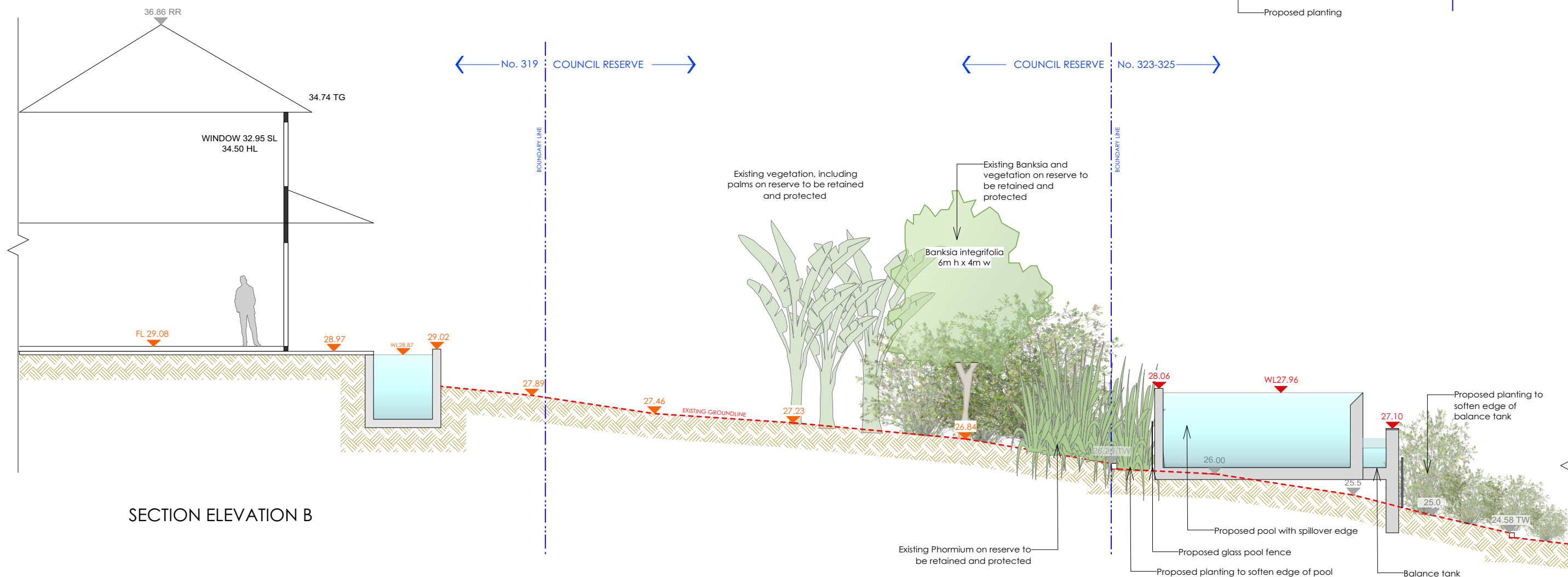
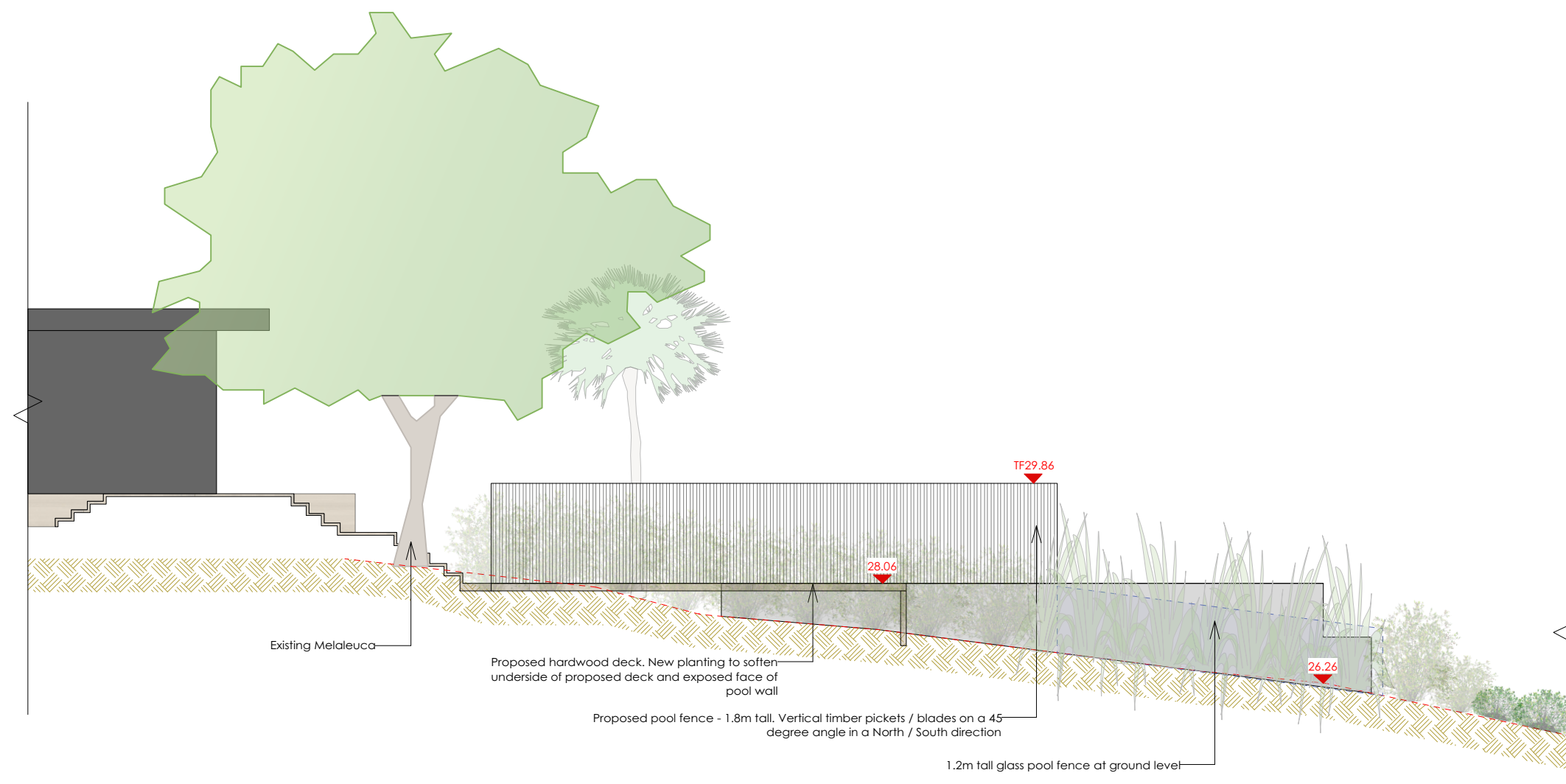


SECTION A-A

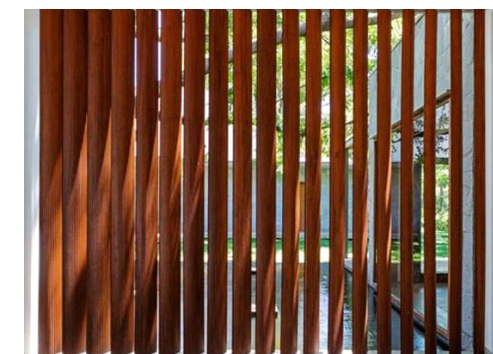


SECTION ELEVATION B

D 18/3/20 DA submission revised
C 11/12/19 For DA submission
B 19/11/19 For DA submission



SECTION C-C
SOUTHERN BOUNDARY LINE OF REAR GARDEN



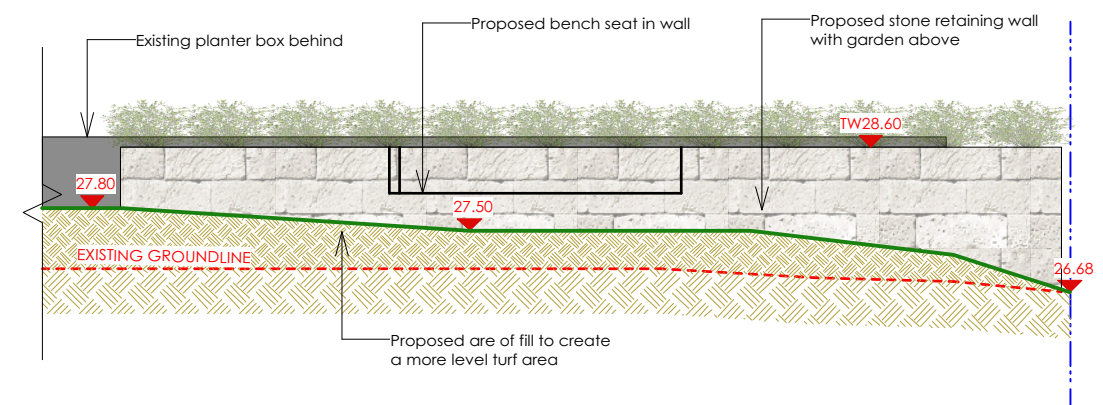
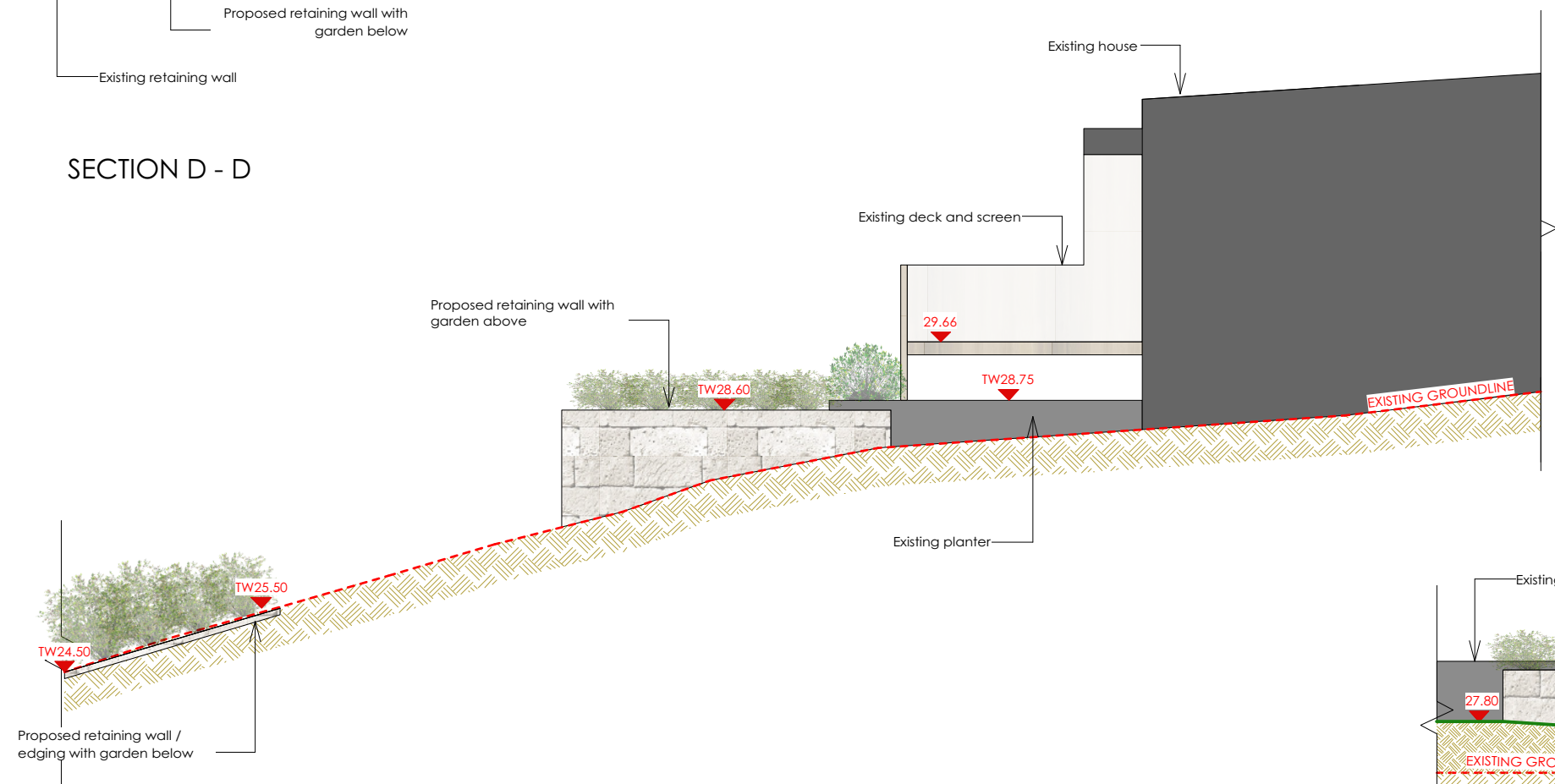
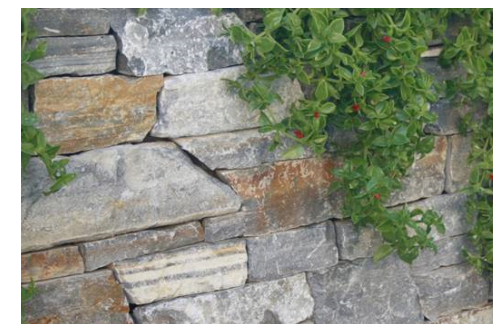
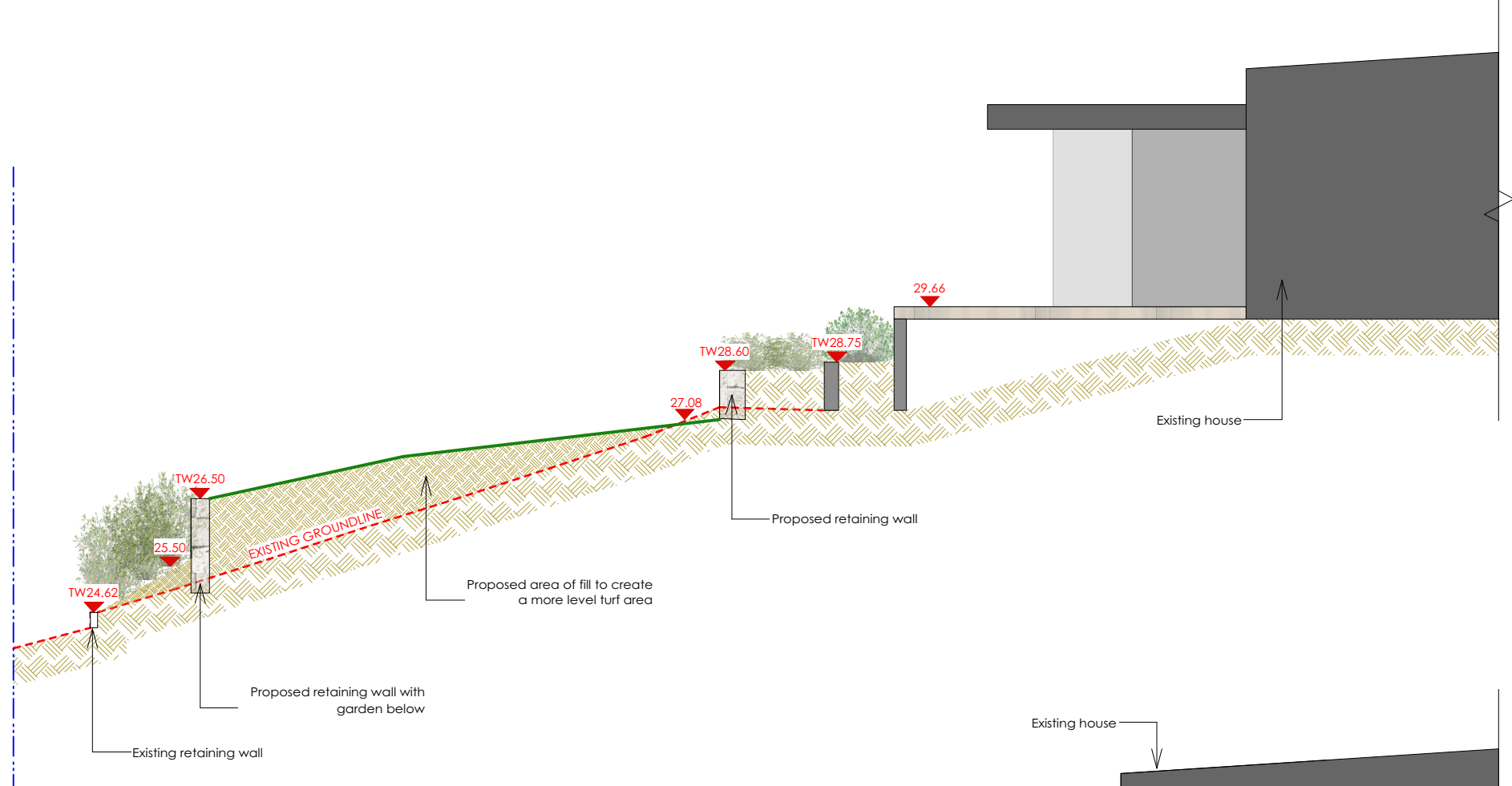
Style of pool fence above the deck on the southern boundary. Vertical timber blades / pickets to 1.8m high (allowed to silver off), spaced 100mm apart for pool compliance

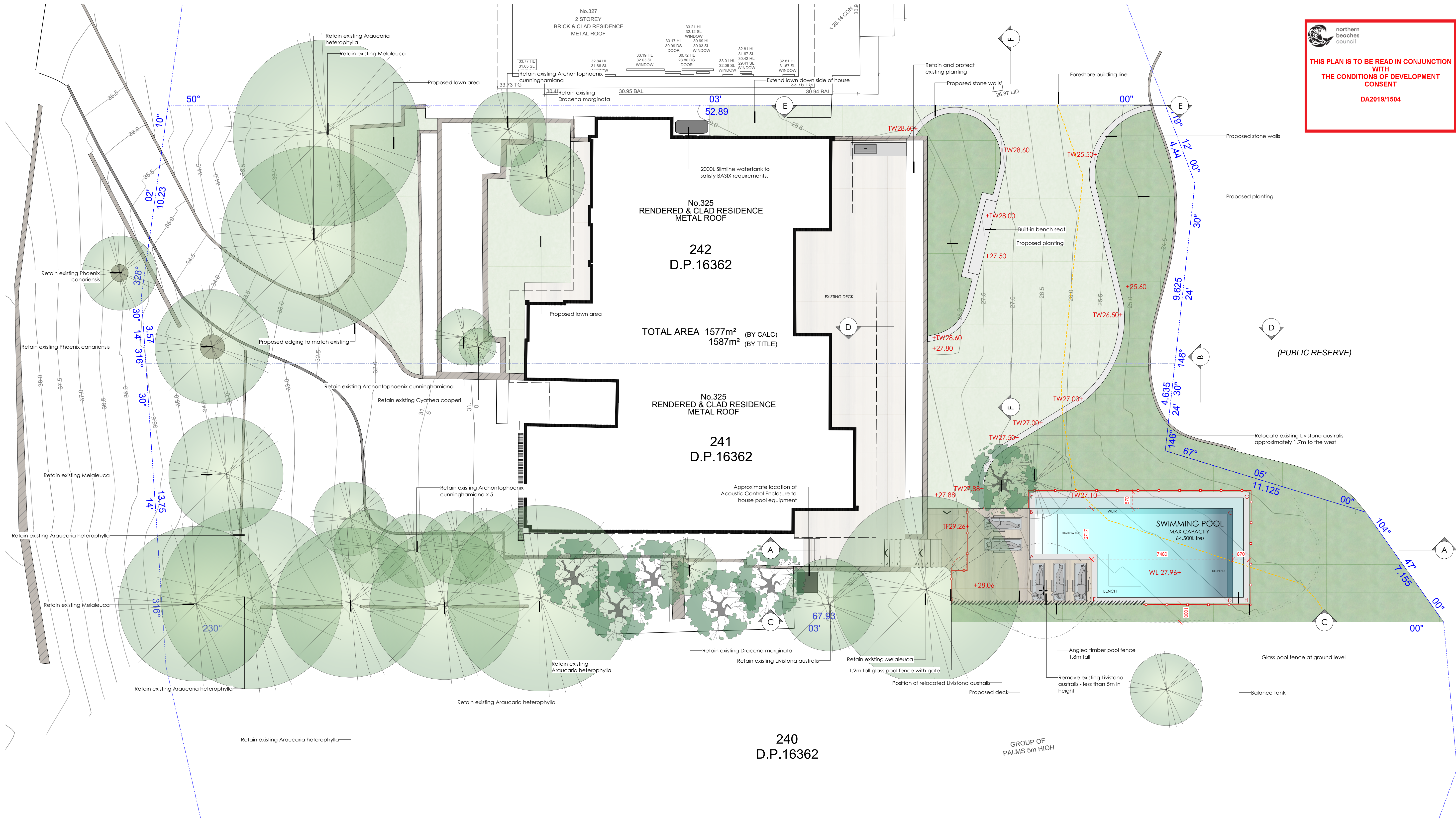


northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2019/1504





LEGEND

	BENCHMARK ON KERB RL 93.95		EXISTING WALLING TO BE RETAINED (TW=TOP OF WALL)		PROPOSED TIMBER DECKING		EXISTING TREE TO BE RETAINED
	EXISTING SPOT LEVEL / PROPOSED SPOT LEVEL + 96.68		PROPOSED MASONRY WALLING (TW= TOP OF WALL)		PROPOSED STEPPING STONES WITH PLANTING		EXISTING TREE TO BE REMOVED
	BOUNDARY LINE (APPROX LOCATION)		POOL SAFETY FENCING (NOM. 1200MM HIGH)		LAWN AREA		PROPOSED TREE
	FORESHORE BUILDING LINE (APPROX LOCATION)				GARDEN AREA		

GENERAL NOTES

- All civil, structural and hydraulic work associated with this project shall be to consulting engineer's details.
- All levels have been taken from the survey prepared by C.M.S Surveyors on 25 September 18.
- Exact location of site boundaries are to be confirmed on site by client or client's surveyor prior to commencement of work.
- This pool has not been designed for diving. Children should not be allowed in pool enclosure without adequate adult supervision.
- The design of this project is Copyright and shall not be copied or reproduced in any way without the prior written permission of Landart Landscapes Pty. Ltd.

CONSTRUCTION NOTES

- Note 1:** All materials and workmanship shall be in accordance with the latest relevant Australian standard and building code of Australia. All plumbing and drainage works shall also be in accordance with the by-laws of Sydney Water.
- Note 2:** Written dimensions shall take precedence over scaled measurements. All dimensions and levels shall be verified by contractor on site, and initial setout approved by construction manager prior to commencement of work. If in doubt, contact Landscape Architect / Designer.
- Note 3:** Contractor shall confirm extent of existing vegetation to be removed / transplanted on site, prior to commencement of works.

Note 4: Excavator shall strip approved topsoil from all areas to be excavated and shall store material in an approved location on site. All excavation shall be carried out as necessary, including over-excavation in lawn areas (as required) to ensure min. 200mm depth of topsoil is able to be provided and for garden areas (as required) to ensure that min. 350mm topsoil depth is able to be provided. Topsoil depths refer to depth over subsoil, not over rock or concrete.

Note 5: Contractor shall ensure that damp proof courses on buildings are not breached and that air vents are not blocked or restricted.

Note 6: Retaining walls shall be constructed to heights as necessary to retain existing/proposed ground levels, with final extent of all walling to be as required and to construction manager's on-site approval.

Note 7: Waterproofing and drainage line in gravel filled trench, or other approved drainage layer, shall be installed to rear of all walls where retaining.

Comparative levels

Approx height of pool surrounds relative to existing ground levels at points A - F are as follows:

A: + 1.06
B: + 1.31
C: + 2.81
D: + 2.06
E: + 1.16
F: + 0.35
G: + 2.1
H: + 1.1



SCALE 1:100

D 18/3/20 DA submission revised
C 9/12/19 For DA submission
B 19/11/19 For DA submission

DWG NO

REVISION

LMP 01

D

Landart.
HOME + GARDEN + BEYOND

Unit 2/68 Tullah St Willoughby NSW 2068
PO Box 705 Crows Nest NSW 1585
T: (02) 9958 0462
F: (02) 9958 5426

THESE DRAWINGS HAVE BEEN PREPARED BY +
REMAIN THE PROPERTY OF LANDART
LANDSCAPES PTY LTD & ARE SUBJECT TO
COPYRIGHT LAWS.
DO NOT SCALE DRAWINGS. WORK ONLY TO
FIGURED DIMENSIONS.



CLIENT
Blampied & Webster Residence

PROJECT
323-325 Whale Beach Road, Palm Beach
Lots 241 & 242 D.P. 16362

LANDSCAPE MASTER PLAN
(LANDSCAPE AND POOL)

28/08/2019

DRAWN
KB

SCALE
1:100@A1

LMP 01

D