



Environmental Compliance
8am to 6pm Mon - Thurs, 8am to 5pm Fri
Phone 9970 1111

31 January 2006

Dean Mifsud
Energy Power Systems
55 – 61 Market Street
SMITHFIELD NSW 2164

COPY

Dear Sir

**Re: Construction Certificate CC0596/05
Property: PITTWATER RSL 80-82 MONA VALE ROAD MONA VALE NSW 2103**

Please find enclosed your approved Construction Certificate and stamped plans.

Did you know that work is unable to commence until such time as a completed Notification of Commencement Form has been submitted to Council at least two (2) days prior to starting work? Not to do so is a breach of the Environmental Planning and Assessment Act, which would result in a Penalty Infringement Notice (on-the-spot fine) being issued to you and the builder.

To assist you please find enclosed a "Notification of Commencement and Principal Certifying Authority Service Agreement" form to enable you to appoint Pittwater Council as your Principal Certifying Authority (PCA). Please complete this form and return it to Council's Customer Service together with the PCA appointment fee as detailed in the form.

If appointed as the PCA, Council would carry out various inspections as indicated in Part 6 of the enclosed "Notification of Commencement and Principal Certifying Authority Service Agreement" form and ultimately issue an Occupation Certificate for your development. Appointment and inspection fees are also detailed in the enclosed form

Council will endorse your "Notice of Commencement and Principal Certifying Authority Service Agreement" form and return a copy to the applicant with advice as to the required critical stage and other inspections to be carried out by Council.

Council is committed to providing a quality service and would value your business in being appointed as the Principal Certifying Authority for your development.

An Officer will contact you in the next few days to discuss your development and help ensure your development progresses smoothly.

Yours faithfully
Development Compliance Group

Per: 



Pittwater Council

Construction Certificate No: CC0596/05

Site Details: **PITTWATER RSL 80-82 MONA VALE ROAD MONA VALE NSW 2103**

Legal Description: **Lot 26 DP 654262**



Type of Development: **Building Work**

Description: **Standby Power System & Housing**

Associated Development Consent No: **N0713/05** Dated: **30/11/2005**

Building Code of Australia Certification: **Class 10a**

Details of plans, documents or Certificates to which this Certificate relates:

- Diesel Generator Set, General Arrangement with Acoustic Enclosure Drawings prepared by Energy Power Systems Australia, Drawing No.N01259 (Rev A),dated 25 October 2005
- Diesel Generator Set, Site Layout Drawings prepared by Energy Power Systems Australia, Drawing No.N01259 (Rev A),dated 24 October 2005
- Diesel Generator Set, Detailed Layout Drawings prepared by Energy Power Systems Australia, Drawing No.N01259 (Rev A),dated 24 October 2005
- Structural Engineering Details prepared by Energy Power Systems Australia, Drawing No. N01259 (Rev A), dated 28 October 2005

I hereby certify that the above plans, documents or Certificates satisfy:

- The relevant provisions of the Building Code of Australia.
- The relevant conditions of Development Consent No: **N0713/05**

Further that the work, completed in accordance with the Building Code of Australia, all relevant Australian Standards and these plans and specifications, will comply with the requirements of Section 81A(5) of the Environmental Planning and Assessment (Amendment) Act, 1997.

Carl Georgeson
Development Compliance Group

31 January 2006
Date of Endorsement

Note: You are reminded that pursuant to provisions of Clause 81A, you must nominate whether Council or an accredited certifier will be the principal certifying authority, also you must give notice to Council of your intention to commence work at least two days beforehand.



Pittwater Council
 PO Box 882
 Mona Vale NSW 1660
 Tel: (612) 9970 1111
 Fax: (612) 9970 7150

NOTIFICATION OF COMMENCEMENT & PRINCIPAL CERTIFYING AUTHORITY SERVICE AGREEMENT

under Environmental Planning and Assessment Act 1979 sections 81A (2) (b) (ii) or (c), or (4) (b) (ii) or (c), 86 (1) and (2)

About this form

- Use this form to appoint Pittwater Council as the Principal Certifying Authority (PCA) to carry out nominated inspections of the building / subdivision works and to issue the required Occupation Certificate
- This form must be submitted to Pittwater Council a minimum of two (2) days prior to the commencement of works.

Who can complete this form?

- The owner of the property or the person having the benefit of the development consent.
Note: The builder or other contractor cannot complete this form unless they are also the owner of the property.

Applicant's Checklist

- Read this document
- Complete pages 1, 2 & 3
- Sign on page 8
- Attach a copy of Owner Builder Permit or Home Owner Warranty Insurance Certificate.

Payment of fees

- At the time of submitting this form to Pittwater Council a fee is to be paid in accordance with the following fee structure, current to 30 June 2006.

Value of Development	Total Fee (including GST)	
	Domestic (class 1 & 10) (Code: HIND)	Commercial (Code: HINC)
\$0 - \$5,000	\$92.00	\$161.00
\$5,001 - \$100,000	\$235.00	\$305.00
\$100,001 - \$250,000	\$376.00	\$430.00
\$250,001 and over	\$484.00	
\$250,001 - \$500,000		\$590.00
\$500,001 - \$1,000,000		\$740.00
\$1,000,001 and over		Fee on application

- Critical Stage Inspection fees (refer to Part 6e of this form) maybe paid at the time of booking the inspection or a delayed payment until the request for either an Interim or Final Occupation Certificate.

OFFICE USE ONLY

Date of receipt:	Receipt No:	Amount Paid:	Accepted by:
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1. DEVELOPMENT INFORMATION

1a) DEVELOPMENT CONSENT

Development Application No: NO 713/05	Determination Date: 30 NOVEMBER 2005
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1b) CONSTRUCTION CERTIFICATE

Construction Certificate No: CC0596/05	Date of Issue: 31 JANUARY 2006
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1c) DEVELOPMENT DETAILS

Type of Work: <input type="checkbox"/> New Building <input type="checkbox"/> Additions / Alterations <input type="checkbox"/> Subdivision	Brief description of development:
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1d) SITE DETAILS

Unit/Suite:	Street No: 80-82	Street: MONA VALE ROAD,		
Suburb: MONA VALE		Lot No:		Deposit /Strata Plan:

1e) VALUE OF PROPOSED DEVELOPMENT

Estimated value of proposed works: \$

1f) DATE WORK IS TO COMMENCE

Minimum notice of two (2) days is required to be given prior to commencement of works.
Date of commencement:

2. APPLICANT DETAILS

Note: The builder or other contractor cannot complete this form unless they are also the owner of the property.

Name (owner):	
Postal Address:	Phone (H/B):
.....	Mobile:
.....	Email:
.....	Fax:

3. PRINCIPAL CERTIFYING AUTHORITY

PITTWATER COUNCIL	
PO Box 882 Mona Vale NSW 1660	Ph: 9970 1111 Fax: 9970 7150

4. COMPLIANCE WITH DEVELOPMENT CONSENT

Have all conditions to be addressed prior to the commencement of works been satisfied?	
<input type="checkbox"/> YES	<input type="checkbox"/> NO (see Note below)
Note: If NO work must not commence. Please be aware that failure to address these conditions may leave you liable and in Breach of the Environmental Planning and Assessment Act 1979 (as amended). Penalties may include an on-the-spot fine and/or legal action. If you are uncertain as to these requirements please contact Council's Development Compliance Group.	

5. WHO WILL BE DOING THE BUILDING WORKS?

<input type="checkbox"/> Owner Builder Owner Builders Permit No:
Copy of Owner Builders permit attached: <input type="checkbox"/> YES
<i>If you are an Owner-Builder for the residential building work exceeding \$5000 you must apply for a permit at NSW Office of Fair Trading, 1 Fitzwilliam Street, Parramatta NSW 2150 Australia. Tel: 61 2 98950111 Fax: 61 2 9895 0222.</i>

OR

<input type="checkbox"/> Licensed Builder Builder's License Number :	
Name of Builder:.....	Phone:.....
Contact person:	Mobile:
Address:	Fax:
Insurance Company:	Insurance Certificate attached: <input type="checkbox"/> Yes <input type="checkbox"/> No – statement attached & signed by each owner of the property that the reasonable market cost of the labour & materials to be used is less than \$12,000.
<i>If you are using a licensed builder for residential building work exceeding \$12,000 you must obtain Home Building Act Insurance. A certificate of insurance must be provided with this application.</i>	

6. RESPONSIBILITIES OF THE PRINCIPAL CERTIFYING AUTHORITY (PCA)

6a) Quality of Service:

Pittwater Council will carry out PCA and inspection services in a professional manner and in accordance with the requirements of the Environmental Planning & Assessment Act 1979 and Council's Code of Conduct.

6b) Site Signage:

Pittwater Council will erect a sign on the site to advise the general public of the contact details of the PCA. The sign will be erected during the Commencement Inspection, on Council's acceptance of appointment as PCA.

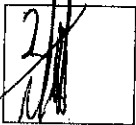
6c) Inspections:

Pittwater Council officers will undertake the Critical Stage Inspections of the work during construction and prior to issuing an Occupation Certificate to ascertain compliance of specified stages of construction with the Development Consent, Construction Certificate, Building Code of Australia & relevant standards of construction. On appointment as the PCA, Pittwater Council will notify the applicant in writing of the Critical Stage & other Inspections.

6d) Critical Stage and other inspections:

The following stages of construction are required to be inspected by Council (as indicated by a ✓ in the relevant box).

Note: Council's Development Compliance Officer will complete this section of the form.

- Office Use Only
- | | |
|--|--|
| <input type="checkbox"/> Footing Inspection (prior to placement of concrete) | 
Office Use Only |
| <input checked="" type="checkbox"/> Slab and other Steel Inspection (prior to placement of concrete) | |
| <input type="checkbox"/> Frame Inspection (prior to fixing floor, wall & ceiling linings) | |
| <input type="checkbox"/> Wet Area Waterproofing Inspection (prior to covering) | |
| <input type="checkbox"/> Stormwater Inspection (prior to backfilling of trenches) | |
| <input type="checkbox"/> Swimming Pool Safety Fence Inspection (prior to placement of water) | |
| <input checked="" type="checkbox"/> Final Inspection (all works completed and prior to occupation of the building) | |

Note: Should the building works be completed in parts & not all aspects of a Critical Stage Inspection be ready, additional inspections maybe required – with a further inspection fee payable.

Eg: If two slabs are prepared at separate times, two separate inspection bookings and fees are required.

6e) Critical Stage and other inspection fees:

An inspection fee is required for each inspection identified in Part 6d of this form. A separate inspection fee is required for each Critical Stage Inspection. Should works be either incomplete or incorrect at the time of inspection a further separate reinspection fee will be required.

Each inspection fee may be paid at the time of requesting an inspection or delayed for payment with the request for either an Interim or Final Occupation Certificate.

Critical Stage or other Inspection Fee Scale current to 30 June 2006

(Code: HINR)

Value of Development	Fee per Inspection
\$0 - \$100,000	\$150
\$100,001 and over	\$250

Final Inspection Fee Scale current to 30 June 2006

(Code:FOCC)

Type of Development	Interim Occupation Certificate	Final Occupation Certificate
Domestic (Class 1 and 10 buildings)	\$270	\$270
Commercial (Class 2 – 9 buildings)	\$325	\$325

Please note that a failure to give correct notification of required inspections may result in the issuing of a Penalty Infringement Notice (PIN or on-the-spot fine) and/or a Notice and Order by Council and may result in refusal to issue an Occupation Certificate.

6f) Inspection Results:

Pittwater Council will provide written confirmation to the applicant of the inspection results and indicate if satisfactory or if additional works are required prior to reinspection.

7. RESPONSIBILITIES OF THE APPLICANT

7a) Inspections:

A minimum of forty-eight (48) hours notice (excluding weekends and public holidays) must be given to Council to enable the specified stages of construction to be inspected as identified in Item 6 of this agreement.

Should an inspection be missed, the applicant must advise Council in writing (as soon as practicable after the event) of that fact, the circumstances causing the inspection to be missed and supporting documentation for Council's consideration. In such cases, the inspection fee, which would normally have been required, must still be paid.

The applicant must ensure that the Principal Contractor (Builder/Owner Builder) is advised of the required inspections and that the directions of Council's Development Compliance Officers are to be observed to ensure compliance with the Development Consent, Construction Certificate, Building Code of Australia and the terms of this agreement.

7b) Booking of Inspections:

The applicant shall request an inspection via Pittwater Council's Inspection Booking Hotline on 9970 1300. A minimum of forty-eight (48) hours notice must be provided to Council to arrange for completion of the inspection.

At the time of requesting the inspection, Pittwater Council will confirm an inspection time and day, name of inspecting officer and mobile contact number.

Building works must **not** proceed to the subsequent stages of construction prior to obtaining a satisfactory inspection from Council for each stage of construction specified in Item 6d of this agreement.

7f) Certification of Works:

To ensure compliance with the Construction Certificate and Building Code of Australia (BCA), the applicant is to provide certification, verifying that the following specialist matters (identified by a ✓) have been carried out.

Each certification must:

- reference the approved Construction Certificate number, property address, relevant provisions of the BCA, Australian Standards and approved drawings.
- be prepared by an accredited certifier or other suitably qualified & experienced person to the satisfaction of Pittwater Council.

Note: Council's Development Compliance Officer will complete this section of the form.

- Survey detailing building setbacks, reduced levels of floors & ridge by a registered surveyor
- Shoring and support for adjoining premises and structures by a structural engineer
- Contiguous piers or piling by a structural engineer
- Underpinning works by a structural engineer
- Structural engineering works by a structural engineer
- Retaining walls by a structural engineer
- Stormwater drainage works by a hydraulic engineer and surveyor
- Landscaping works by the landscaper
- Condition of trees by an Arborist
- Mechanical ventilation by a mechanical engineer
- Termite control and protection by a licensed pest controller
- Waterproofing of wet areas by a licensed waterproofer or licensed builder
- Installation of glazing by a licensed builder
- Installation of smoke alarm systems by a licensed electrician
- Completion of construction requirements in a bush fire prone area by a competent person
- Completion of requirements listed in the BASIX Certificate by a competent person
- Fire resisting construction systems by a competent person
- Smoke hazard management systems by a competent person
- Essential fire safety and other safety measures by a competent person (Form 15a)
- Completion of Bushland Management requirements by a suitably qualified person.
- Installation of Waste Water Management System by a suitably qualified person
- Installation of the inclined lift by a suitably qualified person
- Installation of sound attenuation measures by an acoustic engineer



Office Use Only

Office Use Only

7c) Site Signage:

The applicant is responsible to maintain the PCA signage provided by Pittwater Council at the site until the work is completed.

The applicant is responsible to ensure that the Owner Builder or Principal Contractor (Builder) provide a rigid durable sign at the site, visible from the public place and maintained at the site until the work is completed. Such a sign shall display: (a) the name, address and telephone number of the person; (b) an after-hours emergency telephone number for the person and (c) stating "Unauthorised Entry to the Site is Prohibited".

7d) Compliance with the Development Consent and Construction Certificate:

All works must be carried out in accordance with the terms and conditions of Council's Development Consent and the Construction Certificate and relevant provisions of the Building Code of Australia and Environmental Planning and Assessment Act 1979.

Development Consent and a Construction Certificate must be obtained for any amendments or variations to the development, prior to the commencement of the amendment or variation.

Works not in accordance with the approval and Building Code of Australia may result in the refusal to issue an Occupation Certificate. Council may also serve a Notice and Order to comply with the approval and/or the institution of legal proceedings.

7e) Structural Engineering and Other Specialist Details:

The following details are to be forwarded to the PCA prior to commencement of the relevant stage of construction (as identified by a ✓). The details are to be prepared by a suitably qualified person to confirm compliance with the relevant provisions of the BCA and Australian Standards:

Note: Council's Development Compliance Officer will complete this section of the form.

- Timber framing details including bracing and tie-downs
- Roof construction or roof truss details
- Termite control measures
- Glazing details
- Mechanical ventilation details
- Wet area construction details
- Details of fire resisting construction
- Details of essential fire and other safety measures
- Sound transmission and insulation details
- Details of compliance with development consent conditions



Office Use Only

Office Use Only

7g) Occupation Certificate:

A *Final Occupation Certificate* must be obtained from the PCA prior to the occupation or use of a new building (or part of a building) or prior to the change of an existing building use/classification. An inspection fee is to be paid to the PCA in accordance with the fee scale in Part 6e of this agreement.

An application may be made to the PCA for an *Interim Occupation Certificate*, which will be considered in accordance with the provisions of the Environmental Planning and Assessment Act 1979 and conditions of development consent.

Only the Principal Certifying Authority can issue an Occupation Certificate and the Environmental Planning and Assessment Act 1979 contains penalty provisions for failing to obtain a required Occupation Certificate.

An application for an *Interim or Final Occupation Certificate* must be accompanied by a final or interim *fire safety certificates* as required by the EP&A Regulations, Clauses 80E or 80F for buildings other than Class 1 and 10.

7h) Miscellaneous requirements:

The applicant is required to ensure that valid public liability insurance cover to the value of \$10,000,000 (minimum) is held by the applicant and/or builder.

The applicant is required to notify Council, in writing, of any change in the details or address of the applicant or head contractor.

Pittwater Council may cancel the agreement if there is a breach of the agreement.

8. YOUR SIGNATURE

I accept the terms and conditions of this service agreement, including the associated payment of fees and appoint Pittwater Council as the Principal Certifying Authority for the subject development.

Signature: Date:

9. COUNCIL'S AGREEMENT TO APPOINTMENT

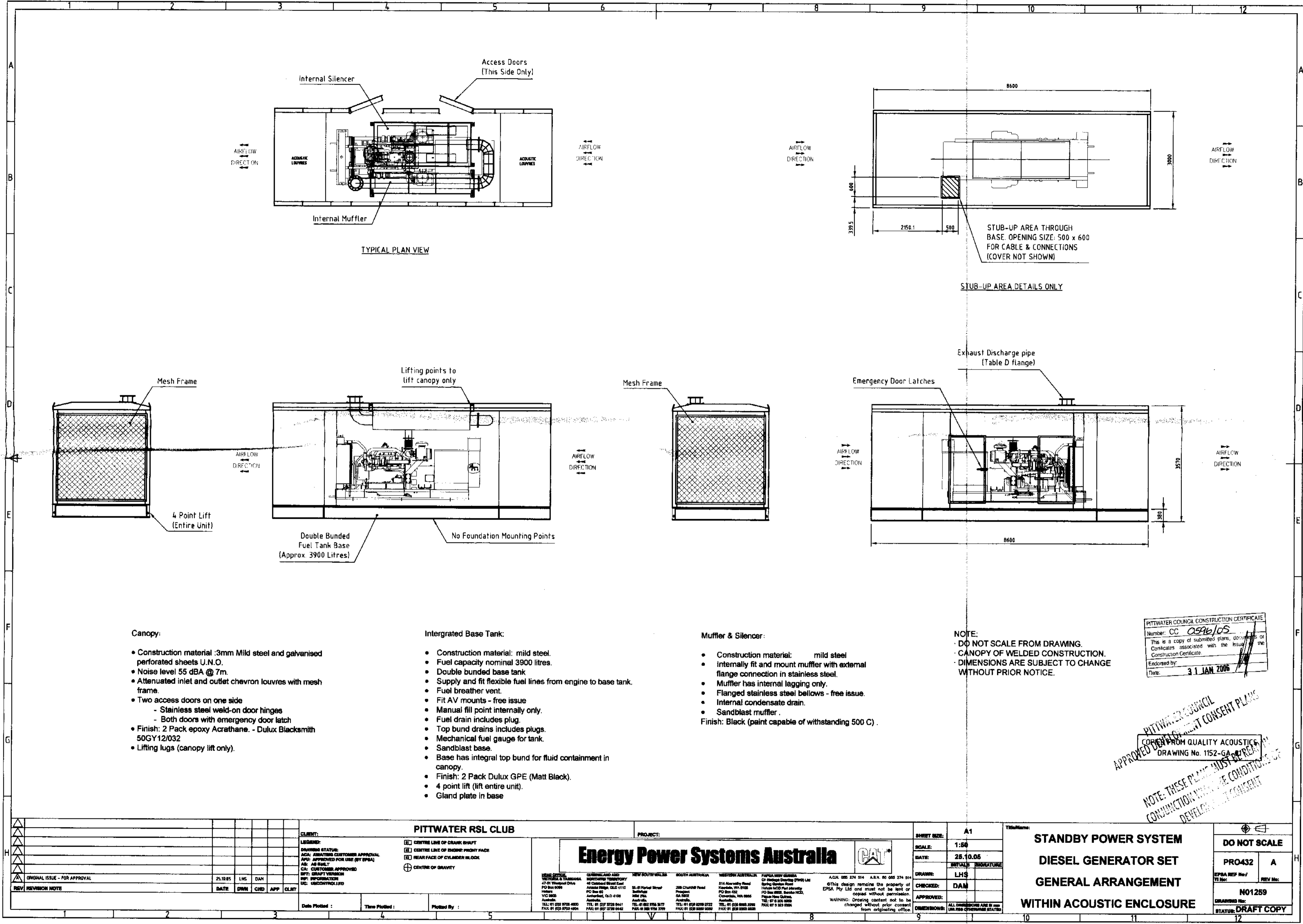
The relevant details in Parts 6d, 7e & 7f of this agreement have been completed and I acknowledge the appointment of Pittwater Council as the Principal Certifying Authority.

Officer's name: on behalf of Pittwater Council

Officer's signature: Date:

PRIVACY AND PERSONAL INFORMATION PROTECTION NOTICE

Purpose of collection:	To enable Council to act as the Principal Certifying Authority for the development.
Intended recipients:	Pittwater Council staff
Supply:	The information is required by legislation
Consequence of Non-provision:	Your application may not be accepted, not processed or rejected for lack of information
Storage:	Pittwater Council will store details of this form in a register that can be viewed by the public.
Retention period:	Hard copies will be destroyed after 7 years and electronic records will be kept indefinitely.
Please contact Council if this information you have provided is incorrect or changes.	



Canopy:

- Construction material :3mm Mild steel and galvanised perforated sheets U.N.O.
- Noise level 55 dBA @ 7m.
- Attenuated inlet and outlet chevron louvres with mesh frame.
- Two access doors on one side
 - Stainless steel weld-on door hinges
 - Both doors with emergency door latch
- Finish: 2 Pack epoxy Acrythane. - Dulux Blacksmith 50GY12/032
- Lifting lugs (canopy lift only).

Intergrated Base Tank:

- Construction material: mild steel.
- Fuel capacity nominal 3900 litres.
- Double bunded base tank
- Supply and fit flexible fuel lines from engine to base tank.
- Fuel breather vent.
- Fit AV mounts - free issue
- Manual fill point internally only.
- Fuel drain includes plug.
- Top bund drains includes plugs.
- Mechanical fuel gauge for tank.
- Sandblast base.
- Base has integral top bund for fluid containment in canopy.
- Finish: 2 Pack Dulux GPE (Matt Black).
- 4 point lift (lift entire unit).
- Gland plate in base

Muffer & Silencer:

- Construction material: mild steel
 - Internally fit and mount muffer with external flange connection in stainless steel.
 - Muffer has internal lagging only.
 - Flanged stainless steel bellows - free issue.
 - Internal condensate drain.
 - Sandblast muffer.
- Finish: Black (paint capable of withstanding 500 C).

NOTE:

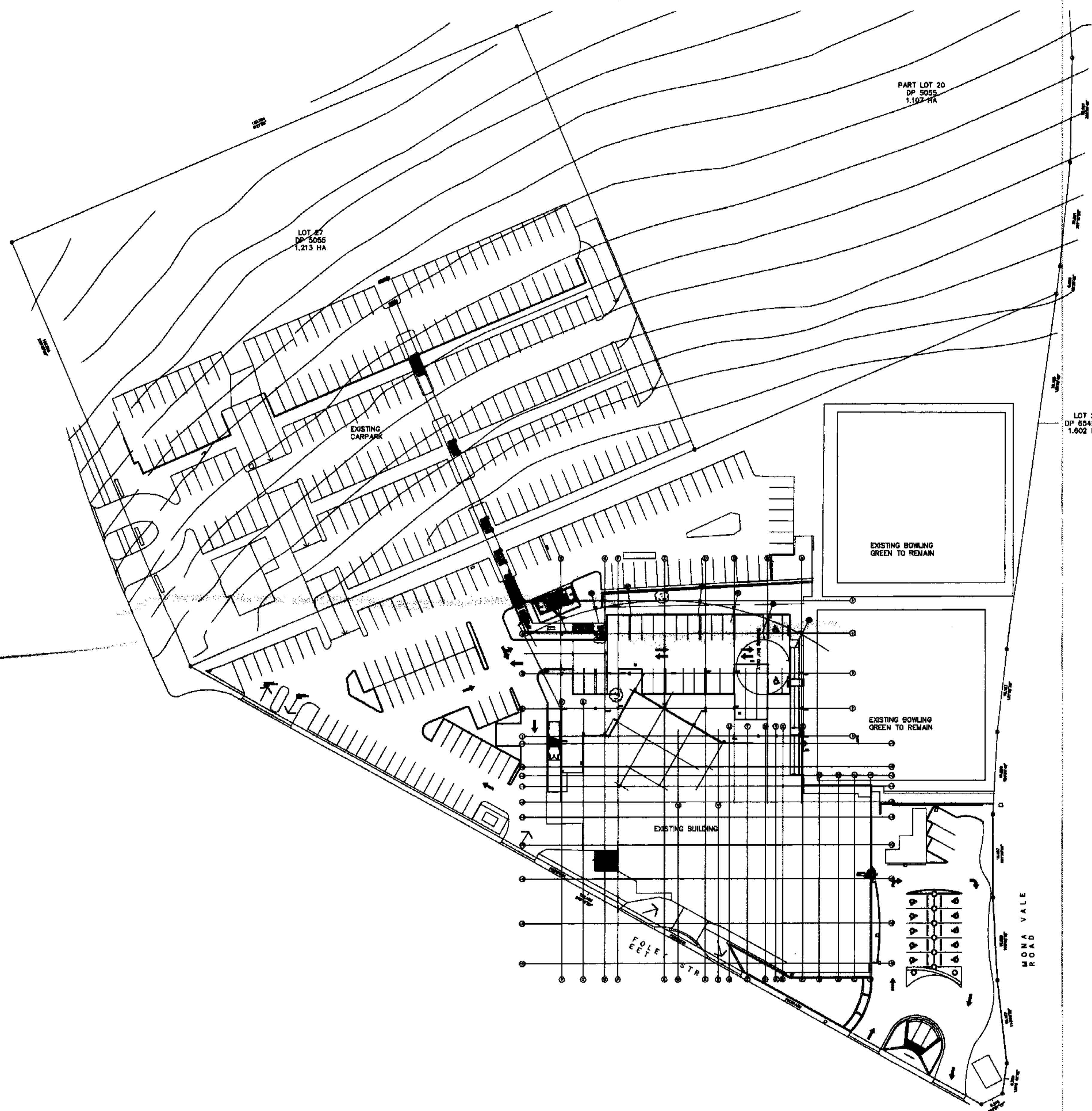
- DO NOT SCALE FROM DRAWING.
- CANOPY OF WELDED CONSTRUCTION.
- DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT PRIOR NOTICE.

PITWATER COUNCIL CONSTRUCTION CERTIFICATE
 Number: CC 0596/05
 This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.
 Endorsed by: [Signature]
 Date: 31 JAN 2006

PITWATER COUNCIL
 APPROVED DEVELOPMENT CONSENT PLANS
 COPIES FROM QUALITY ACOUSTICS
 DRAWING No. 1152-GA-00000000
 NOTE: THESE PLANS MUST BE RE-APPROVED FOR CONSTRUCTION WITHIN THE CONDITIONS OF DEVELOPMENT CONSENT

PITWATER RSL CLUB CLIENT:				Energy Power Systems Australia PROJECT:				SHEET SIZE: A1 SCALE: 1:50 DATE: 25.10.05 METALS SIGNATURE:		STANDBY POWER SYSTEM DIESEL GENERATOR SET GENERAL ARRANGEMENT WITHIN ACOUSTIC ENCLOSURE		DO NOT SCALE PRO432 A EPSC REF No./ TI No: REV No: NO1259 DRAWING No: STATUS: DRAFT COPY							
LEGEND: DRAWING STATUS: A/C: ISSUES CUSTOMER APPROVAL A/P: APPROVED FOR USE (BY EPSC) A/S: AS BUILT C/A: CUSTOMER APPROVED D/P: DRAFT VERSION R/P: REPRODUCTION U/C: UNCONTROLLED				(CL) CENTRE LINE OF CRANK SHAFT (EL) CENTRE LINE OF ENGINE FRONT FACE (RF) REAR FACE OF CYLINDER BLOCK (CG) CENTRE OF GRAVITY				DRAWN: LHS CHECKED: DAM APPROVED:		DIMENSIONS: ALL DIMENSIONS ARE IN mm UNLESS OTHERWISE STATED									
ORIGINAL ISSUE - FOR APPROVAL DATE: 25.10.05 DWN: LHS CHD: DAN APP: DAN CLNT:				LOCAL OFFICE: VICTORIA & TASMANIA 47-01 Wheeland Drive PO Box 9706 Hobart TAS 7000 Australia TEL: 61 03 5753 4822 FAX: 61 03 5753 4804				QUEENSLAND AND NORTHWEST TERRITORY 48 Chisholm Street East Archer Ridge QLD 4112 PO Box 61 Archerfield, QLD 4108 Australia TEL: 61 07 5759 9441 FAX: 61 07 5759 9442		NEW SOUTH WALES 51-51 Market Street Sydney NSW 2000 Australia TEL: 61 02 9750 9177 FAX: 61 02 9750 9178		SOUTH AUSTRALIA 288 Churchill Road Prospect SA 5092 Australia TEL: 61 08 8250 8722 FAX: 61 08 8250 8550		WESTERN AUSTRALIA 514 Albany Road Mandurah, WA 6250 PO Box 432 Connelly, WA 6008 Australia TEL: 61 08 9480 2993 FAX: 61 08 9480 2928		PAPUA NEW GUINEA 14-14 Highway (DPR) Ltd Spring Garden Road 14000 Suva Port Moresby PO Box 9882, Suva PNG TEL: 67 6 200 8888 FAX: 67 6 200 8984		A/CN: 274 514 A.B.N. 60 065 274 514 ©This design remains the property of EPSC Pty Ltd and must not be lent or copied without permission. WARNING: Drawing content not to be changed without prior consent from originating office.	

F70 6807



PITWATER COUNCIL CONSTRUCTION CERTIFICATE
 Number: CC 0596105
 This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.
 Endorsed by: [Signature]
 Date: 31 JAN 2008

PITWATER COUNCIL
 APPROVED DEVELOPMENT CONSENT PLANS
 NOTE: THESE PLANS MUST BE READ IN
 CONJUNCTION WITH THE CONDITIONS OF
 DEVELOPMENT CONSENT

REV	REVISION NOTE	DATE	DWN	CHK	APP	CLAY
1	ORIGINAL ISSUE - FOR APPROVAL	24.10.05	LHS	DAH		

CLIENT: PITWATER RSL CLUB
PROJECT: -
LEGEND:
 [Symbol] CENTRE LINE OF CRANK SHAFT
 [Symbol] CENTRE LINE OF ENGINE FRONT FACE
 [Symbol] REAR FACE OF CYLINDER BLOCK
 [Symbol] CENTRE OF GRAVITY

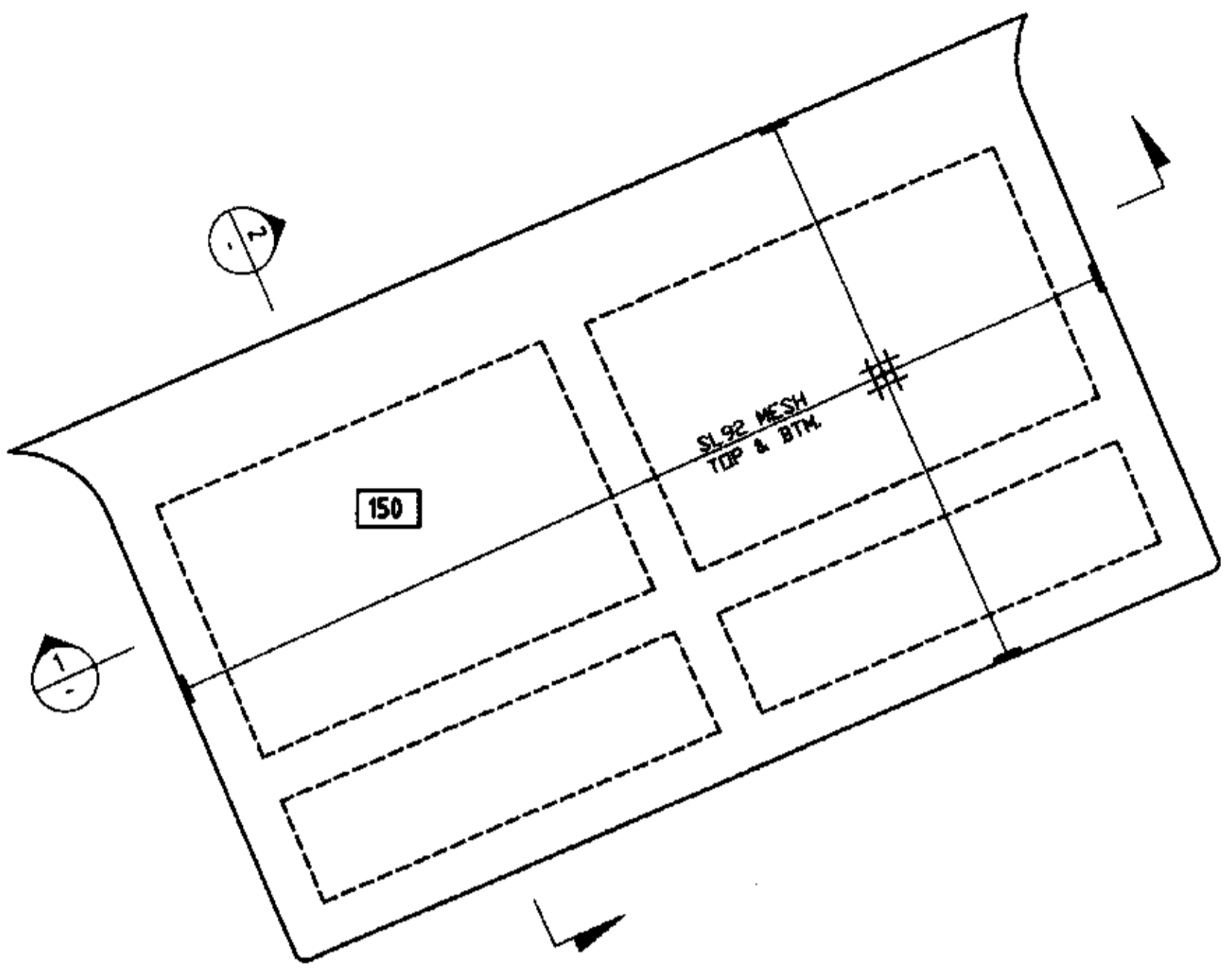
Energy Power Systems Australia

NORTH QUEENSLAND: 47-49 Wharf Street, PO Box 5796, Mackay, QLD 4740, Australia. TEL: 08 925 8765 FAX: 08 925 8763
 CENTRAL AND NORTH WEST QUEENSLAND: 48 Oakland Street, Mackay, QLD 4740, Australia. TEL: 08 925 8765 FAX: 08 925 8763
 NEW SOUTH WALES: 66-67 Market Street, Campbelltown, NSW 2561, Australia. TEL: 02 537 5728 FAX: 02 537 5729
 SOUTH AUSTRALIA: 389 Churchill Road, Adelaide, SA 5000, Australia. TEL: 08 8298 2722 FAX: 08 8298 9989
 WESTERN AUSTRALIA: 674 Albany Road, Mandurah, WA 6710, Australia. TEL: 08 9398 9290 FAX: 08 9398 9292
 TASMANIA: 22-24 Market Street, Hobart, TAS 7000, Australia. TEL: 03 626 8288 FAX: 03 626 8284
 PACIFIC ISLANDS: 22-24 Market Street, Hobart, TAS 7000, Australia. TEL: 03 626 8288 FAX: 03 626 8284
 A.S.N. 065 874 814 A.S.N. 80 065 874 814
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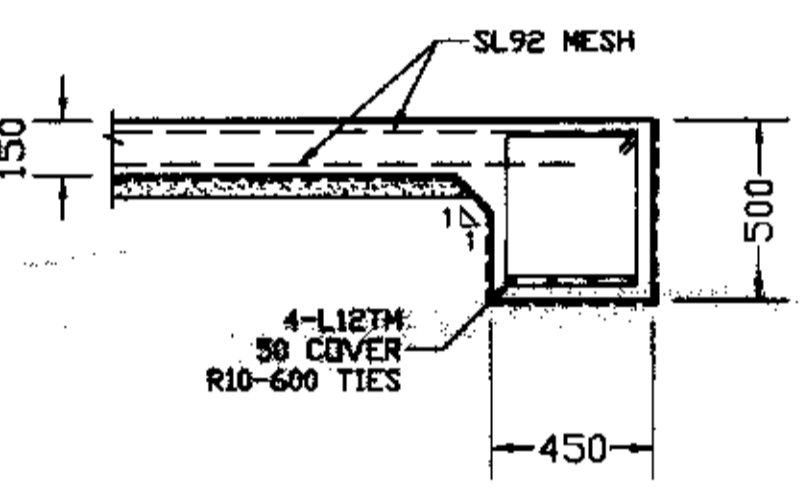
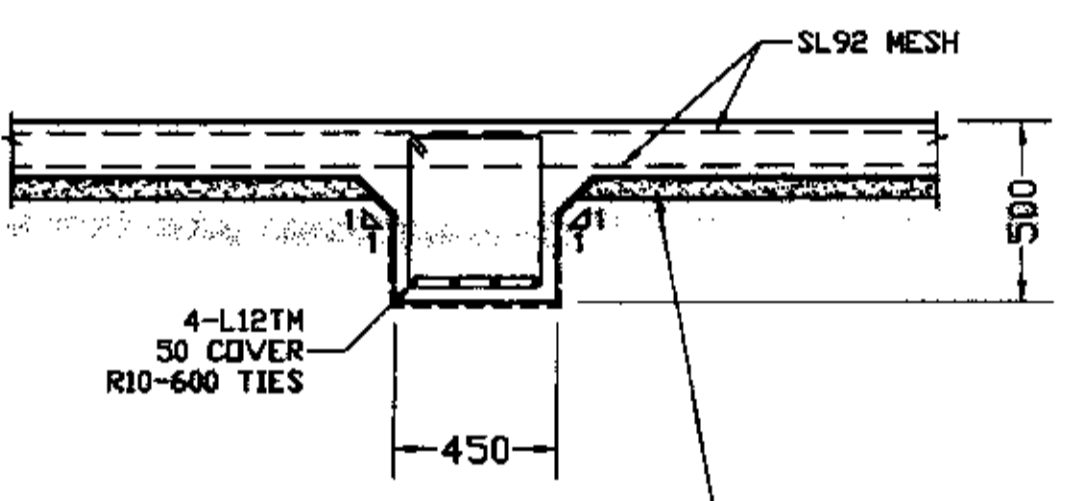
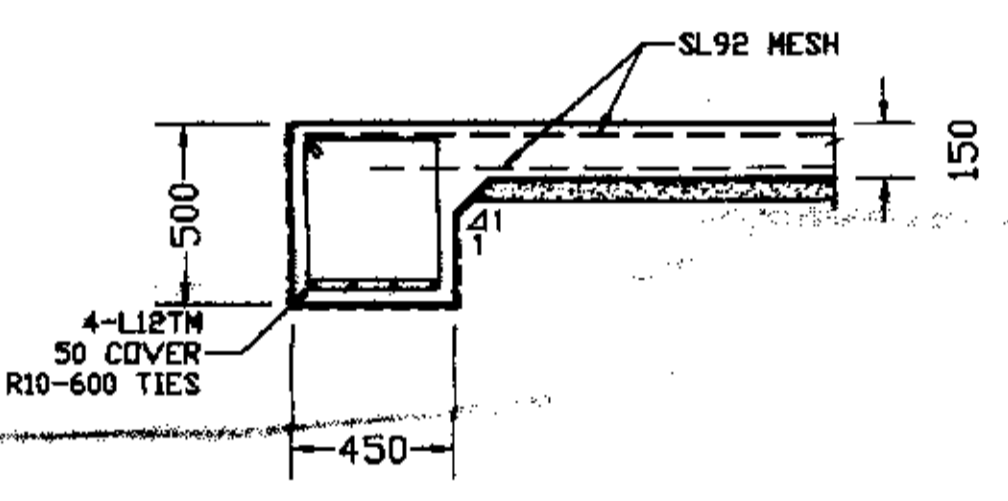
SHEET SIZE: A1
SCALE: 1:500
DATE: 24.10.05
DRAWN: LHS
CHECKED: DAH
APPROVED: [Signature]

**STANDBY POWER SYSTEM
 DIESEL GENERATOR SET
 SITE LAYOUT**

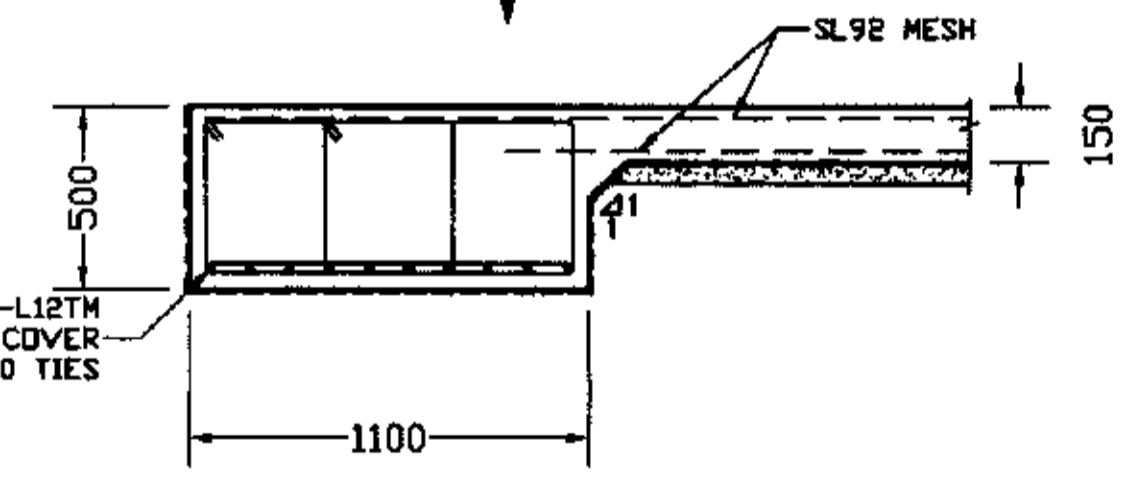
DO NOT SCALE
PRO432 A
 EPSA REF No: N1260
 DRAWING No: N1260
STATUS: DRAFT COPY



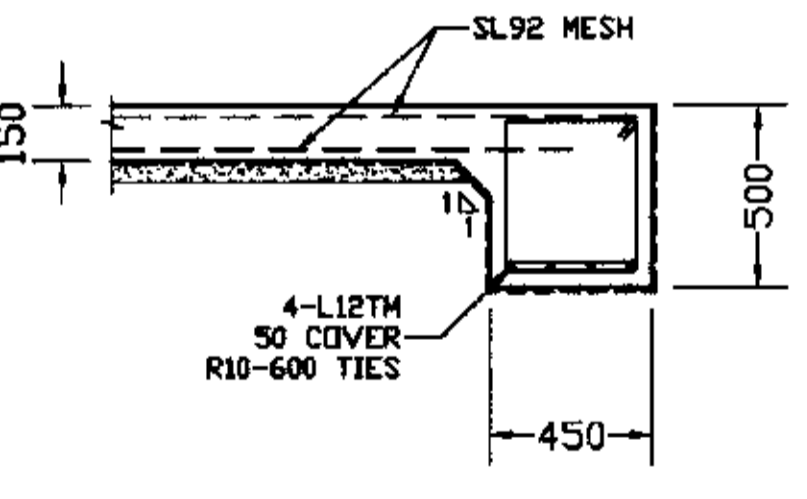
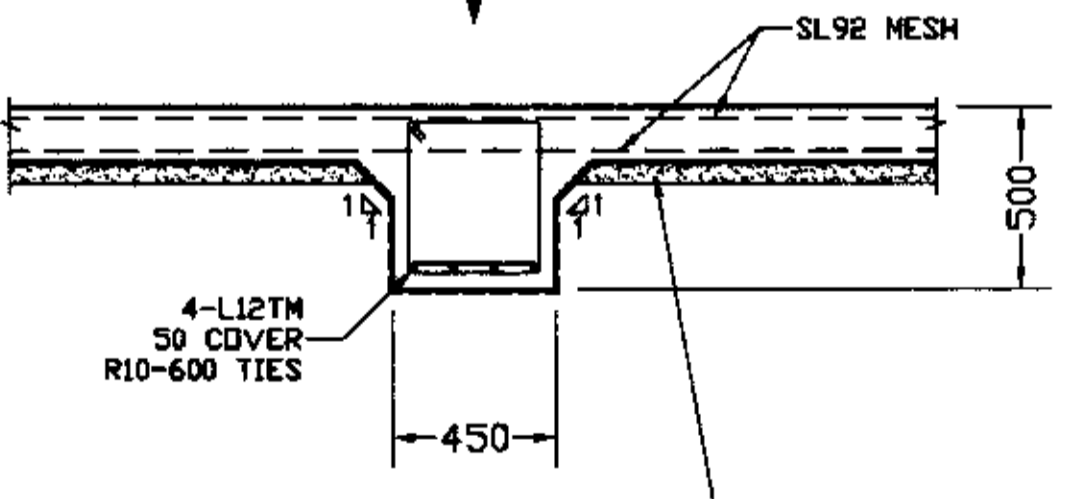
RAFT SLAB ON GROUND PLAN
SCALE 1:50



GENERATOR SET FRAME LOAD TRANSFER POINT



GENERATOR SET FRAME LOAD TRANSFER POINT



CONCRETE QUALITY				
ELEMENT	SLUMP	AGGREGATE (MAX. SIZE)	CEMENT TYPE	f _c
FOOTINGS	80mm	20mm	A	Z5MPa
INTERNAL SLABS	80mm	20mm	A	Z5MPa
EXTERNAL SLABS	80mm	20mm	A	Z5MPa
EXTERNAL BEAMS	80mm	20mm	A	Z5MPa

MEMBER	COVER (mm)			EXPOSURE CLASSIFICATION
	TOP	BOTTOM	SIDES	
FOOTINGS	50mm	50mm	50mm	A1
INTERNAL SLABS	30mm	30mm	30mm	A1
EXTERNAL SLABS	40mm	40mm	40mm	B1
EXTERNAL BEAMS	40mm	40mm	40mm	B1

DESIGN LOAD:
DESIGN OF REINFORCED CONCRETE SLAB BASED ON THE GENERATOR SET WEIGHING A TOTAL OF 30 TONNES UNIFORMLY DISTRIBUTED OVER THE SLAB.

RAFT SLAB ON GROUND NOTES:
RAFT SLAB ON GROUND TO BE 150mm THICK WITH SL92 MESH TOP & BTM THROUGHOUT. SLAB TO BE POURED OVER CONTINUOUS VAPOURPROOF MEMBRANE WITH 50mm SAND BEDDING. CONCRETE STRENGTH f_c = 25 MPa.
WHERE EXTERNAL BEAMS ARE WIDER THAN 450mm, AN EXTRA BOTTOM BAR OR EQUIVALENT OF THE SAME SIZE BAR IS REQUIRED FOR EACH 100mm ADDITIONAL WIDTH.
WHERE INTERNAL BEAM MEETS EXTERNAL BEAM, CARRY INTERNAL BEAM REINFORCEMENT TO WITHIN 50mm OF EXTERNAL BEAM FAR FACE.
GENERATOR SET FRAME TO BE POSITIONED OVER THICKENED RAFT BEAMS OF SLAB.

REINFORCEMENT COVER SCHEDULE

Element	Reinforcement	Cover (mm)	Exposure Class
Footings	4-12M	50	A1
Internal Slabs	4-12M	30	A1
External Slabs	4-12M	40	B1
External Beams	4-12M	40	B1

GENERAL NOTES:
1. This structural drawing shall be read in conjunction with all other drawings and specifications.
2. The Contractor shall be responsible for the construction of the structure in accordance with the drawings and specifications.
3. All dimensions shall be in millimeters unless otherwise stated.
4. All reinforcement shall be in accordance with AS/NZS 4673.
5. All concrete shall be in accordance with AS/NZS 3600.
6. All steel shall be in accordance with AS/NZS 3672.
7. All steel shall be galvanized unless otherwise stated.
8. All steel shall be protected against corrosion in accordance with AS/NZS 4754.
9. All steel shall be protected against corrosion in accordance with AS/NZS 4754.
10. All steel shall be protected against corrosion in accordance with AS/NZS 4754.

LOADS:
1. The design load shall be 30 tonnes uniformly distributed over the slab.
2. The design load shall be 30 tonnes uniformly distributed over the slab.
3. The design load shall be 30 tonnes uniformly distributed over the slab.

STRUCTURAL STEEL:
1. All structural steel shall be in accordance with AS/NZS 4673.
2. All structural steel shall be in accordance with AS/NZS 4673.
3. All structural steel shall be in accordance with AS/NZS 4673.

CONCRETE:
1. All concrete shall be in accordance with AS/NZS 3600.
2. All concrete shall be in accordance with AS/NZS 3600.
3. All concrete shall be in accordance with AS/NZS 3600.

REVISIONS:
1. All revisions shall be in accordance with AS/NZS 4673.
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3. All revisions shall be in accordance with AS/NZS 4673.

APPENDICES:
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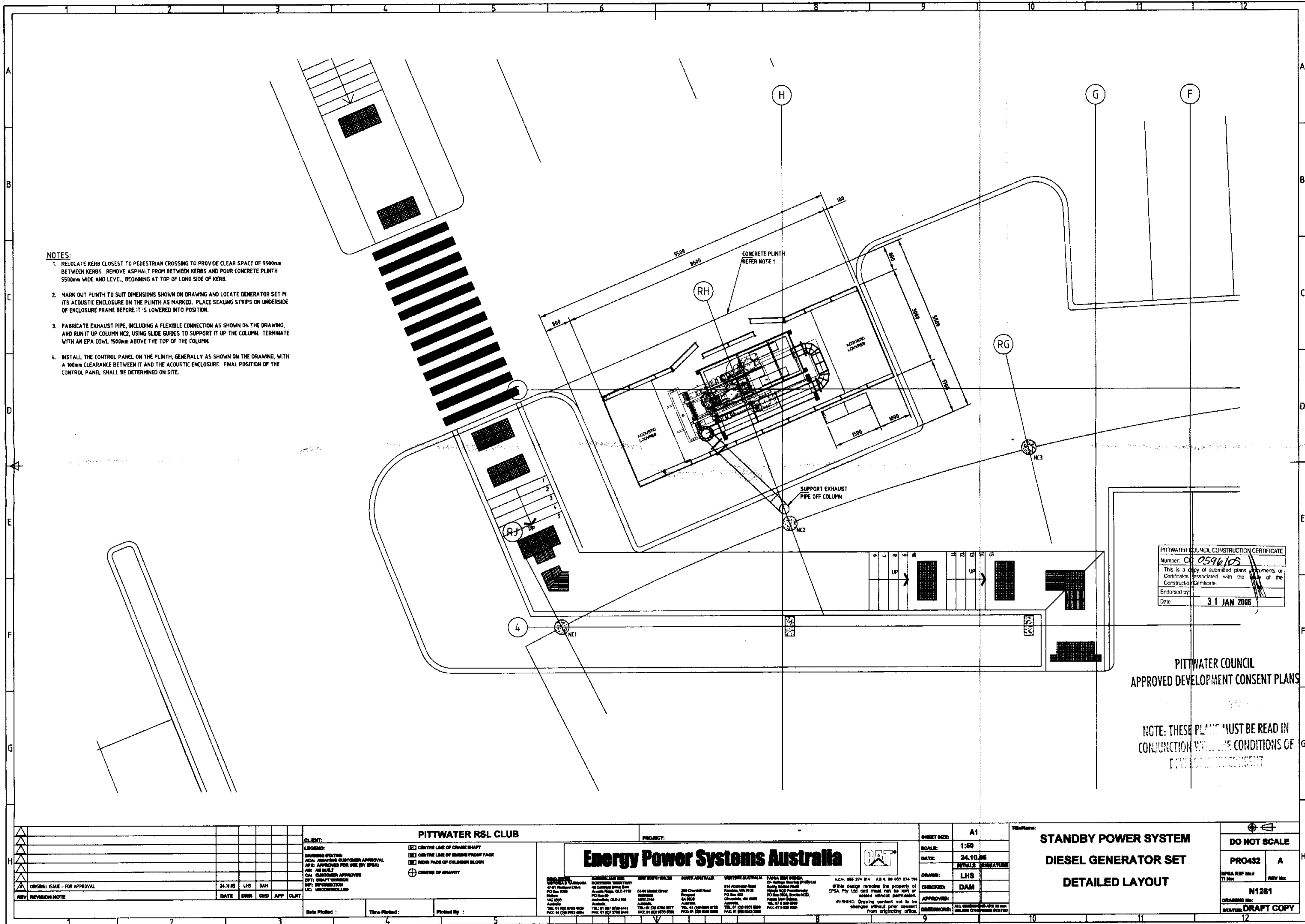
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NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

PITTSWATER RSL CLUB CLIENT: PITTSWATER RSL CLUB PROJECT: STANDBY POWER SYSTEM DIESEL GENERATOR SET RAFT SLAB ON GROUND PLAN		Energy Power Systems Australia 1/111 Pittwater Road, Pittwater NSW 1505 Tel: 02 9378 8441 Fax: 02 9378 8442		SHRIMP SIZE: A1 SCALE: 1:50 DATE: 28.10.09 DRAWING: AJP CHECKED: AJP APPROVED: AJP		STANDBY POWER SYSTEM DIESEL GENERATOR SET RAFT SLAB ON GROUND PLAN DO NOT SCALE PROJ432 A EPSCA REF No: N1262 REV No: 1 STATUS: FINAL COPY	
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- NOTES:**
1. RELOCATE KERB CLOSEST TO PEDESTRIAN CROSSING TO PROVIDE CLEAR SPACE OF 9500mm BETWEEN KERBS. REMOVE ASPHALT FROM BETWEEN KERBS AND POUR CONCRETE PLINTH 5500mm WIDE AND LEVEL, BEGINNING AT TOP OF LONG SIDE OF KERB.
 2. MARK OUT PLINTH TO SUIT DIMENSIONS SHOWN ON DRAWING AND LOCATE GENERATOR SET IN ITS ACOUSTIC ENCLOSURE ON THE PLINTH AS MARKED. PLACE SEALING STRIPS ON UNDERSIDE OF ENCLOSURE FRAME BEFORE IT IS LOWERED INTO POSITION.
 3. FABRICATE EXHAUST PIPE, INCLUDING A FLEXIBLE CONNECTION AS SHOWN ON THE DRAWING, AND RUN IT UP COLUMN NC2, USING SLIDE GUIDES TO SUPPORT IT UP THE COLUMN. TERMINATE WITH AN EPA LOW 1500mm ABOVE THE TOP OF THE COLUMN.
 4. INSTALL THE CONTROL PANEL ON THE PLINTH, GENERALLY AS SHOWN ON THE DRAWING, WITH A 100mm CLEARANCE BETWEEN IT AND THE ACOUSTIC ENCLOSURE. FINAL POSITION OF THE CONTROL PANEL SHALL BE DETERMINED ON SITE.

PITWATER COUNCIL CONSTRUCTION CERTIFICATE
 Number: **CC 0596/05**
 This is a copy of submitted plans, documents or Certificates associated with the Construction Certificate.
 Endorsed by: _____
 Date: **31 JAN 2006**

PITWATER COUNCIL
 APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF ENVIRONMENTAL CONSENT

REV	REVISION NOTE	DATE	DRW	CHK	APP	CLNT
1	ORIGINAL ISSUE - FOR APPROVAL	24.10.05	LHS	DAM		

CLIENT: PITWATER RSL CLUB

LEGEND:

- (C) CENTRE LINE OF CHIMNEY SHAFT
- (E) CENTRE LINE OF ENGINE FRONT FACE
- (F) NEAR FACE OF CYLINDER BLOCK
- (G) CENTRE OF GRAVITY

DATE PLOTTED: _____
TIME PLOTTED: _____
PLOTTED BY: _____

Energy Power Systems Australia

CAT

BRISBANE: 40/41 Woodward Drive, Brisbane, QLD 4101
 MELBOURNE: 200 Chesham Road, Melbourne, VIC 3184
 SYDNEY: 214 Abernethy Road, Sydney, NSW 1510
 PERTH: 100/102 Stirling Street, Perth, WA 6000
 AUCKLAND: 100/102 Stirling Street, Auckland, NZ 1010
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SHEET SIZE: A1
SCALE: 1:50
DATE: 24.10.05
DRAWN: LHS
CHECKED: DAM
APPROVED: _____
DIMENSIONS: ALL DIMENSIONS ARE IN mm UNLESS OTHERWISE STATED

TITLE/NUMBER: STANDBY POWER SYSTEM
**DIESEL GENERATOR SET
 DETAILED LAYOUT**

DO NOT SCALE

PRO432 A

N1281

STATUS: DRAFT COPY