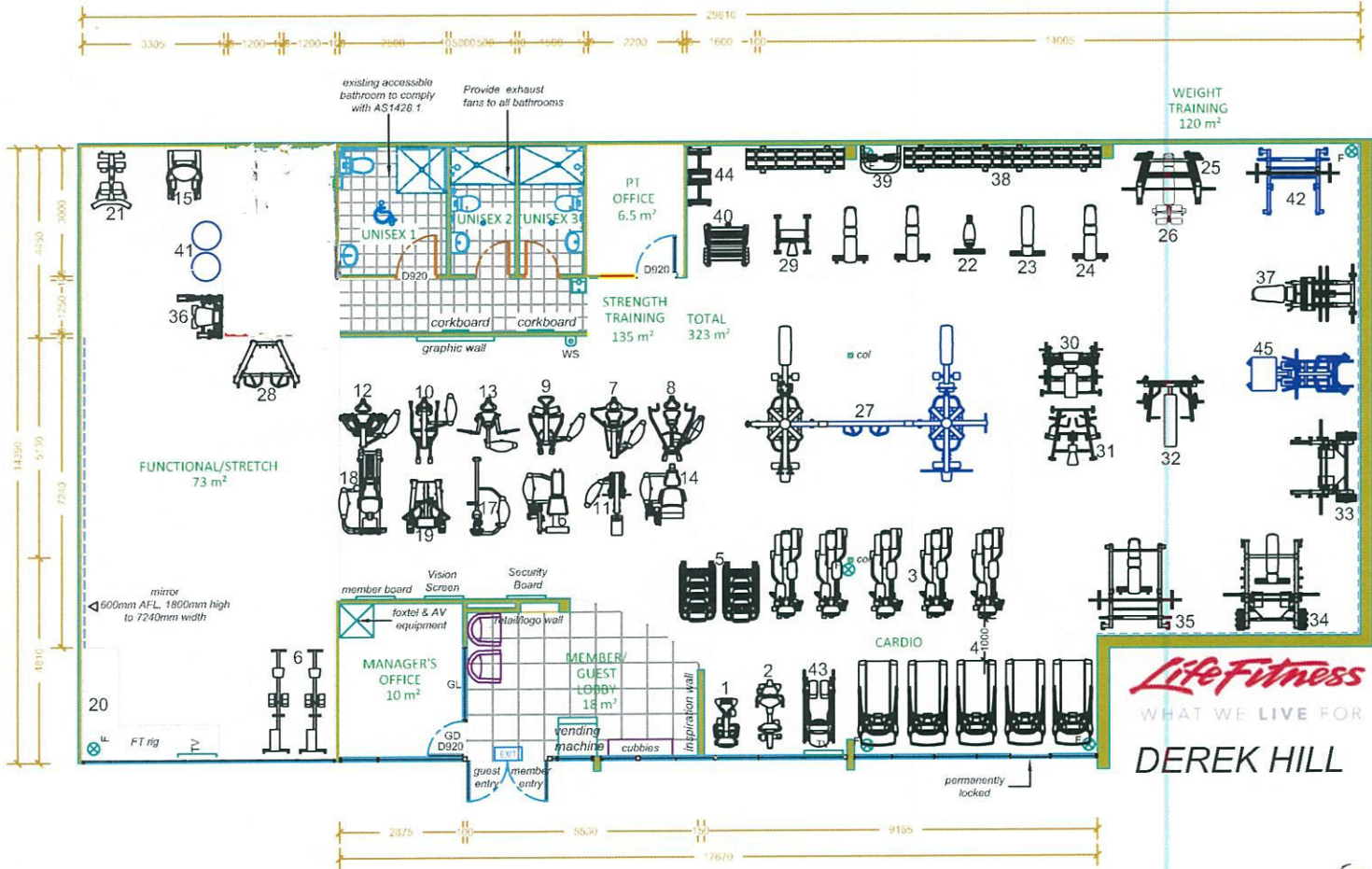




**BROOKVALE**  
VERSION 3 29.05.18

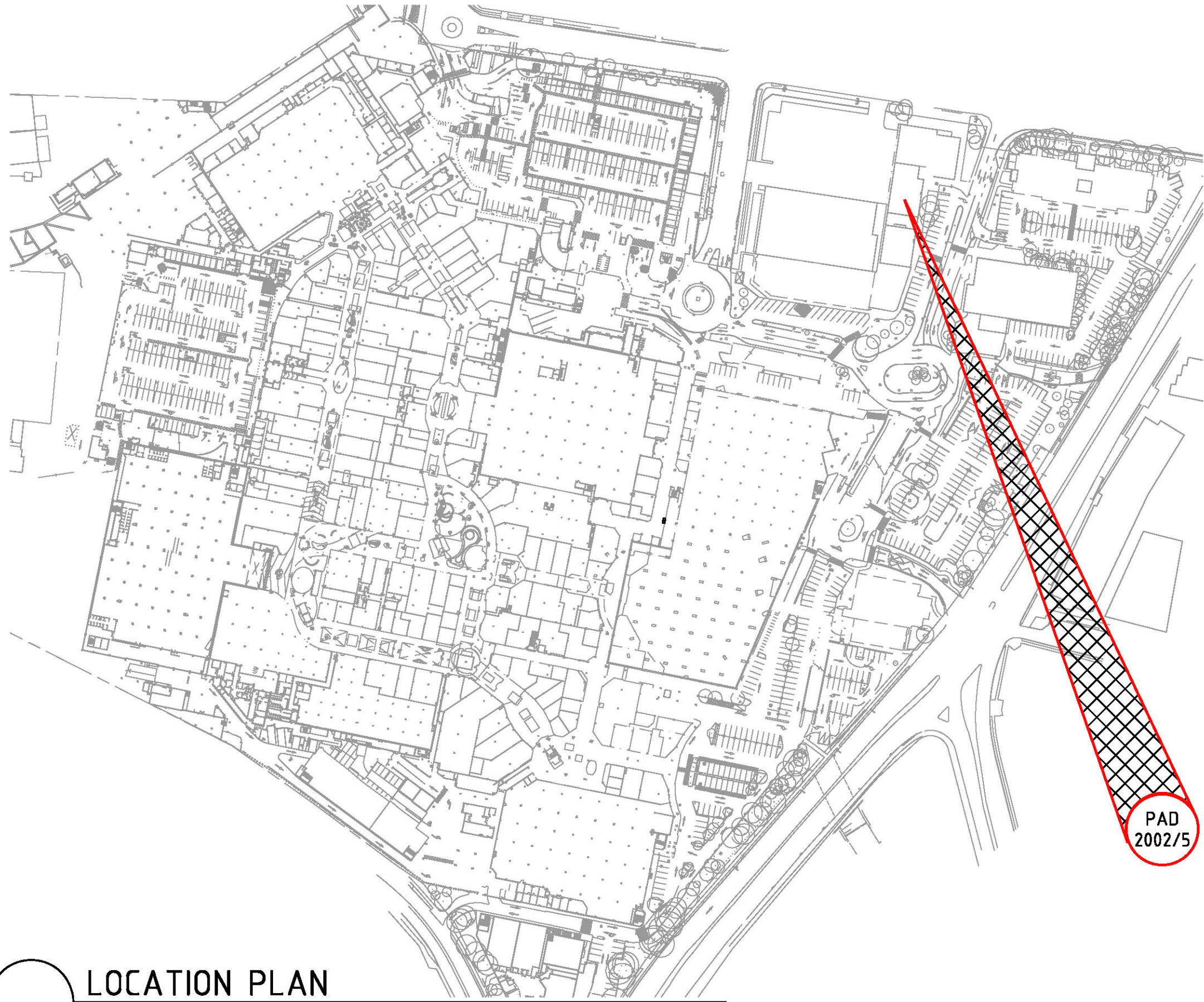


**EQUIPMENT LIST**

- |           |  |              |                               |
|-----------|--|--------------|-------------------------------|
| Engage    | 1. Upright Bike  | Cable Motion | 27. Multi Jungle 8 Stack      |
|           | 2. Recumbent Bike  |              | 28. Dual Adj Pulley           |
|           | 3. Crosstrainer  | Hammer       | 29. Seated Arm Curl           |
|           | 4. Treadmill   |              | 30. IL Shoulder Press         |
|           | 5. Discover SE Powermill                                 |              | 31. Horizontal Bench Press    |
|           | 6. Concept II Model D Rower                              |              | 32. IL Horizontal Bench Press |
| Signature | 7. Chest Press   |              | 33. Half Rack                 |
|           | 8. Shoulder Press  |              | 34. Power Rack                |
|           | 9. Lat Pulldown  |              | 35. Athletic Power Rack       |
|           | 10. Tricep Press   |              | 36. MTS Abdominal             |
|           | 11. Row/Rear Deltoid                                     |              | 37. Linear Leg Press          |
|           | 12. Bicep Curl   |              | 38. Dumbbells                 |
|           | 13. Pec Fly  |              | 39. X Rack                    |
|           | 14. Leg Extension  |              | 40. Barbells                  |
|           | 15. Leg Raise  |              | 41. Bosu Balls                |
|           | 16. Lying Leg Curl                                       |              | 42. Athletic Half Rack        |
|           | 17. Glute  |              | 43. AMT                       |
|           | 18. Seated Leg Press                                     |              | 44. Weight Tree               |
| Pro 2 SE  | 19. Assisted Chin/Dip                                    |              | 45. V Squat                   |
|           | 20. FT RIG with Kettle Bells, Dumbbells, Mats, Fit balls |              |                               |
| Signature | 21. Back Extension                                       |              |                               |
|           | 22. Utility Bench  |              |                               |
|           | 23. Flat Bench   |              |                               |
|           | 24. Multi Adj Bench                                      |              |                               |
|           | 25. Smith Machine  |              |                               |
|           | 26. Adj Decline Bench                                    |              |                               |

THIS PLAN TO BE READ IN CONJUNCTION WITH DAZ018/1480 NORTHERN BEACHES COUNCIL

**LifeFitness**  
WHAT WE LIVE FOR  
**DEREK HILL**



**TENANCY STANDARD NOTES**

1. ALL FITOUTS SHALL COMPLY WITH RELEVANT HEALTH & FOOD CODES AND NCC (NATIONAL CONSTRUCTION CODE) PLUS THE CENTRE FIRE ENGINEERING REPORT IF APPLICABLE. SUBJECT TO COUNCIL DISPENSATION IN SPECIFIC CASES ONLY.
2. THE LESSEE SHALL CHECK ALL DIMENSIONS & DETAILS ON ALL RELEVANT DRAWINGS (STRUCTURAL, MECHANICAL & SERVICES) ON SITE BEFORE COMMENCING ANY WORKS. CONFIRM POSITION OF ALL EXISTING STRUCTURE & SERVICES ON SITE. THE LESSEE SHOULD, BEFORE PROCEEDING WITH FITOUT DESIGN, SITE SURVEY THE PREMISES AND ADVISE SCENTRE GROUP RETAIL DESIGN MANAGEMENT OF ANY DISCREPANCIES THAT MAY AFFECT THEIR DESIGN.
3. THE LESSEE MUST REFER TO THE SCENTRE GROUP FITOUT REQUIREMENTS FOR SPECIALITY SHOPS AND THE SPECIFIC SITE GUIDELINES FOR SPECIFIC PRECINCTS ISSUED BY SCENTRE GROUP RETAIL DESIGN MANAGEMENT (RDM). NO SHOP OUTGO IS PERMITTED UNLESS SPECIFICALLY ALLOWED IN THE PRECINCT GUIDELINES.
4. THE LESSEE SHALL REFER TO THE SCENTRE GROUP FITOUT REQUIREMENTS FOR TENANCY STANDARD SERVICES PROVIDED BY LESSOR.
5. STRUCTURAL MEMBERS, SERVICES LOCATION AND THE EXTENT OF THE OVERHEAD LESSOR'S SERVICES ZONE ARE REPRESENTATIVE OF THE DESIGN AT THE TIME OF DRAWING ISSUE AND ARE SUBJECT TO DESIGN DEVELOPMENT AND CHANGE WITHOUT NOTICE; ALSO INCLUDES BUT NOT LIMITED TO, MALL FINISHES, VOID, ESCALATOR & TRAVELATOR LOCATIONS, MALL & DIGITAL SIGNAGE, CASUAL MALL LEASE SITES, BALUSTRADES AND KIOSK SIZES & POSITIONS.
6. FINISHES TO TENANCY FLOOR, WALLS, CEILING, STEEL AND CONCRETE COLUMNS BY LESSEE UNLESS NOTED OTHERWISE.
7. FINISHES TO END OF INTER-TENANCY WALL BY LESSEE, UNLESS NOTED OTHERWISE.
8. ALL LESSEE'S WORKS SHALL BE INDEPENDENTLY SUPPORTED FROM THE MAIN BUILDING STRUCTURE. PRIOR TO TRADING THE LESSEE MUST PROVIDE THE LESSOR'S NOMINATED REPRESENTATIVE A CERTIFICATE OF STRUCTURAL ADEQUACY FROM A REGISTERED STRUCTURAL ENGINEER CONFIRMING THE STRUCTURAL INTEGRITY OF ALL SUSPENDED ELEMENTS.
9. DO NOT CHASE OR PENETRATE STRUCTURAL COMPONENTS, COLUMNS OR SLABS. ALL PENETRATIONS BY LESSOR AT LESSEE'S COST SUBJECT TO APPROVAL BY LESSOR'S STRUCTURAL ENGINEER. ALL SLAB PENETRATIONS WITHIN TENANCY TO BE CO-ORDINATED WITH EXISTING STRUCTURAL CONDITIONS. NO SLAB CHASING PERMITTED
10. TENANCY LAYOUT SHOULD MAINTAIN FIRE HOSE REEL (36m) AND HYDRANT (30+10m SPRAY) COVERAGE WITHIN TENANCY.
11. THE NCC REQUIRES A SECOND CHOICE OF EXIT FOR TENANCY OCCUPANTS TO BE PROVIDED WITHIN 20 METRES OF THE EXIT TO THE MALL OR A FIRE RATED CORRIDOR UNLESS NOTED OTHERWISE OR WHERE A FIRE ENGINEERING SOLUTION APPLIES.
12. SHOPFRONT DOORS SHALL NOT BE LOCKED FROM THE INSIDE WHEN THE TENANCY IS OCCUPIED UNLESS AN EXIT DOOR COMPLYING WITH THE NCC CLAUSES Q2.19 & Q2.20, IS PROVIDED.
13. ALLOW FOR EMERGENCY LIGHTING TO SUIT THE TENANCY LAYOUT TO AS 2293 BY LESSOR AT LESSEE'S COST.
14. EXIT SIGNS, IF REQUIRED WITHIN TENANCY, ARE PROVIDED BY THE LESSOR AT LESSEE'S COST.
15. EWIS SPEAKERS BY THE LESSOR AT LESSEE'S COST ARE REQUIRED WITHIN TENANCY TO SUIT THE FINAL TENANCY LAYOUT.
16. SPRINKLER SETOUT TO SUIT THE TENANCY LAYOUT BY LESSOR AT LESSEE'S COST.
17. LESSEE SHALL CERTIFY THAT ALL FLOOR FINISHES ARE NON-SLIP AS REQUIRED UNDER AS 4586:1999 & AS 3661.
18. ALL CEILING SERVICES ACCESS PANELS REQUIRED BY THE SERVICES CONTRACTORS ARE BY THE LESSEE AT LESSEE'S COST. NUMBER AND LOCATION TO BE CONFIRMED ON SITE TO LESSOR'S REQUIREMENTS.
19. FOR FOOD TENANCIES: LESSEE SHOULD PROVIDE A PORTABLE FIRE EXTINGUISHER LOCATED WITHIN 15 METRES OF ALL POINTS OF THE TENANCY AS REQUIRED BY THE NCC. THE LESSEE SHALL PROVIDE A WATERPROOF MEMBRANE TO THE FLOOR, 300 mm UP ALL WALLS & COLUMNS AND INTO FLOOR WASTES AT LESSEE'S COST. GAS CONNECTION POINT BY LESSOR AT HIGH LEVEL TO REAR OF TENANCY. EXTRA CAPACITY, IF AVAILABLE, BY LESSOR AT LESSEE'S COST. REGULATOR/METER WITHIN TENANCY BY THE LESSEE. KITCHEN EXHAUST CONNECTION POINT BY LESSOR AT HIGH LEVEL IN TENANCY. HOODS, BOOSTER SYSTEM WITH MAKE UP AIR, FIRE ALARM SYSTEM, NON - RETURN DAMPER & DUCTING BY LESSEE.
20. SERVICES: ALL SERVICES AS EXISTING. LESSEE TO CONFIRM SERVICES & LOCATIONS ON SITE.
21. SERVICES: WATER & WASTE: SINK, PIPEWORK, BENCH & CABINET BY LESSEE. SINK BOWL MUST BE 1000 mm MINIMUM FROM SWITCH BOARD. ALTERNATIVELY ENCLOSE SWITCHBOARD IN WATER RESISTANT COVER.
22. GENERAL STORAGE: DOUBLE POWER OUTLET FROM HOUSE (COMMON CIRCUIT) POWER. LIGHTING POINT & SWITCH BY LESSOR FROM HOUSE POWER. EMERGENCY LIGHTING: BY LESSOR AT LESSOR'S COST TO AS 2293. NO OTHER SERVICES PROVIDED. ANY ADDITIONAL SERVICES REQUIRED, IF AVAILABLE, SHALL BE BY LESSOR AT LESSEE'S COST.
23. EXPANSION JOINT COVER PLATES BY LESSEE AS PER SCENTRE FITOUT REQUIREMENTS.
24. STEP DOWN FROM MALL FLOOR FINISH TO STRUCTURAL SLAB LEVEL 20mm-50mm TYPICALLY, MUST BE CONFIRMED ONSITE FOLLOWING DE-FIT OF EXISTING TENANCY

THIS DOCUMENT IS TO BE READ IN CONJUNCTION WITH DA2018/1480  
NORTHERN BEACHES COUNCIL

PAD  
2002/5

**LOCATION PLAN  
FLOOR PLAN**  
CAD REF.:

REV	DATE	COMMENT
1	21/8/18	PLAN ISSUED AS PER TENANCY INSTRUCTION



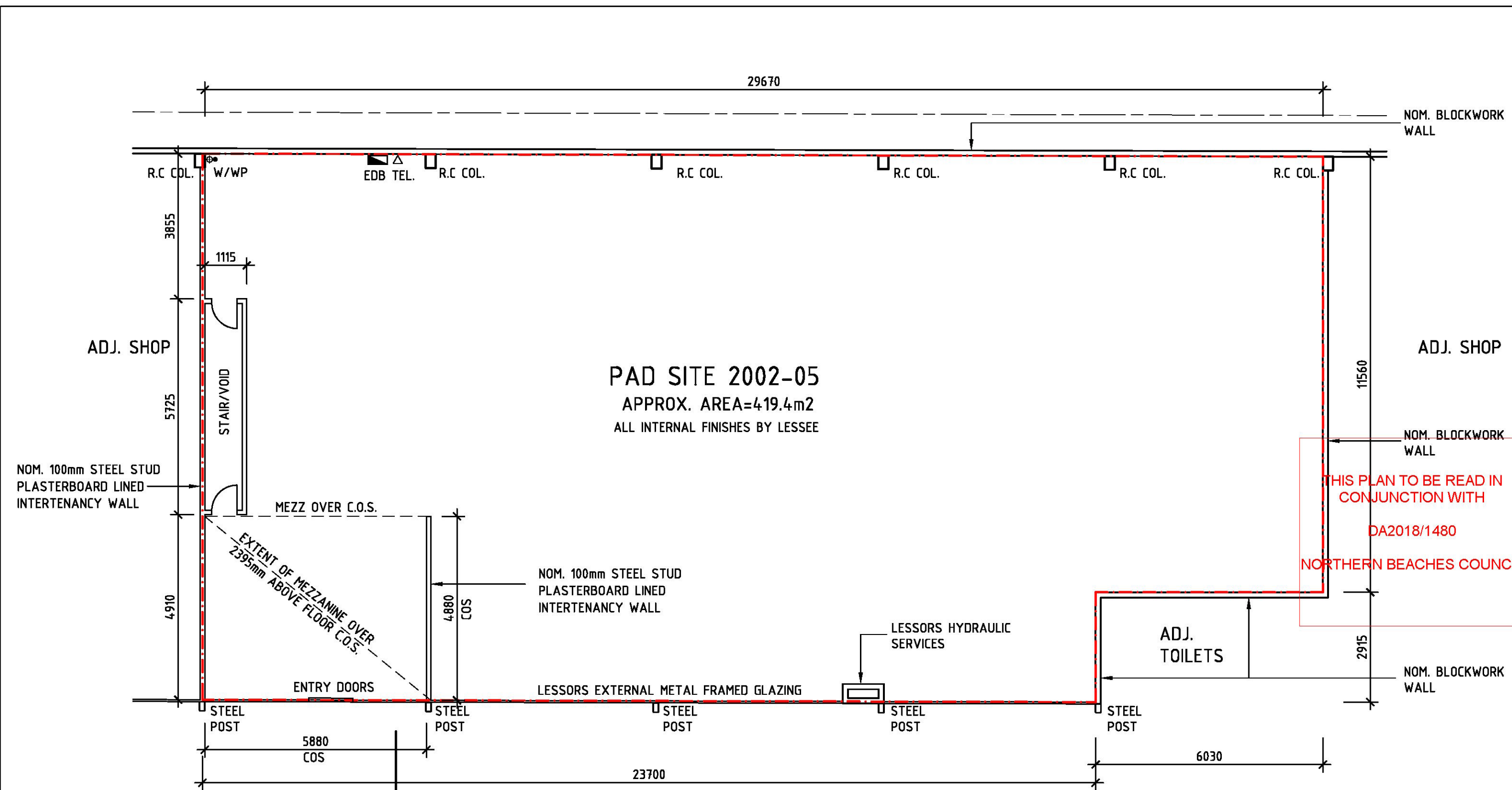
**Scentre Design & Construction Pty Limited**  
 85 Castlereagh Street, Sydney, NSW 2000 Telephone (02) 9358 7000  
 GPO Box 4004, Sydney, NSW 2001 Fax (02) 9028 8500  
 ACN 000 287 285 Web www.scentregroup.com

DESIGNED BY:      DRAWN BY:      CHECKED BY:

PROJECT:  
**WESTFIELD WARRINGAH MALL**

TITLE:  
**LEASE PLAN PAD SITE 2002/5**  
LOCATION PLAN - LEVEL 1

SCALE: 1:2000	DRAWING No. LP2002-05-LOC
DATE STARTED:	SHEET 1 OF 3
DATE PLOTTED:	REVISION: 1



**PAD SITE 2002-05**  
 APPROX. AREA=419.4m<sup>2</sup>  
 ALL INTERNAL FINISHES BY LESSEE

THIS PLAN TO BE READ IN  
 CONJUNCTION WITH  
 DA2018/1480  
 NORTHERN BEACHES COUNCIL

**FLOOR PLAN**  
**PAD SITE 2002/5**  
 CAD REF.:



ISSUED AS PER TENANCY INSTRUCTION

REV	DATE	COMMENT
1	21/8/18	LEASE PLAN ISSUE.

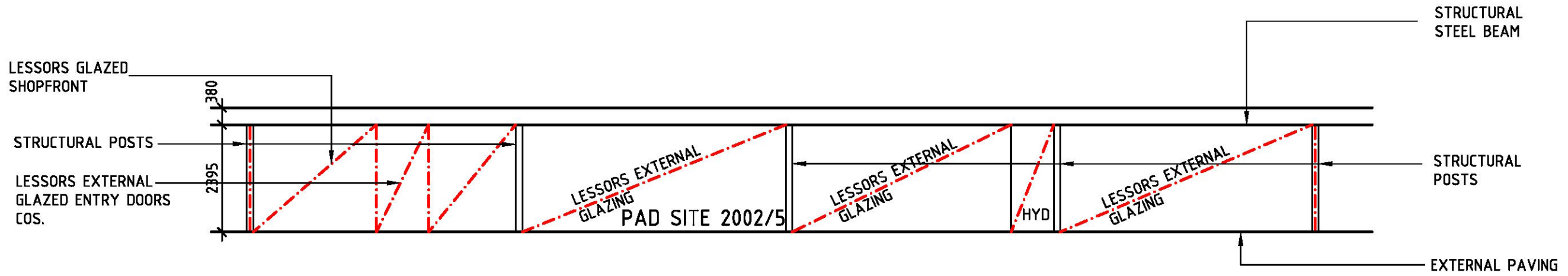


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 GPO Box 4004, Sydney, NSW 2001 Fax (02) 9028 8500  
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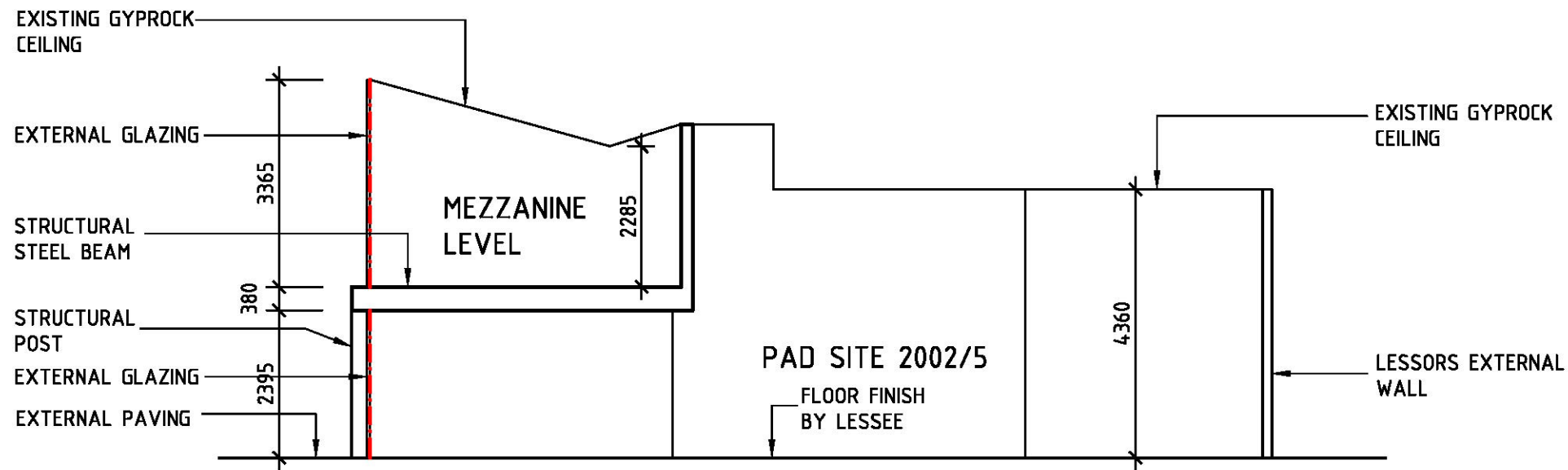
PROJECT: **WESTFIELD WARRINGAH MALL**  
 TITLE: **LEASE PLAN PAD SITE 2002-05**  
 LEVEL 1

SCALE: 1:200	DRAWING No. LP2002-05-1
DATE STARTED:	SHEET 2 OF 3
DATE PLOTTED:	REVISION: 1

DESIGNED BY:      DRAWN BY: GD      CHECKED BY: LARS



**A** ELEVATION  
 PAD SITE 2002/5  
 CAD REF.:  
 1:100



**1** SECTION  
 PAD SITE 2002/5  
 CAD REF.:  
 1:100

THIS PLAN TO BE READ IN CONJUNCTION WITH  
 DA2018/1480  
 NORTHERN BEACHES COUNCIL

ISSUED AS PER TENANCY INSTRUCTION

REV	DATE	COMMENT
1	21/8/18	LEASE PLAN ISSUE.



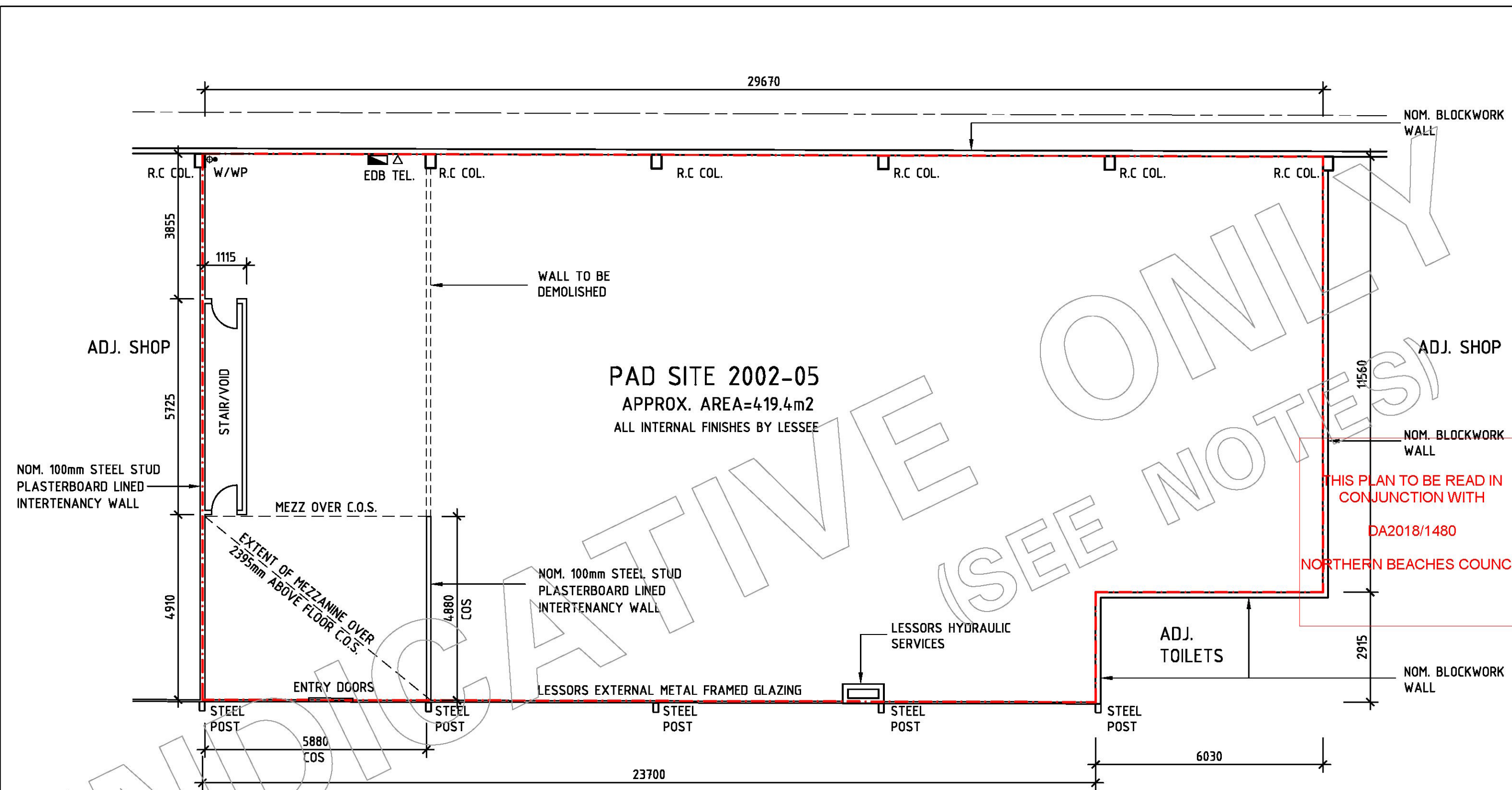
**Scentre Design & Construction Pty Limited**  
 85 Castlereagh Street, Sydney, NSW 2000 Telephone (02) 9358 7000  
 GPO Box 4004, Sydney, NSW 2001 Fax (02) 9028 8500  
 ACN 000 267 265 Web www.scentregroup.com

DESIGNED BY: DRAWN BY: GD CHECKED BY: LARS

PROJECT: WESTFIELD WARRINGAH MALL

TITLE: LEASE PLAN PAD SITE 2002/5  
 LEVEL 1

SCALE: 1:100	DRAWING No. LP2002-05-2
DATE STARTED:	SHEET 3 OF 3
DATE PLOTTED:	REVISION: 1



**PAD SITE 2002-05**  
 APPROX. AREA=419.4m<sup>2</sup>  
 ALL INTERNAL FINISHES BY LESSEE

**FLOOR PLAN**

CAD REF.:

**NOTE;**  
 NOT FOR LEASE, DESIGN  
 OR CONTRACT PURPOSES  
 MAY CHANGE WITHOUT  
 NOTICE.

ISSUED AS PER TENANCY INSTRUCTION

REV	DATE	COMMENT
A	18/3/18	SKETCH PLAN ISSUE.

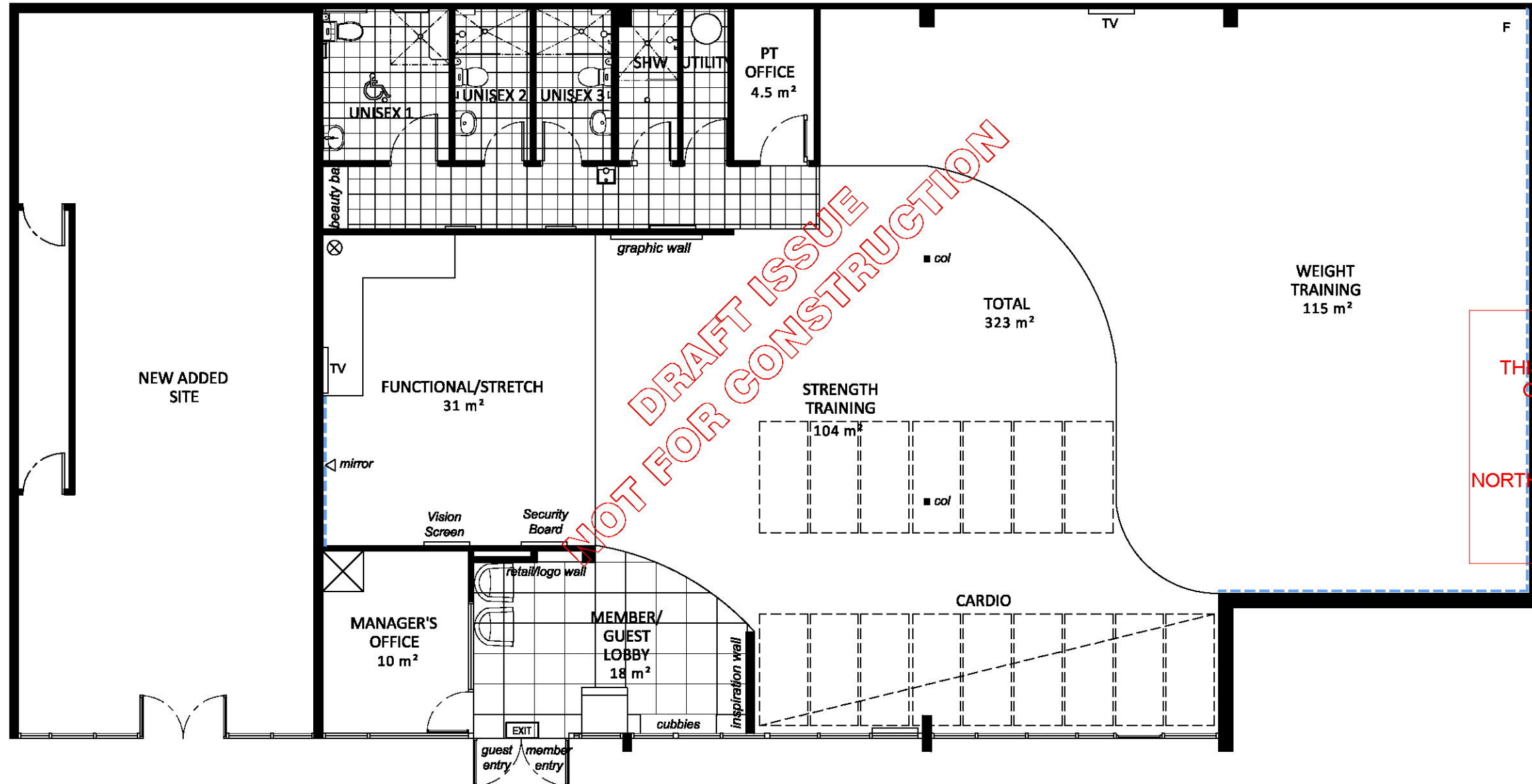
**SCENTRE GROUP**  
 Owner and Operator of *Westfield* in Australia and New Zealand

**Scentre Design & Construction Pty Limited**  
 85 Castlereagh Street, Sydney, NSW 2000 Telephone (02) 9358 7000  
 GPO Box 4004, Sydney, NSW 2001 Fax (02) 9028 8500  
 ACN 000 287 285 Web www.scentregroup.com

DESIGNED BY:      DRAWN BY:      CHECKED BY:

PROJECT: **WESTFIELD WARRINGAH MALL**  
 TITLE: **SKETCH PLAN PAD SITE 2002-05**  
 LEVEL 1

SCALE: 1:200	DRAWING No. <b>SK2002-05-1</b>
DATE STARTED:	SHEET 1 OF 1
DATE PLOTTED:	REVISION: <b>A</b>

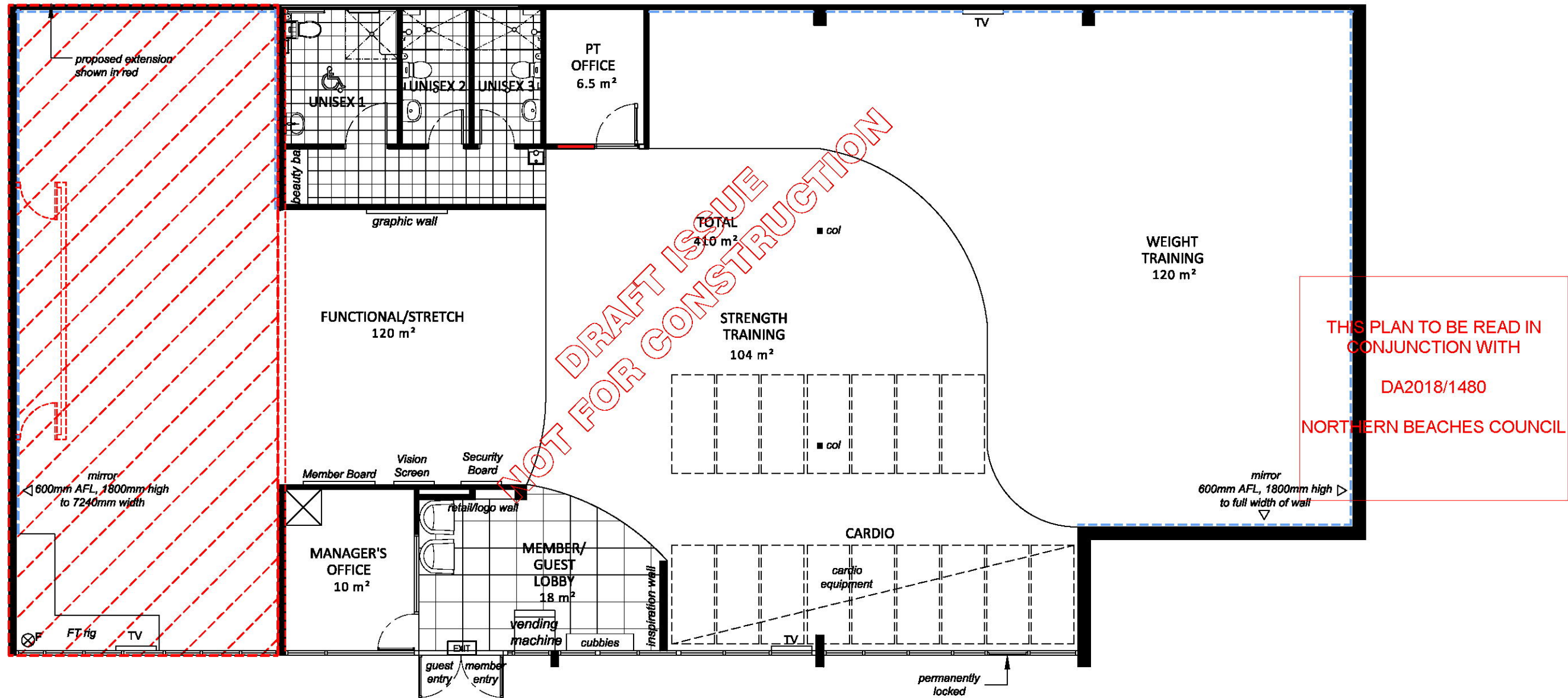


THIS PLAN TO BE READ IN CONJUNCTION WITH  
DA2018/1480  
NORTHERN BEACHES COUNCIL

**EXISTING FLOOR PLAN**  
SCALE: 1:100



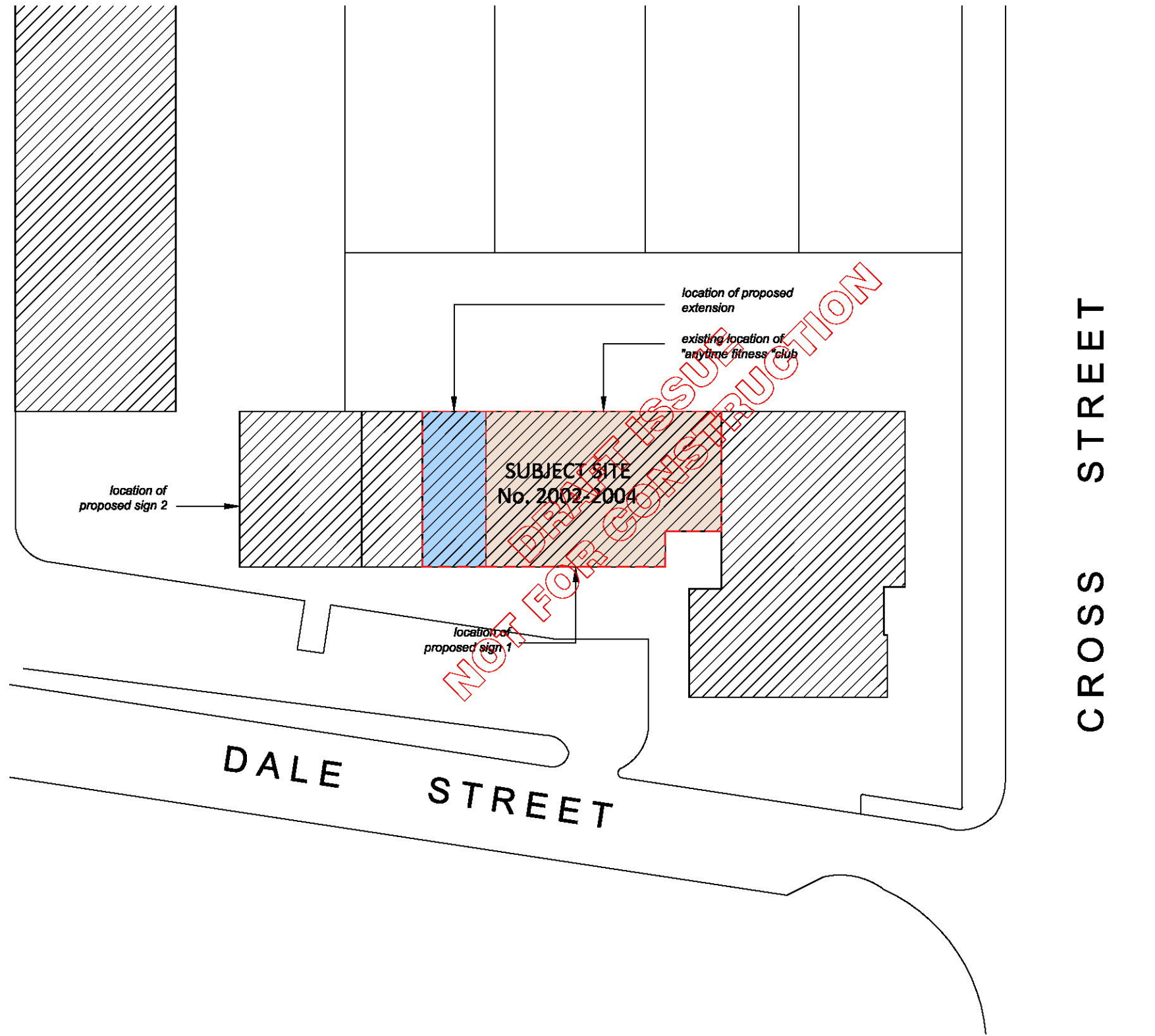
ISSUE	DATE	DESCRIPTION
N/A	N/A	PRELIMINARY FOR REVISION ONLY



**PROPOSED FLOOR PLAN**  
SCALE: 1:100



ISSUE	DATE	DESCRIPTION
N/A	N/A	PRELIMINARY FOR REVISION ONLY



THIS PLAN TO BE READ IN CONJUNCTION WITH  
DA2018/1480  
NORTHERN BEACHES COUNCIL

**SITE PLAN**  
SCALE: 1:500



ISSUE	DATE	DESCRIPTION
N/A	N/A	PRELIMINARY FOR REVISION ONLY

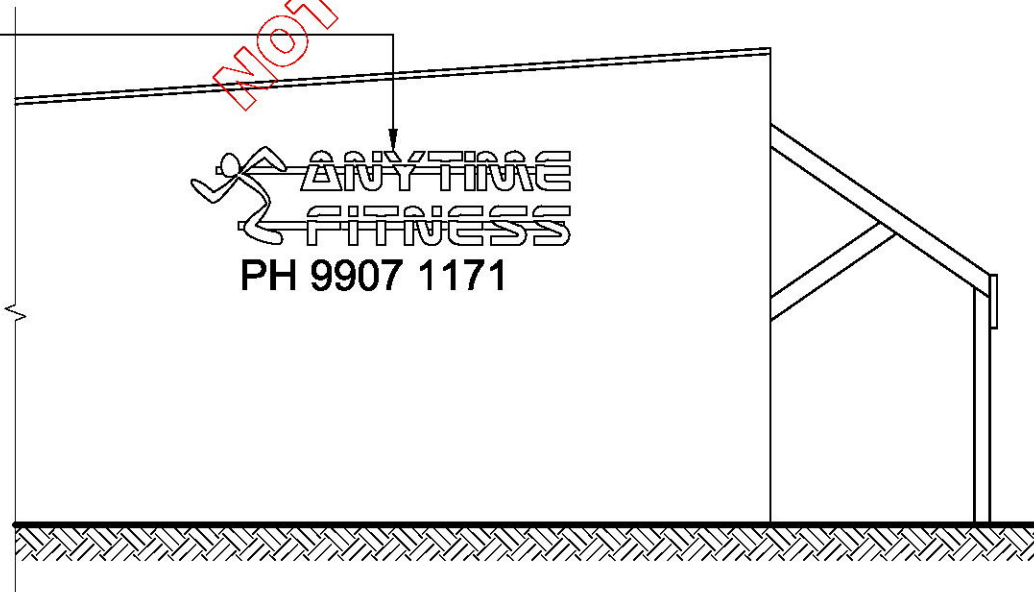




**NORTH ELEVATION & SIGNAGE**

SCALE: 1:100

**SIGN 2**  
 Mount letters & logo onto Raceway or gloss black acm framed panels to conceal wiring, bolted to wall.  
 Plum translucent vinyl applied to running man Opal Acrylic Letters internal white 12V LEDs (front illumination) bolted to raceway.  
 Black 100mm deep 3mm deep acrylic returns (non illuminated)



**EAST ELEVATION & SIGNAGE**

SCALE: 1:100

THIS PLAN TO BE READ IN CONJUNCTION WITH  
 DA2018/1480  
 NORTHERN BEACHES COUNCIL

ISSUE	DATE	DESCRIPTION
N/A	N/A	PRELIMINARY FOR REVISION ONLY