

Drawing register

Issue Date
day 10
month 5
year 25

Drawing Number	Drawing Title	Revision
DA 00	Drawing Register & Gen. Specification	0
DA 01	Site Analysis 1:200	0
DA 02	Site Plan 1:200	0
DA 03	S&ECP / Landscape Open Space Calculation	0
DA 04	Existing Ground Floor Plan 1:100	0
DA 05	Existing Ground Floor Demolition Plan 1:100	0
DA 06	Proposed Ground Floor Plan 1:100	0
DA 07	Proposed First Floor Plan 1:100	0
DA 08	Proposed Roof Plan 1:100	0
DA 09	Elevations - North & East	0
DA 10	Elevations - South & West	0
DA 11	Section: A-A & B-B	0
DA 12	Section: C-C & & D-D	0
DA 13	Window / Door Schedule & External Finishes	0
DA 14	Site Shadows - 9am JUNE 21 1:200	0
DA 15	Site Shadows - 12pm (Noon) JUNE 21 1:200	0
DA 16	Site Shadows - 3pm JUNE 21 1:200	0
DA 17	BASIX Requirements (sheet 1)	0
DA 18	BASIX Requirements (sheet 2)	0

Document Distribution:	DA1
Client	0
Approval Authority	0

GENERAL BUILDING SPECIFICATION

- All general construction to conform to the current BCA and Local Govt conditions of Development Consent.
- Demolition works to be carried out in accordance with AS 2601.
- All masonry work in accordance with AS 3700.
- Termite protection to be installed in accordance with AS 3660.1 and the current BCA.
- All roof water and storm-water runoff to be connected to a Council approved system of collection and/or disposal.
- All carpentry work to conform to AS1684 for Light Timber Framing.
- All sewer waste to be connected to the existing mains service in accordance with AS 3500.
- All pre-fabricated timber trusses and frames to utilize sustainable plantation timbers installed to the manufacturer's detail and specification.
- All concrete slabs, retaining walls, structural steel, foundations and footings to be designed & specified by the consulting structural engineer and built strictly in accordance with such details, as approved.
- Plumbing services to be carried out only by licenced tradespersons and in accordance with AS 3500.3.2, AS 3500.2.2, AS 3500.1.2, AG 601 and other associated standards and codes.
- All electrical services to be installed by licenced electricians and in accordance with AS3000. Telecommunications cabling to be installed in accordance with AS/ACIF S009:2000 and associated standards and guidelines. Upgrade safety switches & smoke alarms as required to meet relevant standards.
- All measurements shown and scheduled are nominal. The contractor shall check all measurements on site before ordering materials and check any anomalies with Cadence & Co Design before proceeding.
- All insulation to be provided and installed in accordance with AS4859.1, AS3999 (bulk insul'n), AS1904 (foil insul'n) and associated standards and codes.
- Proposed RL's shown on drawings are to be FINISHED LEVELS. Builder to provide set down's and allowances to accommodate finished levels.

15 WILLUNGA CRES, FORESTVILLE



LOCATION PLAN - not to scale
(Source SIXmaps)



PERSPECTIVE VIEW FROM DRIVEWAY

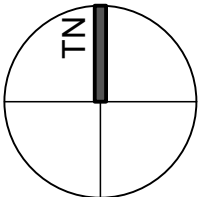


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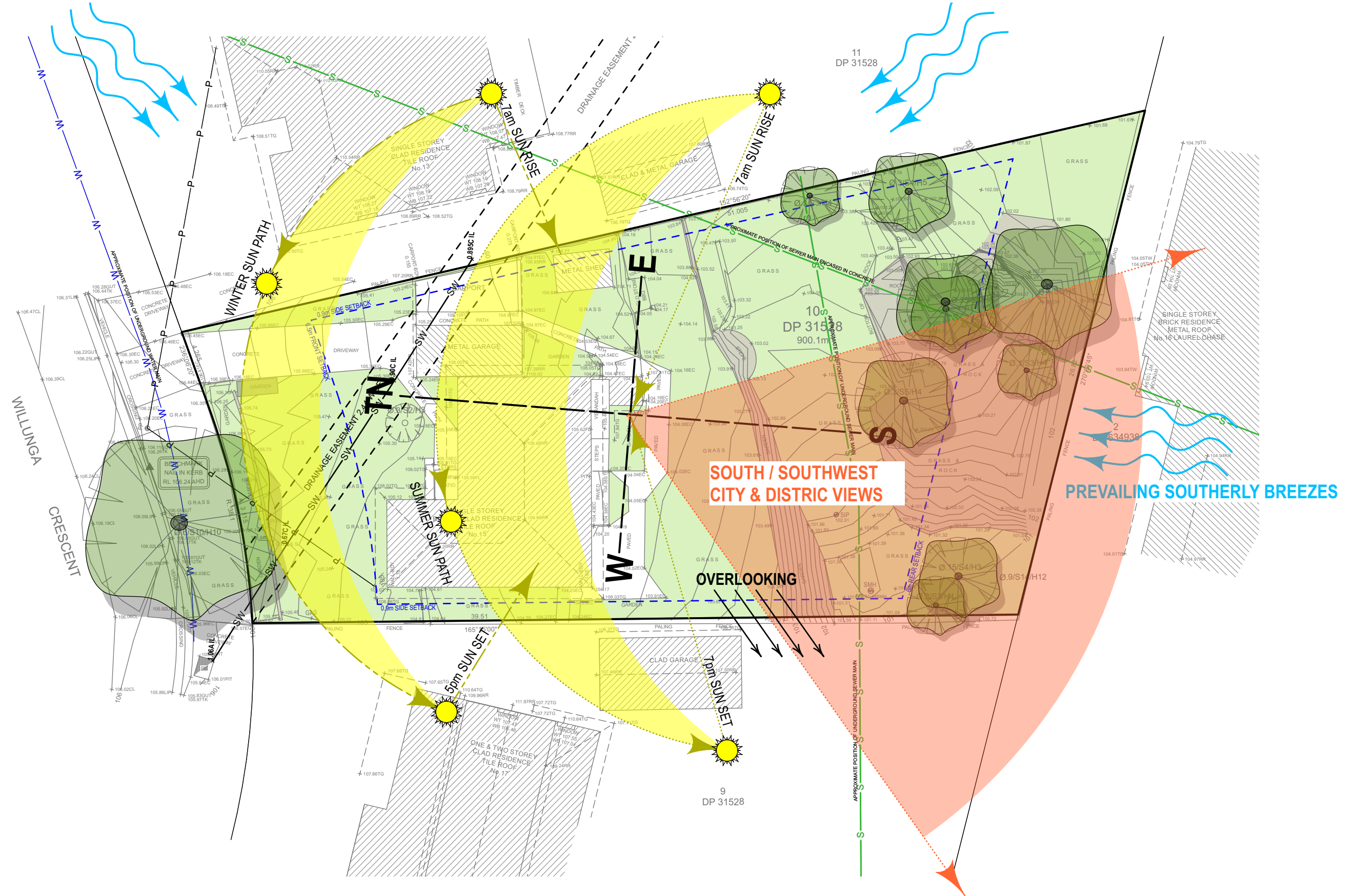


PROJECT:	Alterations & Additions			DRAWING:	Drawing Register			SHEET NO.:	DA00
CLIENT:	Mike & Tina			ISSUE DATE:	10/5/25	ORIGINAL SHEET SIZE:	A3	DRAWN:	DV
ADDRESS:	15 Willunga Cres, FORESTVILLE Being LOT 10 in D.P. 31528			PROJECT NO.:	1224	PROJECT TYPE:	DA1	CHKD:	
								REVISION:	

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.

PREVAILING NORTHEAST SUMMER BREEZES

PREVAILING SOUTHEAST BREEZES



1

Site Analysis Plan

Scale: 1:200

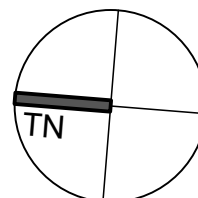


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REVISION	DATE	REVISION NOTE
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For DA Submission



PROJECT: Alterations & Additions

CLIENT: Mike & Tina

ADDRESS: 15 Willunga Cres, FORESTVILLE
Being LOT 10 in D.P. 31528

DRAWING:
Site Analysis Plan

ISSUE DATE:
10/5/25

PROJECT
1224

ORIGINAL SHEET SIZE:
A3

PROJECT TYPE:
DA1

SHEET NO.:

A01

SCALE @ A3:

:200

REVISION:

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1 Site Plan
DA02 Scale: 1:200

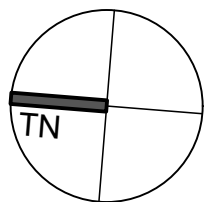
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PROJECT: Alterations & Additions

CLIENT: Mike & Tina

ADDRESS: 15 Willunga Cres, FORESTVILLE
Being LOT 10 in D.P. 31528

DRAWING: Site Plan

ISSUE DATE: 10/5/25

PROJECT NO.: 1224

ORIGINAL SHEET SIZE: A3

PROJECT TYPE: DA1

DRAWN: DV

CHKD:

SHEET NO.: DA02

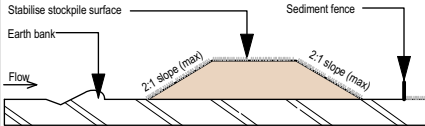
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REVISION:

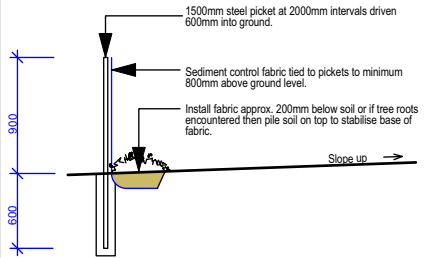
GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.

S&ECP GENERAL NOTES:

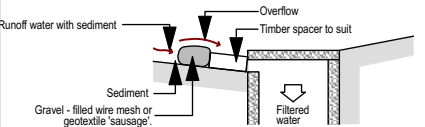
- Install temporary sediment control fence as shown. Final position to be determined onsite.
- Provide temporary haybales where sediment control fence requires dismantling for site access.
- Install mesh and drainage inlet protection on stormwater inlets down slope of site.



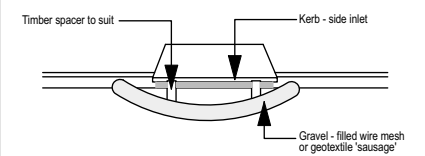
STOCKPILE TYPICAL DETAIL - NTS



S&EC FENCE TYPICAL DETAIL - NTS



KERB FILTER TYPICAL DETAIL - NTS



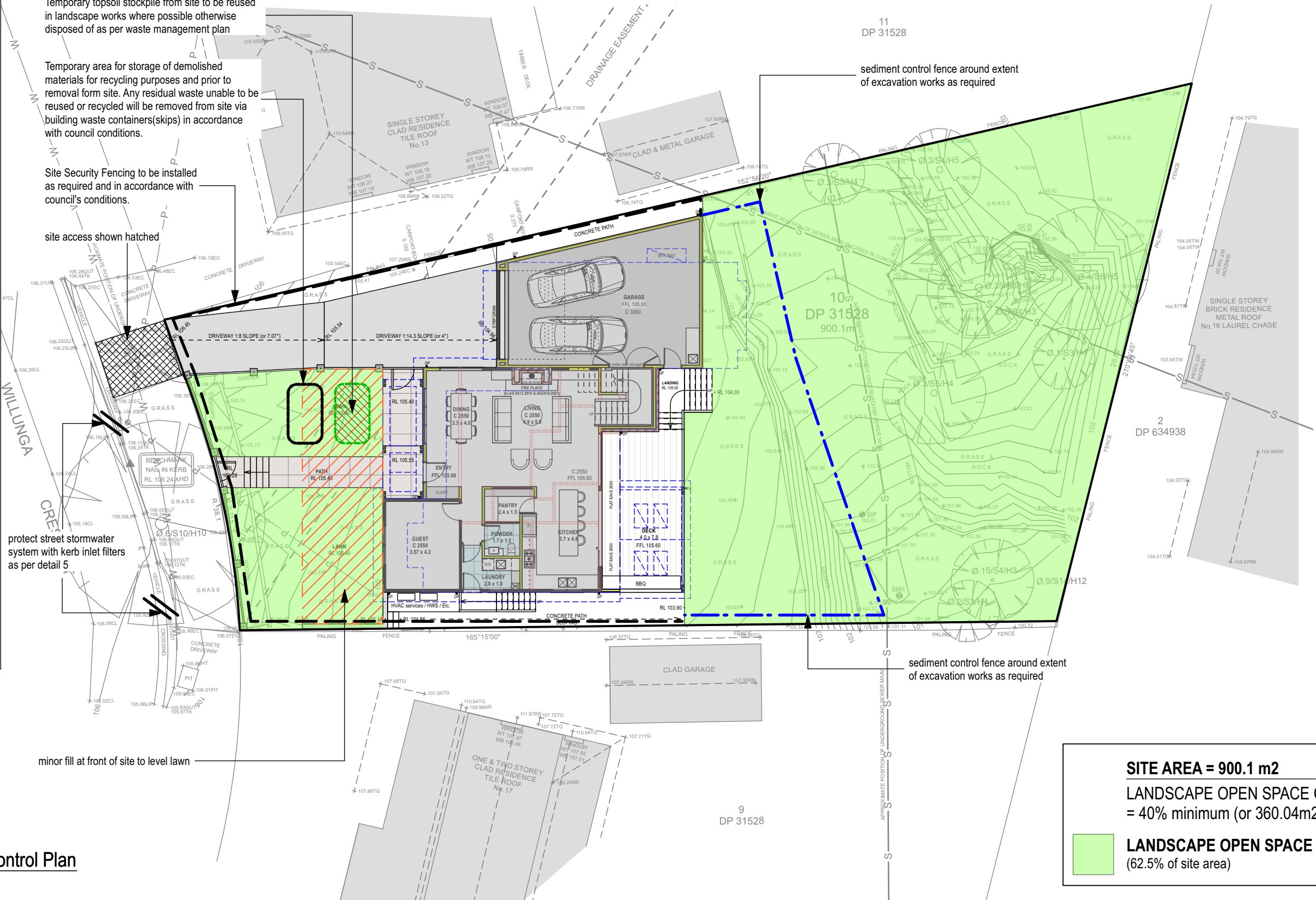
KERB FILTER TYPICAL DETAIL - NTS

Temporary topsoil stockpile from site to be reused in landscape works where possible otherwise disposed of as per waste management plan

Temporary area for storage of demolished materials for recycling purposes and prior to removal from site. Any residual waste unable to be reused or recycled will be removed from site via building waste containers(skips) in accordance with council conditions.

Site Security Fencing to be installed as required and in accordance with council's conditions.

site access shown hatched



protect street stormwater system with kerb inlet filters as per detail 5

minor fill at front of site to level lawn

11
DP 31528

sediment control fence around extent of excavation works as required

2
DP 634938

sediment control fence around extent of excavation works as required

SITE AREA = 900.1 m2
LANDSCAPE OPEN SPACE CONTROL
= 40% minimum (or 360.04m2)
LANDSCAPE OPEN SPACE = 562.8 m2
(62.5% of site area)

1
DA03 Sediment & Erosion Control Plan
Scale: 1:200

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For DA Submission

PROJECT: Alterations & Additions

CLIENT: Mike & Tina

ADDRESS: 15 Willunga Cres, FORESTVILLE
Being LOT 10 in D.P. 31528

DRAWING: S&ECP / Landscape Open Space Calculation

ISSUE DATE: 10/5/25

PROJECT NO.: 1224

ORIGINAL SHEET SIZE: A3

PROJECT TYPE: DA1

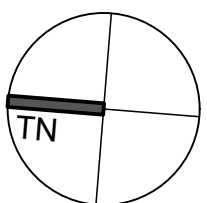
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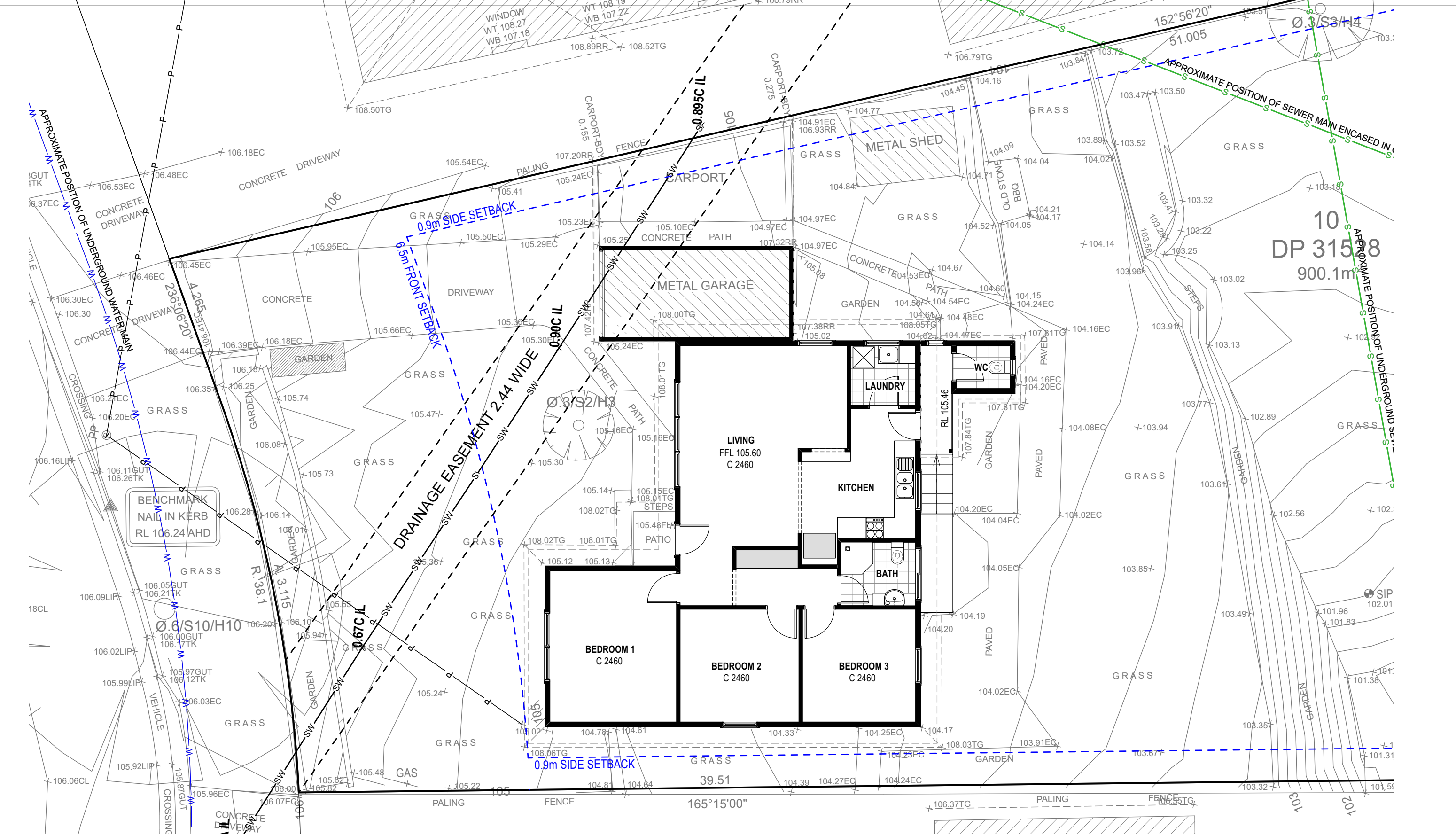
CHKD:

SHEET NO.: DA03

SCALE @ A3: 1:200

REVISION:





1

DA04

Existing Ground Floor Plan

Scale: 1:100

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For DA Submission

TN

PROJECT:

Alterations & Additions

CLIENT:

Mike & Tina

ADDRESS:

15 Willunga Cres, FORESTVILLE
Being LOT 10 in D.P. 31528

DRAWING:

Existing Ground Floor Plan

ISSUE DATE:

10/5/25

PROJECT NO.:

1224

SHEET NO.:

DA04

SCALE @ A3:

1:100

ORIGINAL SHEET SIZE:

A3

PROJECT TYPE:

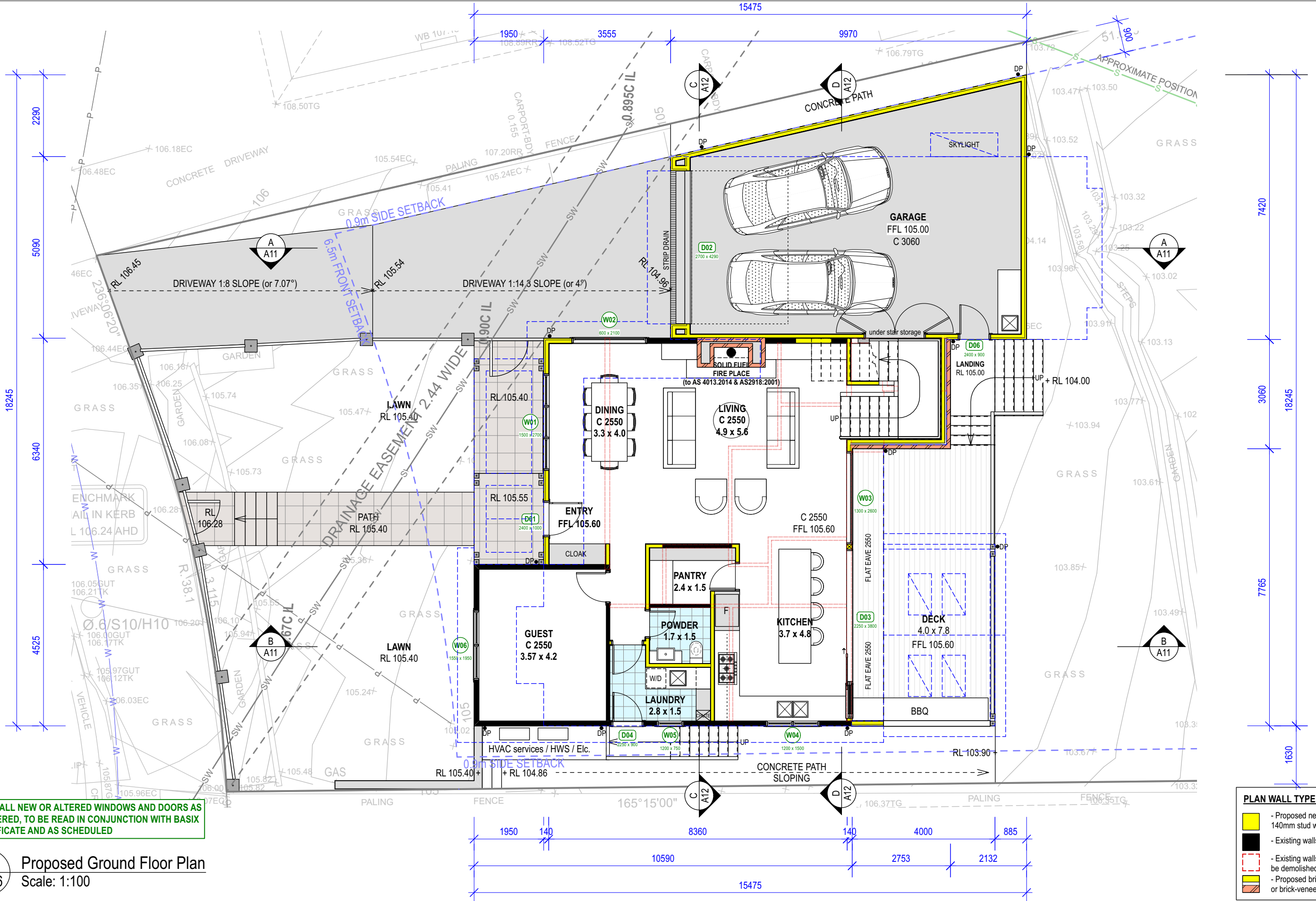
DA1

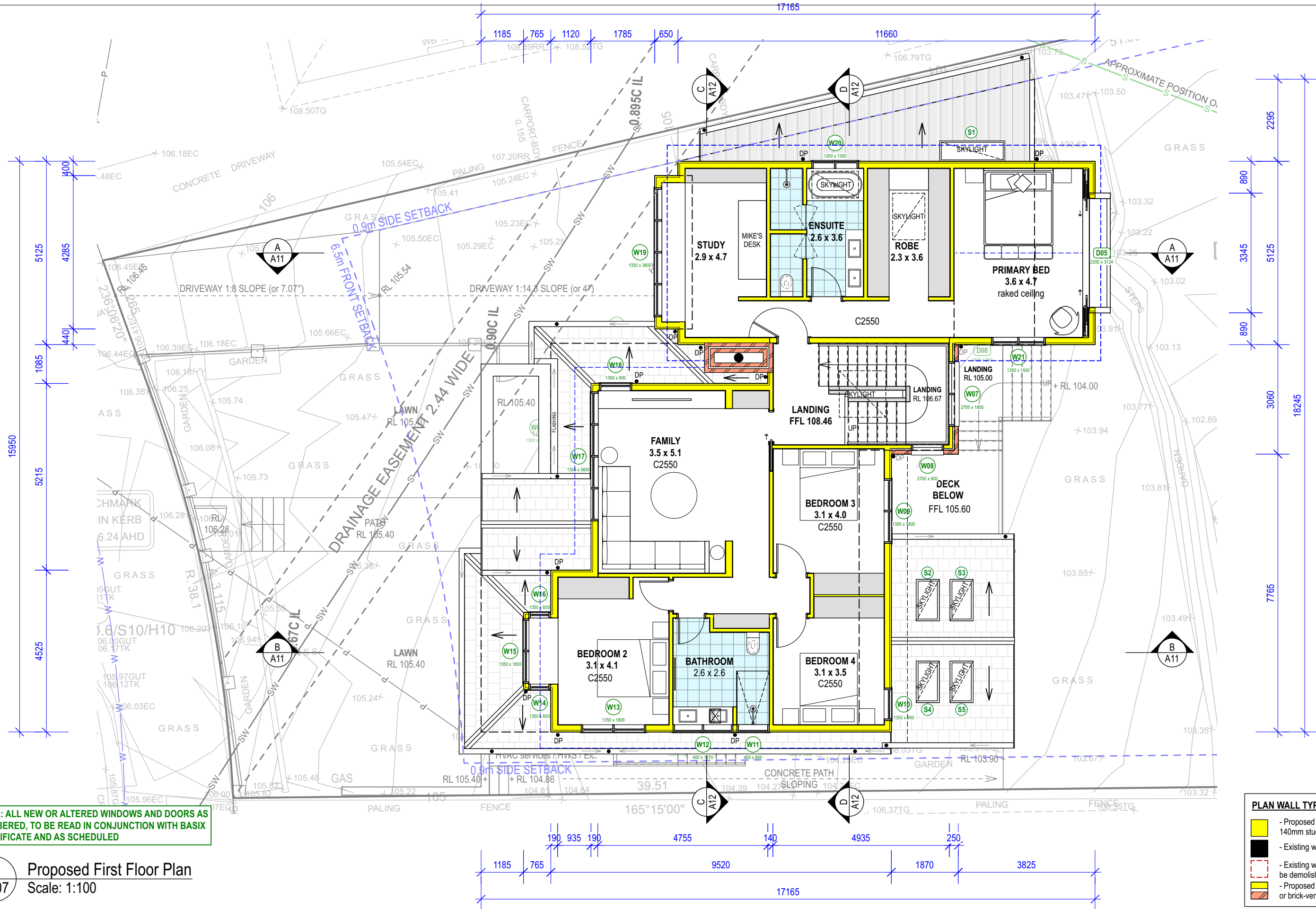
DRAWN:

DV

CHKD:

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NOTE: ALL NEW OR ALTERED WINDOWS AND DOORS AS NUMBERED, TO BE READ IN CONJUNCTION WITH BASiS CERTIFICATE AND AS SCHEDULED

1 Proposed First Floor Plan
DA07 Scale: 1:100

PLAN WALL TYPE KEY

- Proposed new 90mm or 140mm stud wall
- Existing walls to remain
- Existing walls and structure to be demolished
- Proposed brick-veneer wall or brick-veneer infill

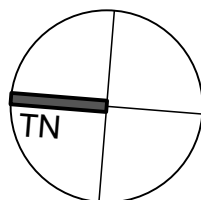
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For DA Submission



PROJECT: Alterations & Additions

CLIENT: Mike & Tina

ADDRESS: 15 Willunga Cres, FORESTVILLE
Being LOT 10 in D.P. 31528

DRAWING: Proposed First Floor Plan

ISSUE DATE: 10/5/25

PROJECT NO.: 1224

ORIGINAL SHEET SIZE: A3

PROJECT TYPE: DA1

DRAWN: DV

CHKD:

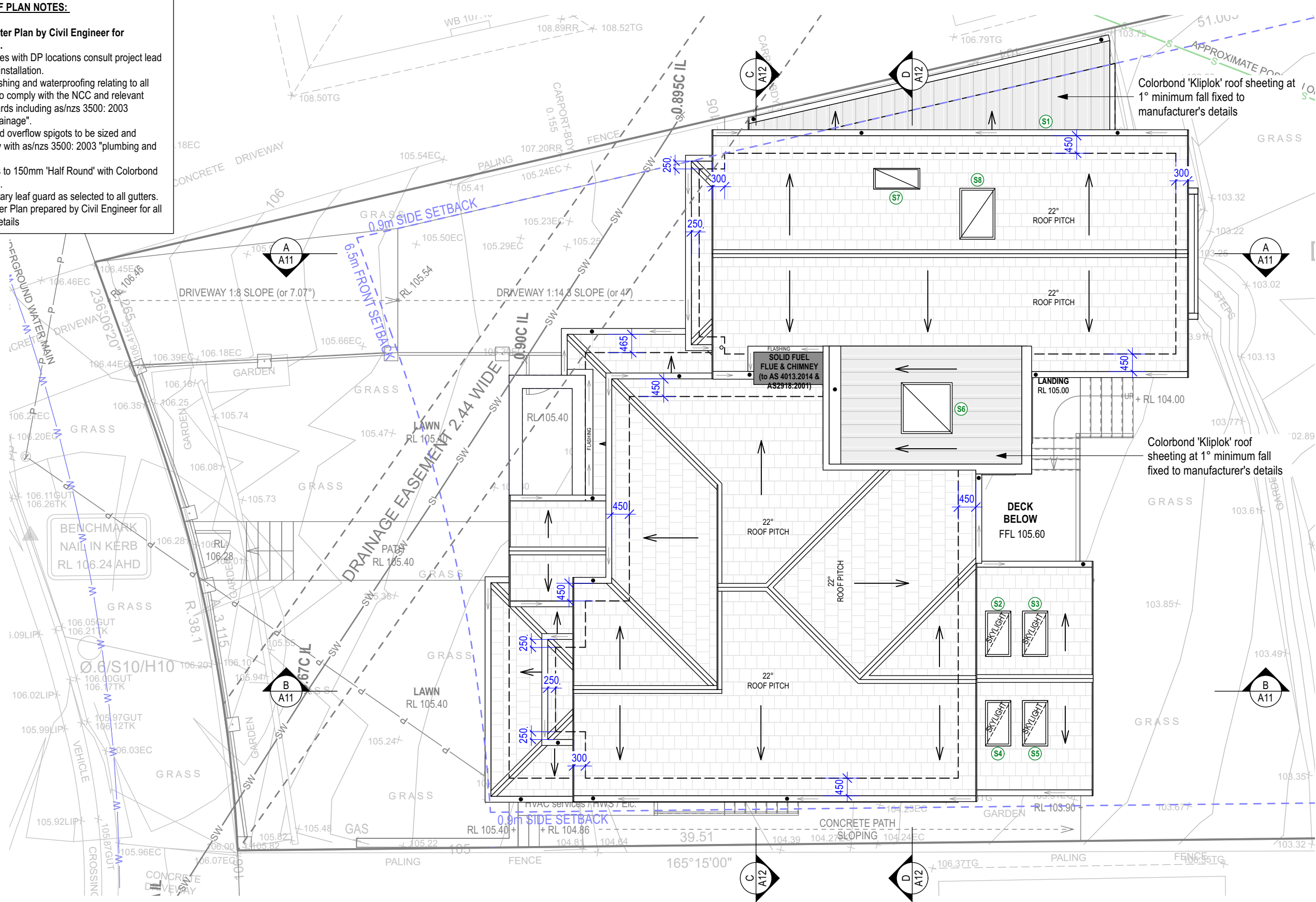
SHEET NO.: DA07

SCALE @ A3: 1:100

REVISION:

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- GENERAL ROOF PLAN NOTES:**
- Refer Stormwater Plan by Civil Engineer for drainage design.
 - Any discrepancies with DP locations consult project lead designer prior to installation.
 - All guttering, flashing and waterproofing relating to all roofing systems to comply with the NCC and relevant Australian standards including as/nzs 3500: 2003 "plumbing and drainage".
 - All downpipe and overflow spigots to be sized and located to comply with as/nzs 3500: 2003 "plumbing and drainage".
 - Dwelling gutters to 150mm 'Half Round' with Colorbond finish as selected.
 - Provide proprietary leaf guard as selected to all gutters.
 - Refer Stormwater Plan prepared by Civil Engineer for all water drainage details



1 Proposed Roof Plan
DA08 Scale: 1:100

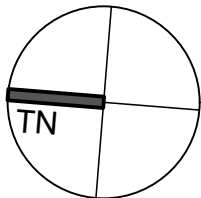


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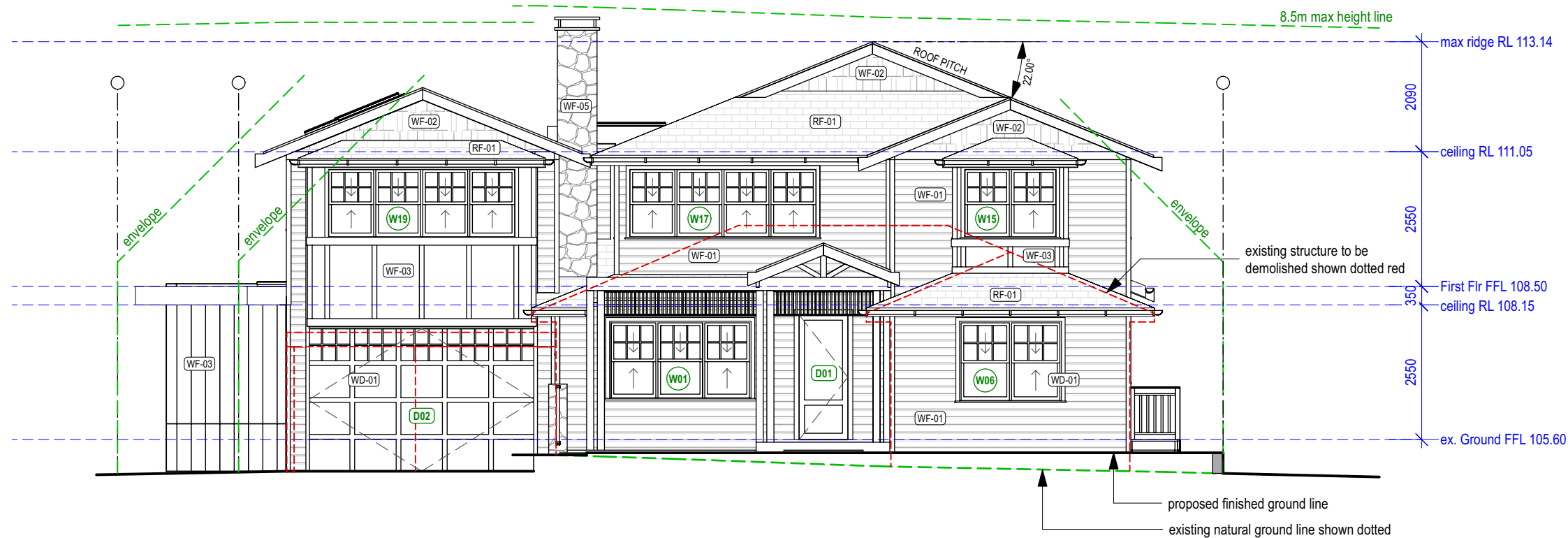
PROJECT: Alterations & Additions
CLIENT: Mike & Tina
ADDRESS: 15 Willunga Cres, FORESTVILLE
Being LOT 10 in D.P. 31528

DRAWING: Proposed Roof Plan

ISSUE DATE:	10/5/25	ORIGINAL SHEET SIZE:	A3	DRAWN:	DV	SCALE @ A3:	1:100
PROJECT NO.:	1224	PROJECT TYPE:	DA1	CHKD:		REVISION:	

SHEET NO.: DA08

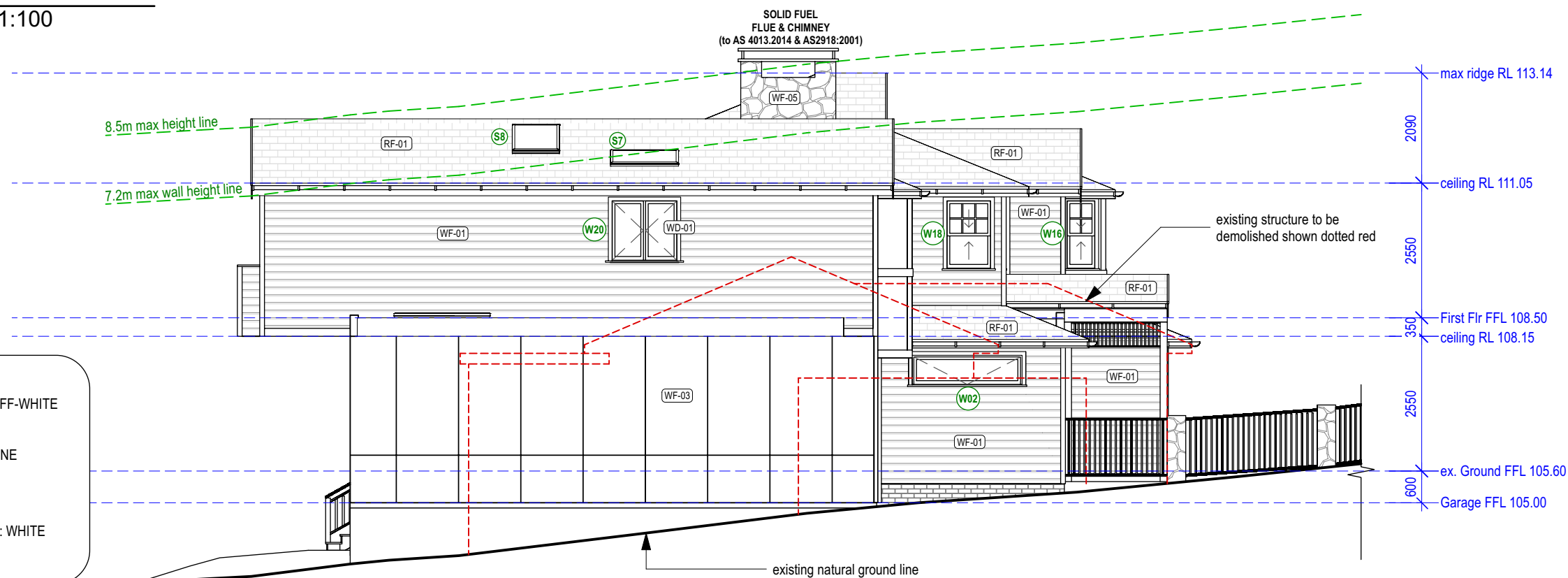
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1

North Elevation

Scale: 1:100



EXTERNAL FINISHES DRAWING KEY

- WF-01 - PAINTED WEATHERBOARD CLADDING: LIGHT/OFF-WHITE
- WF-02 - NATURAL TIMBER SHINGLES: CLEAR FINISH
- WF-03 - COMPRESSED FC SHEET PAINTED: MEDIUM TONE
- WF-04 - BAGGED/RENDER FINISH MASONRY
- WF-05 - STONE CLADDING: AS SELECTED
- WD-01 - PAINTED TIMBER FRAMED WINDOWS & DOORS: WHITE
- RF-01 - CONCRETE ROOF TILES: DARK

2

East Elevation

Scale: 1:100

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REVISION DATE REVISION NOTE

For DA Submission

PROJECT:
Alterations & Additions

CLIENT:
Mike & Tina

ADDRESS: 15 Willunga Cres, FORESTVILLE
Being LOT 10 in D.P. 31528

DRAWING:
Elevations - North & East

ISSUE DATE:
10/5/25

PROJECT NO.:
1224

ORIGINAL SHEET SIZE:
A3

PROJECT TYPE:
DA1

DRAWN:
DV

CHKD:

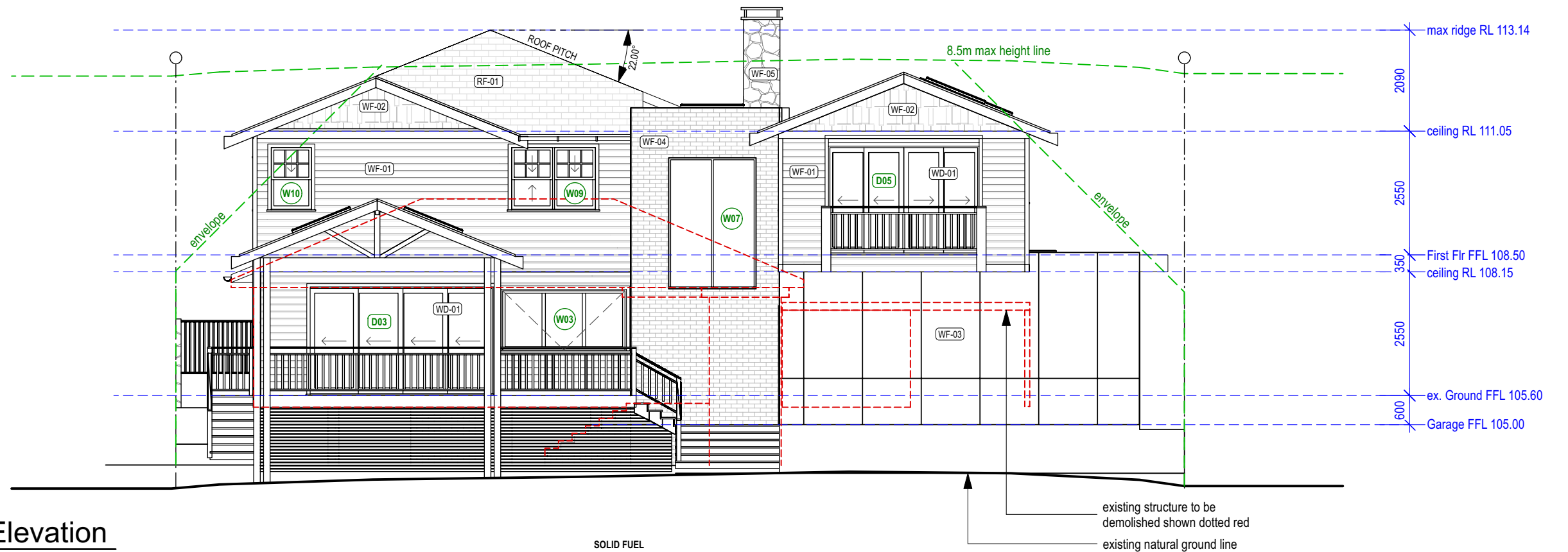
SHEET NO.:
DA09

SCALE @ A3:
1:100

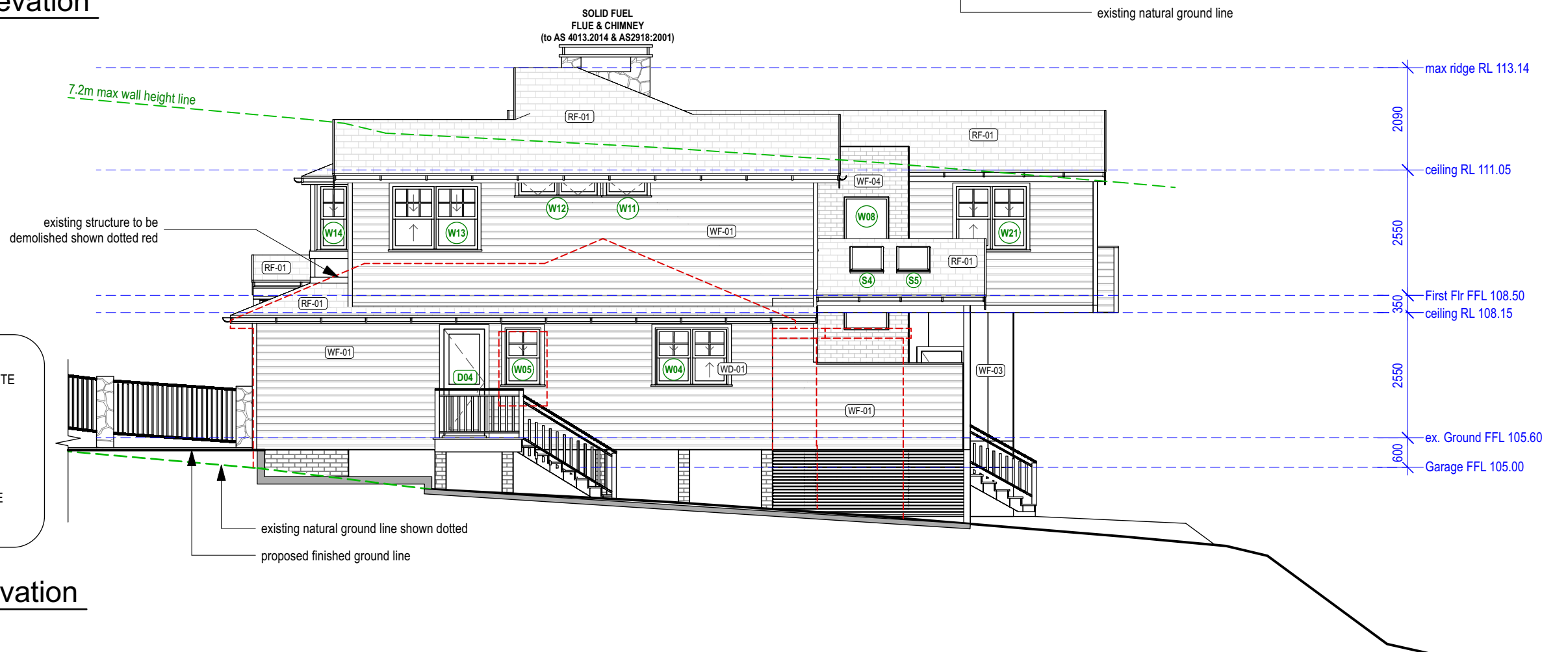
REVISION:

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1 South Elevation
Scale: 1:100



2 West Elevation
Scale: 1:100



EXTERNAL FINISHES DRAWING KEY

- WF-01 - PAINTED WEATHERBOARD CLADDING: LIGHT/OFF-WHITE
- WF-02 - NATURAL TIMBER SHINGLES: CLEAR FINISH
- WF-03 - COMPRESSED FC SHEET PAINTED: MEDIUM TONE
- WF-04 - BAGGED/RENDER FINISH MASONRY
- WF-05 - STONE CLADDING: AS SELECTED
- WD-01 - PAINTED TIMBER FRAMED WINDOWS & DOORS: WHITE
- RF-01 - CONCRETE ROOF TILES: DARK

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PROJECT:
Alterations & Additions

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Mike & Tina

ADDRESS: 15 Willunga Cres, FORESTVILLE
Being LOT 10 in D.P. 31528

DRAWING:
Elevations - South & West

ISSUE DATE:
10/5/25

PROJECT NO.:
1224

ORIGINAL SHEET SIZE:
A3

PROJECT TYPE:
DA1

DRAWN:
DV

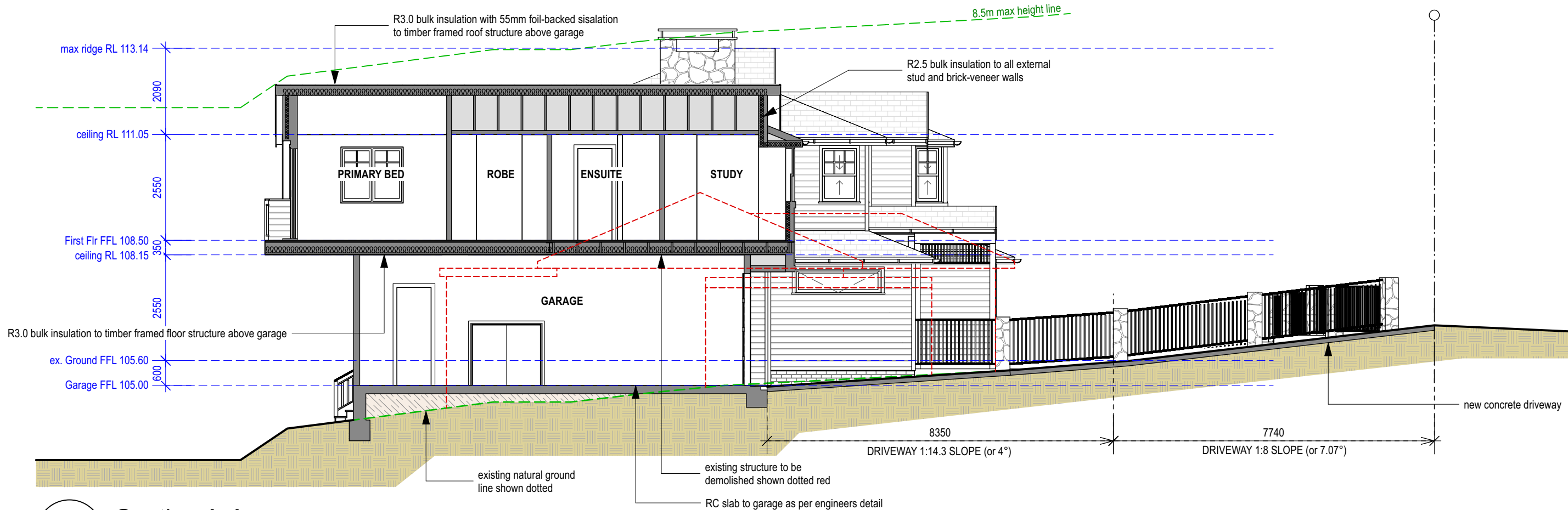
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SHEET NO.:
DA10

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REVISION:

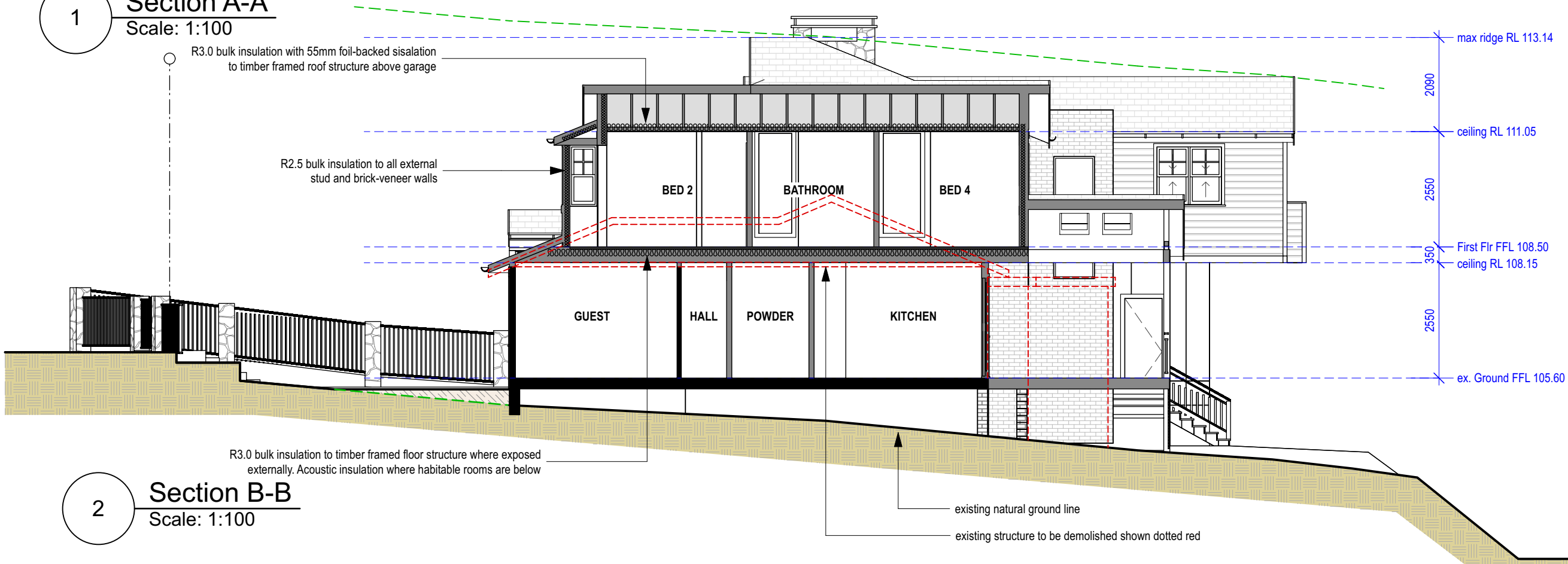
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1

Section A-A

Scale: 1:100



2

Section B-B

Scale: 1:100

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PROJECT:
Alterations & Additions

CLIENT:
Mike & Tina

ADDRESS: 15 Willunga Cres, FORESTVILLE
Being LOT 10 in D.P. 31528

DRAWING:
Sections - A-A & B-B

ISSUE DATE:
10/5/25

PROJECT NO.:
1224

ORIGINAL SHEET SIZE:
A3

PROJECT TYPE:
DA1

DRAWN:
DV

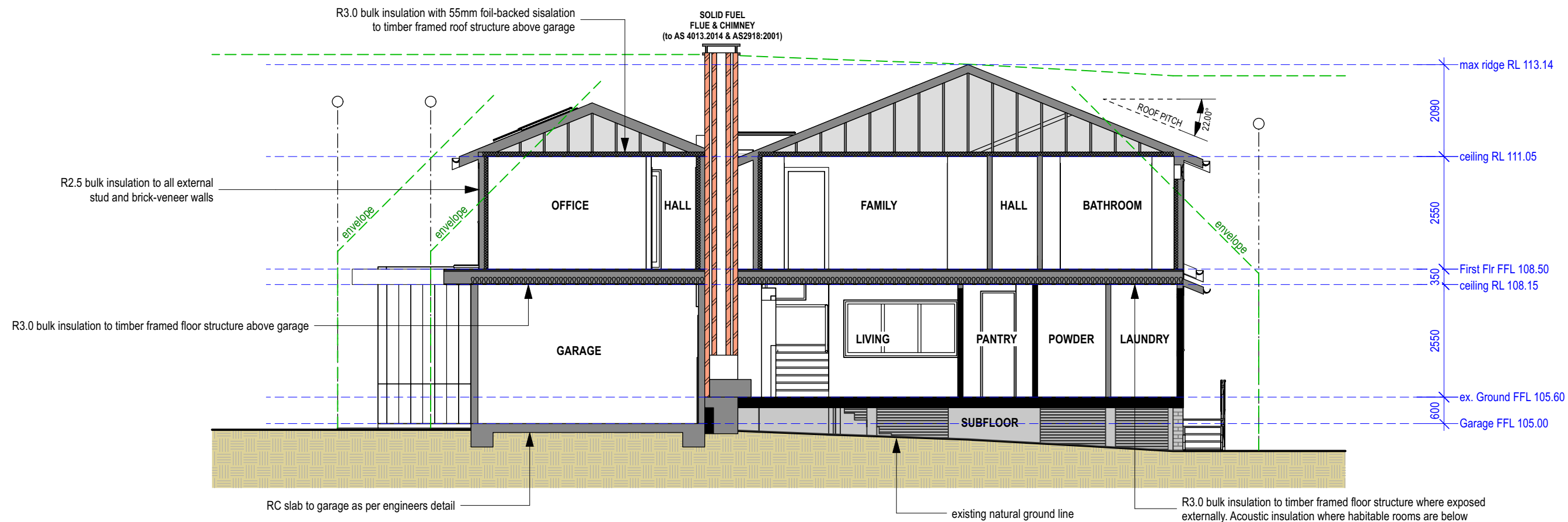
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SHEET NO.:
DA11

SCALE @ A3:
1:100

REVISION:

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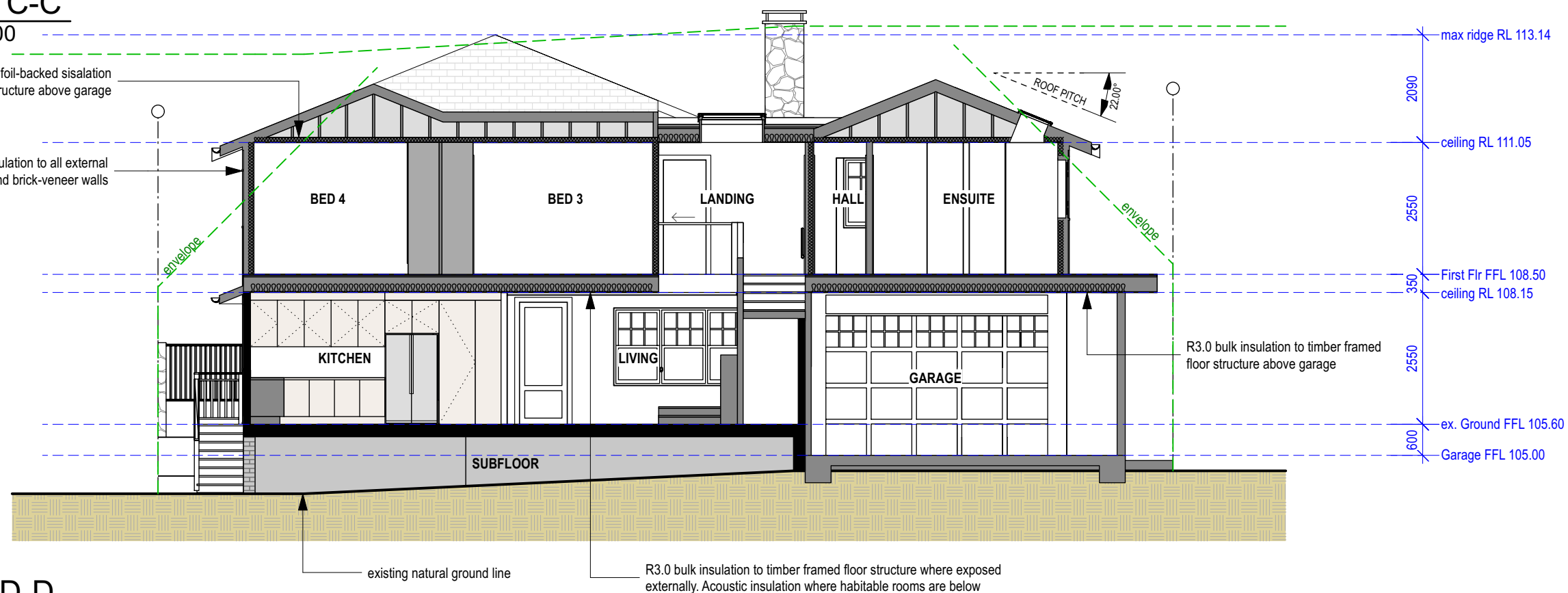
1

Section C-C

Scale: 1:100

R3.0 bulk insulation with 55mm foil-backed sisalation to timber framed roof structure above garage

R2.5 bulk insulation to all external stud and brick-veneer walls



2

Section D-D

Scale: 1:100

existing natural ground line

R3.0 bulk insulation to timber framed floor structure where exposed externally. Acoustic insulation where habitable rooms are below

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PROJECT:

Alterations & Additions

CLIENT:

Mike & Tina

ADDRESS: 15 Willunga Cres, FORESTVILLE
Being LOT 10 in D.P. 31528

DRAWING:

Sections - C-C & D-D

ISSUE DATE:

10/5/25

PROJECT NO.:

1224

ORIGINAL SHEET SIZE:

A3

PROJECT TYPE:

DA1

DRAWN:

DV

CHKD:

SHEET NO.:

DA12

SCALE @ A3:

1:100

REVISION:

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WINDOWS SCHEDULE							
	Type	Opening Height	Opening Width	Unit Area	Glazing Type	Head (nom.)	Comments
W01	DOUBLE HUNG	1500 mm	2700 mm	4.05 m2	DOUBLE GLAZED	2250	3 EQUAL OPERABLE SASHES - TOP SASH TO HAVE GLAZING SEPARATION BARS
W02	AWNING	600 mm	2100 mm	1.26 m2	DOUBLE GLAZED	2200	
W03	AWNING	1300 mm	2600 mm	3.38 m2	DOUBLE GLAZED	2200	SINGLE SASH DIVIDED INTO 3 EQUAL DIVISIONS - GAS LIFT TO 90°
W04	DOUBLE HUNG	1200 mm	1500 mm	1.80 m2	DOUBLE GLAZED	2250	2 EQUAL OPERABLE SASHES - TOP SASH TO HAVE GLAZING SEPARATION BARS
W05	DOUBLE HUNG	1200 mm	750 mm	0.90 m2	DOUBLE GLAZED	2250	TOP SASH TO HAVE GLAZING SEPARATION BARS
W06	DOUBLE HUNG	1550 mm	1950 mm	3.02 m2	DOUBLE GLAZED	2250	2 EQUAL OPERABLE SASHES - TOP SASH TO HAVE GLAZING SEPARATION BARS
W07	FIXED	2700 mm	1800 mm	4.86 m2	DOUBLE GLAZED	2000	ALUMINIUM FRAMED - SASH DIVIDED INTO 2 EQUAL DIVISION - NO SASH FRAME
W08	FIXED	2700 mm	900 mm	2.43 m2	DOUBLE GLAZED	2000	ALUMINIUM FRAMED - NO SASH FRAME
W09	DOUBLE HUNG	1350 mm	1800 mm	2.43 m2	DOUBLE GLAZED	2250	2 EQUAL OPERABLE SASHES - TOP SASH TO HAVE GLAZING SEPARATION BARS
W10	DOUBLE HUNG	1350 mm	900 mm	1.22 m2	DOUBLE GLAZED	2250	TOP SASH TO HAVE GLAZING SEPARATION BARS
W11	AWNING	400 mm	900 mm	0.36 m2	DOUBLE GLAZED	2400	
W12	AWNING PAIR	400 mm	1670 mm	0.67 m2	DOUBLE GLAZED	2400	
W13	DOUBLE HUNG	1350 mm	1800 mm	2.43 m2	DOUBLE GLAZED	2250	2 EQUAL OPERABLE SASHES - TOP SASH TO HAVE GLAZING SEPARATION BARS
W14	DOUBLE HUNG	1350 mm	600 mm	0.81 m2	DOUBLE GLAZED	2250	TOP SASH TO HAVE GLAZING SEPARATION BARS
W15	DOUBLE HUNG	1350 mm	1800 mm	2.43 m2	DOUBLE GLAZED	2250	2 EQUAL OPERABLE SASHES - TOP SASH TO HAVE GLAZING SEPARATION BARS
W16	DOUBLE HUNG	1350 mm	600 mm	0.81 m2	DOUBLE GLAZED	2250	TOP SASH TO HAVE GLAZING SEPARATION BARS
W17	DOUBLE HUNG	1350 mm	3600 mm	4.86 m2	DOUBLE GLAZED	2250	4 EQUAL OPERABLE SASHES - TOP SASH TO HAVE GLAZING SEPARATION BARS
W18	DOUBLE HUNG	1350 mm	900 mm	1.22 m2	DOUBLE GLAZED	2250	TOP SASH TO HAVE GLAZING SEPARATION BARS
W19	DOUBLE HUNG	1350 mm	3600 mm	4.86 m2	DOUBLE GLAZED	2250	4 EQUAL OPERABLE SASHES - TOP SASH TO HAVE GLAZING SEPARATION BARS
W20	CASEMENT PAIR	1200 mm	1300 mm	1.56 m2	DOUBLE GLAZED	2250	
W21	DOUBLE HUNG	1350 mm	1500 mm	2.03 m2	DOUBLE GLAZED	2250	2 EQUAL OPERABLE SASHES - TOP SASH TO HAVE GLAZING SEPARATION BARS
		VARIES					

DOORS SCHEDULE								
ID	Type	Opening Height	Opening Width	Unit Area	Glazing Type	Head (nom.)	No. Doors	Comments
D01	HINGED	2400 mm	1000 mm	2.40 m2	N/A	2400	1	SOLID ENTRY DOOR
D02	GARAGE	2700 mm	4290 mm	11.58 m2	N/A	2700	1	GARAGE DOOR AS SELECTED - BASIX N/A
D03	SLIDING	2250 mm	3800 mm	8.55 m2	DOUBLE GLAZED	2250	4	4 SLIDING INTO WALL CAVITY
D04	HINGED	2250 mm	900 mm	2.03 m2	DOUBLE GLAZED	2250	1	HALF GLAZED - LAUNDRY HINGED DOOR
D05	SLIDING	2250 mm	3124 mm	7.03 m2	DOUBLE GLAZED	2250	4	2 SLIDING LEFT / 2 SLIDING RIGHT / INTO WALL CAVITY
D06	HINGED	2400 mm	900 mm	2.16 m2	N/A	2400	1	GARAGE DOOR - BASIX N/A

EXTERNAL FINISHES SCHEDULE FOR DA

NOTE:
- All colour selections shall be sampled and swatch tested on subject surface prior to final application.
- Colours represented on this schedule do NOT necessarily reflect true colours.

WF-01



WEATHERBOARD CLADDING
PAINTED OFF-WHITE

WF-02



TIMBER SHINGLES
NATURAL CLEAR FINISH

WF-03



FC SHEET CLADDING
BRUSHED FINISH

WF-04



MASONRY
BAGGED RENDER

WF-05



STONE CLADDING
AS SELECTED

WD-01



TIMBER FRAMES WINDOWS & TRIM
PAINTED WHITE

RF-01



CONCRETE ROOF TILES
DARK CHARCOAL - 'MONIER - CAMBRIDGE'

- NOTES
1. All external glazing units to have timber frames, except for W07 & W08 which are aluminium. Owner to give final approval to external glazing units before ordering.
 2. Generally Viridian double glazing throughout, with Low-E thermal performance to the inner sheet. All glazing to comply with Part 3.6 of the current NCC.
 3. All Window & Doors to the dwelling to comply with performance rating as specified in the BASIX Certificate. Solid doors, and garage openings are excluded from BASIX.
 4. Dimensions given are nominal and to suit scheduled opening sizes - Contractor to check all dimensions on site before ordering glazing units.
 5. Refer to Elevations for fixed/openable sashes.
 6. Provide approved matching insect screens to opening window and door sashes. Client to confirm.
 7. Internal door sizes generally 2250 high as noted on plan, to be painted flush solid core doors unless noted otherwise.
 8. Provide Centor (or similar) retractable screens to stacking sliding glazed external doors. Client to confirm.



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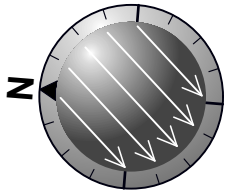
ABN: 96 155 208 131
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REVISION DATE REVISION NOTE

For DA Submission

PROJECT: Alterations & Additions		DRAWING: Window / Door Schedule & External Finishes			SHEET NO.: DA13
CLIENT: Mike & Tina		ISSUE DATE: 10/5/25	ORIGINAL SHEET SIZE: A3	DRAWN: DV	SCALE @ A3:
ADDRESS: 15 Willunga Cres, FORESTVILLE Being LOT 10 in D.P. 31528		PROJECT NO.: 1224	PROJECT TYPE: DA1	CHKD:	REVISION:

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.



9:00 AM

Sydney

June 21

Azimuth: 42° 32' [42° 32' east]

Altitude: 18° 57'

Solar Time: 9:03 AM

SHADOW KEY



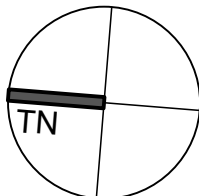
PROPOSED SITE
SHADOWS

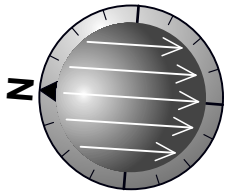


EXISTING SITE
SHADOWS



OVERLAP OF
EXISTING &
PROPOSED
SHADOWS





12:00 PM

Sydney

June 21

Azimuth: 359° 7' [0° 53' west]

Altitude: 32° 42'

Solar Time: 12:03 PM

SHADOW KEY



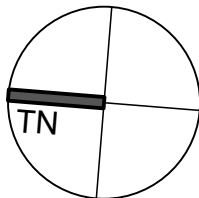
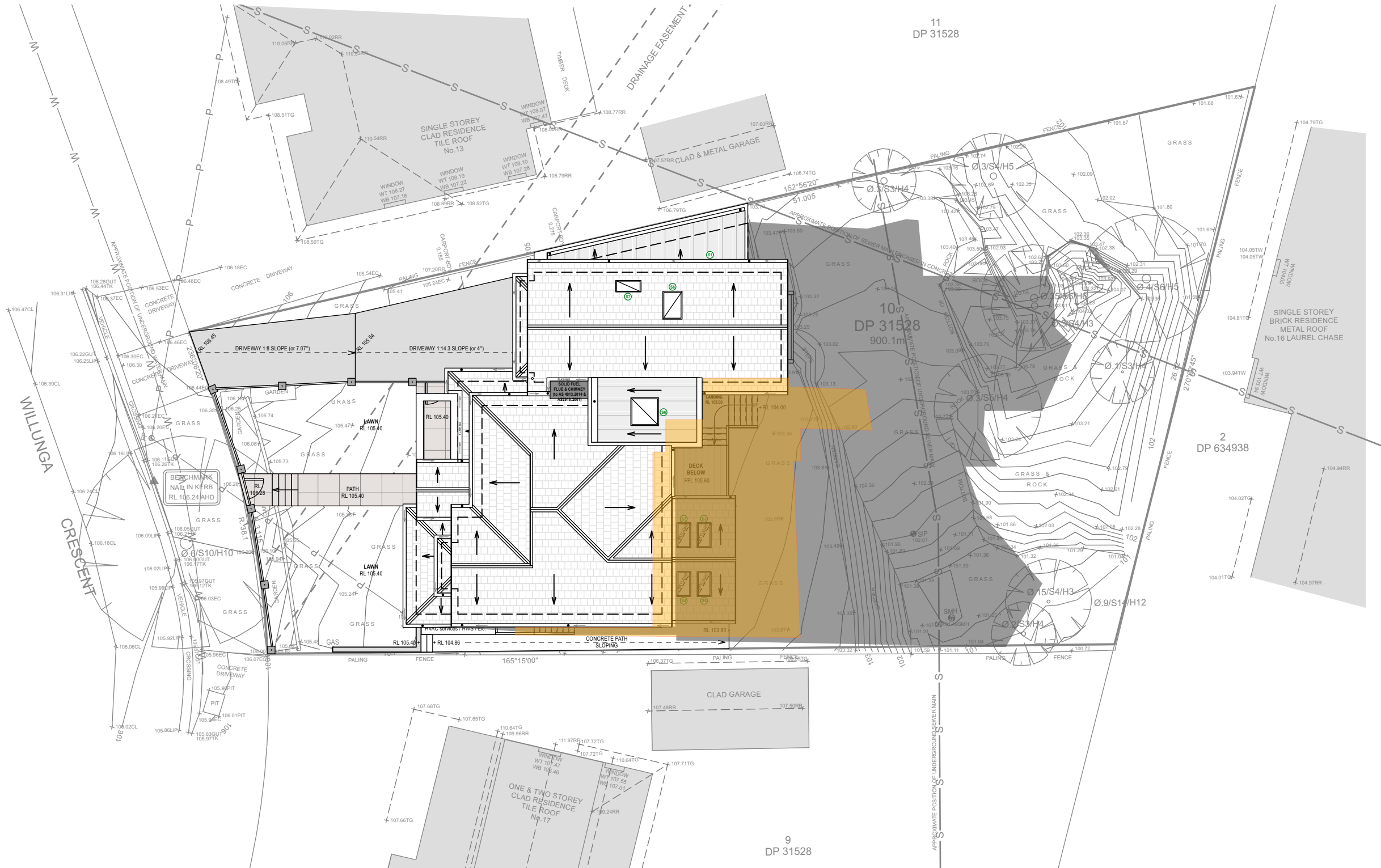
PROPOSED SITE SHADOWS

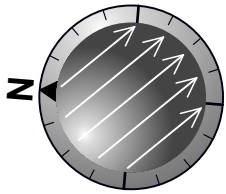


EXISTING SITE SHADOWS



OVERLAP OF EXISTING & PROPOSED SHADOWS





3:00 PM

Sydney

June 21

Azimuth: 316° 13' [43° 47' west]

Altitude: 18° 2'

Solar Time: 3:03 PM

SHADOW KEY



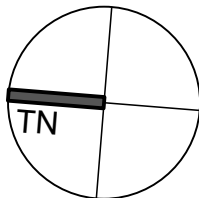
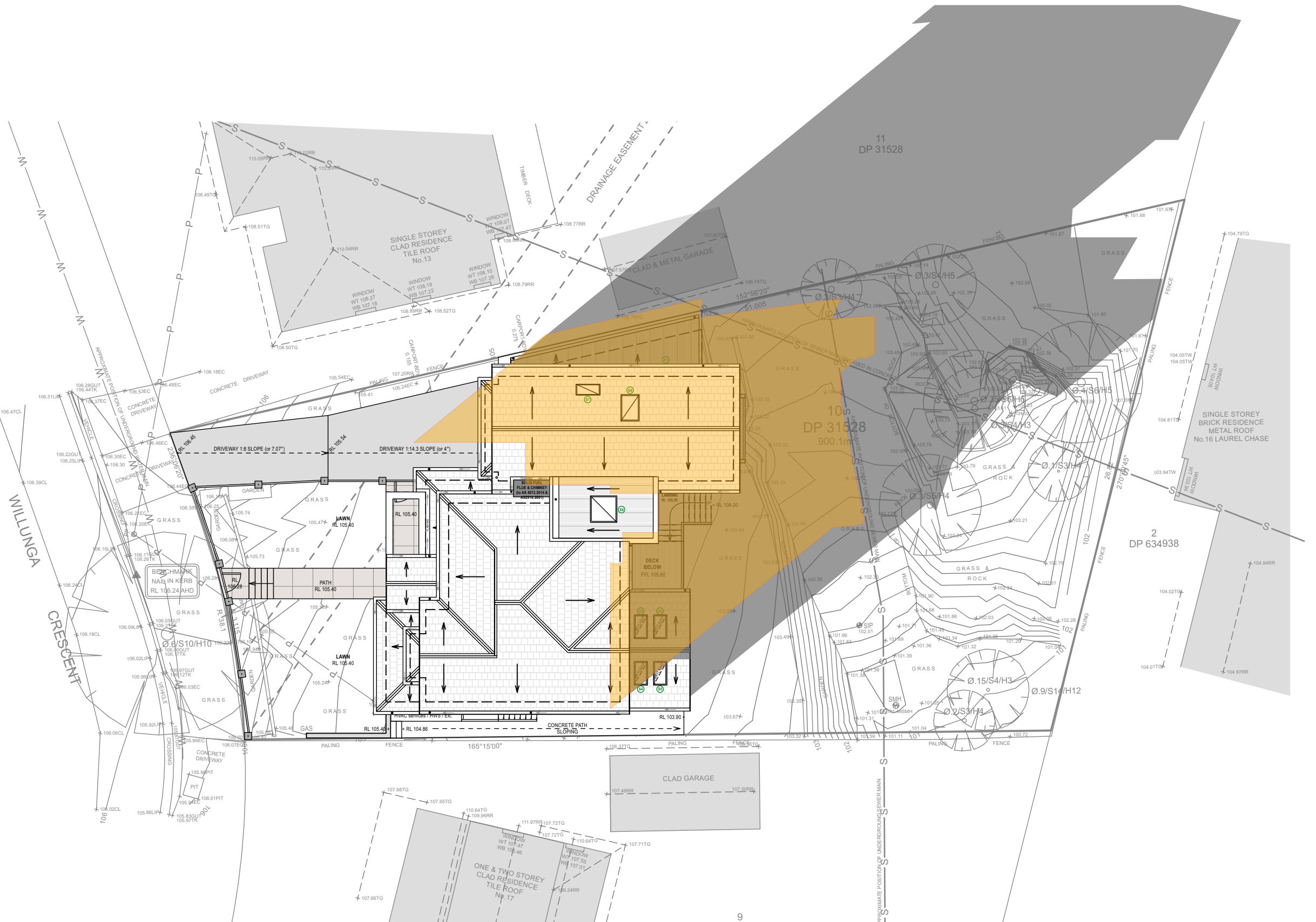
PROPOSED SITE SHADOWS



EXISTING SITE SHADOWS



OVERLAP OF EXISTING & PROPOSED SHADOWS



BASIX™Certificate

Building Sustainability Index
www.planningportal.nsw.gov.au/development-and-assessment/basix

Alterations and Additions

Certificate number: A1794840

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.planningportal.nsw.gov.au/definitions

Secretary
Date of issue: Saturday, 10 May 2025
To be valid, this certificate must be lodged within 3 months of the date of issue.



page 1/11

Project address	
Project name	15 Willunga Cres, Forestville
Street address	15 WILLUNGA Crescent FORESTVILLE 2087
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP31528
Lot number	10
Section number	-
Project type	
Dwelling type	Dwelling house (detached)
Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more, and does not include a pool (and/or spa).
N/A	N/A
Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name: Mr Danny Vise	
ABN (if applicable):	

BASIX Certificate number:A1794840

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Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Hot water			
The applicant must install the following hot water system in the development: gas instantaneous.	✓	✓	✓
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

BASIX Certificate number:A1794840

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Construction		Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements				
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications		
concrete slab on ground floor.	nil	N/A		
suspended floor above garage: framed (R0.7).	nil	N/A		
floor above existing dwelling or building.	nil	N/A		
external wall: brick veneer	R1.16 (or R1.70 including construction)			
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)			
internal wall shared with garage: plasterboard (R0.36)	nil			
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (55 mm)	dark (solar absorptance > 0.70)		
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (55 mm)	dark (solar absorptance > 0.70)		
flat ceiling, flat roof: framed	ceiling: R1.58 (up), roof: foil backed blanket (55 mm)	dark (solar absorptance > 0.70)		

BASIX Certificate number:A1794840

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Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors			
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.		✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.	✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	✓	✓	✓

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BASIX Certificate number:A1794840

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Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements									
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
W01	N	4.05	0	0	eave/ verandah/ pergola/balcony >=900 mm	timber or uPVC, clear/ air gap/clear, (U-value: 3.67, SHGC: 0.59)			
W06	N	3.02	11.3	5.7	eave/ verandah/ pergola/balcony >=450 mm	timber or uPVC, clear/ air gap/clear, (U-value: 3.67, SHGC: 0.59)			
W15	N	2.43	8.6	6.9	projection/ height above sill ratio >=0.23	timber or uPVC, clear/ air gap/clear, (U-value: 3.67, SHGC: 0.59)			
W17	N	4.86	0	0	projection/ height above sill ratio >=0.29	timber or uPVC, clear/ air gap/clear, (U-value: 3.67, SHGC: 0.59)			
W19	N	4.86	0	0	projection/ height above sill ratio >=0.29	timber or uPVC, clear/ air gap/clear, (U-value: 3.67, SHGC: 0.59)			

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ABN: 96 155 208 131
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REVISION DATE REVISION NOTE

For DA Submission

PROJECT:

Alterations & Additions

CLIENT:

Mike & Tina

ADDRESS: 15 Willunga Cres, FORESTVILLE
Being LOT 10 in D.P. 31528

DRAWING:

BASIX Requirements - Sheet 1

ISSUE DATE:

10/5/25

PROJECT NO.:

1224

ORIGINAL SHEET SIZE:

A3

PROJECT TYPE:

DA1

DRAWN:

DV

CHKD:

SHEET NO.:

DA17

SCALE @ A3:

REVISION:

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.

BASIX Certificate number:A1794840

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Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
W02	E	1.26	0	0	projection/ height above sill ratio >=0.29	timber or uPVC, clear/ air gap/clear, (U-value: 3.67, SHGC: 0.59)			
W16	E	0.81	0	0	projection/ height above sill ratio >=0.29	timber or uPVC, clear/ air gap/clear, (U-value: 3.67, SHGC: 0.59)			
W18	E	1.22	0	0	projection/ height above sill ratio >=0.29	timber or uPVC, clear/ air gap/clear, (U-value: 3.67, SHGC: 0.59)			
W20	E	1.56	0	0	projection/ height above sill ratio >=0.29	timber or uPVC, clear/ air gap/clear, (U-value: 3.67, SHGC: 0.59)			
W03	S	3.38	0	0	eave/ verandah/ pergola/balcony >=750 mm	timber or uPVC, clear/ air gap/clear, (U-value: 3.67, SHGC: 0.59)			

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BASIX Certificate number:A1794840

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Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements									
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
D03	S	8.55	0	0	eave/ verandah/ pergola/balcony >=900 mm	timber or uPVC, clear/ air gap/clear, (U-value: 3.67, SHGC: 0.59)			
D05	S	7.03	0	0	none	timber or uPVC, clear/ air gap/clear, (U-value: 3.67, SHGC: 0.59)			
W07	S	4.86	0	0	none	improved aluminium, clear/air gap/ clear, (U-value: 4.12, SHGC: 0.66)			
W09	S	2.43	0	0	eave/ verandah/ pergola/balcony >=450 mm	timber or uPVC, clear/ air gap/clear, (U-value: 3.67, SHGC: 0.59)			
W10	S	1.22	0	0	eave/ verandah/ pergola/balcony >=450 mm	timber or uPVC, clear/ air gap/clear, (U-value: 3.67, SHGC: 0.59)			

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BASIX Certificate number:A1794840

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Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
W04	W	1.8	0	0	projection/ height above sill ratio >=0.36	timber or uPVC, clear/ air gap/clear, (U-value: 3.67, SHGC: 0.59)			
W05	W	0.9	0	0	projection/ height above sill ratio >=0.36	timber or uPVC, clear/ air gap/clear, (U-value: 3.67, SHGC: 0.59)			
D04	W	2.03	0	0	projection/ height above sill ratio >=0.36	timber or uPVC, clear/ air gap/clear, (U-value: 3.67, SHGC: 0.59)			
W08	W	2.43	7.4	5	none	improved aluminium, toned/air gap/ clear, (U-value: 4.09, SHGC: 0.47)			
W11	W	0.36	0	0	projection/ height above sill ratio >=0.36	timber or uPVC, clear/ air gap/clear, (U-value: 3.67, SHGC: 0.59)			

BASIX Certificate number:A1794840

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Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements									
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
W12	W	0.67	0	0	projection/ height above sill ratio >=0.36	timber or uPVC, clear/ air gap/clear, (U-value: 3.67, SHGC: 0.59)			
W13	W	2.43	0	0	projection/ height above sill ratio >=0.36	timber or uPVC, clear/ air gap/clear, (U-value: 3.67, SHGC: 0.59)			
W14	W	0.81	0	0	projection/ height above sill ratio >=0.36	timber or uPVC, clear/ air gap/clear, (U-value: 3.67, SHGC: 0.59)			
W21	W	2.03	0	0	projection/ height above sill ratio >=0.36	timber or uPVC, clear/ air gap/clear, (U-value: 3.67, SHGC: 0.59)			

BASIX Certificate number:A1794840

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Glazing requirements				Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Skylights						
The applicant must install the skylights in accordance with the specifications listed in the table below.				✓	✓	✓
The following requirements must also be satisfied in relation to each skylight:					✓	✓
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.					✓	✓
Skylights glazing requirements						
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type			
S6	1.7	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.9, SHGC: 0.456)			
S7	1.4	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.9, SHGC: 0.456)			
S8	0.9	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.9, SHGC: 0.456)			



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ABN: 96 155 208 131
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REVISION DATE REVISION NOTE

For DA Submission

PROJECT: Alterations & Additions

CLIENT: Mike & Tina

ADDRESS: 15 Willunga Cres, FORESTVILLE
Being LOT 10 in D.P. 31528

DRAWING: BASIX Requirements - Sheet 1

ISSUE DATE: 10/5/25
ORIGINAL SHEET SIZE: A3
DRAWN: DV

PROJECT NO.: 1224
PROJECT TYPE: DA1
CHKD: REVISION:

SHEET NO.: DA17

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.