

Peter J Boyce & Associates

Ph 0412 928 500

P.O. Box 375. Strathfield 2135

Ph 9868 2855

Building Surveyor Acc. No BPB0043 Fax 9868 2655

6th May 2011

The General Manager

Dear Sir,

Re: Submission of Complying Development Certificate
3 Gondola Street North Narrabeen

Please find enclosed:

1. Letter & cheque for registration of CDC
2. Completed Application Form
3. Complying Development Certificate with conditions
4. Long Service Levy receipt
5. Waste Management Plan
6. Section "J" Compliance Report
7. Architectural plans
8. Fire Safety Schedule

Should any of the above documents not be received please advise me immediately.

Many thanks.

A handwritten signature in black ink, appearing to read "Peter Boyce".

Peter Boyce

RN: 301044

Peter J Boyce & Associates

Ph 0412 928 500

P.O. Box 375. Strathfield 2135 Ph 9868 2855
Level 2, 41 Rawson Street, Epping 2121
Building Surveyor Acc. No BPB0043 Fax 9868 2655

6th May 2011

The General Manager
Pittwater Council
PO Box 882
MONA VALE NSW 1660

Dear Sir,

Re: Copy of Complying Development Certificate
3 Gondola Street North Narrabeen

Please find enclosed copy of Complying Development Certificate issued for the above property.

A cheque for \$30.00 for registration of the Complying Development Certificate is attached herewith.

Yours faithfully



Peter Boyce

RELIEVED 21-04-11

RECEIVED 21 APR 2011

Application for Complying Development Certificate

To be assessed under the new Housing Code (2008) Council LEP

Issued under the Environmental Planning and Assessment Act 1979 Part 3 - Schedule 1

Local Council Area

City, Council or Shire

PITTWATER COUNCIL

Owner

Name **MANLY WARRINGAH PITTWATER COMMUNITY AND SERVICE INC**
Address **5 NAREEN PARADE NORTH NAREEEN NSW 2101**
Phone **9913 1883** Mobile
Email **zena@mwpccommunityand.com.au**

Consent of all owner(s)

we consent to this application

Signature

K

Z Maxwell

Subject Land with lot & deposited plan number

Address **3 SANDRA ROAD, NORTH NAREEEN**
LOT 188 DP 16719

Brief description of development

Type of Development
i.e. Dwelling. Addition

**INTERNAL OFFICE PARTITIONS, CEILING & SERVICES
UPGRADE. MINOR INTERNAL DEMOLITION WORKS**

Building code of Australia

Building Classification.

Class **5 & 8**

Complying Development Certificate
number:

Date of Determination:

Builder/Owner Builder

Name or Permit number

TBC

Address

Telephone No

Fax No

Mobile

Email

Value of Work

\$ 200,000 -

Required attachments ---Three copies of the plans & Specification.
Plan Nos.
List of supporting documents

Applicants Signature

Z Maxwell

*

Australian Bureau of Statistics

Particulars of Proposal ---What is the area of land (m²) 679 m²
 Gross Floor area of existing building (m²)..... 555 m²
 building(s)/land What are the current use of all or part of the
 (If vacant state vacant) VACANT

Location
 Use

Does the site contain a dual occupancy?..... NO
 What is the gross floor area of the proposal (m²)... 555 m²
 What are the proposed uses of the building?

Location
Floor Two Storey Building - Office
Repl. Ground Floor Office/Storage
 Use
 How many stories will the building consist of? 2

Materials to be used

Place a tick in the box which best describes the material

Walls	code	Roof	code
Brick veneer	12	Aluminium	70
full brick	11	concrete	20
single brick	11	concrete tiles	10
concrete block	11	fibrous cement	30
		fibreglass	80
concrete/masonry	20	masonry/terracotta shingle	
concrete	20	tiles	10
steel	60	slate	20
fibrous cement	30	steel	60
hardiplank	30	terracotta tile	10
timber/weatherboard	40	other	80
cladding aluminium	70	unknown	90
curtain glass	50		
other	<u>80</u>		
unknown	90		
Floor		Frame	
concrete	20	timber	40
timber	10	steel	60
other	80	other	80
unknown	90	unknown	90

Peter J Boyce & Associates

Level 2, 41 Rawson St Epping NSW 2121

Ph: 9868 2855

email:info@boycecorp.com.au

Fax: 9868 2655

Planning NSW Building Surveyor No. BPB0043

COMPLYING DEVELOPMENT CERTIFICATE

Certificate No. BP11124

This certificate is issued by a certifying authority and verifies that, if the applicant carries out the proposed work in accordance with the plans and specifications that are approved, the work will comply with the Environmental Planning and Assessment Act 1979 and Regulations 2000.

Applicant

Name	Zena Maxwell Manly Warringah Pittwater Community & Service Inc.
Address	5 Nareen Parade North Narrabeen
Contact Number	9913 1583
Email	-

Development

Development Consent No.	BP11124
Site Address	3 Gondola Street North Narrabeen
Property Identification	Lot 188 DP 16719
Building Classification under BCA	5 & 8
Land Use Zone	3(a) General Business 'A'

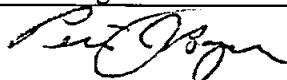
Pursuant to Section 85A of the Environmental Planning & Assessment Act, 1979 the complying development certificate has been determined by approval in accordance with the stamped plans and specifications.

Approval

Plan Nos. Approved	Unknown Architect - Drawing Nos. CD01 to CD06
Description of works Approved	Internal office partitions, ceiling and service upgrade, minor internal demolition works.
Complying Development Certificate No.	BP11124
Determination Date	6 MAY 2011
Date Consent Lapses	6 MAY 2015

I certify that the work if completed in accordance with the documents, plans, specification and conditions accompanying the application will comply with all development standards applicable to the development and with such other requirements prescribed by this regulation concerning the issue of the certificate.

Accredited Certifier

Name of Accredited Certifier	Peter Boyce
Accreditation No. of Certifier	Planning NSW Accreditation No BPB0043
Signature	

PETER J. BOYCE & ASSOCIATES

Level 2, 41 Rawson Street Epping 2121

Tel: 9868 2855

Development Property Address 3 Gondola Street, North Narrabeen **Conditions of Consent for CDC No BP11124**

Division 2 Conditions applying to complying development certificate under this code

Note 1. Complying development must comply with the requirements of the Act, the *Environmental Planning and Assessment Regulation 2000* and the conditions listed in this Part.

Note 2. A contributions plan setting out the contribution requirements towards the provision or improvement of public amenities or public services may specify that an accredited certifier must, under section 94EC of the Act, impose a condition on a complying development certificate requiring the payment of a monetary contribution in accordance with that plan. Contributions may be imposed in respect of development on certain land under section 61 the *City of Sydney Act 1988*.

Subdivision 1 Conditions applying before works commence

5.13 Protection of adjoining areas

A hoarding or a temporary construction site fence must be erected between the work site and adjoining lands before the works begin and must be kept in place until after the completion of works if the works:

- (a) could cause a danger, obstruction or inconvenience to pedestrian or vehicular traffic, or
- (b) could cause damage to adjoining lands by falling objects, or
- (c) involve the enclosure of a public place or part of a public place.

Note. See the entry in the General Exempt Development Code for scaffolding, hoardings and temporary construction site fences.

5.14 Toilet facilities

- (1) Toilet facilities must be available or provided at the work site before works begin and must be maintained until the works are completed at a ratio of one toilet plus one additional toilet for every 20 persons employed at the site.
- (2) Each toilet must:
 - (a) be a standard flushing toilet connected to a public sewer, or
 - (b) have an on-site effluent disposal system approved under the *Local Government Act 1993*, or
 - (c) be a temporary chemical closet approved under the *Local Government Act 1993*.

5.15 Garbage receptacle

- (1) A garbage receptacle must be provided at the work site before works begin and must be maintained until the works are completed.
- (2) The garbage receptacle must have a tight fitting lid and be suitable for the reception of food scraps and papers.

Subdivision 2 Conditions applying during the works

Note. The Protection of the Environment Operations Act 1997 and the Protection of the Environment Operations (Noise Control) Regulation 2008 contain provisions relating to noise.

5.16 Hours for construction

Construction that is audible in any dwelling on an adjoining lot may only be carried out between 7.00 am and 8.00 pm on Monday to Saturday.

5.17 Compliance with plans

Works must be carried out in accordance with the plans and specifications to which the complying development certificate relates.

5.18 Maintenance of site

- (1) Building materials and equipment must be stored wholly within the work site unless an approval to store them elsewhere is held.
- (2) Waste materials must be disposed of at a waste management facility.
- (3) The work site must be left clear of waste and debris at the completion of the works.

Subdivision 3 Construction requirements

5.19 Utility services

If the complying development requires alteration to, or the relocation of, utility services on the lot on which the complying development is carried out, the complying development is not complete until all such works are carried out.

5.20 Mechanical ventilation systems

If the complying development is a mechanical ventilation system that is a **regulated system** in **regulated premises** within the meaning of the Public Health Act 1991, the system must be notified as required by the Public Health (Microbial Control) Regulation 2000, before an occupation certificate (whether interim or final) for the complying development is issued.

5.21 Food businesses

If the complying development is a **food business** within the meaning of the Food Act 2003, the food business must be notified as required by that Act or licensed as required by the Food Regulation 2004, before an occupation certificate (whether interim or final) for the complying development is issued.

5.22 Premises where skin penetration procedures are carried out

If the complying development involves premises at which a **skin penetration procedure** within the meaning of the Public Health Act 1991 will be carried out, the premises must be notified as required under the Public Health (Skin Penetration) Regulation 2000 before an occupation certificate (whether interim or final) for the complying development is issued.

Levy Online Payment Receipt



Thank you for using our Levy Online payment system. Your payment for this building application has been processed.

Applicant Name:	MANLY WARRINGAH PITTWATER COMMUNITY AID
Levy Application Reference:	5014178
Application Type:	CDC
Application No.:	BP11124
Local Government Area/Government Authority:	PITTWATER COUNCIL
Site Address:	3 GONDOLA ROAD
	NORTH NARRABEEN
	NSW
	2101
Value Of Work:	\$200,000
Levy Due:	\$700
Levy Payment:	\$700
Online Payment Ref.:	615154951
Payment Date:	29/04/2011 10:34:21 AM

Waste Management Plan

Prepared by: **Wurley Group Pty Ltd Trading as ID Projects**

For more information contact: **Wayne Farmilo on 0412 998027.**

Date : **2 April 2011**

Details of Application

Site address: **3 Gondola Street, North Narrabeen**

Applicants Name: **Manly Warringah Pittwater Community Aid Services Inc**

Applicants Address: **5 Nareen Parade, North Narrabeen NSW 2101**

Applicants Phone: **9913 1883**

Applicants Fax:

Description of buildings and other structures currently on the site:

The existing building is a 2 level office/factory, where the office component is at the front of the site. The site is currently vacant and is partly fitted out with a suspended ceiling and some plasterboard partitions

Brief description of proposal:

Removal of existing roller doors and gate and installation of new aluminium windows and doors. It is proposed to remove the existing fitout and to provide new ceilings, plasterboard partitions, glazing, floor finishes and the associated services at per the attached plans.

Signature of Applicant/ Agent:

Date: **02/04/11**

Demolition Stage 1 – Controls for the Management and Minimisation of Waste

Type of Material	Estimated Volume (m ³) or Area (m ²)	Destination		
		Re-use and Recycling		Disposal
		On Site	Off Site	
Excavation material	Nil	None of the demolish materials will be suitable for reuse	Demolition materials will be collect by DATS Who have a recycling Policy. See Attached	Demolition materials will be collect by DATS Who have a recycling Policy. See Attached
Green waste	Nil			
Blockwork	1 m ³			
Concrete	Nil			
Timber (please specify)	1m ³ timber studs			
Plasterboard	3 m ³			
Metals (please specify)	0.5m ³ ceiling grid			
Other (please specify)	3.0m ² joinery			

Construction Stage 2 (a) – Controls for the Management and Minimisation of Waste

Type of Material	Estimated Volume (m ³) or Area (m ²)	Destination		
		Re-use and Recycling		Disposal
		On Site	Off Site	
Excavation material	Nil	Building materials will be collected by DATS or similar Who have a recycling Policy. See Attached	Building materials will be collected by DATS or similar Who have a recycling Policy. See Attached	Building materials will be collected by DATS or similar Who have a recycling Policy. See Attached
Green waste	Nil			
Bricks	0.5m ³			
Concrete	Nil			
Timber (please specify)	Nil			
Plasterboard	2 m ³			
Metals (please specify)	1 m ³ metal studs			
Liquids (please specify)	Nil			
Other (please specify)	Nil			

Design of Facilities Stage 2 (b) – Controls for the Management and Minimisation of Waste

Type of Waste to be Generated	Expected Volume per week (litres or m ³)	Proposed On Site Storage and Treatment Facilities	Destination
General waste	1 m ³	<ul style="list-style-type: none"> • Specify proposed reuse or on site recycling methods • To be collect by councils contractor on a weekly basis 	<ul style="list-style-type: none"> • To be collect by councils contractor on a weekly basis
Paper and Cardboard	1 m ³	<ul style="list-style-type: none"> • To be collect by councils contractor on a weekly basis 	<ul style="list-style-type: none"> • To be collect by councils contractor on a weekly basis
		<ul style="list-style-type: none"> • 	
		<ul style="list-style-type: none"> • 	
		<ul style="list-style-type: none"> • 	
		<ul style="list-style-type: none"> • 	
		<ul style="list-style-type: none"> • 	

DATS Environmental Services Waste Management Plan

WASTE MATERIALS	CONTRACTOR AND RECYCLING FACILITY	WASTE RESOURCE RECOVERED	PROCESSOR	PRODUCTION	RESIDUAL WASTE
Mixed Heavy Waste	DATS ENVIRONMENTAL SERVICES TO BENEDICT RECYCLING	Excavated material	Benedict Quarries	Landscape Supplies	Landfill
Mixed Light Waste	DATS ENVIRONMENTAL SERVICES TO BENEDICT RECYCLING	Brick/Concrete	Benedict Quarries	Aggregate	
		Light Waste	Peter Below		
		Cardboard/Paper	Recycler	Paper/Cardboard Products	Landfill
Metals	DATS ENVIRONMENTAL SERVICES TO SMOORGANS STEEL	Plastic	Recycler	Plastic Products	Landfill
		Metal / Steel	Recycler	Metal Products	Landfill
		Timber/Gyprock	Recycler	Paper Products	Landfill
Bricks	DATS ENVIRONMENTAL SERVICES TO BENEDICT RECYCLING / CONCRETE RECYCLERS	Metal / Steel	Smorgan Steel	Metal Products	Landfill
		Brick	Benedict Quarries/Concrete Recyclers	Aggregate	
Concrete	DATS ENVIRONMENTAL SERVICES TO BENEDICT RECYCLING / CONCRETE RECYCLERS	Concrete	Benedict Quarries/Concrete Recyclers	Aggregate	
Green Waste	DATS ENVIRONMENTAL SERVICES TO KIMBERLI RECYCLING CENTRE	Vegetation	Australian Native Landscapes	Mulch / Garden Products	
		Soil	Benedict Quarries	Landscape Supplies	Landfill
Excavated Material	DATS ENVIRONMENTAL SERVICES TO BENEDICT RECYCLING	Sandstone	Benedict Quarries	Landscape Supplies	Landfill
		Rock	Benedict Quarries	Landscape Supplies	Landfill

Please refer project for waste material definitions →

DATS Environmental Services
Waste Management Plan

Mixed Heavy Waste	-	Waste containing brick, concrete, masonry, dirt and excavated material mixed with light waste
Mixed Light Waste	-	Waste containing timber, plastic, paper, cardboard, metal, general domestic / tidy up waste — no brick, concrete, masonry, dirt, excavated material or food waste
Metal	-	Ferrous & Non Ferrous
Bricks	-	Clean Brick
Concrete	-	Clean Concrete
Green Waste	-	Clean Vegetation — no dirt or tree stumps
Excavated Material	-	Soil, Sandstone, Rock

Proposed Alterations to Existing Office Building

3 Gondola Road
NORTH NARRABEEN NSW

Compliance Report

Building Code of Australia
Section J Energy Efficiency

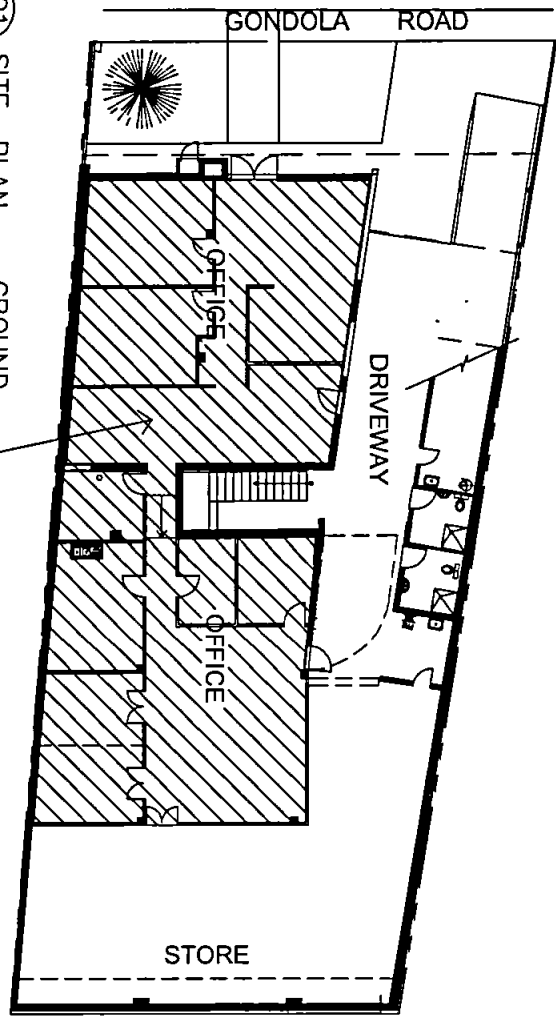
April 2011



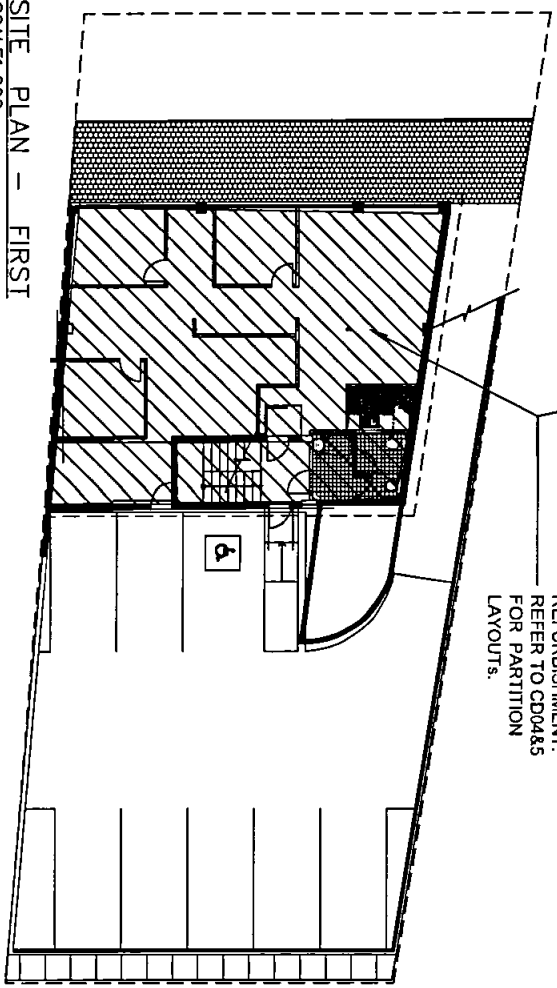
Application Solutions
Level Two – 41 Rawson Street
EPPING NSW 2121

Telephone 02 9868 4339

Facsimile 02 9868 2655

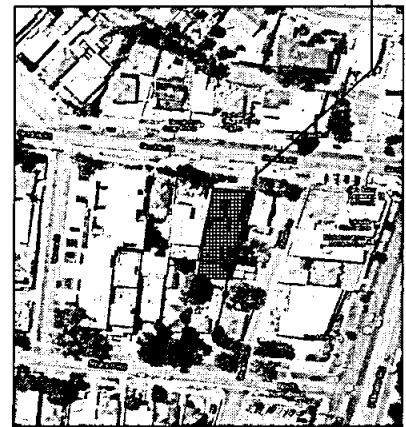


01 SITE PLAN - GROUND
SCALE: 1:200



01 SITE PLAN - FIRST
SCALE: 1:200

EXTENT OF OFFICE
REFURBISHMENT.
REFER TO CD00485
FOR PARTITION
LAYOUTS.



01 LOCATION PLAN
SCALE NTS

Notes:

- G1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL & OTHER WORKING DRAWINGS, SPECIFICATIONS & WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.
- G2. ALL WORKMANSHIP & MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT EDITION OF THE SAA CODES & THE BY-LAWS & ORDINANCES OF THE RELEVANT BUILDING AUTHORITY.
- G3. ANY CONFLICT BETWEEN THESE NOTES, THE SPECIFICATION, THE DRAWINGS OR ANY OTHER RELEVANT DOCUMENTS SHALL BE REFERRED TO THE ENGINEER FOR DECISION PRIOR TO PROCEEDING WITH THE WORK.
- G4. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS. FOR SETTING OUT DIMENSIONS & LEVELS REFER TO ARCHITECTURAL DRAWINGS.
- G5. THE BUILDER SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL SHORING TO MAINTAIN THE STABILITY & INTEGRITY OF EXCAVATIONS & ADJACENT STRUCTURES.
- G6. DURING CONSTRUCTION IT IS THE BUILDER'S RESPONSIBILITY TO MAINTAIN THE STRUCTURE IN A STABLE CONDITION & TO ENSURE NO PART IS OVERSTRESSED.
- G7. THE DESIGN & DRAWINGS ARE COPYRIGHT & MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF ID PROJECTS.

Areas:

Land Area:
Building Area:

Peter J Boyce & Associates
Ph: 0412 928 512

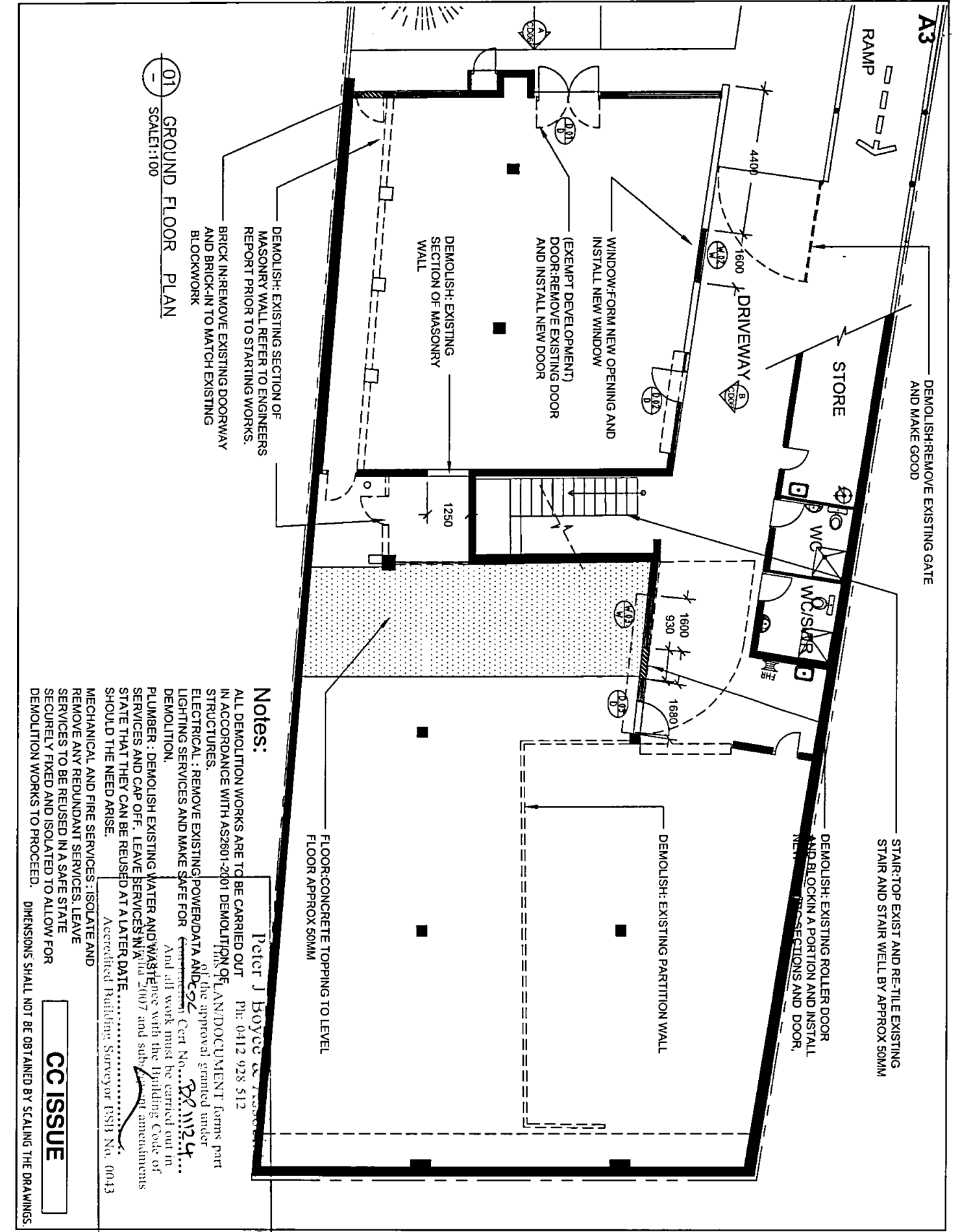
The PLAN/DOCUMENT forms part of the approved grant under
639m² of the approved grant under
555m² of the approved grant under
Cert No. BRM124

And all work must be carried out in accordance with the Building Code of Australia 2007 and subsequent amendments

Accredited Building Surveyor BSB No. 0043

CC ISSUE

DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS.



01 GROUND FLOOR PLAN
SCALE: 1:100

DEMOLISH: EXISTING SECTION OF MASONRY WALL REFER TO ENGINEERS REPORT PRIOR TO STARTING WORKS.
BRICK IN: REMOVE EXISTING DOORWAY AND BRICK-IN TO MATCH EXISTING BLOCKWORK

Notes:

ALL DEMOLITION WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH AS2601-2001 DEMOLITION OF STRUCTURES.
ELECTRICAL: REMOVE EXISTING LIGHTING SERVICES AND MAKE SAFE FOR DEMOLITION.
PLUMBER: DEMOLISH EXISTING WATER AND WASTE SERVICES AND CAP OFF. LEAVE SERVICES IN A STATE THAT THEY CAN BE REUSED AT A LATER DATE.
MECHANICAL AND FIRE SERVICES: ISOLATE AND REMOVE ANY REDUNDANT SERVICES. LEAVE SERVICES TO BE REUSED IN A SAFE STATE SECURELY FIXED AND ISOLATED TO ALLOW FOR DEMOLITION WORKS TO PROCEED. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS.

Peter J Boyce
Lic No: 12345
Ph: 0412 928 512

Of the approval granted under
Cert No. 12345
And all work must be carried out in accordance with the Building Code of Australia 2007 and sub-code amendments

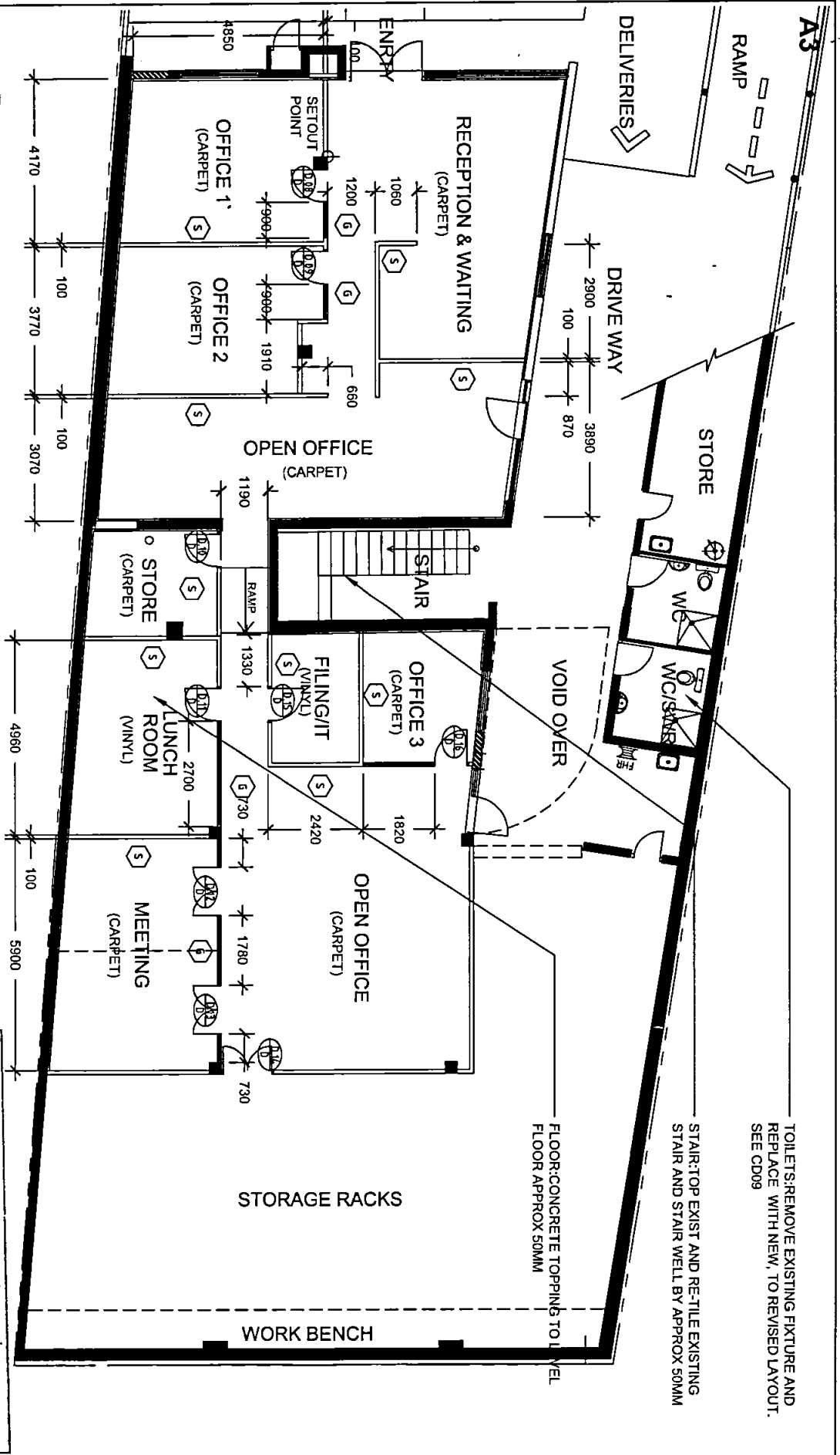
Accredited Building Surveyor (PSB No. 0043)

CC ISSUE

PROJECT MANLY WARRINGAH PITWATER COMMUNITY AID SERVICES INC.
DRAWING PROPOSED GROUND FLOOR PLAN
DATE 11/08
SCALE 1:100
TITLE BLOCK 10008
CD02B

Author B-DOC App 4/11

	PO Box 535 Wolloughby NSW Ph: 02 9558 2585 F: 02 9558 2585 E: interior@idprojects.biz
	Approved



01 PARTITION PLAN
SCALE:1:100

GENERAL NOTES

MINIMUM 100MM OFFSET OFF WALL FOR DOOR JAMBS
 ALL DOORS OPENINGS TO BE PROVIDED WITH BOXED STUDS OR SOLID
 TIMBER INFILL WITHIN METAL STUDS UNLESS OTHERWISE STATED.
 PROVIDE TIMBER STUDS WITHIN TO SUPPORT JOINERY AS REQUIRED.
 CROSS REFER TO JOINERY DETAILS FOR EXTENT OF JOINERY.
 WORK TO FIGURED DIMENSIONS ONLY.
 ALL DIMENSIONS ARE TO BE CHECKED ON-SITE ID PROJECTS ARE TO BE
 NOTIFIED OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.
 ALL WORK SHALL BE CARRIED OUT STRICTLY IN ACCORDANCE WITH
 THE RELEVANT SAA CODES. THE BUILDING CODES OF AUSTRALIA AND
 TO THE SATISFACTION OF THE REGULATORY AUTHORITY.

PARTITION TRIM NOTES

UNLESS OTHERWISE NOTED ON DRAWINGS OR THIS SPECIFICATION:
 SPLITTING:
 100 MM HIGH ALUMINIUM GREY PVC GASKET SAP 009.
 HEAD & TRIM:
 25 X 35MM CONTINUOUS FLAT BAR WHERE CURVED WALLS FINISH:
 NATURAL ANODIZED.
 DOOR JAMBS & DOOR HEAD:
 LINE EXISTING BLOCK WALLS WITH 10MM PLASTERBOARD ON
 VERTICAL BATTENS (FURRING CHANNEL).

PARTITION LEGEND

- 5 NEW FULL HEIGHT 34MM STEEL STUD FRAMING WITH ONE LAYER OF 13MM BRITBOARD PLASTERBOARD WITH STAGGERED JOINTS TO FACE SIDE WITH DAGON INSULATION INFILL SAND AND TAPE SET READY TO RECEIVE SELECTED PAINT FINISH.
- 51 AS PER S BUT FULL HEIGHT 34MM SLAB AND SUBS ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND TO THE SATISFACTION OF THE REGULATORY AUTHORITY.
- 6 NEW FULL HEIGHT TO 38MM LAMINATED GLASS SET ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND TO THE SATISFACTION OF THE REGULATORY AUTHORITY.

Peter J Boyce & Associates
 Ph: 0412 928 512

CC ISSUE

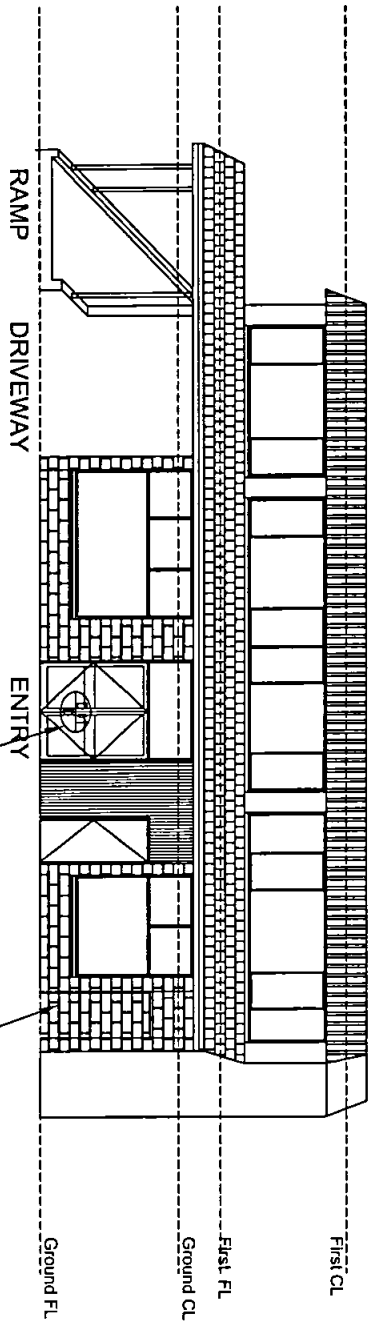
DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS.

TOILETS: REMOVE EXISTING FIXTURE AND REPLACE WITH NEW, TO REVISED LAYOUT. SEE CD09

STAIR: TOP EXIST AND RE-TILE EXISTING STAIR AND STAIR WELL BY APPROX 50MM

FLOOR: CONCRETE TOPPING TO LEVEL FLOOR APPROX 50MM

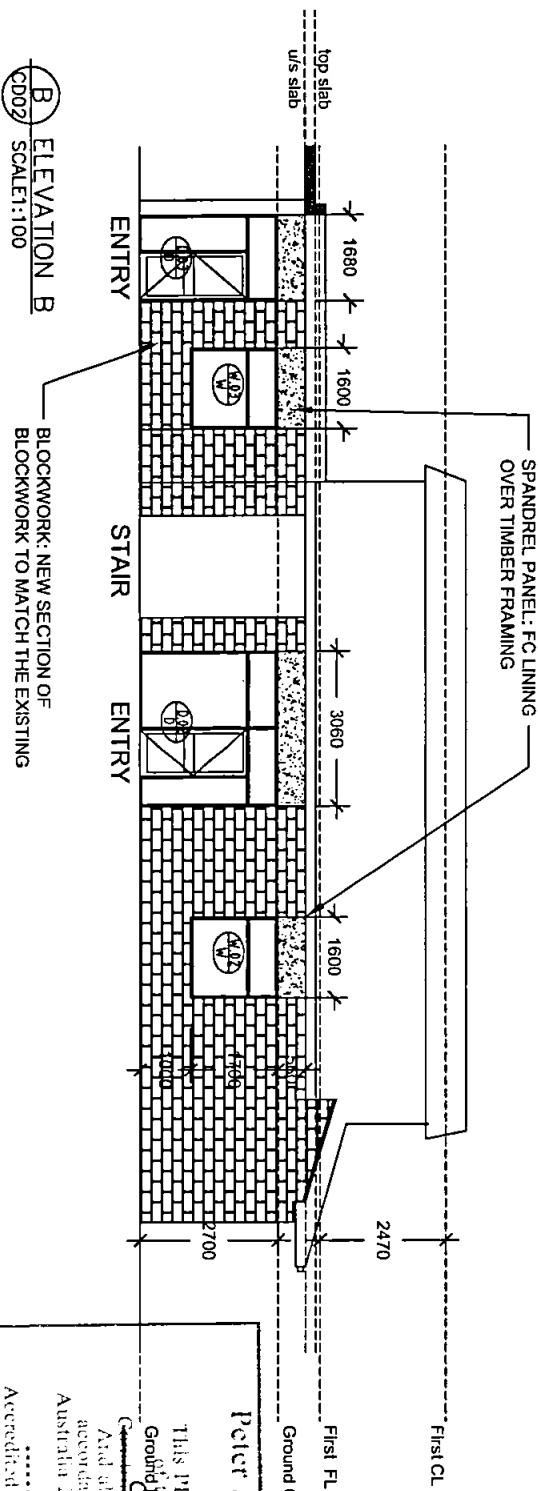
	PO Box 535 Wolloughby NSW P: 02 9558 2585 F: 02 9558 2585 E: interiors@jdpprojects.biz
	Revision B-COC App 4/11
PROJECT MANLY WARRINGAH PITTSWATER COMMUNITY AID SERVICES INC.	DRAWING PARTITION PLAN - GROUND FLOOR
DATE 4/11/2011	
CD04B	



A ELEVATION A
CD02 SCALE:1:100

(EXEMPT DEVELOPMENT)
DOOR: REMOVE EXISTING DOOR
AND REPLACE WITH NEW.

BLOCKWORK: REMOVE EXISTING DOOR AND
BLOCKWORK TO MATCH THE EXISTING



B ELEVATION B
CD02 SCALE:1:100

BLOCKWORK: NEW SECTION OF
BLOCKWORK TO MATCH THE EXISTING

SPANDREL PANEL: FC LINING
OVER TIMBER FRAMING

Peter J Hogue & Associates
Ph: 0412 928 512

This PLANNING/DEVELOPMENT forms Part
of the approval granted under
Ground FC Cert No. **381124**
All work must be carried out in
accordance with the Building Code of
Australia 2007 and subsequent amendments

Accredited Planning Surveyor RSB No. 0043

CC ISSUE

DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS.

Projects
PO Box 535 Wolloughby NSW
P: 02 9558 2585 F: 02 9558 2585
E: Interiors@idprojects.biz

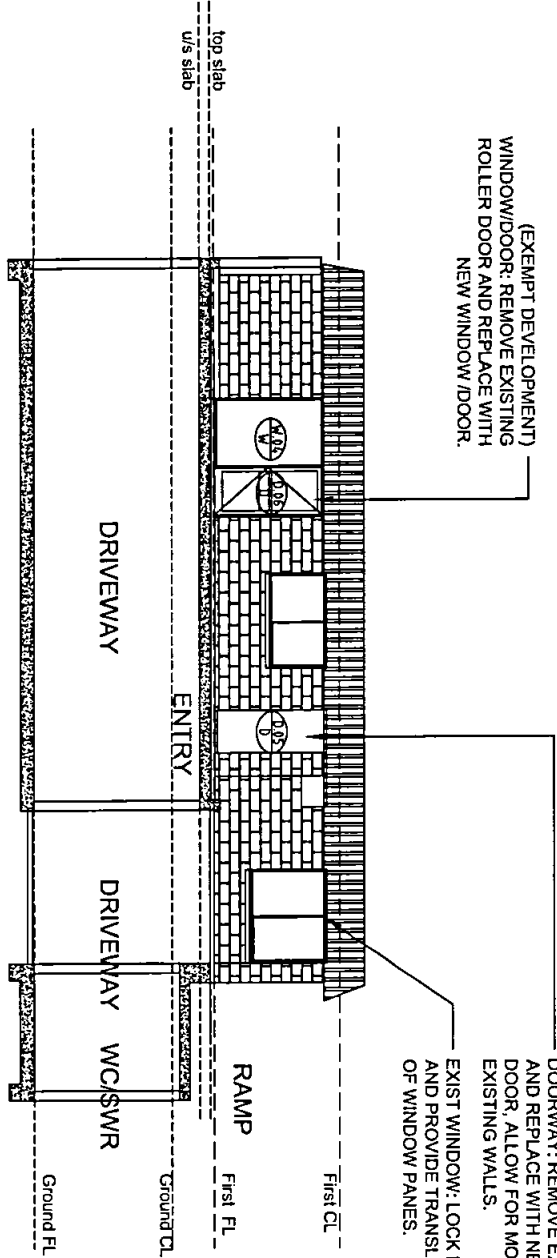
REVISION
B-CDG APP 4/11

PROJECT
MANLY WARRINGAH PITWATER
COMMUNITY AID SERVICES INC.

DRAWING
ELEVATION

CD06B

DATE: Apr 2011
SCALE: 1:100
DRAWN BY: [Signature]
CHECKED BY: [Signature]
PROJECT NO: 10028



C ELEVATION C
SCALE: 1:100

(EXEMPT DEVELOPMENT)
WINDOW/DOOR: REMOVE EXISTING
ROLLER DOOR AND REPLACE WITH
NEW WINDOW /DOOR.

DOORWAY: REMOVE EXISTING DOOR
AND REPLACE WITH NEW 950MM WIDE
DOOR. ALLOW FOR MODIFICATION TO
EXISTING WALLS.

EXIST WINDOW: LOCK EXISTING WINDOW
AND PROVIDE TRANSLUCENT FILM TO INSIDE
OF WINDOW PANES.

Peter J Bayce & Associates
Ph: 0412 028 512

This PLANNING/CONSENT forms part
of the approval granted under
COE Cert No. **821174**

And all work must be carried out in
accordance with the Building Code of
Australia 2007 and subsequent amendments

Accredited Building Surveyor PSB No. 0043

CC ISSUE

DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS.

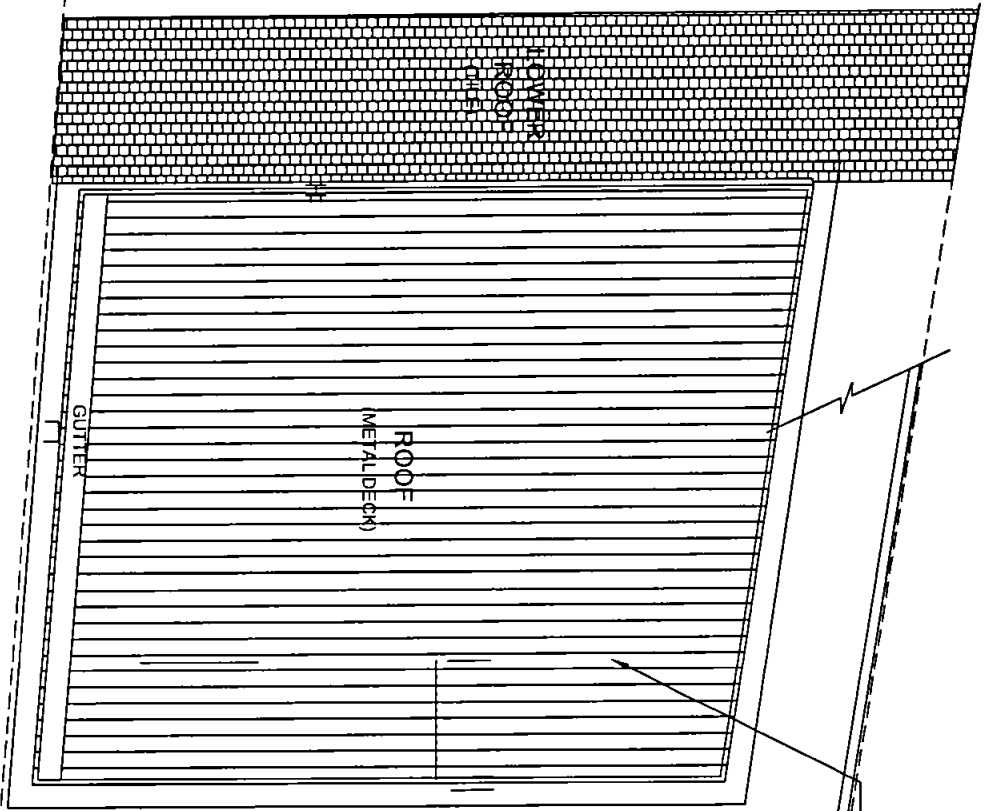
Projects
PO Box 535 Willoughby NSW
P: 02 9958 2595 F: 02 9958 2585
E: interiors@projects.biz

Revision
B-DOC APP 4/11

PROJECT
MANLY WARRINGAH PITWATER
COMMUNITY AID SERVICES INC.
DRAWING
ELEVATION

CD07B
Project No. 1008
Scale: 1:100
Date: Mar 2011

A3



02 ROOF PLAN
 SCALE: 1:100

CARPARK

EXISTING ROOF:

GUTTER

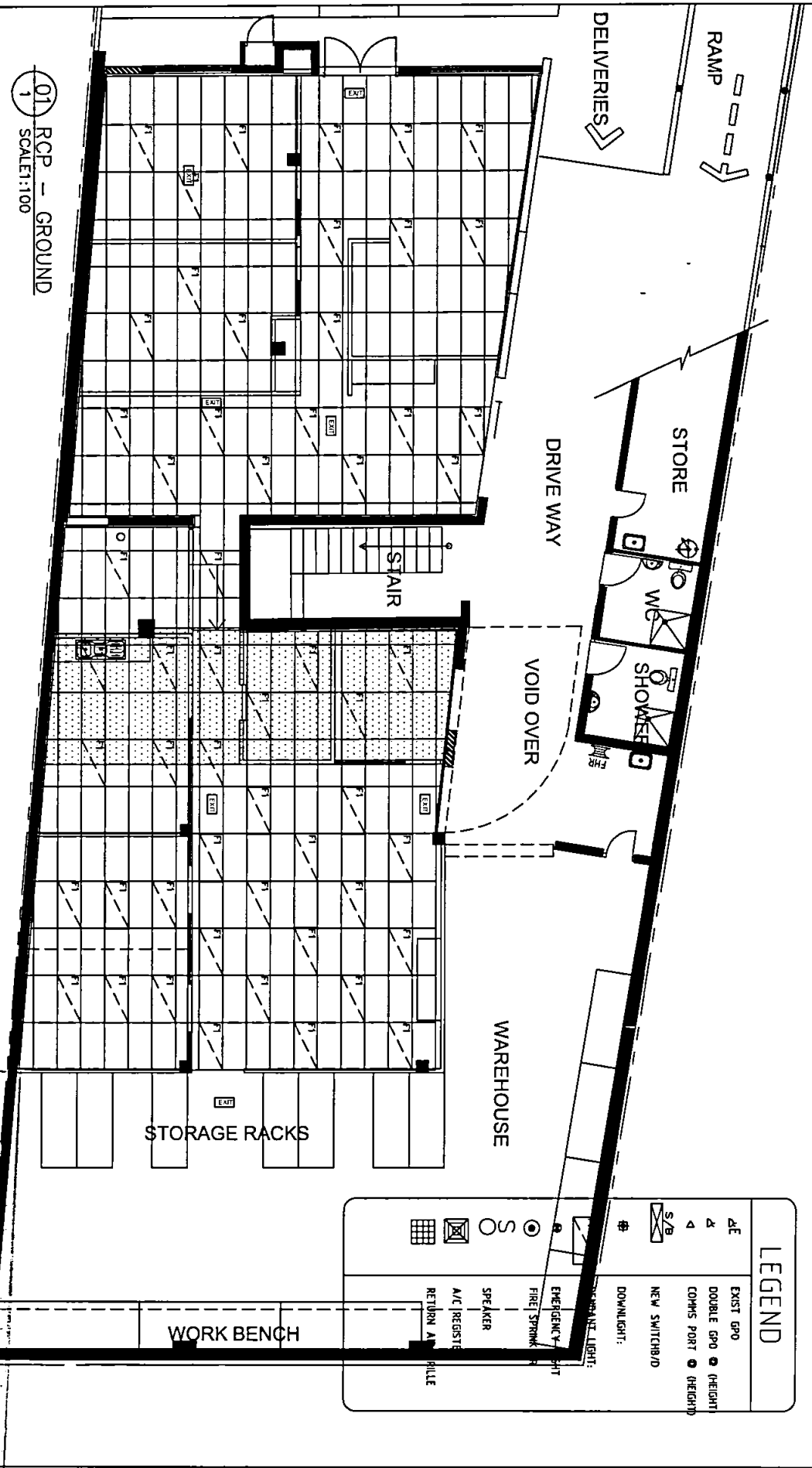
ROOF
(METAL DECK)

THE PLAN/DOCUMENT forms part
 of the approval granted under
 Cert No. 321124.
 All work must be carried out in
 accordance with the Building Code of
 Australia 2007 and subsequent amendments
 Accredited Building Supervisor (BSB) No. 0043

CC ISSUE

DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS

	PO Box 535 Wolloughby NSW P: 02 9954 2595 F: 02 9956 2585 E: interiors@idprojects.biz
	Approved B-CDC App 4/11
PROJECT MANLY WARRINGAH PITWATER COMMUNITY AID SERVICES INC.	DRAWING ROOF PLAN
CD08B	Date: 14/05/2011 Drawn by: [Name] Checked by: [Name]



01 RCP - GROUND
1 SCALE: 1:100

GENERAL:

- G1 THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL & OTHER WORKING DRAWINGS SPECIFICATIONS WITH SPECIFIC REFERENCED INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.
- G2 ALL WORKMANSHIP & MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT EDITION OF THE SAA CODES & THE BY-LAWS & ORDINANCES OF THE RELEVANT BUILDING AUTHORITY.
- G3 ANY CONFLICT BETWEEN THESE NOTES, THE SPECIFICATION, THE DRAWINGS OR ANY OTHER RELEVANT DOCUMENTS SHALL BE REFERRED TO THE ENGINEER FOR DECISION PRIOR TO PROCEEDING WITH THE WORK.
- G4 DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS. FOR SETTING OUT DIMENSIONS & LEVELS REFER TO ARCHITECTURAL DRAWINGS.

FIRE SERVICES:

- F1 CHECK WITH FIRE & RESCUE NEW TO ENSURE CURRENT STREET FIRE HYDRANTS IN GOOD WORKING ORDER.
- F2 CHECK WITH FIRE & RESCUE NEW FOR EQUAL APPROVED TO ENSURE CURRENT FIRE HOSE METALS IN GOOD WORKING ORDER. ADVISE PROJECT MANAGER AS APPROPRIATE.
- F3 PROVIDE PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH AS 2444.

ELECTRICAL SERVICES:

- E1 ENSURE ALL ELECTRICAL WORKING IS COMPLETED WITHIN THE TIME FRAME OF THE APPROVAL GRANTED UNDER THE CURRENT RELEVANT AUSTRALIAN STANDARDS.
- E2 ENSURE EMERGENCY LIGHTS ARE INSTALLED AS PER THE REQUIREMENTS OF THE BCA AND AS 2293.3 IN CONFORMANCE WITH THE BUILDING CODE OF RELEVANT JURISDICTION.
- E3 ENSURE EXISTING SIGNS ARE INSTALLED AS PER THE REQUIREMENTS OF THE BCA AND AS 2293.3.

LEGEND	
▲	EXIST GPO
△	DOUBLE GPO (HEIGHT)
◀	COMMS PORT (HEIGHT)
⊕	NEW SWITCHBOARD
⊙	DOWNLIGHT
⊗	EMERGENCY LIGHT
⊙	FIRE SPRINKLER
⊙	SPEAKER
⊙	A/C REGISTER
⊙	RETURN AIR GRILLE
⊙	NEW SWITCHBOARD
⊙	DOWNLIGHT
⊙	EMERGENCY LIGHT
⊙	FIRE SPRINKLER
⊙	SPEAKER
⊙	A/C REGISTER
⊙	RETURN AIR GRILLE

Ph: 0412 928 512

Accredited Building Surveyor FSO No. 0043

CC ISSUE

DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS.

PROJECT MANLY WARRINGAH PITTWATER COMMUNITY AID SERVICES INC.	Date: 11/00 Drawn By: [Signature] Checked By: [Signature]	B-CDC App 4/11		PO Box 535 Wolloughby NSW P: 02 9958 2595 F: 02 9958 2585 E: interiors@projects.biz

Fire Safety Schedule

Applicant

Name	Zena Maxwell Manly Warringah Pittwater Community & Services Inc.
Address	5 Nareen Parade North Narrabeen
Contact Number	9913 1883
Email	-

Development

Development Consent No.	Complying Development
Consent Date	
Site Address	3 Gondola Street North Narrabeen
Building Classification under BCA	5 & 8

Complying Development Certificate

No.	BP11124
Date of Determination	

Fire Safety – Existing Measures

Measure	Standard of Performance
Fire Hydrant	E1.3 of BCA & AS2419.1
Fire Hose Reels	E1.4 of BCA & AS2441
Fire Extinguishers	E1.6 of BCA & AS2444-1995

Fire Safety – New Measures

Measure	Standard of Performance
Fire Hydrant	E1.3 of BCA & AS2419.1
Fire Hose Reels	E1.4 of BCA & AS2441
Fire Extinguishers	E1.6 of BCA & AS2444-1995
Emergency Lighting	E4.2 of BCA & AS2293.1
Exit Signs	E4.8 of BCA & AS2293
Wall Wetting Sprinkler & Drencher System	C3.4, E1.5 of BCA & AS2118

Accredited Certifier

Name of Accredited Certifier	Peter Boyce
Accreditation No. of Certifier	Planning NSW Accreditation No BPB0043
Address	Level 2, 41 Rawson St Epping NSW 2121
Telephone	9868 2855
Signature	