER BOX</div> <div>B BASIN LD LINEAR DRAIN</div> <div>BWK BRICK WORK MD METAL DECK</div> <div>CKT COOK TOP OF OVERFLOW</div> <div>CT CERAMIC TILE PVC POWDER COATED</div> <div>D DRYER PV PHOTO VOLTAGE</div> <div>DB ELEC BOARD RP RENDER + PAINT</div> <div>DP DOWN PIPE RWH RAINWATER HEAD</div> <div>FC FIBRE CEMENT ST STONE</div> <div>GM GAS MAIN T TIMBER</div> <div>KS KITCHEN SINK WM WASH MACHINE</div>	<div>EXISTING BUILDING</div> <div>CONCRETE</div> <div>MASONRY</div> <div>FRAMING</div> <div>GROUND</div> <div>GRAVEL / LOOSE FILL</div> <div>INSULATION</div> <div>STONE</div>	<div>CONCRETE</div> <div>BLOCK / BRICK</div> <div>RENDER</div> <div>STONE / PAVING</div> <div>TIMBER</div> <div>GLAZING</div> <div>SOFT LANDSCAPING</div> <div>GRAVEL / PEBBLES</div>						
			2. DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED.										
			3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK.										
			4. MHNDU DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS.										
			5. CONTRACTOR TO NOTIFY MHNDU OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES, OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURING.										
			6. CONTRACTOR TO ENSURE CONSISTENCY BETWEEN MATERIALS IS MAINTAINED.										
			7. MHNDU TO REVIEW ALL CONTRACTORS DETAILED DRAWINGS / SETTING OUT PRIOR TO CONSTRUCTION.										
			8. PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE.										
REF: BIMcloud: bdb-26 - BIMcloud Basic for Archicad 26/24-091_38 Undercliff Road Freshwater_DA													

LANDSCAPED AREA					
	AREA	SITE	%	REQUIRED	COMPLIES
CONTROL - LOT 1	m ²	291.7	40.6% [118.4m ²]	40% [116.7m ²]	YES
CONTROL - LOT 2	m ²	284.9	40.3% [114.9m ²]	40% [114.0m ²]	YES

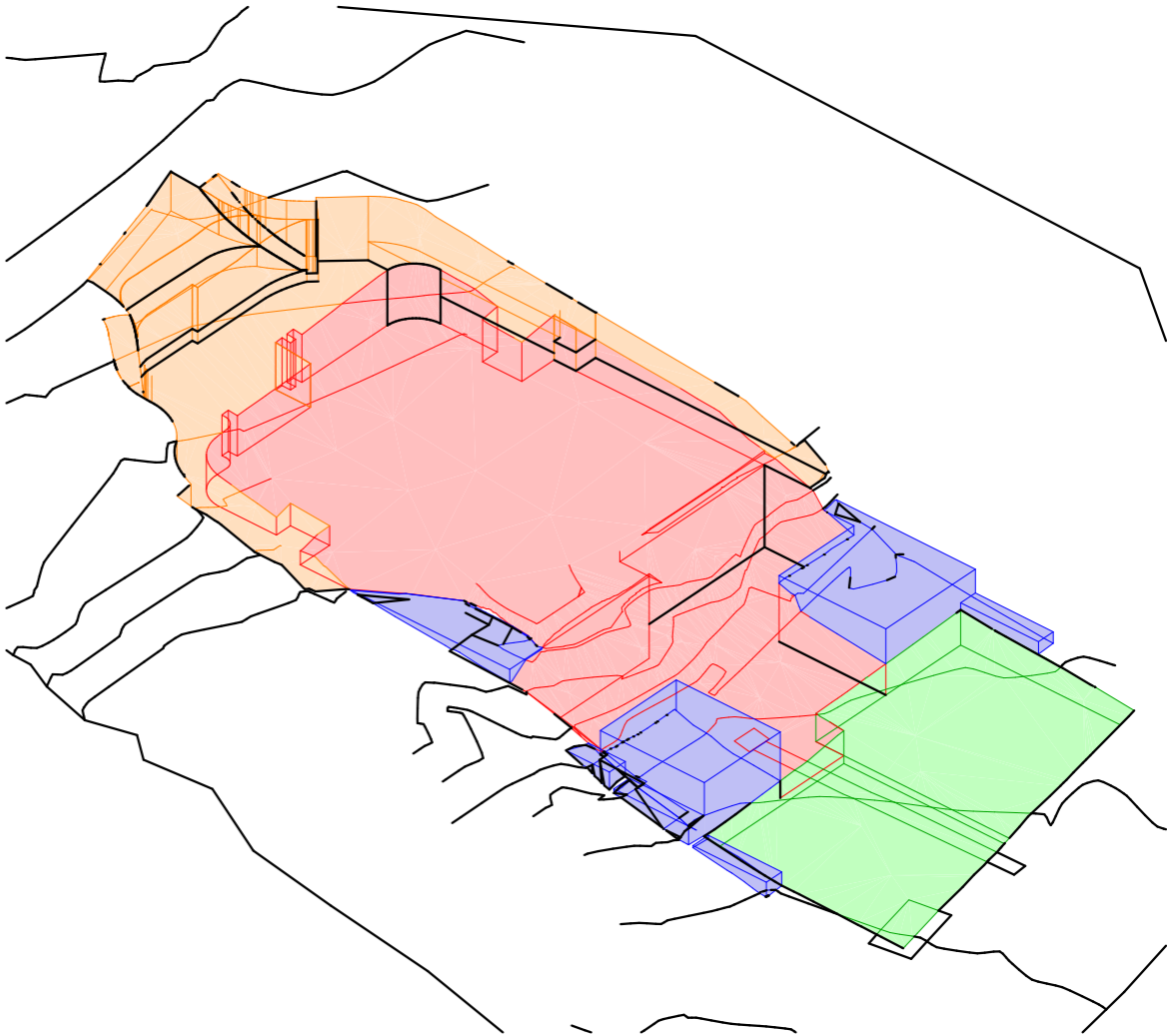


EXCAVATION / OR FILL CALCULATIONS

PURPOSE	VOLUME
EXCAVATION - BUILDING	337.39m ³
EXCAVATION - PARKING	81.09m ³
EXCAVATION - LANDSCAPE	169.75m ³
FILL - ALL	46.58m ³



1 EXCAVATION / OR FILL PLAN

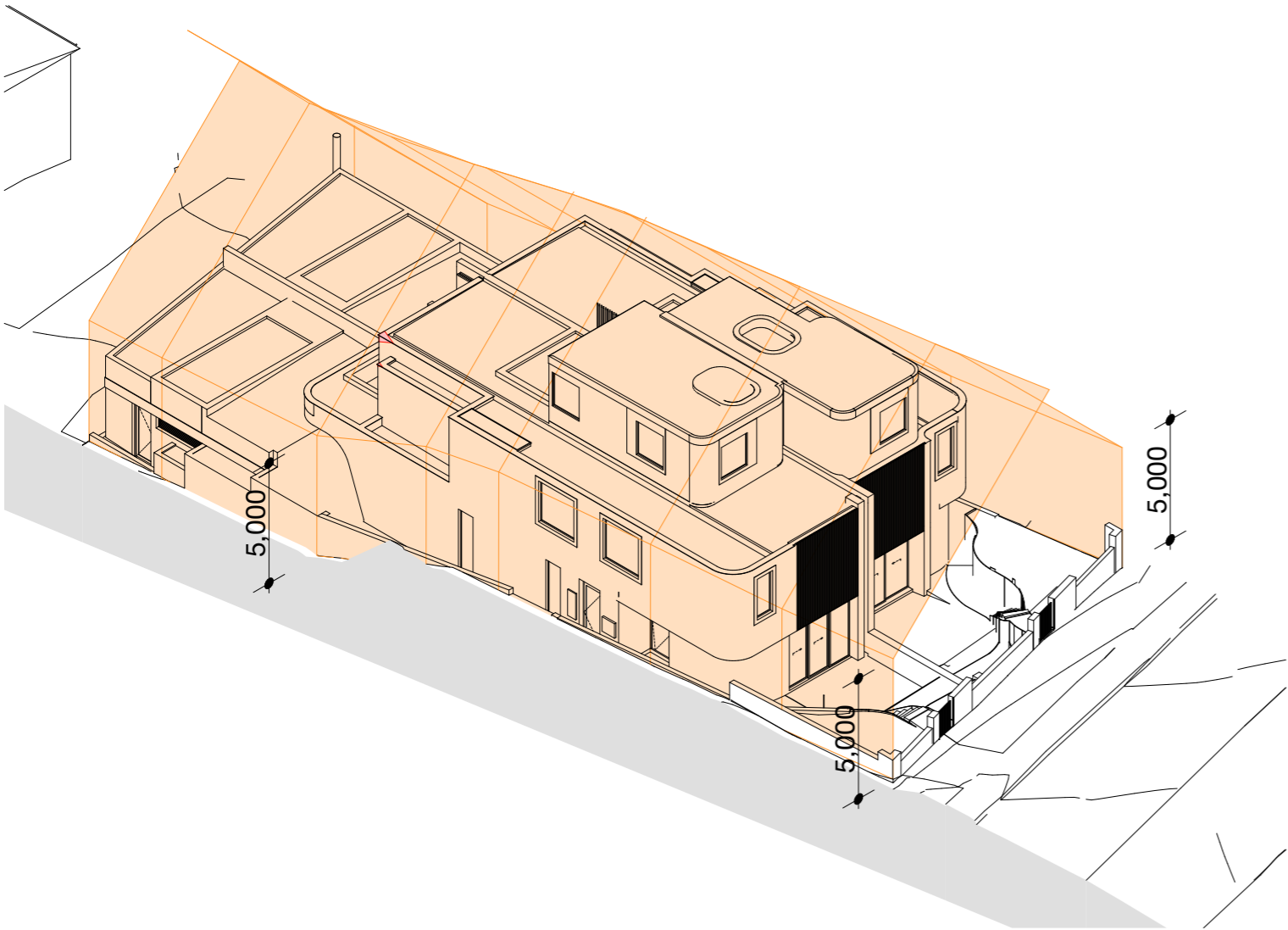


2 EXCAVATION / OR FILL DIAGRAM

REV	INIT.	DATE	REVISION DETAILS	GENERAL NOTES	DA LEGEND	MATERIAL CUT	MATERIAL SURFACE	BASIX COMMITMENTS	ARCHITECT:	DRAWING TITLE:	PROJECT NUMBER:	DWG NUMBER:
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION	1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT. 2. DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED. 3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. 4. MHNDU DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS. 5. CONTRACTOR TO NOTIFY MHNDU OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES, OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURING. 6. CONTRACTOR TO ENSURE CONSISTENCY BETWEEN MATERIALS IS MAINTAINED. 7. MHNDU TO REVIEW ALL CONTRACTORS DETAILED DRAWINGS / SETTING OUT PRIOR TO CONSTRUCTION. 8. PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE.	LEGEND --- TO BE DEMOLISHED AL ALUMINIUM S BASIN BWK BRICK WORK CKT COOK TOP CT CERAMIC TILE D DRYER DB ELEC BOARD DP DOWN PIPE FC FIBRE CEMENT GM GAS MAIN KS KITCHEN SINK LB LETTER BOX LD LINEAR DRAIN MD METAL DECK OF OVERFLOW PVC POWDER COATED PV PHOTO VOLTAGE RW RAINWATER HEAD RW RAINWATER HEAD ST STONE T TIMBER WM WASH MACHINE	EXISTING BUILDING CONCRETE MASONRY FRAMING GROUND GRAVEL / LOOSE FILL INSULATION STONE	CONCRETE BLOCK / BRICK RENDER STONE / PAVING TIMBER GLAZING SOFT LANDSCAPING GRAVEL / PEBBLES	(ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)	MHNDU 35 RICHARDS LANE SURRY HILLS SYDNEY NSW 2010 T +61 2 9101 1111 F +61 2 9101 1100 www.mhndu.com Nominated Architect Bridn Meyer NSW Registration Number 4907	EXCAVATION / OR FILL CALCULATIONS	24-091	DA9101
DA02	JD	16/12/2024	DEVELOPMENT APPLICATION							PROJECT ADDRESS: 38 UNDERCLIFF ROAD, NSW FRESHWATER 2096 LOT 22 DP 5118	ISSUE DATE: 16/12/2024 SCALE: 1:200 @ A3	DRAWN BY: JD CHECKED: AEH

ENVELOPE

1. Buildings on land shown coloured on the DCP Map Side Boundary Envelopes must be sited within a building envelope determined by projecting planes at 45 degrees from a height above ground level (existing) at the side boundaries of **5 metres**



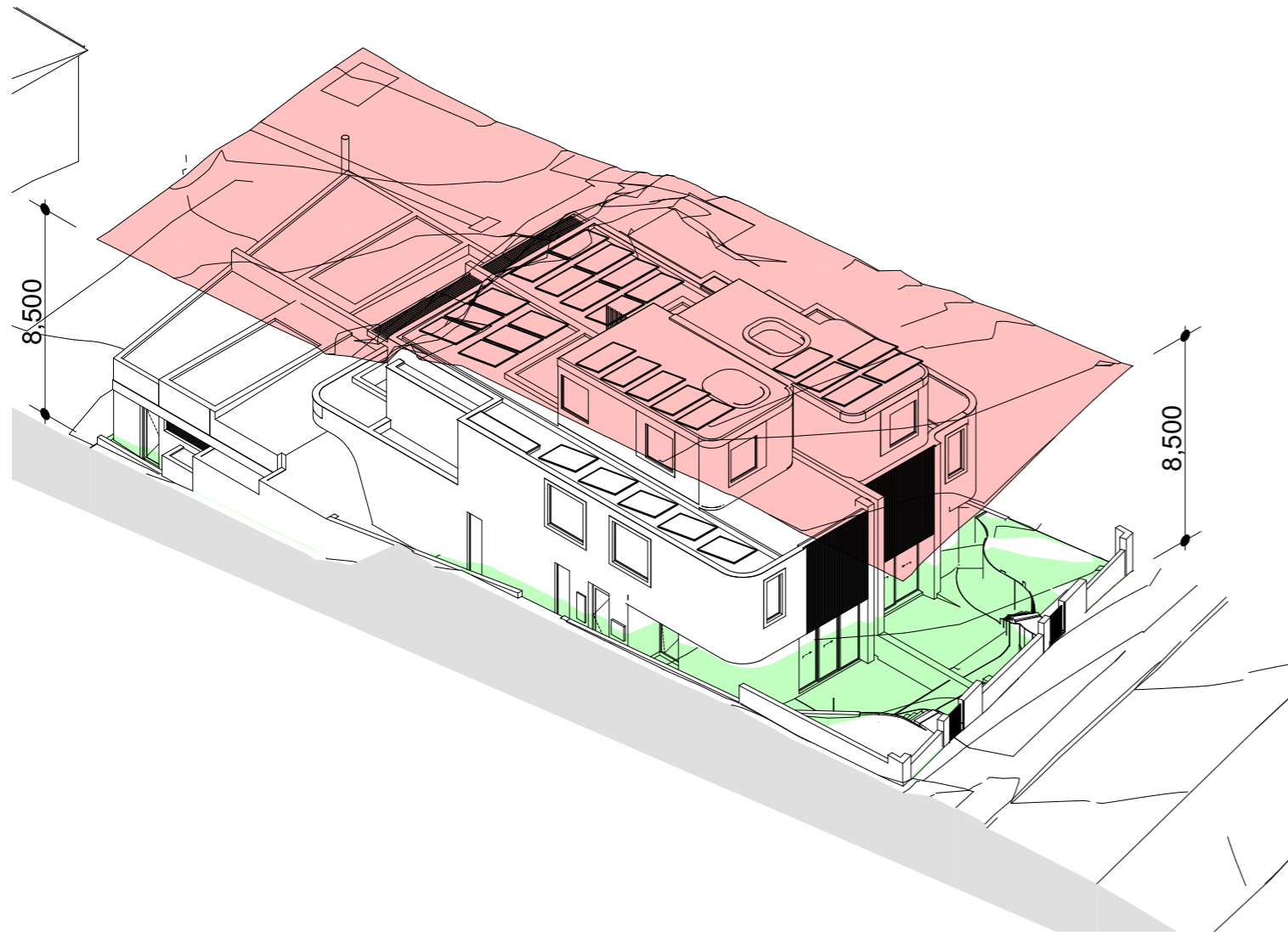
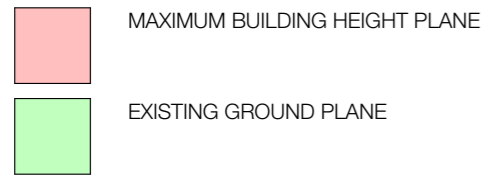
A 3D architectural rendering of a modern building with a stepped roof and terraces. The building is shown in a perspective view, with a light gray ground plane. Three vertical dimension lines with arrows at the bottom are placed along the side of the building, each labeled '5,000'. The building has multiple levels, including a flat roof with a circular feature, and a series of terraces and balconies. The facade is composed of light-colored panels and large windows. The overall style is clean and minimalist.

2 PLANNING DIAGRAM - BUILDING ENVELOPE- EAST

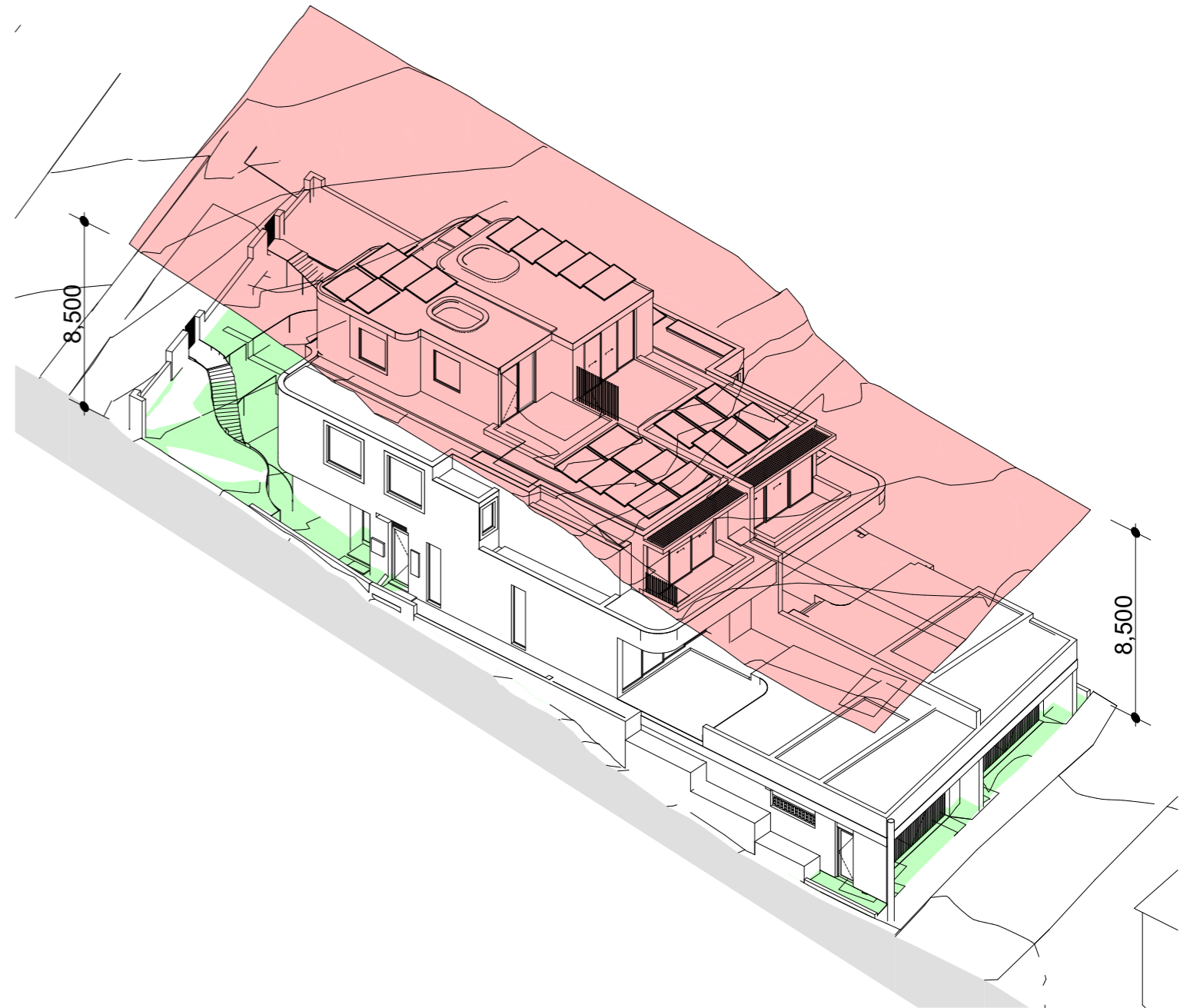
REV. INIT. DATE REVISION DETAILS				GENERAL NOTES	DA LEGEND		BASIC COMMITMENTS	ARCHITECT:	DRAWING TITLE:	PROJECT NUMBER:	DWG NUMBER:	
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION	1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT. 2. DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED. 3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. 4. MHNDU DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS. 5. CONTRACTOR TO NOTIFY MHNDU OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES, OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURING. 6. CONTRACTOR TO ENSURE CONSISTENCY BETWEEN MATERIALS LIST AND MANUFACTURING. 7. MHNDU TO REVIEW ALL CONTRACTOR'S DETAIL DRAWINGS / SETTING OUT PRIOR TO CONSTRUCTION. 8. PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE.	LEGEND -- TO BE DEMOLISHED	MATERIAL CUT EXISTING BUILDING	MATERIAL SURFACE	35 RICHARDS LANE SURREY HILLS SYDNEY NSW 2010 T +61 2 9101 1111 F +61 2 9101 1100 www.mhndu.com <small>Nominated Architect Bridar Mayaram www.mhndu.com NHW Registration Number 4907</small>	ENVELOPE DIAGRAMS	24-091	DA9300	
DA02	JD	16/12/2024	DEVELOPMENT APPLICATION		AL ALUMINIUM LB LETTER BOX B BASIN LD LINEAR DRAIN BW BRICK WORK MD METAL DECK CK COOK TOP OF OVERFLOW CT CERAMIC TILE PVD PHOTO VOLTAGE DB ELEC BOARD RP RENDER + PAINT D DOWN PIPE RW RAIN WATER HEAD FC FIBRE CEMENT ST STONE GM GAS MAIN T TIMBER KS KITCHEN SINK WM WASH MACHINE	CONCRETE CONCRETE MASONRY FRAMING GROUND GRAVEL / LOOSE FILL INSULATION STONE	CONCRETE BLOCK / BRICK RENDER STONE / PAVING TIMBER GLAZING SOFT LANDSCAPING GRAVEL / PEBBLES					PROJECT ADDRESS:
SCALE: NTS @ A3											DRAWN BY: JD	CHECKED: AEH
REF: BMD001: bcb-26 - Bldmd01 Basic for ArchiCAD 2024-091, 38 Undercliff Road Freshwater, DA												

MAXIMUM BUILDING HEIGHT
R2 CONTROL - 8.5m

R2 CONTROL - 8.5m



PLANNING DIAGRAM - MAXIMUM BUILDING HEIGHT - WEST



PLANNING DIAGRAM - MAXIMUM BUILDING HEIGHT - EAST

[illegible]



REV		INIT.	DATE	REVISION DETAILS	
DA01	JD		17/10/2024	DEVELOPMENT APPLICATION	
DA02	JD		16/12/2024	DEVELOPMENT APPLICATION	

GENERAL NOTES	
1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT. 2. DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED. 3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. 4. MHNDU DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS. 5. CONTRACTOR TO NOTIFY MHNDU OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES, OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURING. 6. CONTRACTOR TO ENSURE CONSISTENCY BETWEEN MATERIALS IS MAINTAINED 7. MHNDU TO REVIEW ALL CONTRACTORS DETAILED DRAWINGS / SETTING OUT PRIOR TO CONSTRUCTION. 8. PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE.	

DA LEGEND	
LEGEND --- TO BE DEMOLISHED	
AL ALUMINIUM B BASIN BW BRICK WORK CKT COOK TOP CT CERAMIC TILE D DRYER DB ELEC BOARD DP DOWN PIPE FC FIBRE CEMENT GM GAS MAIN KS KITCHEN SINK	LB LETTER BOX LD LINEAR DRAIN MD METRA PEXOR OF OVERFLOW PIC POWDER COATED PV PHOTO VOLTAGE RP RENDER + PAINT RW RAINWATER HEAD ST STONE TM TIMBER WM WASH MACHINE

MATERIAL CUT	
[Pattern]	EXISTING BUILDING
[Pattern]	CONCRETE
[Pattern]	MASONRY
[Pattern]	FRAMING
[Pattern]	GROUND
[Pattern]	GRAVEL / LOOSE FILL
[Pattern]	INSULATION
[Pattern]	STONE

MATERIAL SURFACE	
[Pattern]	CONCRETE
[Pattern]	BLOCK / BRICK
[Pattern]	RENDER
[Pattern]	STONE / PAVING
[Pattern]	TIMBER
[Pattern]	GLAZING
[Pattern]	SOFT LANDSCAPING
[Pattern]	GRAVEL / PEBBLES

BASIC COMMITMENTS	
(ALL OTHER BASIC COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)	

ARCHITECT:

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SURRY HILLS SYDNEY NSW 2010
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F +61 2 9101 1100
www.mhndu.com

Nominated Architect
Nominated Landscape Architect
Nominated Interior Designer

wH Design Unit Pty Ltd. ABN 94 003 717 682 NSW Registration Number 4907

DRAWING TITLE:	PROJECT NUMBER:	DWG NUMBER:
ARTISTIC IMPRESSION	24-091	DA9302
PROJECT ADDRESS:	ISSUE DATE:	REVISION:
38 UNDERCLIFF ROAD, NSW FRESHWATER 2096	16/12/2024	DA02
L0T 22 DP 5118	SCALE:	DRAWN BY:
	NTS @ A3	CHECKED:
	JD	AEH

REF: BMMOut: bcb-26 - BMMOut Basic for Artical 2624-091_38 Undercliff Road Freshwater DA