DEVELOPEMENT APPLICATION// Alterations & Additions to Existing Backyard

Friday, 9 December 2022

APPLICANT: Rachel Smith & Andrea Soffiati

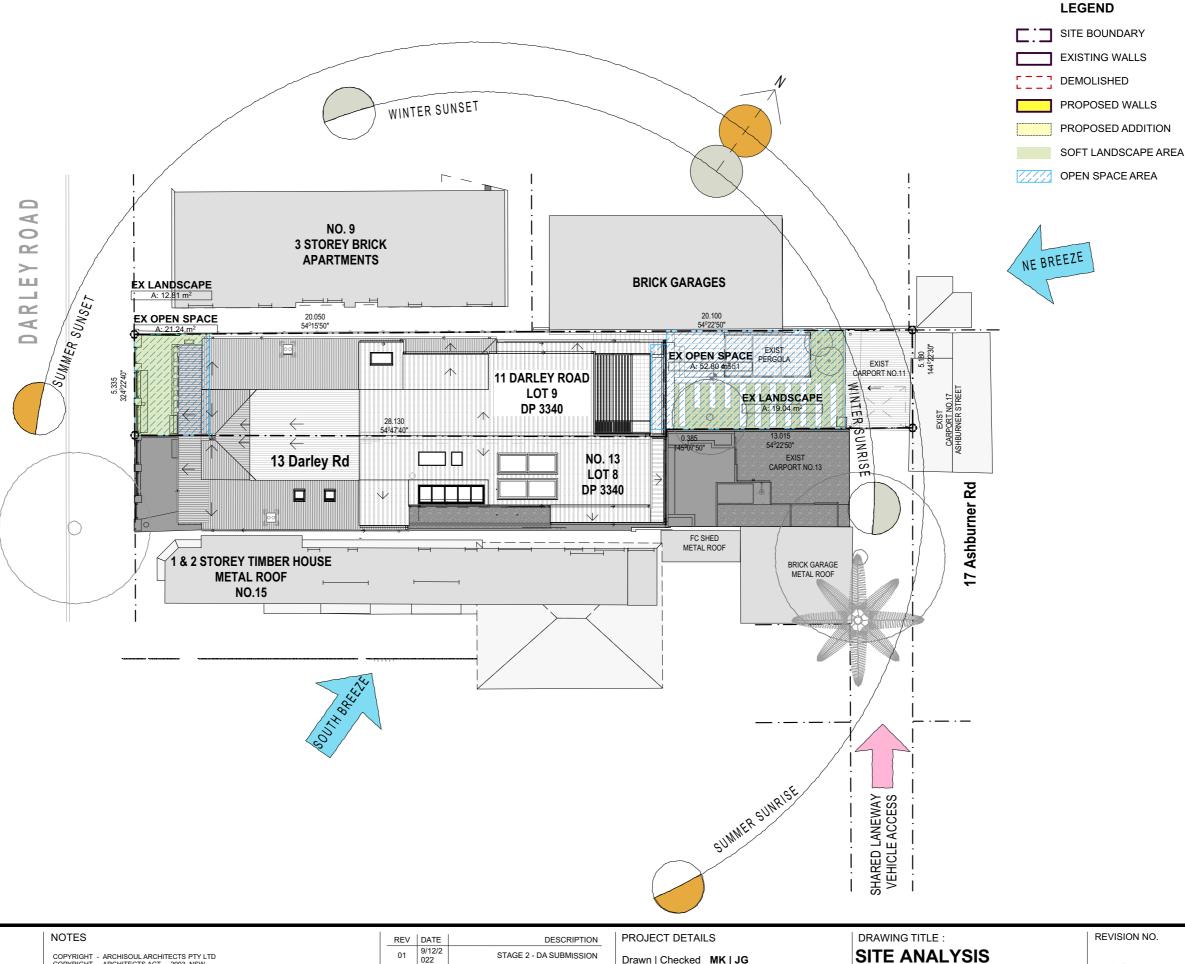
11 DARLEY RD MANLY NSW 2095

DRAWING No:	DESCRIPTION	Rev ID
DA00	COVER PAGE	01
DA01	SITE ANALYSIS	01
DA02	EXISTING SITE PHOTOS	01
DA03	EXISTING GROUND PLAN 1:50	01
DA04	EXISTING CARPORT ROOF PLAN	01
DA05	DEMOLITION GROUND PLAN	01
DA06	PROPOSED SITE PLAN	01
DA07	PROPOSED AREA CALCULATIONS	01
DA08	PROPOSED GROUND PLAN 1:50	01
DA09	PROPOSED CARPORT ROOF PLAN	01
DA10	ELEVATIONS	01
DA11	PROPOSED SECTION	01
DA12	3D VIEWS	01
DA13	SUMMER SOLSTICE SHADOW DIAGRAMS	01
DA14	WINTER SOLSTICE SHADOW DIAGRAMS	01
DA15	DOOR SCHEDULE	01
DA16	FINISHES SCHEDULE	01



PROP

PROPOSED PERSPECTIVE 2



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01	9/12/2 022	STAGE 2 - DA SUBMISSION
	-	
	-	

Drawn | Checked MK | JG Project Status DA DRAFT

Client: Andrea Soffiati & Rachel Smith Project: 2115

PROJECT NAME: 11 DARLEY RD -SMITH/SOFFIATI

01 DRAWING NO.

DA01

SCALE: 1:200 @ A3







EXISTING EASTERN FACADE & REAR YARD EXISTING SHARED LANEWAY & PARKING ACCESS FOR 11 & 13 DARLEY RD

ARCHITECT

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RE	V	DATE	DESCRIPTION
0	1	9/12/2 022	STAGE 2 - DA SUBMISSION
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PROJECT DETAILS

Drawn | Checked MK | JG
Plot Date: 9/12/2022
Project Status DA DRAFT

Client: Andrea Soffiati & Rachel Smith

Project: 2115

DRAWING TITLE :

EXISTING SITE PHOTOS

PROJECT NAME :

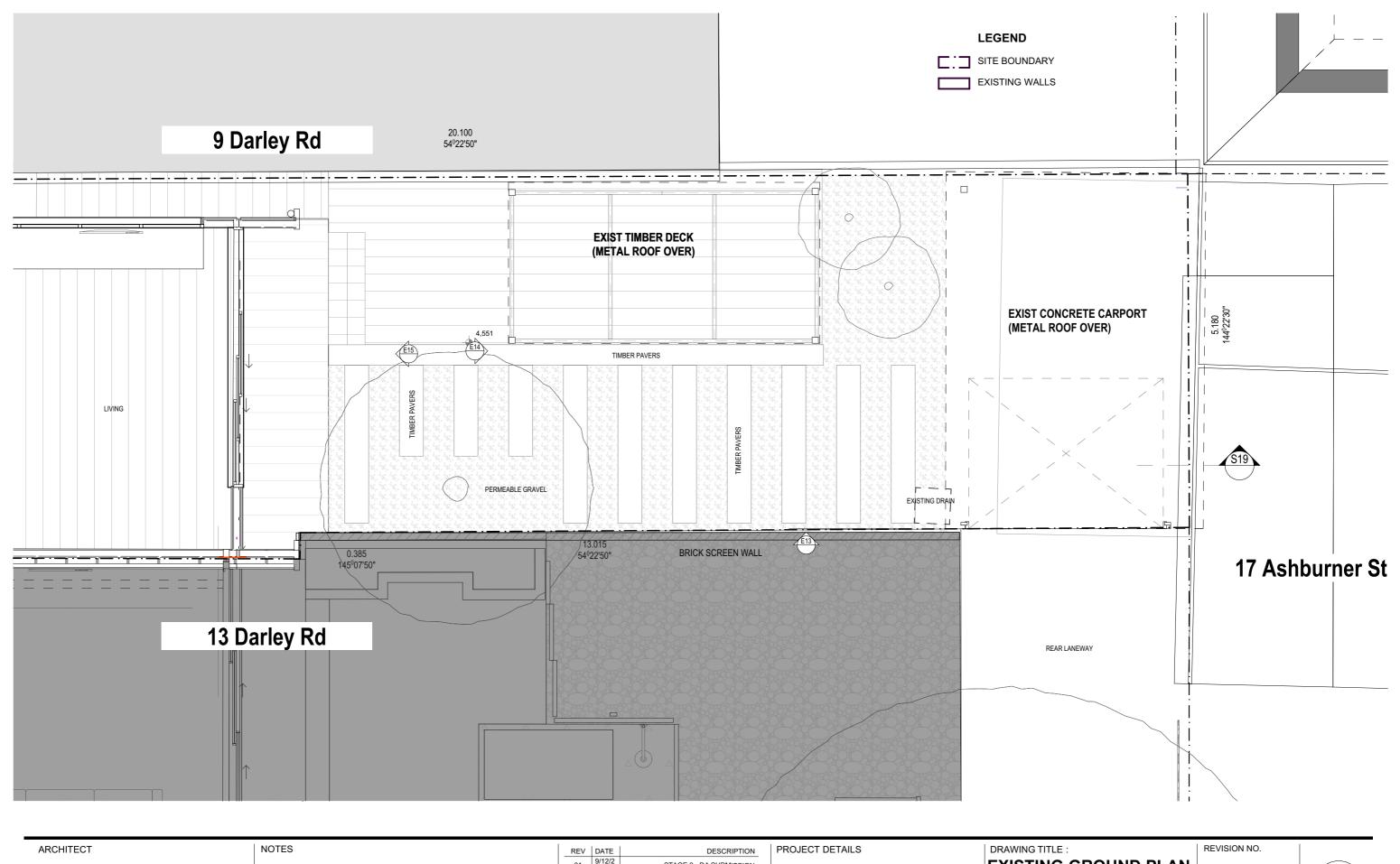
11 DARLEY RD -SMITH/SOFFIATI REVISION NO.

01

DRAWING NO.

DA02







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01	022	STAGE 2 - DA SUBMISSION

Drawn | Checked MK | JG Plot Date: 9/12/2022 Project Status DA DRAFT

Client: Andrea Soffiati & Rachel Smith

Project: 2115

EXISTING GROUND PLAN

1:50

PROJECT NAME: 11 DARLEY RD -

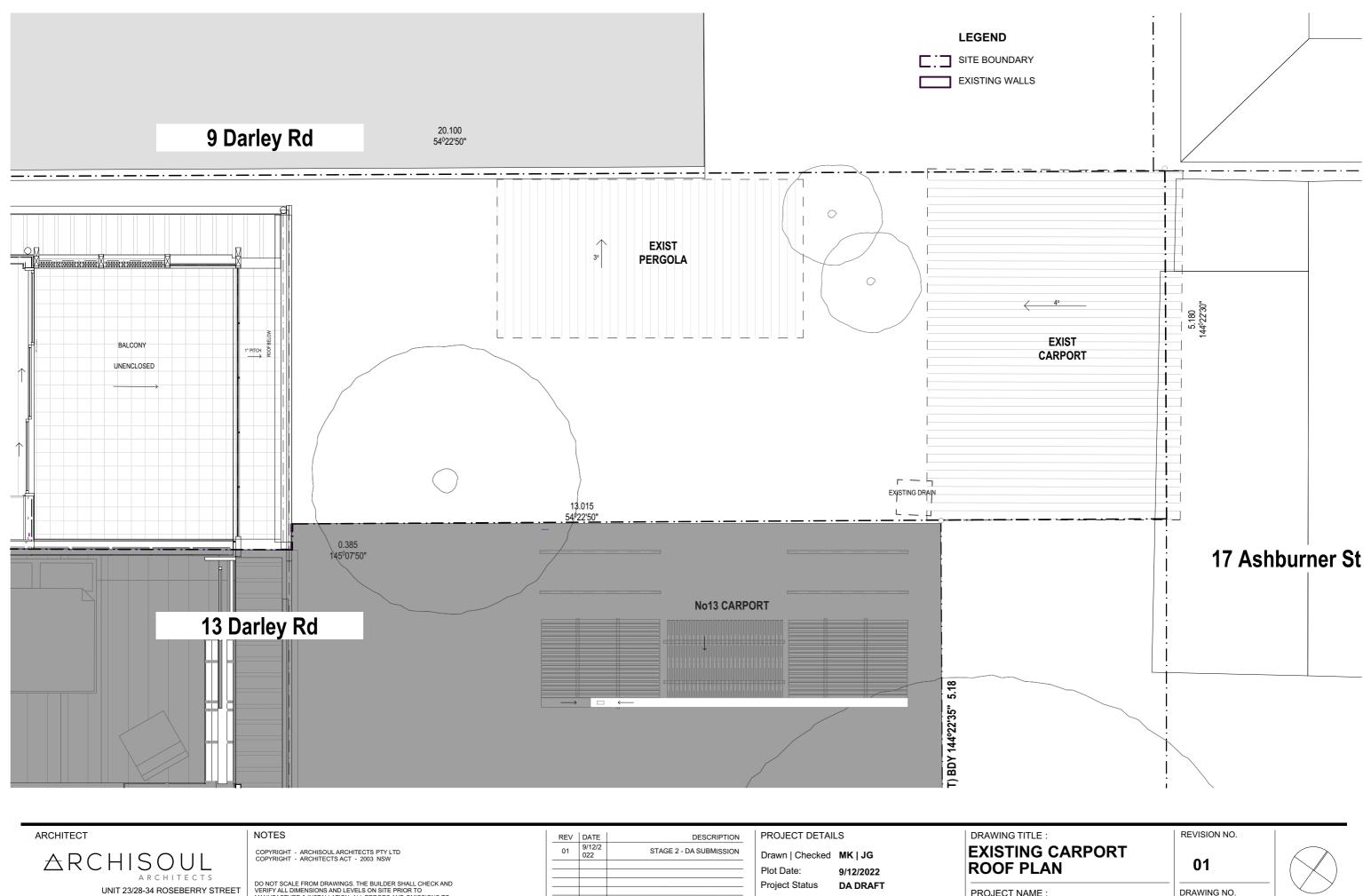
SMITH/SOFFIATI

01

DRAWING NO.

DA03

SCALE: 1:50 @ A3



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01	022	STAGE 2 - DA SUBMISSION

Client: Andrea Soffiati & Rachel Smith

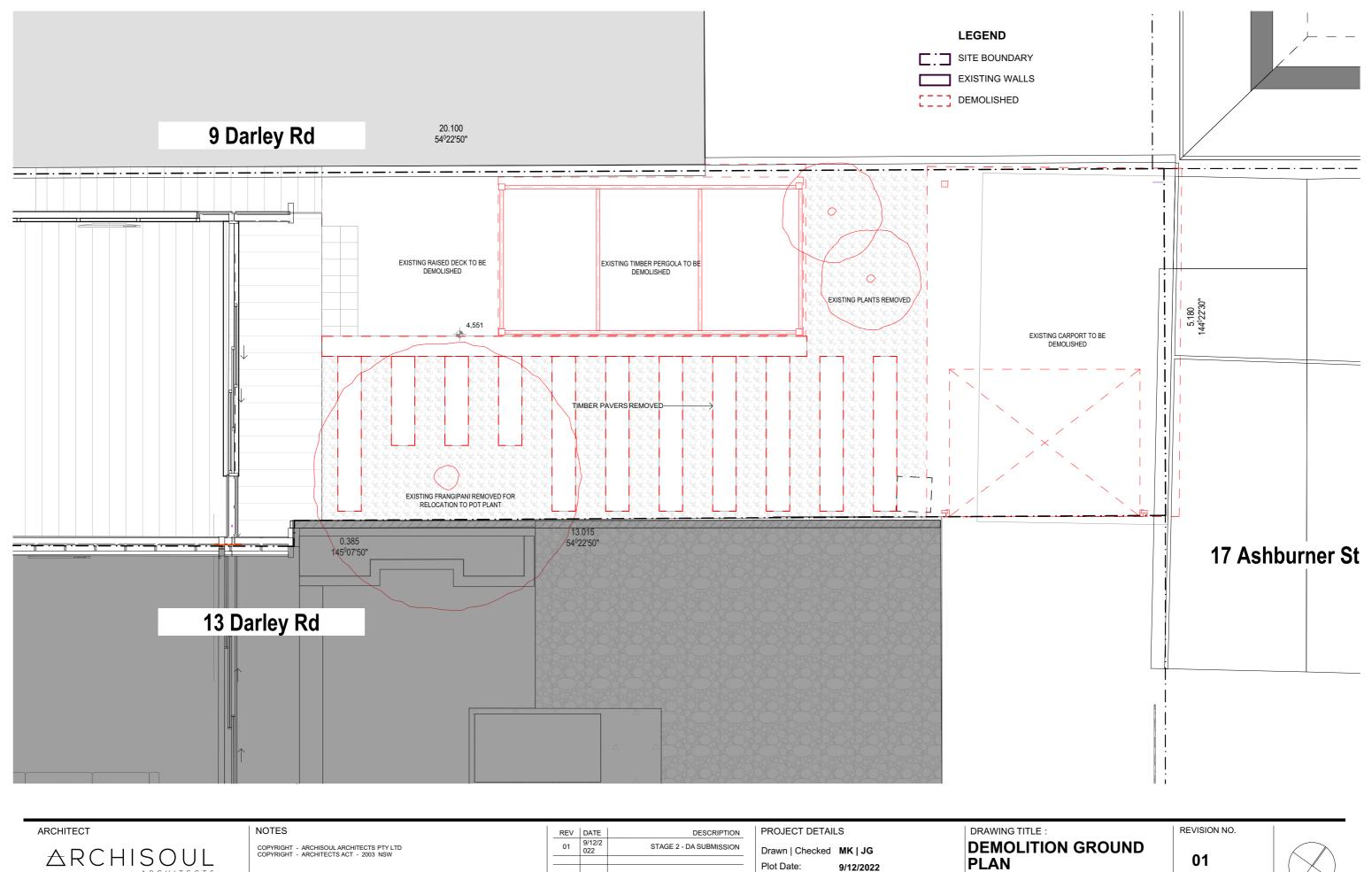
Project: 2115

PROJECT NAME :

11 DARLEY RD -SMITH/SOFFIATI DRAWING NO.

DA04

SCALE: 1:50 @ A3



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01	9/12/2 022	STAGE 2 - DA SUBMISSION	

Plot Date: 9/12/2022 Project Status DA DRAFT

Client: Andrea Soffiati & Rachel Smith Project: 2115

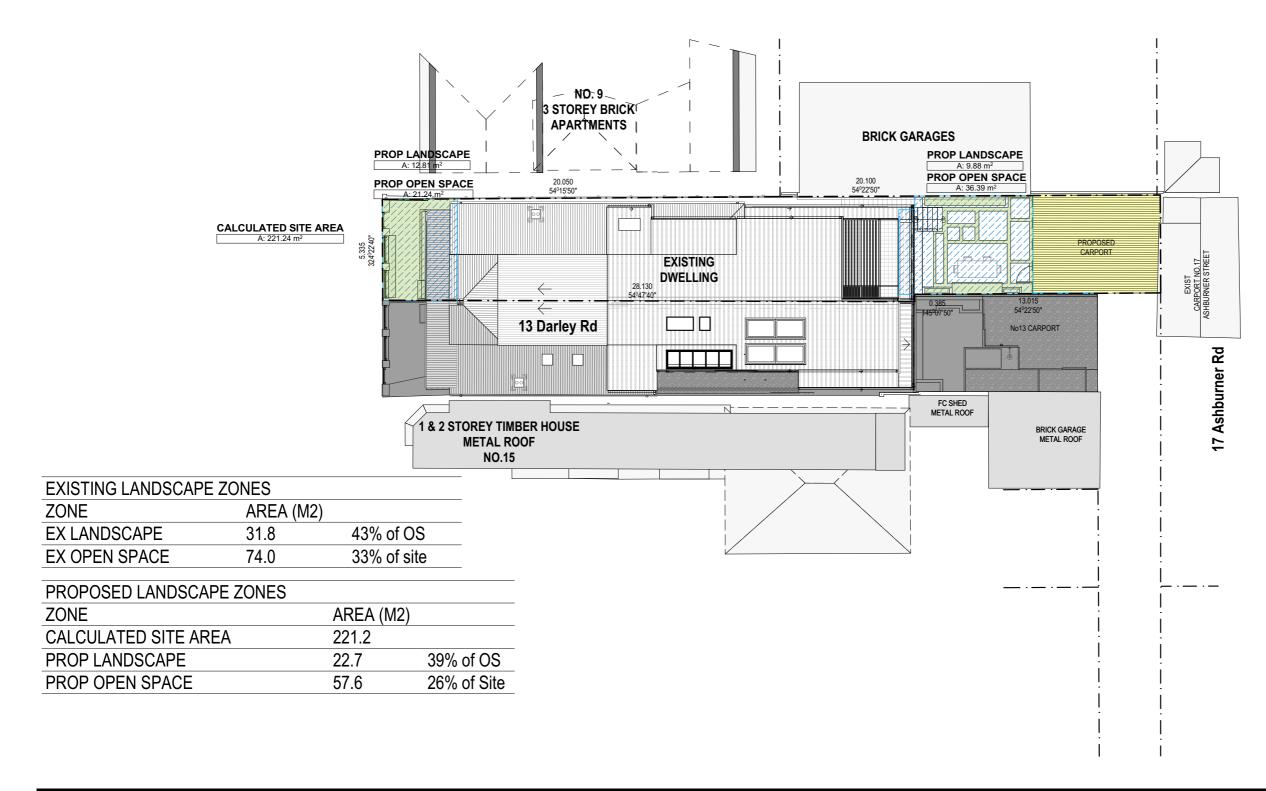
PROJECT NAME : 11 DARLEY RD -SMITH/SOFFIATI 01

DRAWING NO.

DA05

SCALE: 1:50 @ A3





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DANCE WITH RELEVANT AUSTRALIAN STANDARDS.		
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REV DATE 01 9/12/2 022

	Client: Andrea	Soffiati & Rachel Smith
	Plot Date: Project Status	9/12/2022 DA DRAFT
STAGE 2 - DA SUBMISSION	Drawn Checked	MK JG
DESCRIPTION	PROJECT DETAIL	_S

Project: 2115

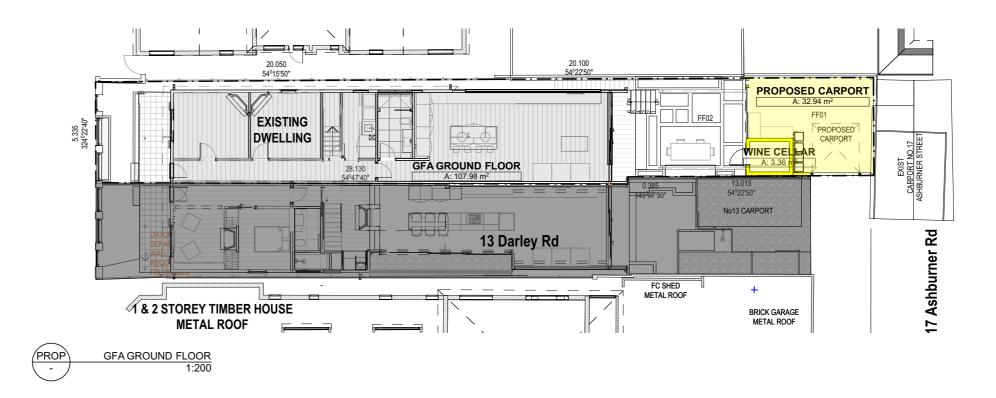
DRAWING TITLE :
PROPOSED SITE PLAN
PROJECT NAME :
11 DARLEY RD -
II DAKLET KD -

SMITH/SOFFIATI

01
DRAWING NO.
DA06

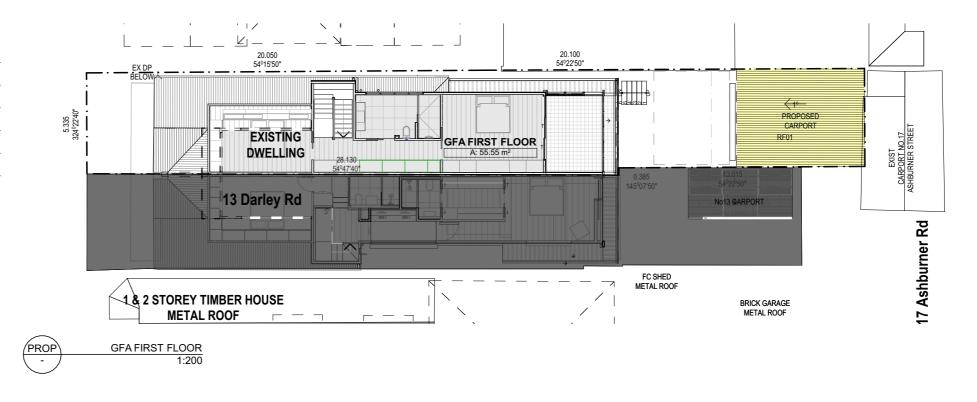
REVISION NO.

SCALE: 1:200 @ A3



GROSS FLOOR AREA	
ZONE	AREA (M2)
GFA FIRST FLOOR	55.5
GFA GROUND FLOOR	108.0
WINE CELLAR	3.4

EXISTING GFA = 163.5 m^2 EXISTING FSR = 0.74 PROPOSED GFA = Exist GFA + Wine Cellar $= 166.9 \text{ m}^2$ PROPOSED FSR = 0.75



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REV	DATE	DESCRIPTION
01	9/12/2 022	STAGE 2 - DA SUBMISSION

PROJECT DETAILS Drawn | Checked MK | JG Plot Date: 9/12/2022 Project Status DA DRAFT

Client: Andrea Soffiati & Rachel Smith Project: 2115

DRAWING TITLE: PROPOSED AREA **CALCULATIONS**

11 DARLEY RD -

SMITH/SOFFIATI

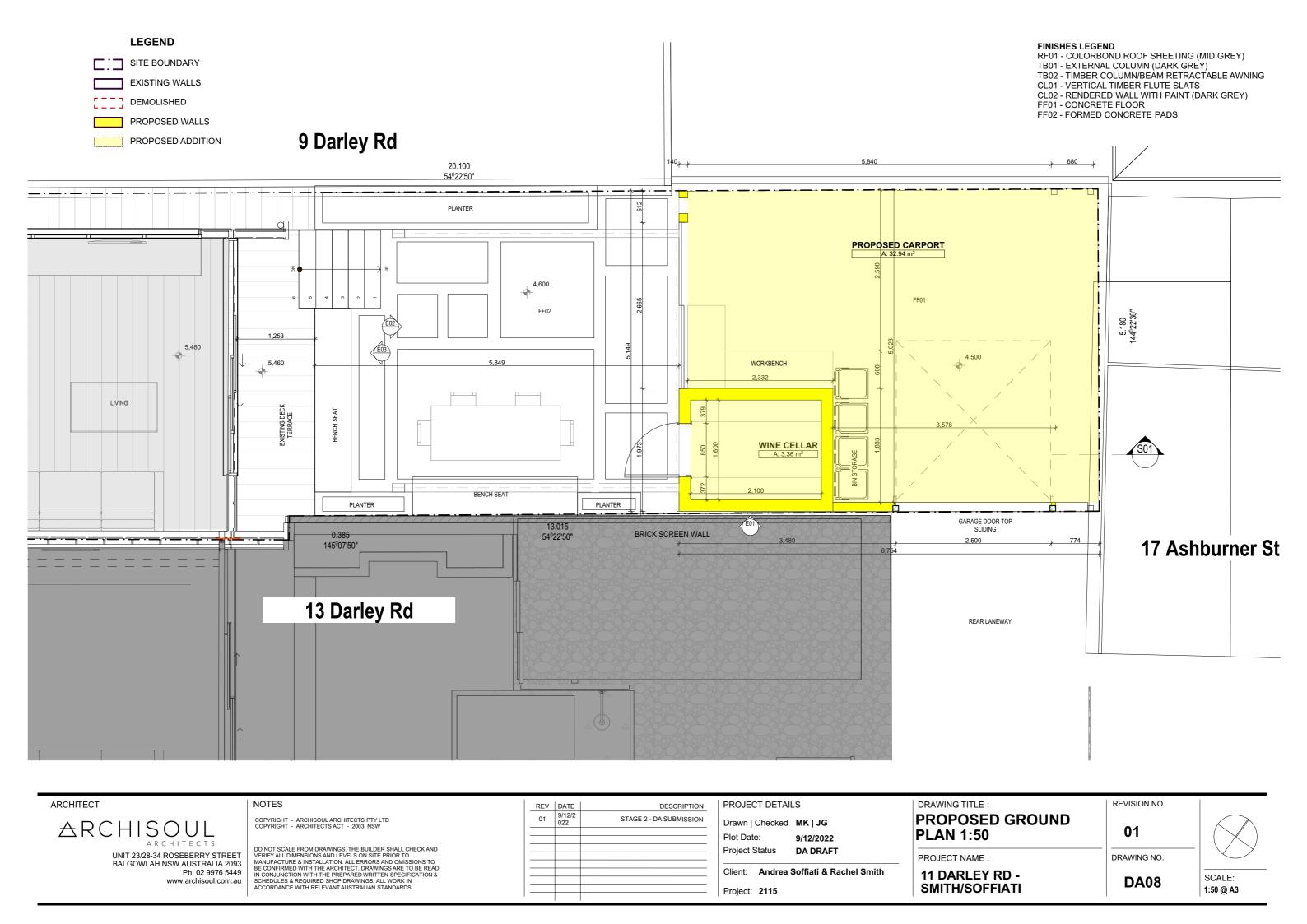
PROJECT NAME:

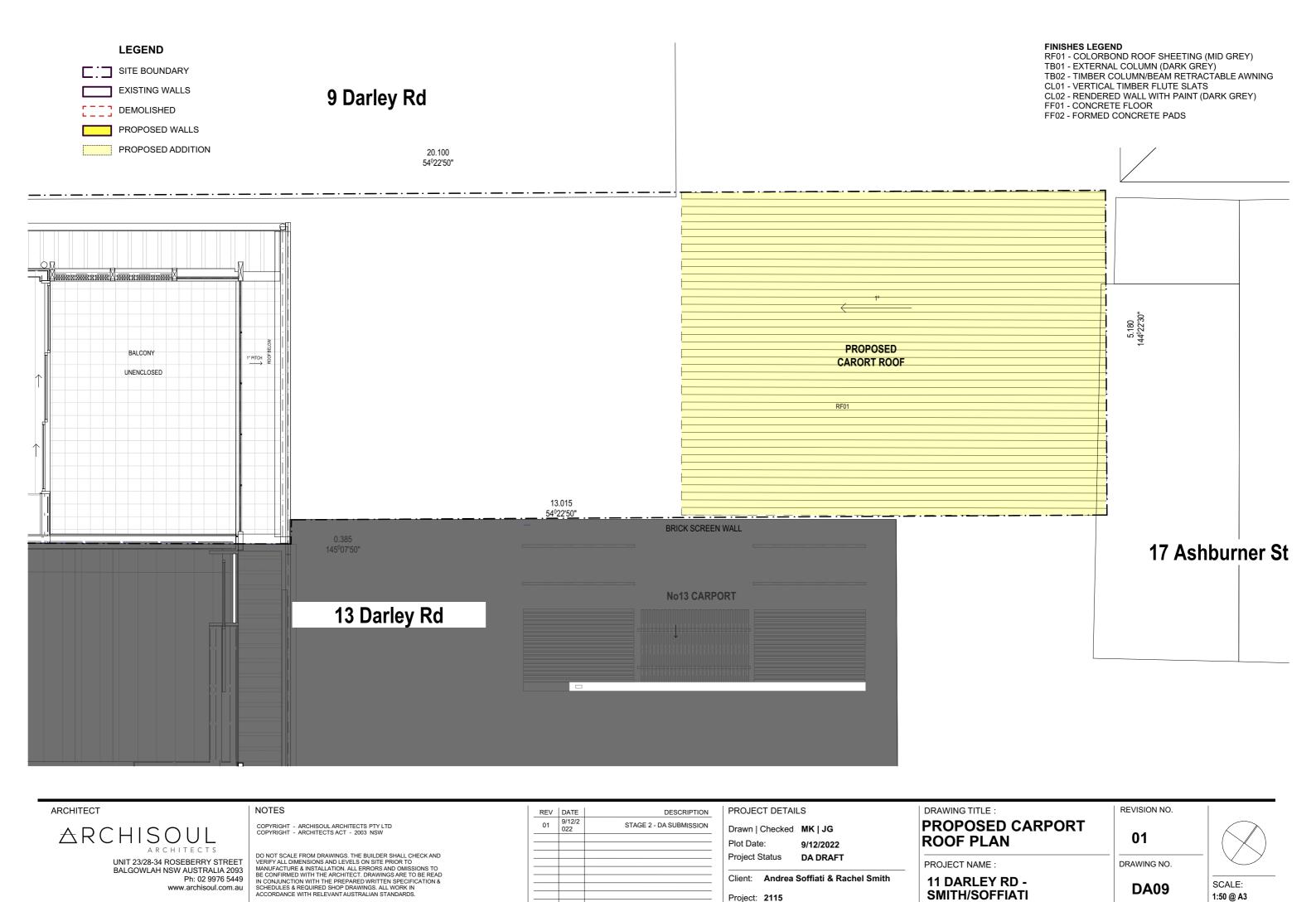
01 DRAWING NO.

REVISION NO.



DA07 1:200 @ A3





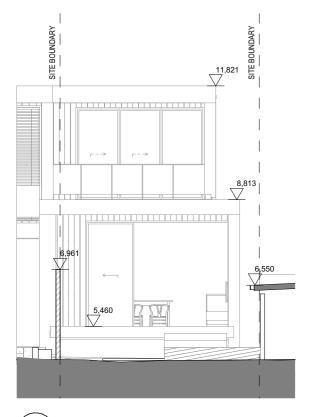
Project: 2115

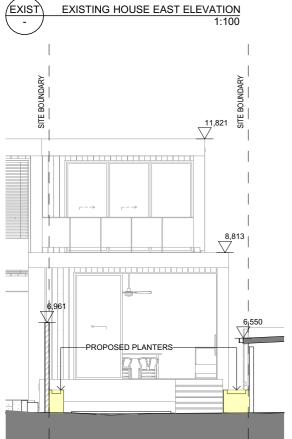
DA09

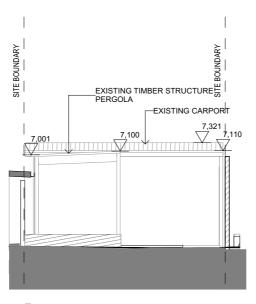
1:50 @ A3

SMITH/SOFFIATI

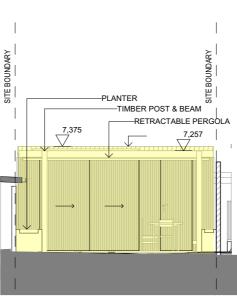
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LEGEND

SITE BOUNDARY

EXISTING WALLS

DEMOLISHED

PROPOSED WALLS

PROPOSED ADDITION

FINISHES LEGEND

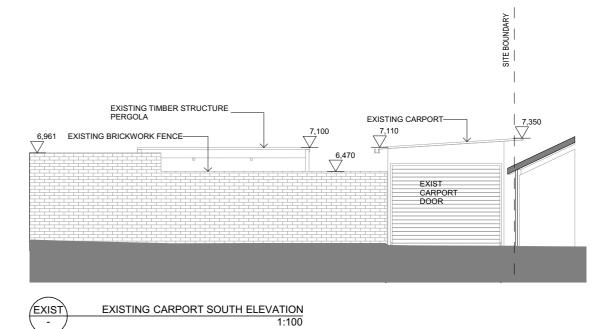
RF01 - COLORBOND ROOF SHEETING (MID GREY)

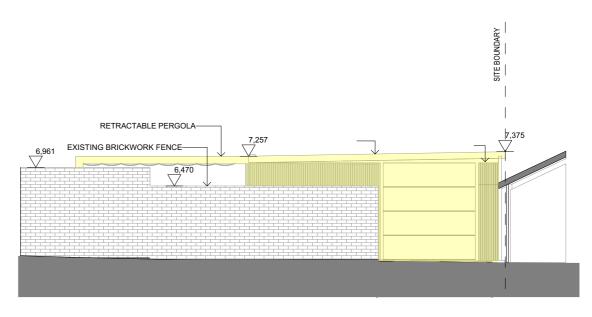
TB01 - EXTERNAL COLUMN (DARK GREY)
TB02 - TIMBER COLUMN/BEAM RETRACTABLE AWNING

CL01 - VERTICAL TIMBER FLUTE SLATS

CL02 - RENDERED WALL WITH PAINT (DARK GREY)

FF01 - CONCRETE FLOOR FF02 - FORMED CONCRETE PADS





PROP PROPOSED GARAGE SOUTH ELEVATION

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PROPOSED HOUSE EAST ELEVATION

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REV	DATE	DESCRIPTION
01	9/12/2 022	STAGE 2 - DA SUBMISSION

PROJECT DETAILS Drawn | Checked MK | JG

Project Status DA DRAFT

Client: Andrea Soffiati & Rachel Smith

Project: 2115

DRAWING TITLE: **ELEVATIONS**

PROJECT NAME: 11 DARLEY RD -

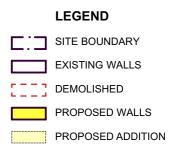
SMITH/SOFFIATI

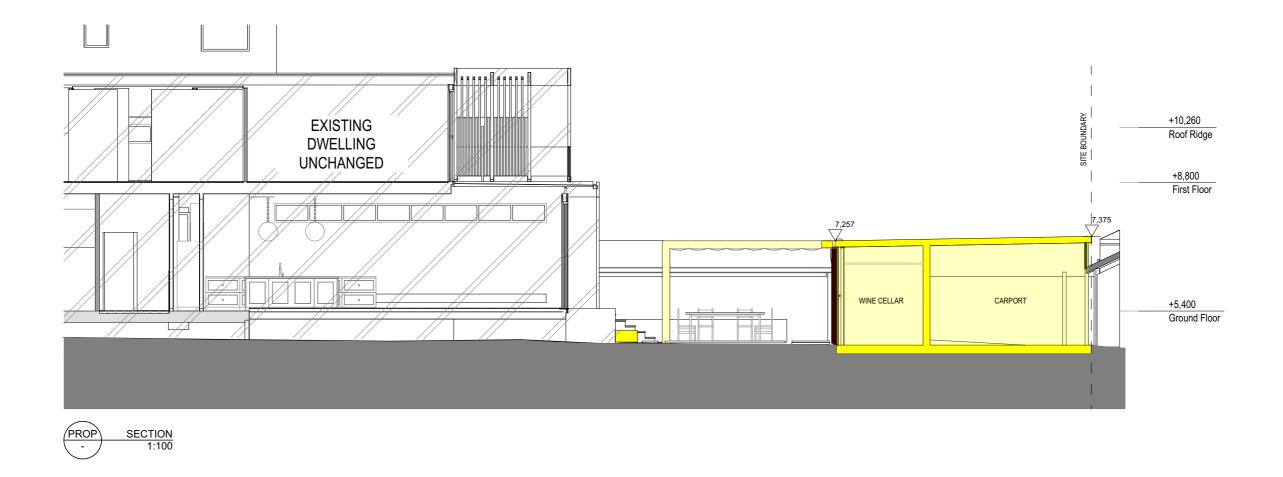
01 DRAWING NO.

REVISION NO.

DA10

SCALE: 1:100 @ A3





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REV	DATE	DESCRIPTION
01	9/12/2 022	STAGE 2 - DA SUBMISSION

Client: Andrea	Soffiati & Rachel Smith
Project Status	DA DRAFT
Plot Date:	9/12/2022
Drawn Checked	MK JG
PROJECT DETAIL	LS

Project: 2115

DRAWI	NG TITLE :			
PRO	POSE	SEC	CTION	
DRO IE	CT NAME :			_
		D D		
	ARLEY TH/SOFF			

REVISION NO. 01 DRAWING NO. **DA11**

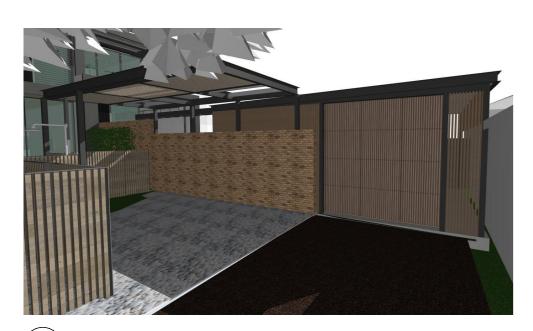
SCALE: 1:100 @ A3







EXISTING PERSPECTIVE C







PROPOSED PERSPECTIVE C

PROPING PERSPECTIVE A

EXISTING PERSPECTIVE A

PROP PROPOSED PERSPECTIVE B

REV DATE

EXISTING PERSPECTIVE B

EXIST

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01	9/12/2 022	STAGE 2 - DA SUBMISSION
	-	
	-	
	_	

DESCRIPTION

PROJECT DETAILS Drawn | Checked MK | JG

Plot Date: 9/12/2022 Project Status DA DRAFT

Client: Andrea Soffiati & Rachel Smith

Project: 2115

DRAWING TITLE :

3D VIEWS

PROJECT NAME :

11 DARLEY RD -SMITH/SOFFIATI REVISION NO.

01

DRAWING NO.

DA12



EXIST

EXIST SHADOW DIAGRAM - 22 DEC - 9AM



EXIST SHADOW DIAGRAM - 22 DEC - 12PM



EXIST

EXIST SHADOW DIAGRAM - 22 DEC - 3PM

ARCHISOUL

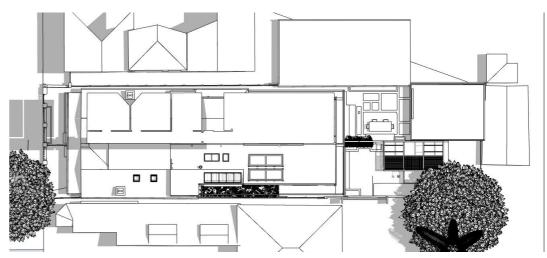
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	REV	DATE	DESCRIPTION
	01	9/12/2 022	STAGE 2 - DA SUBMISSION
- 1			





PROP SHADOW DIAGRAM - 22 DEC - 12PM



PROP -

PROP SHADOW DIAGRAM - 22 DEC - 3PM

PROJECT DETAILS

Drawn | Checked MK | JG 9/12/2022 DA DRAFT Project Status

Client: Andrea Soffiati & Rachel Smith

Project: 2115

DRAWING TITLE:

SUMMER SOLSTICE SHADOW DIAGRAMS

PROJECT NAME :

11 DARLEY RD -SMITH/SOFFIATI REVISION NO.

01

DRAWING NO.

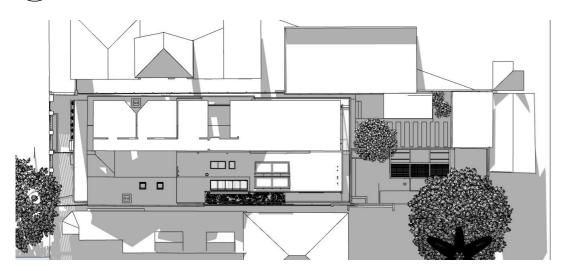
DA13



EXIST SHADOW DIAGRAM - 22 JUNE - 9AM



EXIST EXIST SHADOW DIAGRAM - 22 JUNE - 12PM



EXIST

EXIST SHADOW DIAGRAM - 22 JUNE - 3PM

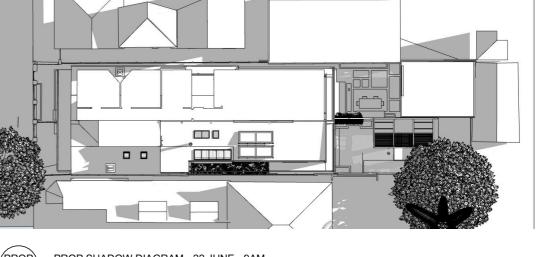
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DESCRIPTION	DATE	REV	
STAGE 2 - DA SUBMISSION	9/12/2 022	01	
			- 1



PROP SHADOW DIAGRAM - 22 JUNE - 9AM



PROP PROP SHADOW DIAGRAM - 22 JUNE - 12PM



PROP

PROP SHADOW DIAGRAM - 22 JUNE - 3PM

PROJECT DETAILS

Drawn | Checked MK | JG 9/12/2022 Project Status DA DRAFT

Client: Andrea Soffiati & Rachel Smith

Project: 2115

DRAWING TITLE:

WINTER SOLSTICE SHADOW DIAGRAMS

PROJECT NAME:

11 DARLEY RD -SMITH/SOFFIATI REVISION NO.

01

DRAWING NO.

DA14



DOOR SCHEDULE			
ID	D01	D02	DG
Туре	SOLID HINGED DOOR W/ TIMBER SLAT CLADDING	EXTERNAL SLIDING DOOR W/ TIMBER SLAT CLADDING	VERTICAL SLIDING ROLLER GARAGE DOOR
3D Front View	•		
Height	2,600	2,600	2,600
Width	850	2,670	2,500
Frame Material	TIMBER FRAME	FRAMELESS	FRAMELESS
Finish	SOLID TIMBER W/ VERTICAL TIMBER FLUTE SLATS	VERTICAL TIMBER FLUTE SLATS	SOLID PANEL W/ VERTICAL TIMBER FLUTE SLATS



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REV	DATE	DESCRIPTION
01	9/12/2 022	STAGE 2 - DA SUBMISSION

PROJECT DETAILS

Drawn | Checked MK | JG Plot Date: 9/12/2022 Project Status DA DRAFT

Client: Andrea Soffiati & Rachel Smith

Project: 2115

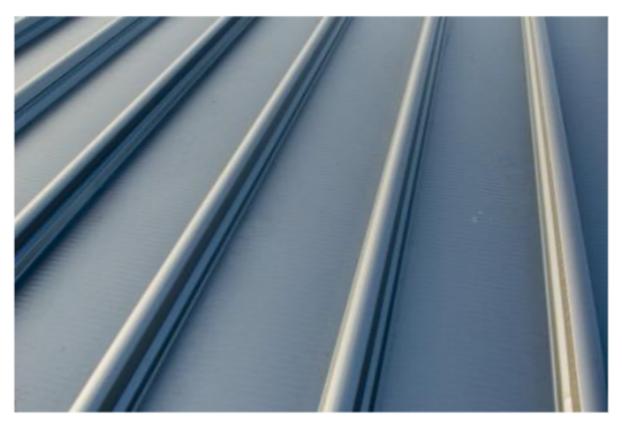
DRAWING TITLE : DOOR SCHEDULE

PROJECT NAME :

11 DARLEY RD -SMITH/SOFFIATI REVISION NO. 01

DRAWING NO.

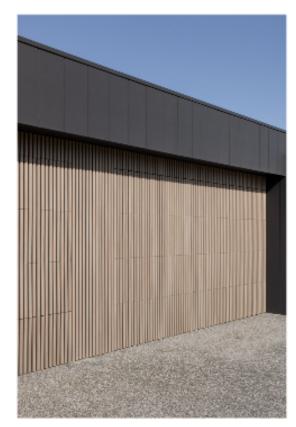
DA15



COLORBOND ROOF SHEETING RF01



RETRACTABLE AWNING WITH TIMBER COLUMN/BEAM CONSTRUCTION



TIMBER SLATTED GARAGE ROLLER DOOR



TIMBER SLATTED SLIDING DOOR & CLADDING CL01

FINISHES LEGEND

RF01 - COLORBOND ROOF SHEETING (MID GREY)
TB01 - EXTERNAL COLUMN (DARK GREY)
TB02 - TIMBER COLUMN/BEAM RETRACTABLE AWNING
CL01 - VERTICAL TIMBER FLUTE SLATS

CL02 - RENDERED WALL WITH PAINT (DARK GREY) FF01 - CONCRETE FLOOR

FF02 - FORMED CONCRETE PADS

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REV	DATE	DESCRIPTION
01	9/12/2 022	STAGE 2 - DA SUBMISSION

PROJECT DETAILS

Drawn | Checked MK | JG Plot Date: 9/12/2022 Project Status DA DRAFT

Client: Andrea Soffiati & Rachel Smith

Project: 2115

DRAWING TITLE: FINISHES SCHEDULE

11 DARLEY RD -SMITH/SOFFIATI

PROJECT NAME :

REVISION NO.

01

DRAWING NO.

DA16



DA DOCUMENTATION

Proposed Landscape Design

CLIENT

Rachel Smith & Andrea Soffiati

ADDRESS

11 Darley Road, Manly, NSW 2095



SITE LOCATION

REFER DRAWING C2 REAR COURTYARD PLAN EXISTING REAR GARAGE FL 4.50 LANEWAY WINE CELLAR FL 4.50 PERGOLA (SHOWN ABOVE) RL 4.50_ DECK RL 5.46 LIVING ROOM FL 5.46 PROPOSED DWELLING LOT 109 / DP1232519 221.2m2 \bigcirc ENTRY FL 5.47 PATIO FL 5.45 FRONT COURTYARD

CONTOUR

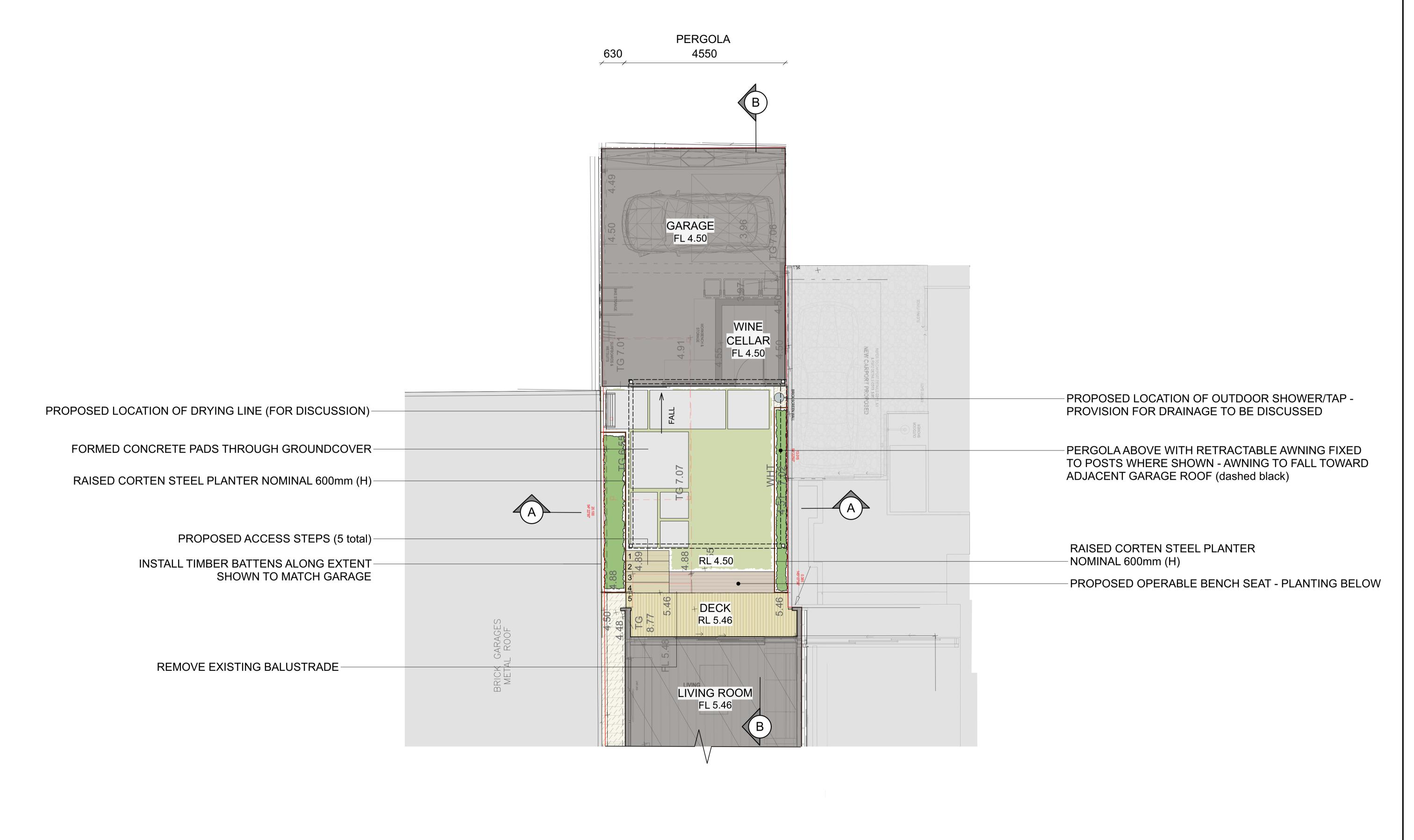
PO Box 698 MONA VALE NSW 1660 Tel: 0434 500 705 - AIDLM Rachel Smith & Andrea Soffiati 11 Darley Road, Manly NSW 2095 NOTES

comply with building code of australia and all relevant australian standards all works shall be in accordence with development application and construction certificate conditions of consent all levels to ahd refer to survey information relating to existing site data verify all dimensions prior to works do not scale from drawings use figured dimensions in preference to scaling refer all descripancies to landscape architect for determination this drawing is copyright and must not be retained, copied, used or reproduced in any way without prior written permission of contour landscape architects.

DARLEY ROAD

DATE	REV. ISSUE
22/06/22	Α
12/08/22	В
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		SITE PLAN
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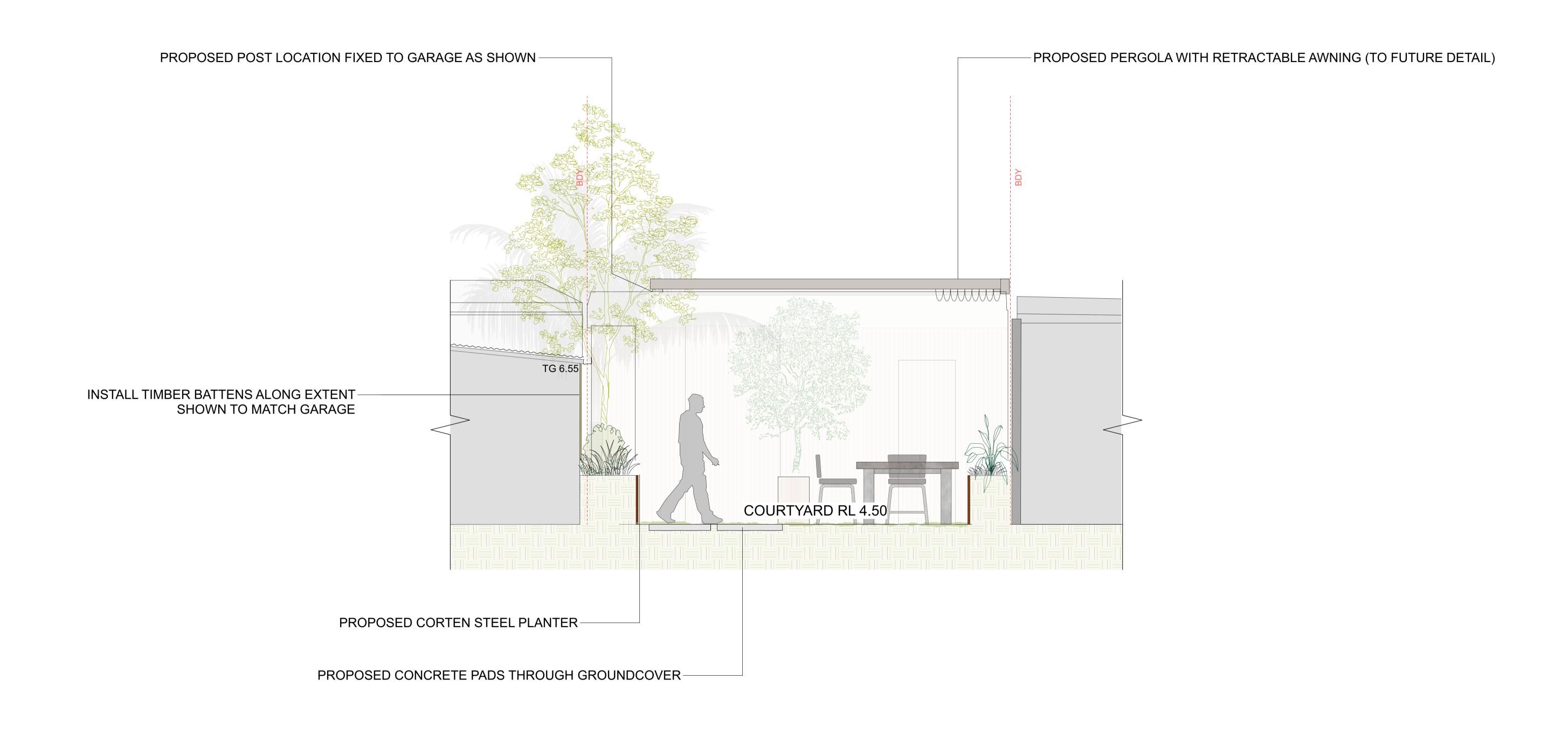
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CONTOUR LANDSCAPE ARCHITECTURE

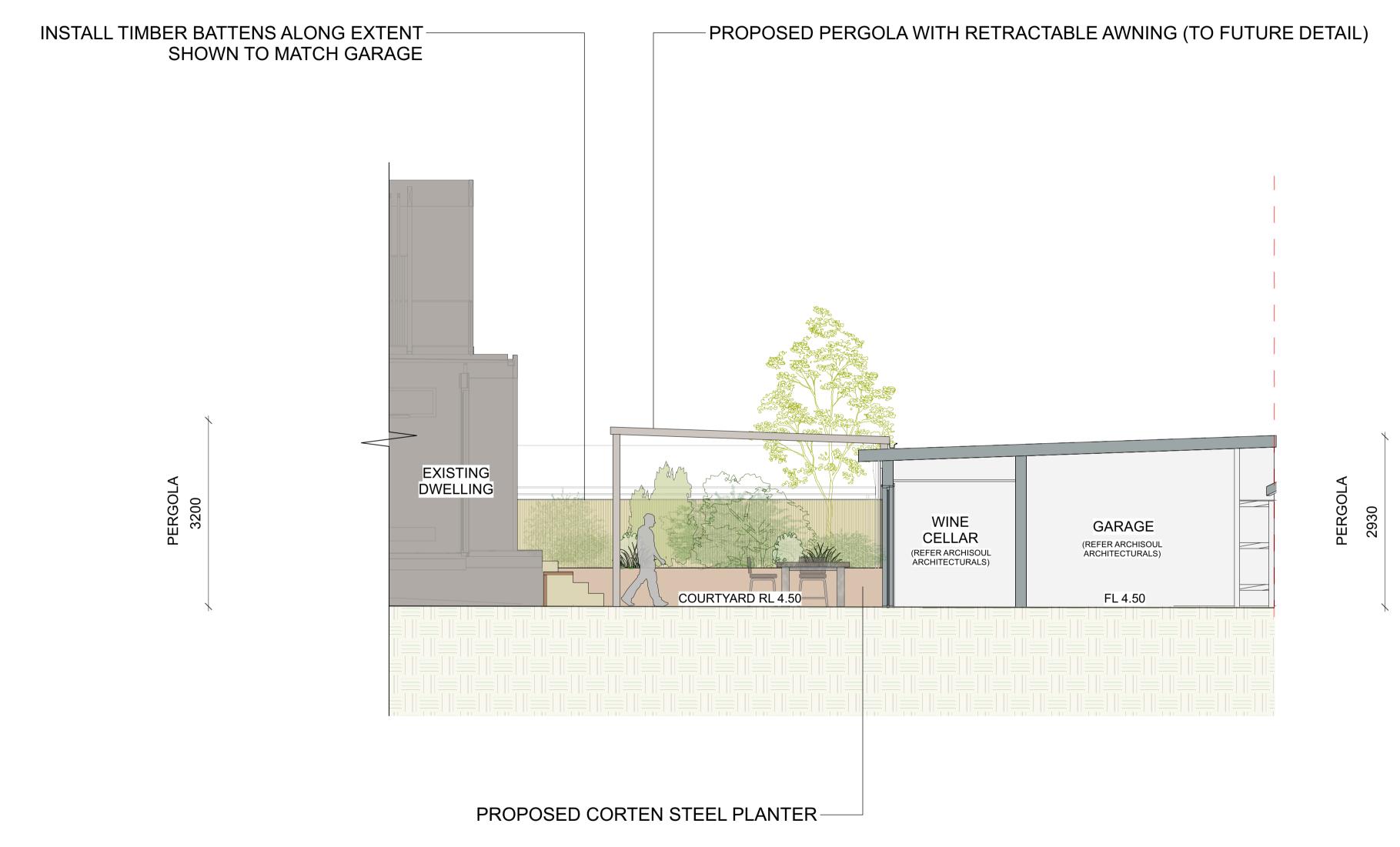
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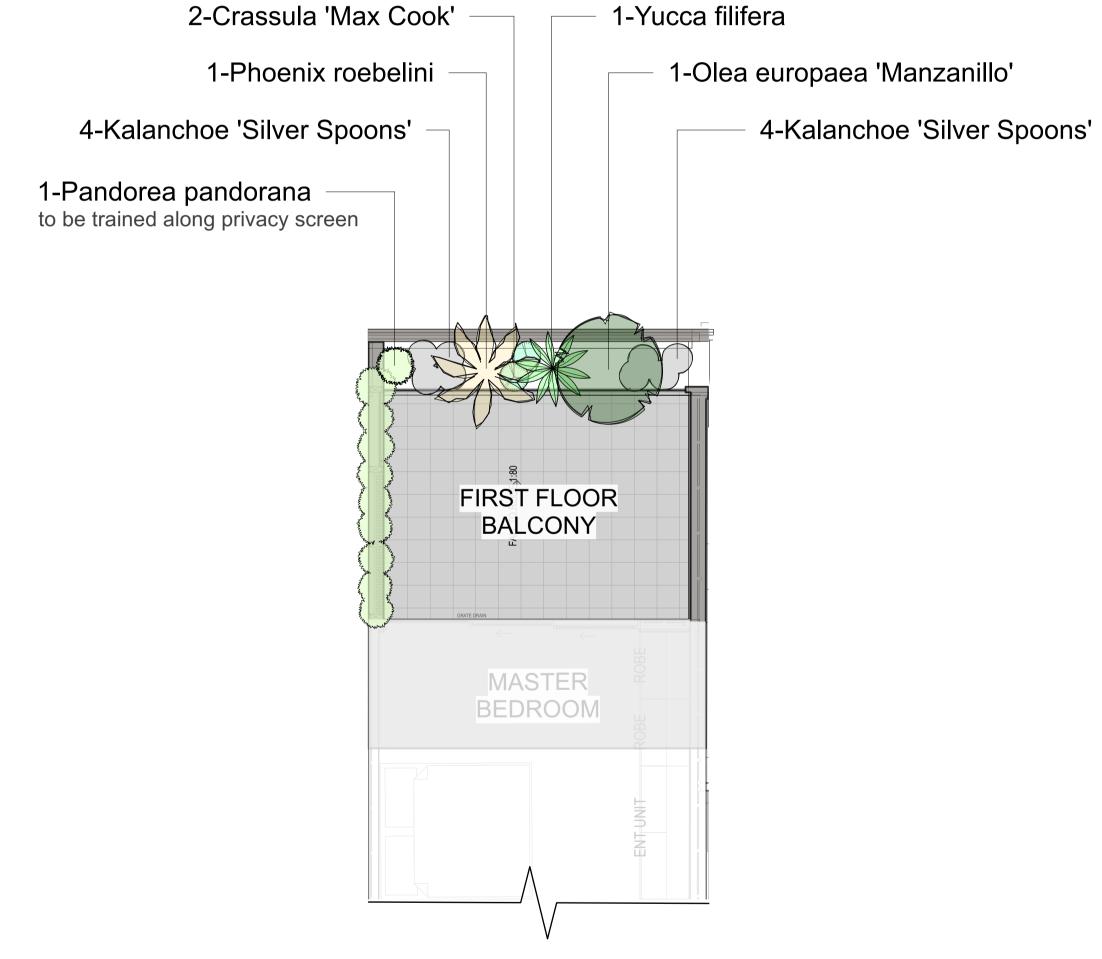
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PLANT SCHEDULE				
Botanic Name	Common Name	Quantity	Pot Size	Designed Height
Banksia integrifolia	Coastal Banksia	1	100lt	3000
Crassula 'Max Cook'	Crassula Max Cook	3	300mm	1000
Crassula ovata 'Blue Bird'	Crassula Blue Bird	2	300mm	1000
Dichondra 'Silver Falls'	Silver Falls	2	140mm	100
Heliconia 'Hot Rio Nights'	Heliconia 'Hot Rio Nights'	4	300mm	1500
Howea forsteriana	Kentia Palm	1	75lt	5000
Kalanchoe 'Silver Spoons'	Silver Spoons	11	200mm	500
Lomandra 'Tanika'	Dwarf Lomandra	6	200mm	500
Olea europaea 'Manzanillo'	Manzanillo Olive	1	200mm	3000
Pandorea pandorana	Wonga Wonga Vine	1	200mm	300
Philodrendron 'Rojo Congo'	Philodendron Rojo Congo	6	200mm	600
Phoenix roebelini	Dwarf Date Palm	1	45lt	3000
Sansevieria trifasciata	Mother in Law Tongue	4	200mm	1000
Yucca filifera	Yucca	1	300mm	1500
Zamia furfuracea	Cardboard Plant	1	400mm	1000
Zoysia tenuifolia	No-Mow Grass	40	140mm	100





FIRST FLOOR PLANTING PLAN 1:50 @ A1

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Banksia integrifolia



Crassula Max Cook



Crassula ovata 'Blue Bird'



Dichondra 'Silver Falls'



Heliconia 'Hot Rio Nights'



Howea forsteriana



Kalanchoe 'Silver Spoons'



Lomandra 'Tanika'



Olea europaea 'Manzanillo'



Pandorea pandorana



Philodendron 'Rojo Congo'



Phoenix roebelini



Sansevieria trifasciata



Viola hederaceae



Yucca filifera



Zoysia tenufolia

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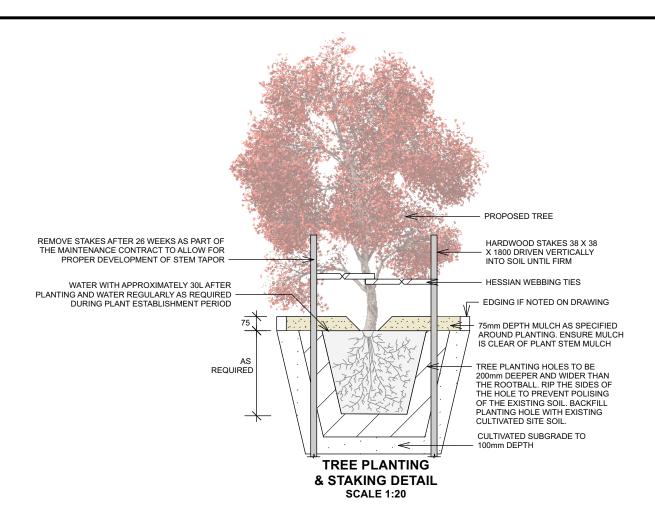
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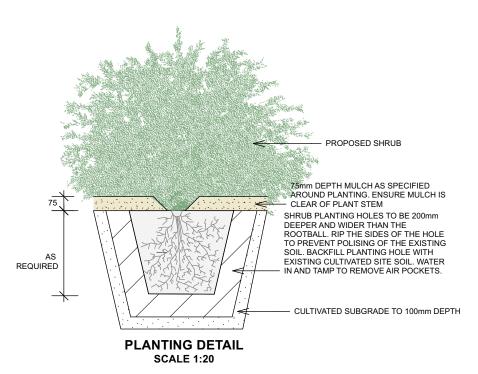
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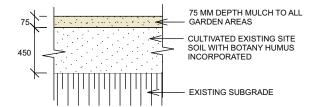
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DATE:	06/04/23	DRAWING PLANT PALETTE
SCALE:	N/A	DRAWING NO: C6
DRAWN:	SEC	REV: D







SOIL TO GARDEN AREAS SCALE 1:20

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LANDSCAPE SPECIFICATION

ALL LANDSCAPE WORKS SHALL BE EXECUTED BY A COMPETENT LANDSCAPE CONTRACTOR EXPERIENCED IN HORTICULTURAL PRACTICE AND LANDSCAPE CONSTRUCTION. THE CONTRACTOR SHALL HOLD A CURRENT NSW STRUCTURAL LANDSCAPE LICENSE OR BE A MEMBER OF THE NSW LANDSCAPE CONTRACTORS ASSOCIATION. IRRIGATION WORKS SHALL BE EXECUTED BY A CONTRACTOR SUITABLY QUALIFIED AND LICENSED BY THE NSW DEPARTMENT OF FAIR TRADING FOR LIRBAN IRRIGATION

THESE GENERAL LANDSCAPE SPECIFICATIONS SHALL BE READ IN CONJUNCTION WITH DETAILED DOCUMENTATION PREPARED BY CONTOUR LANDSCAPE ARCHITECTURE, STRUCTURAL ENGINEERING PLANS, STORMWATER ENGINEER PLANS, ARCHITECTURAL DUCUMENTATION AND ALL D.A. CONSENT CONDITIONS

LANDSCAPE HARDWORKS DEMOLITION, BULK EARTHWORKS, RETAINING WALLS, STONE FACING, PLANTER BOXES, PAVING, DRAINAGE, WATERPROOFING, FENCING AND ALL SITE CONSTRUCTION INDICATED SHALL BE EXECUTED IN ACCORDANCE WITH LANDSCAPE ARCHITECTURAL, ARCHITECTURAL + ENGINEERING SPECIFICATIONS LANDSCAPE WORKS SHALL GENERALLY BE UNDERTAKEN IN ACCORDANCE WITH DA APPROVED PLANS AND CONSTRUCTION CERTIFICATE PLANS AND DETAILS AND SHALL BE COMPLIANT WITH:

AS4970-2009 Protection of trees on development sites AS 4970-2009/Amdt 1-2010 Protection of trees on development sites AS4373-2007 Pruning of amenity trees AS4419-2003 Soils for landscaping and garden use AS4454-2012 Composts, soil conditioners and mulches AS3743-2003 Potting mixes AS/NZ3500:2015 Plumbing and drainage Set

BEFORE LANDSCAPE WORK IS COMMENCED THE LANDSCAPE CONTRACTOR IS TO ESTABLISH THE POSITION OF ALL SERVICES LINES AND ENSURE TREE PLANTING IS CARRIED OUT AT LEAST 3 METRES AWAY FROM THESE SERVICES. SERVICES LIDS, VENTS AND HYDRANTS SHALL BE LEFT EXPOSED AND NOTE COVERED BY ANY LANDSCAPE FINISHES (TURNING, PAVING, GARDEN BEDS ETC.) FINISH ADJOINING SURFACES FLUSH WITH PIT LIDS.

MANAGEMENT OF TREE PROTECTION (AS REQUIRED)

A QUALIFIED AND APPROVED ARBORIST IS TO BE CONTRACTED TO UNDERTAKE OR MANAGE THE INSTALLATION OF PROTECTIVE FENCING, AND TO UNDERTAKE SUCH MEASURES AS THEY DEEM APPROPRIATE TO PRESERVE THE SUBJECT TREES TO BE RETAINED. THE ARBORIST IS TO BE RETAINED FOR THE ENTIRE CONTRACT PERIOD TO UNDERTAKE ONGOING MANAGEMENT AND REVIEW OF THE TREES.

CARE SHALL BE TAKEN DURING THE ENTIRE PERIOD OF WORKS TO ENSURE NO DAMAGE TO ROOTS OR CANOPIES OF TREES TO BE RETAINED. NO STORING OF BUILDING MATERIALS, WASHING OF EQUIPMENT, DISPOSAL OF CHEMICALS, ETC. SHALL BE PERMITTED BENEATH CANOPY OF TREES TO BE RETAINED.. NO EXCAVATION OR TRENCHING SHOULD OCCUR BENEATH CANOPIES EXCEPT FOR COUNCIL-APPROVED WORKS, ALL EXCAVATION BENEATH TREE CANOPIES SHALL BE UNDERTAKEN TO COUNCIL / PROJECT ARBORIST INSTRUCTIONS. PROJECT ARBORIST SHALL BE ADVISED AND ATTEND SITE IF TREE ROOTS GREATER THAN 50MM DIAMETER ARE ENCOUNTERED.

PREPARATION BY BUILDER

BUILDER SHALL REMOVE ALL EXISTING CONCRETE PATHWAYS, FENCES, FOOTINGS, WALLS, ETC. NOT NOTATED TO BE RETAINED AND COMPLETE ALL NECESSARY EXCAVATION WORK PRIOR TO COMMENCEMENT ON SITE BY LANDSCAPE CONTRACTOR. BUILDER SHALL ALSO INSTALL NEW RETAINING WALLS, KERBS, LAYBACK KERB, CROSSOVER, PATHWAYS, ETC. AND MAKE GOOD ALL EXISTING KERBS, GUTTERS, ETC. AS NECESSARY AND TO APPROVAL OF COUNCIL. BUILDER SHALL ENSURE THAT A MINIMUM 600MM OF TOPSOIL IN GARDEN AREA AND A MINIMUM 150MM OF TOPSOIL IN LAWN AREAS EXISTS. SHOULD REQUIRED DEPTHS NOT EXIST BUILDER SHALL CONTACT LANDSCAPE ARCHITECT AND ASK FOR INSTRUCTIONS PRIOR TO COMPLETION OF EXCAVATION WORKS.

ALL LEVELS AND SURFACE DRAINAGE SHALL BE DETERMINED BY OTHERS AND APPROVED ON SITE BY LANDSCAPE CONTRACTOR.

SOIL PREPARATION + PLANTING SOILS

CULTIVATE TO A DEPTH OF 450MM ALL PROPOSED GARDEN AREAS AND 300mm FOR ALL LAWN AREA. DO NOT CULTIVATE BENEATH EXISTING TREES TO BE RETAINED. IN AREAS WHERE FILL IS REQUIRED GAIN REQUIRED SHAPES AND LEVELS USING A PREMIUM GRADE SOIL MIX. IN AREAS WHERE EXCAVATION IS REQUIRED (IF IN CLAY) OVER EXCAVATE AS REQUIRED TO ALLOW FOR INSTALLATION OF 600MM DEPTH OF PREMIUM GRADE TOPSOIL MIX TO GARDEN AREAS AND 300M DEPTH OF PREMIUM GRADE TOPSOIL MIX TO LAWN AREAS.

SUBGRADE PREPARATION

BEFORE LAYING TOPSOIL, THE FOLLOWING SUBGRADE TREATMENT MUST BE APPLIED TO ALL FINISHED SUBGRADE AREAS:

- 1. FAIR + TRIM TO RELATIVE LEVEL TO ACCOMMODATE REQUIRE OVERALL SOIL DEPTH
- 2 REMOVE ROCK >100mm DIAMETER
- 3. REMOVE RUBBISH SUCH AS CONSTRUCTION GENERATED WASTER, PLASTICS, METALS, GLASS
- 4. APPLY GYPSUM AND LIME AT MANUFACTURER'S RECOMMENDED RATES
- 5. LOOSEN SUBGRADE TO 200mm DEPTH LEAVING SURFACE 'KEYED' TO ACCEPT TOPSOIL

CONTRACTOR SHALL UNDERTAKE PH TESTS AND ADJUST WHERE NECESSARY TO ACHIEVE A PH WITHIN THE 5.5 - 7.5 RANGE. MIX IN GYPSUM AT MANUFACTURER'S RECOMMENDED RATES IF CLAY SOIL ENCOUNTERED.

UNDERTAKE ALL REQUIRED ACTION TO ENSURE THAT NO ROOTBALLS OF PROPOSED PLANTS SIT IN CLAY WELLS AND THAT ALL GARDEN AREAS AND LAWN AREAS DRAIN SATISFACTORILY. NOTE IT IS INTENDED THAT WHEREVER POSSIBLE EXISTING LEVELS SHALL NOT BE ALTERED THROUGH GARDEN AND LAWN AREAS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE END RESULT OF THE PROJECT IS THAT ALL LAWN AND GARDEN AREAS DRAIN SUFFICIENTLY (BOTH SURFACE AND SUBSTRATE), ARE AT REQURIED FINISH LEVELS AND HAVE SUFFICIENT SOIL DEPTHS TO ENABLE LAWN AND PLANTS TO THRIVE AND GROW. SHOULD ALTERNATIVE WORKS TO THOSE SPECIFIED REQUIRED TO ACHIEVE THAT RESULT, CONTRACTOR SHALL INFORM BUILDER AT TIME OF TENDER AND REQUEST INSTRUCTIONS

PLANTING

ALL PLANTS SHALL BE WELL GROWN AND DISEASE FREE. PLANTING SHALL BE IN ACCORDANCE WITH PLANTING SCHEDULE. TREES SHALL BE GROWN TO NATSPEC. GENERAL PLANT MATERIAL (EXOTICS AND ENDEMIC) SUPPLY PLANTS IN ACCORDANCE WITH PLANTING SCHEDULE. NO SUBSTITUTIONS ARE PERMITTED WITHOUT THE CONSENT OF THE SUPERVISING LANDSCAPE ARCHITECT. PLANT MATERIAL SHALL BE GROWN TO NATSPEC AND SHALL BE VIGOROUS, WELL ESTABLISHED, FREE OF DISEASE AND PESTS, HARDENED OFF, TRUE TO FORM, AND GROWN IN THEIR FINAL CONTAINERS FOR NOT LESS THAN 12 WEEKS. TREES SHALL HAVE A SINGLE LEADING SHOOT AND POTS FREE FROM WEEDS

IMMEDIATELY REJECT DRIED OUT, DAMAGED OR UNHEALTHY PLANT MATERIAL BEFORE PLANTING.

PLANT HOLES SHALL BE DUG APPROXIMATELY TWICE THE WIDTH AND TO 100MM DEEPER THAN PLANT ROOTBALLS THAT THEY ARE TO RECEIVE. BASE AND SIDES OF HOLE SHALL BE FURTHER LOOSENED. FERTILISER, FOLLOWED BY 100MM DEPTH OF TOPSOIL MIX SHALL THEN BE PLACED INTO BASE OF HOLE AND LIGHTLY CONSOLIDATED. BASE OF HOLE SHALL THEN BE WATERED. REMOVE PLANT CONTAINER AND INSTALL PLANT INTO HOLE. ROOTBALL SHALL BE BACKFILLED WITH SURROUNDING TOPSOIL AND TOPSOIL FIRMED INTO PLACE. AN APPROVED SHALLOW DISH SHALL BE FORCED TO CONTAIN WATER AROUND BASE OF STEM. BASE OF STEM OF PLANT SHALL FINISH FLUSH WITH FINISHED SOIL LEVEL. ONCE INSTALLED PLANT SHALL BE THOROUGHLY WATERED AND MAINTAINED FOR THE DURATION OF THE CONTRACT.

STAKES + TIES

THE LANDSCAPE CONTRACTOR SHALL REPLACE OR ADJUST PLANT STAKES, AND TREE GUARDS AS NECESSARY OR AS DIRECTED BY THE LANDSCAPE ARCHITECT

STAKES SHALL BE STRAIGHT HARDWOOD, FREE FROM KNOTS AND TWISTS, POINTED AT ONE END AND SIZED ACCORDING TO THE SIZE OF PLANTS TO BE STAKED:

- 5-15 LITRE SIZE PLANT 1X 1200 X 25 X 25MM
- 35-75 LITRE SIZE PLANT 2X 1500 X 38 X 38MM
- 100+ LITRE SIZE PLANT 3X 1800 X 50 X 50MM

TIES SHALL BE 50MM WIDE HESSIAN WEBBING OR APPROVED EQUIVALENT NAILED OR STAPLED TO STAKE. DRIVE STAKES A MINIMUM ONE THIRD OF THEIR LENGTH, AVOIDING DAMAGE TO THE ROOT SYSTEM, ON THE WINDWARD SIDE OF THE PLANT.

AT PLANTING SPREAD SLOW RELEASE FERTILIZER AROUND DRIP LINE OF ALL PLANTS AT MANUFACTURER'S RECOMMENDED RATES GENERAL APPLICATION:

EQUAL TO OSMOCOTE PLUS TRACE ELEMENTS - ALL PURPOSE NPK 19.4 : 1.6 : 6

NATIVE PLANTS: EQUAL TO OSMOCOTE PLUS TRACE ELEMENTS - NATIVE GARDENS NPK 17.9: 0.8: 7.3

SHALL BE WELL-ROTTED BEGETATIVE MATTER OR ANIMAL MANURE, OR OTHER APPROVED MATERIAL, FREE FROM HARMFUL CHEMICALS, GRASS AND WEEK GROWTH AND WITH NEUTRAL PH. PROVIDE A CERTIFICATE OF PROOF OF PH UPON REQUEST.

MULCH ENSURE ALL MULCH IS FREE OF WEED SEED AND VEGETATIVE MATERIAL. PROVIDE SAMPLE OF MULCH FOR CLIENT APPROVAL PRIOR TO DELIVERY.

PLACE MULCH TO REQUIRED DEPTH, (REFER TO DRAWINGS) CLEAR OF PLANT STEMS, AND RAKE TO AN EVEN SURFACE FINISHING 25MM BELOW ADJOINING LEVELS. ENSURE MULCH IS WATERED IN AND TAMPED DOWN DURING INSTALLATION.

EDGING SHALL BE INSTALLED AT THE JUNCTION OF LAWN AND GARDEN AREAS AS INDICATED ON DRAWINGS (REFER TO DETAIL). EDGE SHALL BE FINISHED LEVEL WITH LAWN OR ADJOINING GRAVEL. EDGE

TURF SHALL BE 'SIR WALTER' BUFFALO. TURF ROLLS SHALL BE A MINIMUM OF 25mm THICK SUPPLIED FROM A SPECIALIST GROWER OF CULTIVATED TURF. IT SHALL BE OF EVEN THICKNESS, FREE FROM WEEDS. TURF SHALL BE DELIVERED WITHIN 24HRS OF CUTTING AND LAID WITHIN 24 HRS OF DELIVERY, CONTRACTOR SHALL LAY CLOSE BUTTED IN STRETCHER PATTERN WITH STAGGERED JOINTS TO FINISH FLUSH WITH ADJOINING SURFACES AFTER TAMPING. LIGHTLY TAMP TO AN EVEN SURFACE IMMEDIATELY AFTER LAYING. DO NOT USE ROLLER. ENSURE TURF ROLLS ARE NOT ALLOWED TO DRY OUT AND WATER IMMEDIATELY AFTER LAYING AS NECESSARY TO ENSURE TOPSOIL IS KEPT MOIST TO 100mm DEPTH. PROTECT NEWLY LAID TURF FROM PEDESTRIAN AND VEHICULAR TRAFFIC UNTIL ESTABLISHED. FERTILISE WITHIN 2 WEEKS OF LAYING WITH AN APPROVED LAWN FERTILISER APPLIED TO MANUFACTURER'S RECOMMENDATIONS. APPLY ADDITIONAL FERTILISER AS REQUIRED TO MAINTAIN HEALTHY GROWTH, ONCE ESTABLISHED, MOW TO MAINTAIN GRASS HEIGHT BETWEEN 30-50mm

AT SAME TIME MAKE GOOD ALL EXISTING LAWN AREAS USING SAME LAWN TYPE. LAWNS IN SHADE SHALL BE OVERSOWN WITH AN APPROVED SEED MIX. ALLOW TO RETRIM AND RETURF COUNCIL NATURE STRIP AS REQUIRED

(REFER TO DRAWINGS)

PAVING & CONCRETE WORKS

AREAS TO BE PAVED SHALL BE EXCAVATED OR FILLED TO ALLOW FOR INSTALLATION OF BEDDING MATERIALS. LEVELS AND FALLS SHALL BE AS PER PLAN. SURFACE DRAINAGE ON PAVING SHALL BE TOWARDS GRATED DRAINS INSTALLED BY BUILDER WITH ALL DRAINS CONNECTED TO STORMWATER SYSTEM.

IRRIGATION

(REFER TO DRAWINGS)

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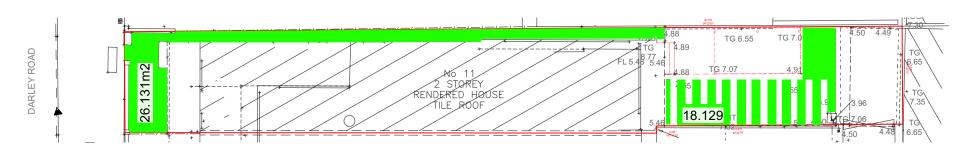
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DEVELOPMENT COMPLIANCE TABLE LANDSCAPED AREA With reference to Manly Development Control Plan 2013 REQ SITE AREA 221.2m2 N/A MINIMUM LANDSCAPED AREA 66.36m2 30% EXISTING LANDSCAPED AREA - 20% 20% 44.26m2 PROPOSED LANDSCAPED AREA - 20% 44.846m2 20.2%



EXISTING LANDSCAPED AREA



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