

NOTE:

BOUNDARIES HAVE BEEN DETERMINED BY SURVEY ON 26/08/2021.

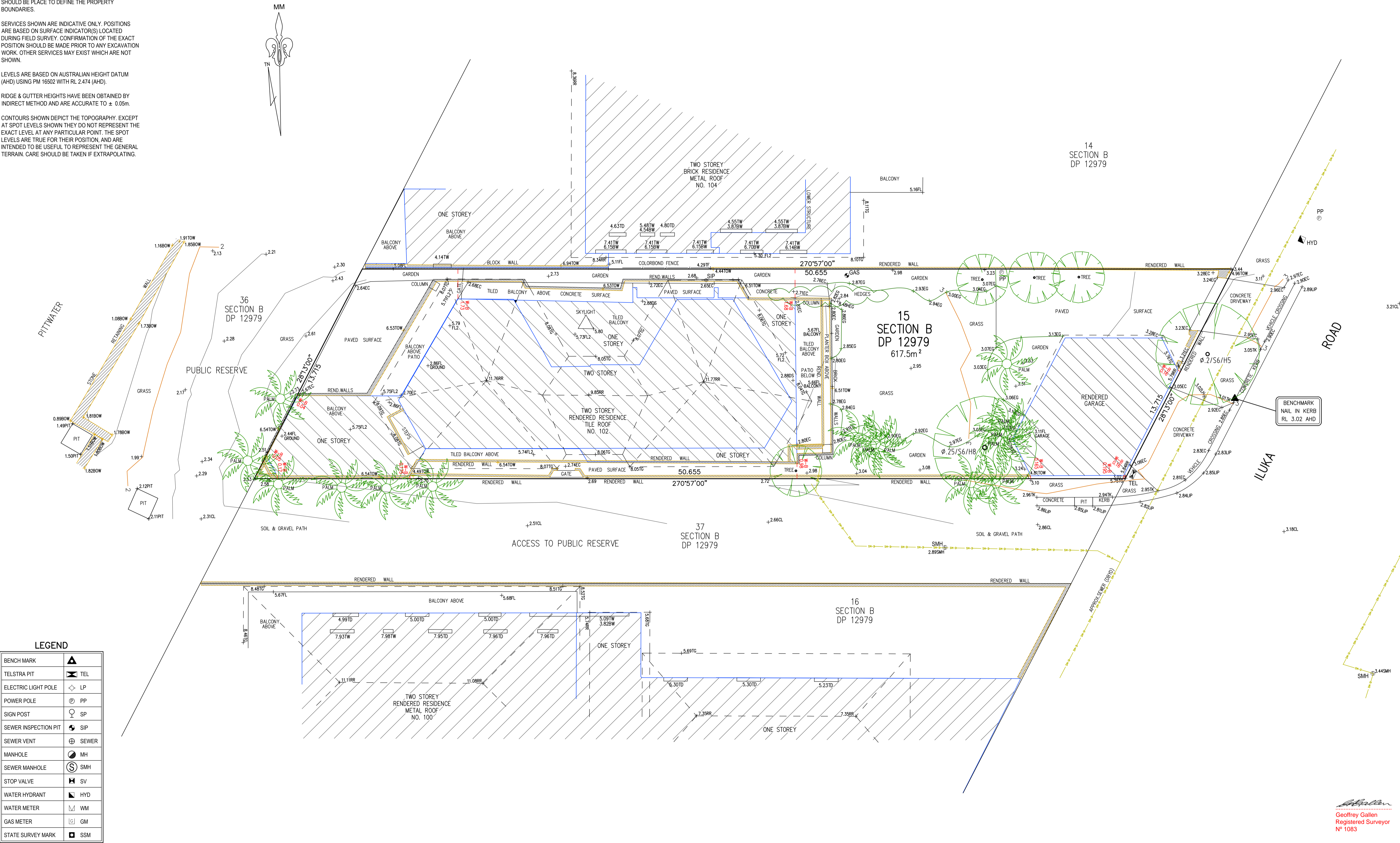
PRIOR TO ANY CONSTRUCTION WORK, SURVEY MARKS SHOULD BE PLACED TO DEFINE THE PROPERTY BOUNDARIES.

SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SURFACE INDICATOR(S) LOCATED DURING FIELD SURVEY. CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.

LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (AHD) USING PM 16502 WITH RL 2.474 (AHD).

RIDGE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY INDIRECT METHOD AND ARE ACCURATE TO ± 0.05m.

CONTOURS SHOWN DEPICT THE TOPOGRAPHY. EXCEPT AT SPOT LEVELS SHOWN THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. THE SPOT LEVELS ARE TRUE FOR THEIR POSITION, AND ARE INTENDED TO BE USEFUL TO REPRESENT THE GENERAL TERRAIN. CARE SHOULD BE TAKEN IF EXTRAPOLATING.



LEGEND	
BENCH MARK	▲
TELSTRA PIT	⬮ TEL
ELECTRIC LIGHT POLE	⬮ LP
POWER POLE	⊙ PP
SIGN POST	⊙ SP
SEWER INSPECTION PIT	⬮ SIP
SEWER VENT	⊕ SEWER
MANHOLE	⊙ MH
SEWER MANHOLE	⊙ SMH
STOP VALVE	⬮ SV
WATER HYDRANT	⬮ HYD
WATER METER	⬮ WM
GAS METER	⬮ GM
STATE SURVEY MARK	⬮ SSM

**TSS TOTAL SURVEYING SOLUTIONS**

LANE COVE | CAMDEN | MANLY VALE | CENTRAL COAST

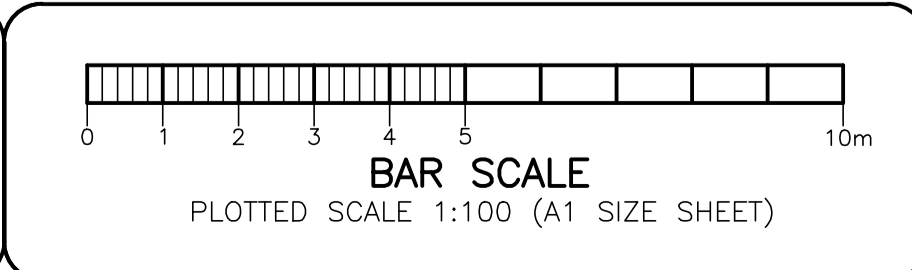
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REVISION No.	REVISION DATE:	COMMENT:

LEGEND:

EG - EDGE OF GARDEN  
EC - EDGE OF CONCRETE  
TOW - TOP OF WALL  
BOW - BOTTOM OF WALL  
TW - TOP OF WINDOW  
DS - DOORSTEP LEVEL  
TK - TOP OF KERB  
HEG - HEDGES

TG - TOP OF GUTTER  
RR - ROOF RIDGE  
FL - FLOOR LEVEL  
FL2 - FLOOR LEVEL 2  
TF - TOP OF FENCE  
DS - DOORSTEP LEVEL  
TD - TOP OF DOOR  
Ø 4/S10/H16 - DIAMETER/SPREAD/HEIGHT



PLAN SHOWING DETAIL & LEVELS  
OVER LOT 15 IN SECTION B IN DP 12979

CLIENT: MAINWAY PROJECT MANAGEMENT

PROJECT: PALM BEACH

ADDRESS: 102 ILUKA ROAD, PALM BEACH

JOB No.: 211447	LGA: NORTHERN BEACHES
PLAN No.: 211447-1	DATUM: AHD
DATE: 08/09/2021	SCALE: 1:100@A1
DRAWN: AP	CONT. INTERVAL: 0.2m
CHK: DF	SHEET 1 OF 1

Geoffrey Gallen  
Registered Surveyor  
Nº 1083