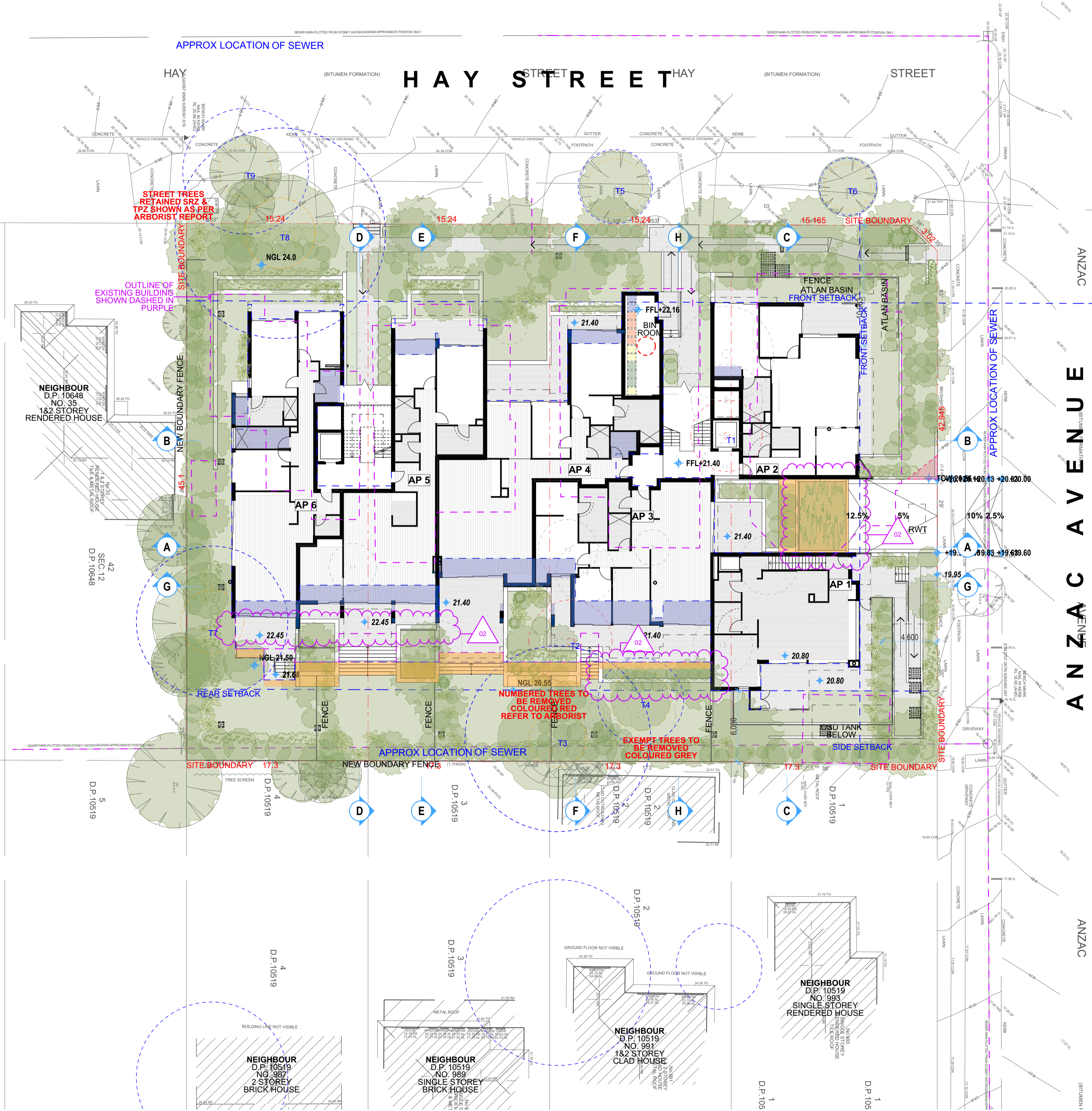


PROCEEDINGS NO. 2024/291256




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 PROCEEDINGS NO: 2024/291256
 DATED: 26 February 2025

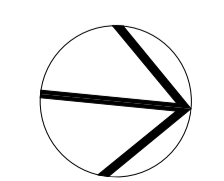
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 01 19/07/24 FOR SUBMISSION BO BB
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TPZ SHOWN IN BLUE
SRZ SHOWN IN YELLOW
PER ARBORIST REPORT

CHANGES TO BUILDING INDICATED BY AREA SHADED IN BLUE
 CHANGES TO BALCONIES & TERRACES INDICATED BY AREA SHADED IN YELLOW

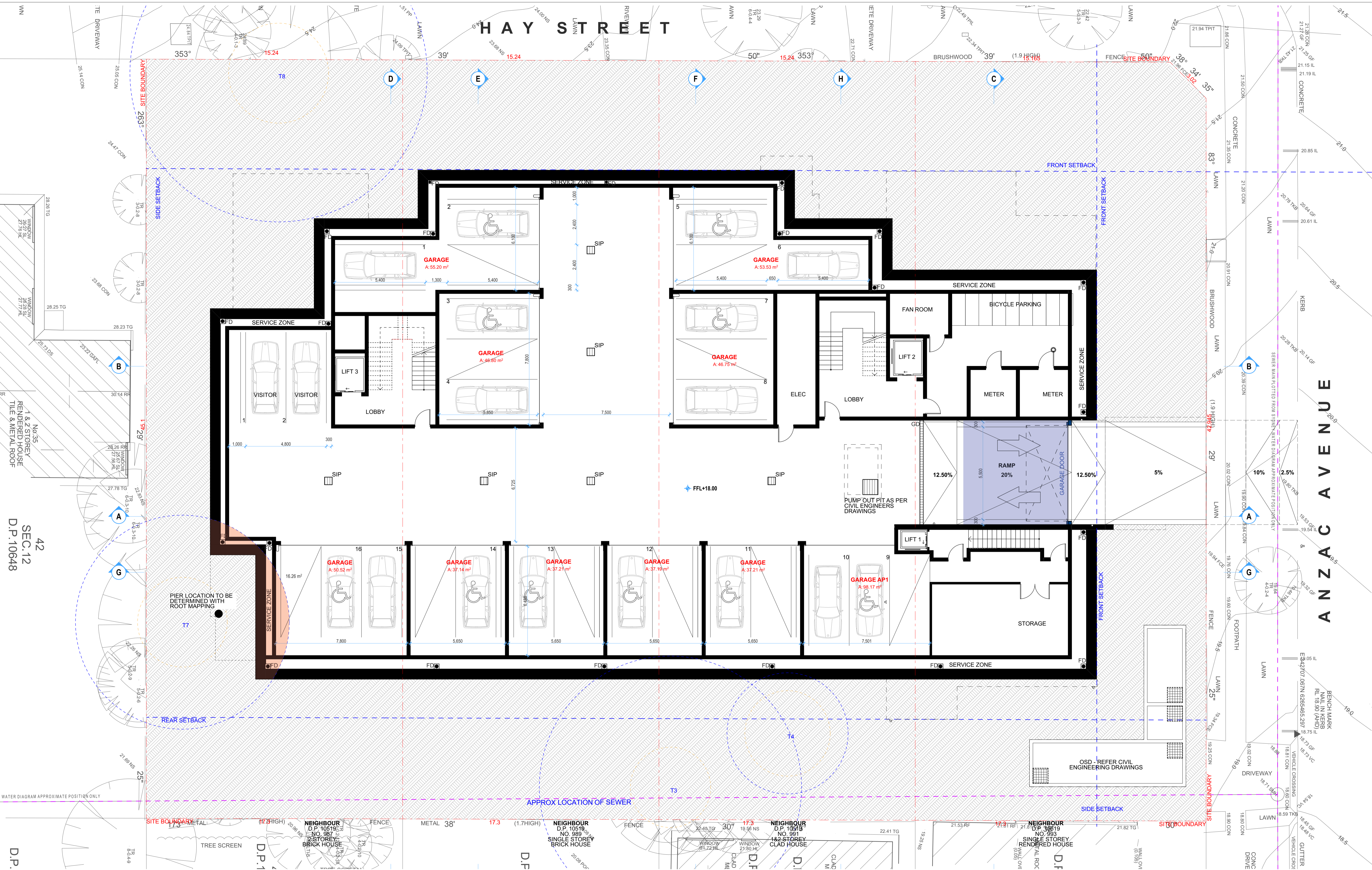
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Client
Collaroy Living Pty Ltd
 Project
COLLARROY LIVING RESIDENCES
 37-43 Hay Street Collaroy NSW 2097
 Status
4.58 APPLICATION

Title
Site Plan
 Drawing No.
0638-MOD104
 Scale
1:200 at A1 size
 Revision
02
 Date
05/12/24



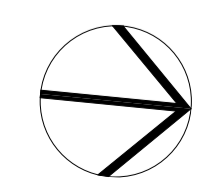
02 05/12/24 C34 AMENDMENTS BG BG
 01 19/07/24 FOR SUBMISSION BG BG
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SRZ SHOWN IN YELLOW
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PROCEEDINGS NO: 2024/291256
DATED: 26 February 2025

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Client
Collaroy Living Pty Ltd
 Project
COLLARROY LIVING RESIDENCES
 37-43 Hay Street Collaroy NSW 2097
 Status
4.58 APPLICATION

Title
Basement Plan
 Drawing No.
0638-MOD105
 Revision
02
 Date
05/12/24

SEC.12
 D.P.10648

D.P.

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 CHANGES TO BALCONIES & TERRACES INDICATED BY AREA SHADED IN YELLOW

TPZ SHOWN IN BLUE
 SRZ SHOWN IN YELLOW
 PER ARBORIST REPORT

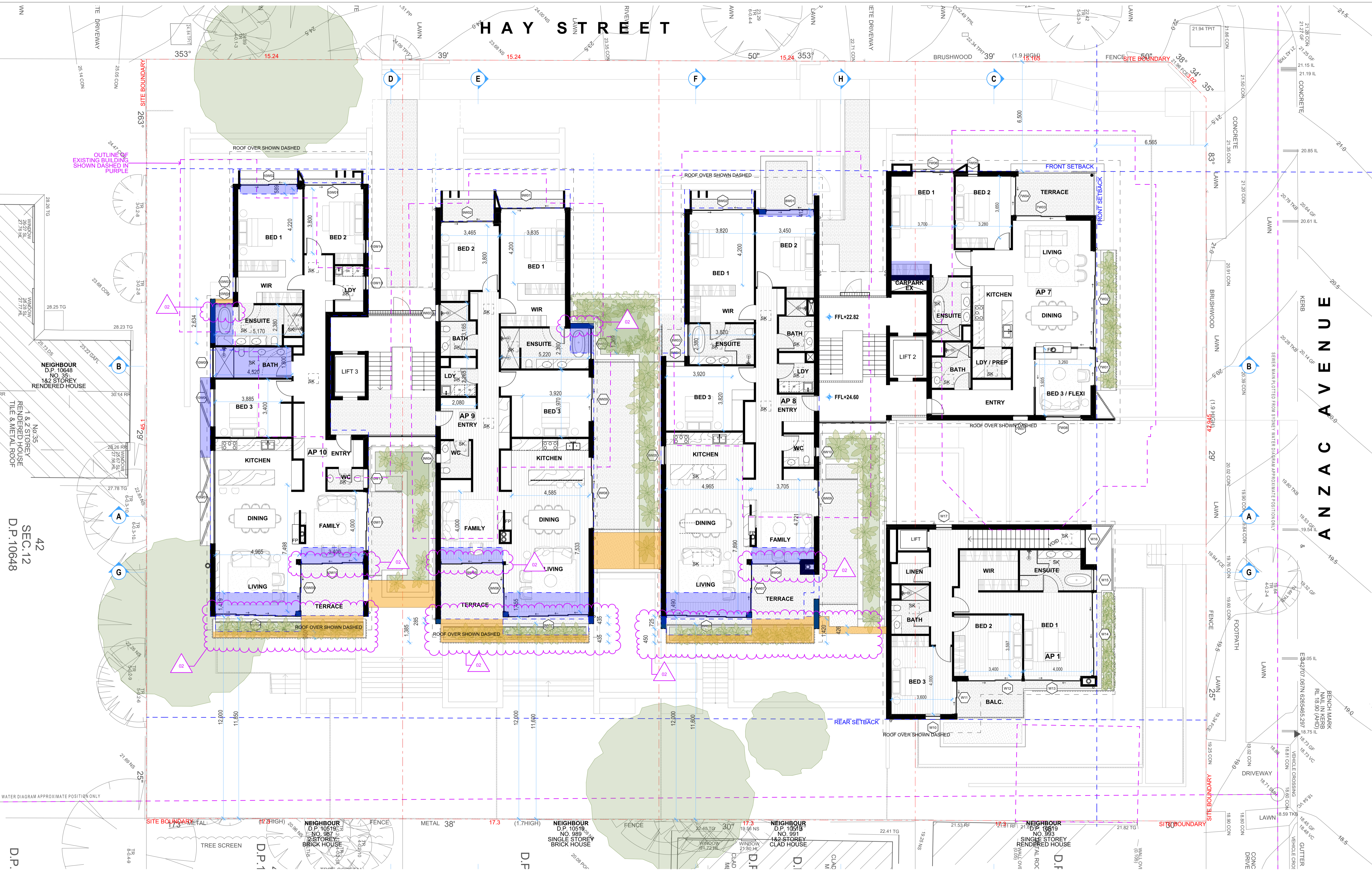
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DATED: 26 February 2025

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Client
Collaroy Living Pty Ltd
 Project
COLLARROY LIVING RESIDENCES
 37-43 Hay Street Collaroy NSW 2097
 Status
4.58 APPLICATION

Title
Level 01 Plan
 Drawing No.
0638-MOD106
 Scale
1:100 at A1 size

Revision
02
 Date
05/12/24



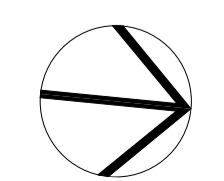
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01	19/07/24	FOR SUBMISSION	BG	BG
Rvr		Drawn	Check	

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 CHANGES TO BALCONIES & TERRACES INDICATED BY AREA SHADED IN YELLOW

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 DATED: 26 February 2025

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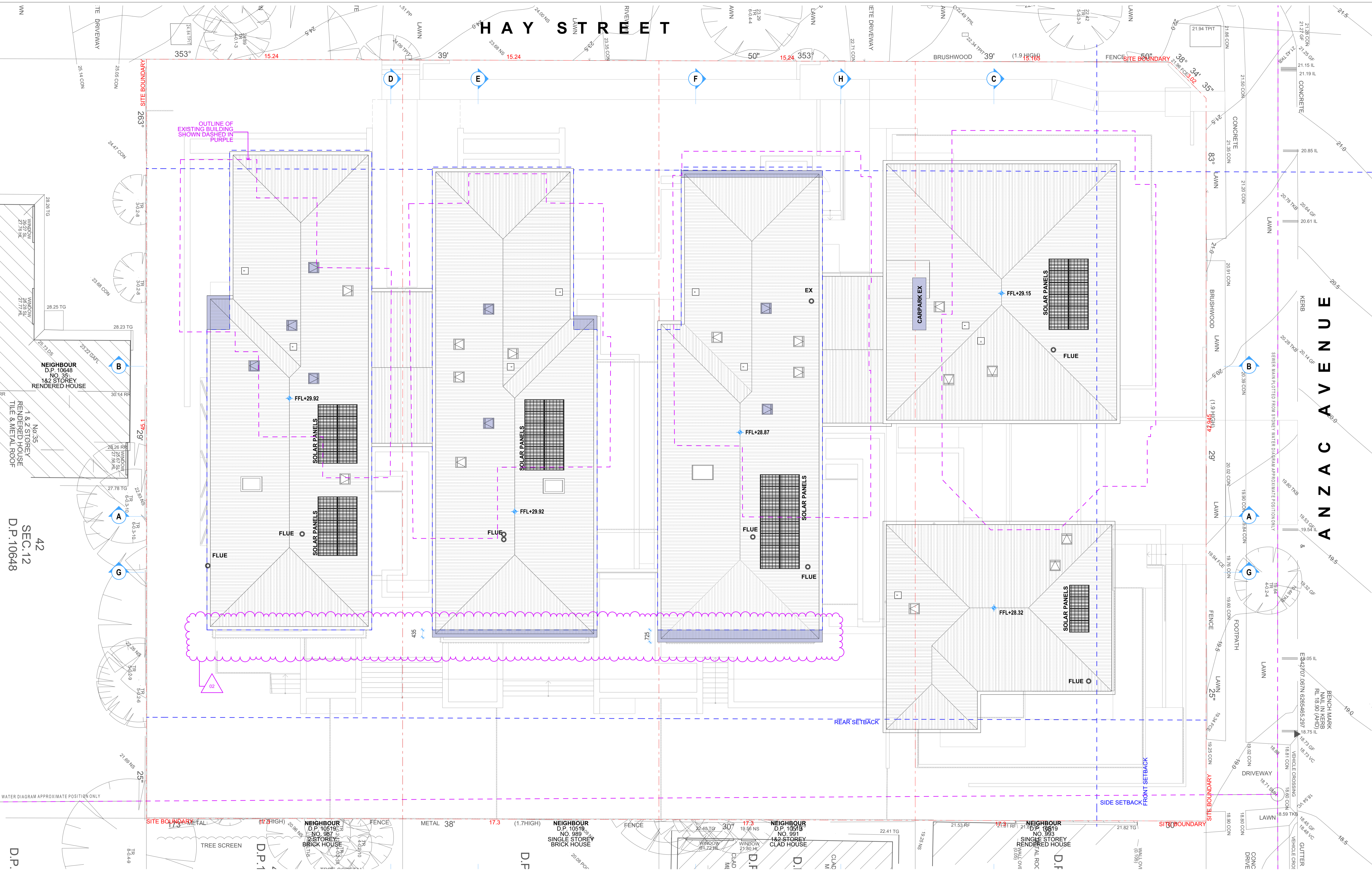


Client
Collaroy Living Pty Ltd
 Project
COLLARROY LIVING RESIDENCES
 37-43 Hay Street Collaroy NSW 2097
 Status
4.58 APPLICATION

Title
Level 02 Plan
 Drawing No.
0638-MOD107
 Revision
02
 Date
05/12/24

42
 SEC.12
 D.P.10648

D.P.

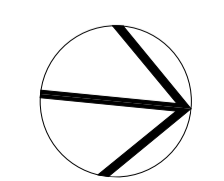


02 05/12/24 C34 AMENDMENTS BG BG
 01 19/07/24 FOR SUBMISSION BG BG
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 AREA SHADED IN BLUE
 CHANGES TO BALCONIES & TERRACES
 INDICATED BY AREA SHADED IN YELLOW

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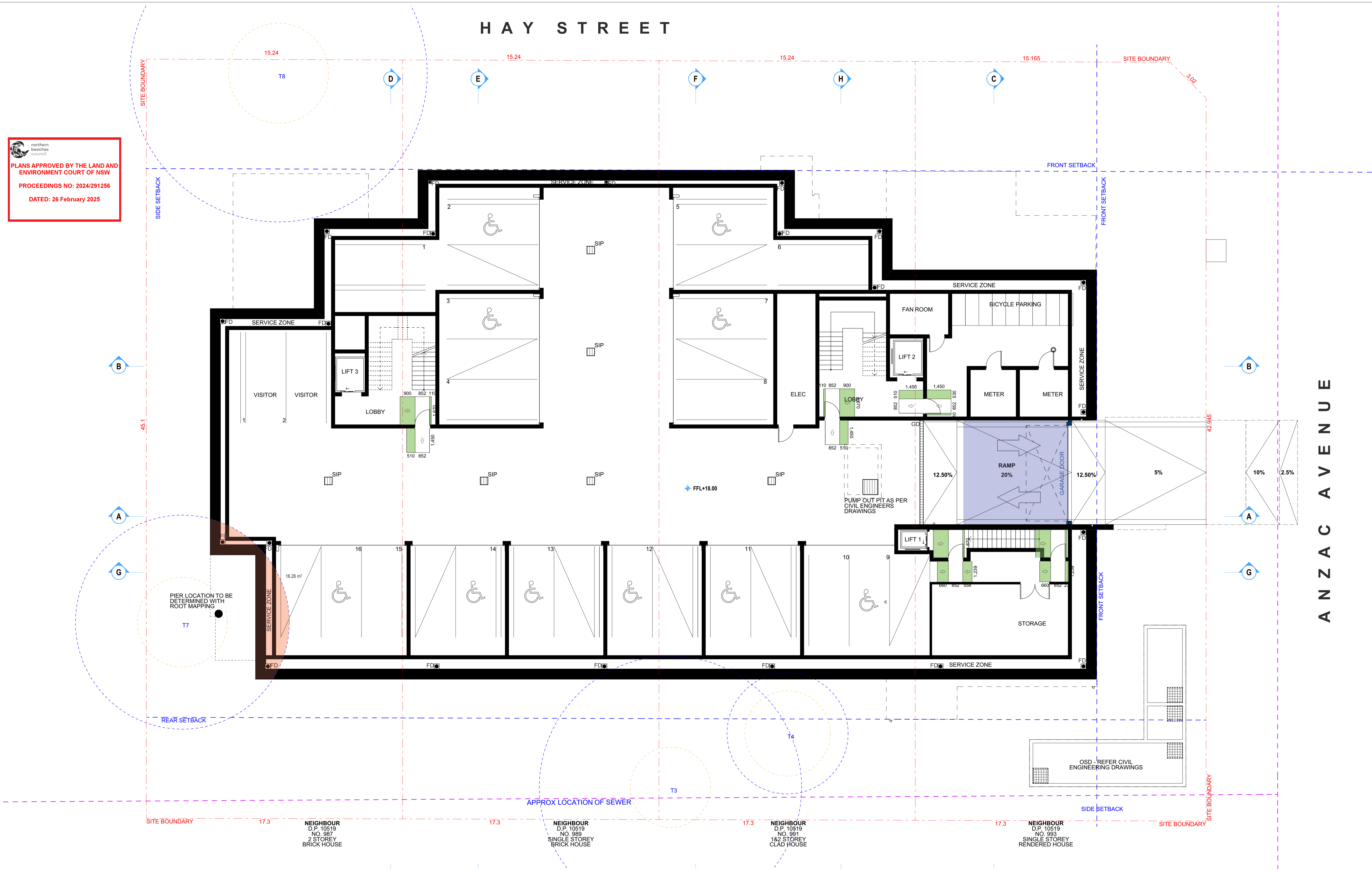
Client
Collaroy Living Pty Ltd
 Project
COLLARROY LIVING RESIDENCES
 37-43 Hay Street Collaroy NSW 2097
 Status
4.58 APPLICATION

Title
Roof Plan
 Drawing No.
0638-MOD108
 Scale
1:100 at A1 size
 Revision
02
 Date
05/12/24

HAY STREET

ANZAC AVENUE


 northern beaches council
PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW
 PROCEEDINGS NO: 2024/291256
 DATED: 26 February 2025



NEIGHBOUR
 D.P. 10519
 NO. 987
 2 STOREY
 BRICK HOUSE

NEIGHBOUR
 D.P. 10519
 NO. 989
 SINGLE STOREY
 BRICK HOUSE

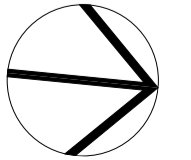
NEIGHBOUR
 D.P. 10519
 NO. 991
 1&2 STOREY
 CLAD HOUSE

NEIGHBOUR
 D.P. 10519
 NO. 993
 SINGLE STOREY
 RENDERED HOUSE

CHANGES TO BUILDING INDICATED BY
 AREA SHADED IN BLUE
 CHANGES TO BALCONIES & TERRACES
 INDICATED BY AREA SHADED IN YELLOW

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 37-43 Hay Street Collaroy NSW 2097
 Status
4.58 APPLICATION

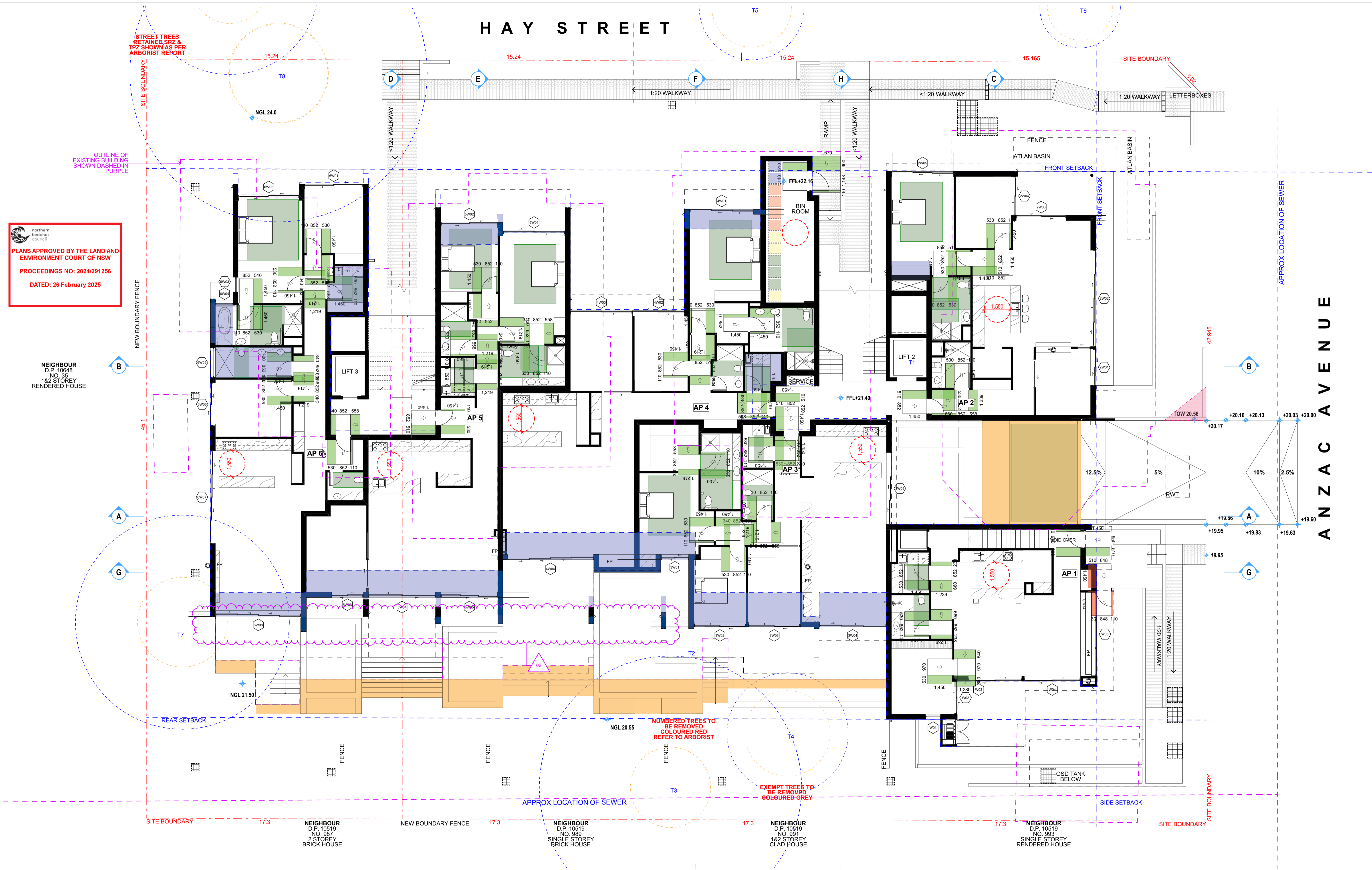
Title
Basement Post Adaption Plan
 Drawing No. 0638-MOD109
 Revision 02
 Scale 1:100 at A1 size
 Date 05/12/24

02 05/12/24 C34 AMENDMENTS BG BB
 01 19/07/24 FOR SUBMISSION BB BB
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HAY STREET

ANZAC AVENUE

northern beaches council
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 PROCEEDINGS NO: 2024/291256
 DATED: 26 February 2025



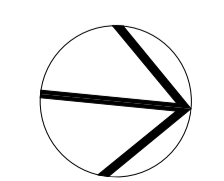
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01	19/07/24	FOR SUBMISSION	BB	BB
Rev	Date	Amendment	Drawn	Check

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 CHANGES TO BALCONIES & TERRACES INDICATED BY AREA SHADED IN YELLOW

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COLLARROY LIVING RESIDENCES
 37-43 Hay Street Collaroy NSW 2097
 Status
4.58 APPLICATION

Title
Level 01 Post Adaption Plan
 Drawing No.
0638-MOD110
 Scale
1:100 at A1 size
 Revision
02
 Date
05/12/24

HAY STREET



ANZAC AVENUE

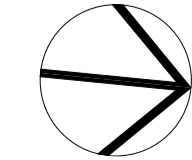

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PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW
 PROCEEDINGS NO: 2024/291256
 DATED: 26 February 2025

NEIGHBOUR D.P. 10519 NO. 987 2 STOREY BRICK HOUSE
 NEIGHBOUR D.P. 10519 NO. 989 SINGLE STOREY BRICK HOUSE
 NEIGHBOUR D.P. 10519 NO. 991 1&2 STOREY CLAD HOUSE
 NEIGHBOUR D.P. 10519 NO. 993 SINGLE STOREY RENDERED HOUSE

CHANGES TO BUILDING INDICATED BY AREA SHADED IN BLUE
 CHANGES TO BALCONIES & TERRACES INDICATED BY AREA SHADED IN YELLOW

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Client
Collaroy Living Pty Ltd
 Project
COLLARROY LIVING RESIDENCES
 37-43 Hay Street Collaroy NSW 2097
 Status
4.58 APPLICATION

Title
Level 02 Post Adaption Plan
 Drawing No. 0638-MOD111
 Revision 02
 Scale 1:100 at A1 size
 Date 05/12/24

02 05/12/24 C34 AMENDMENTS BG BB
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ANZAC AVENUE

NEIGHBOUR
D.P. 10648
NO. 35
1&2 STOREY
RENDERED HOUSE



WEST ELEVATION
1:100


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 PROCEEDINGS NO: 2024/291256
 DATED: 26 February 2025



EAST ELEVATION
1:100

CHANGES TO BUILDING INDICATED BY
 AREA SHADED IN BLUE
 CHANGES TO BALCONIES & TERRACES
 INDICATED BY AREA SHADED IN YELLOW

LEGEND:

CO	CONCRETE	DP	DOWNPIPE
BR	BRICKWORK	GU	GUTTER
RM	RENDERED MASONRY	MDR	METAL DECK ROOF
ST	STONE CLADDING	MS	METAL SCREEN
CL	CEMENT CLADDING	MF	METAL FENCE
GW	GLAZED WINDOWS (ALUMINIUM FRAMED)	MB	METAL BALUSTRADE
GL	GLAZED GLAZING	PF	PAINT FINISH
GB	GLASS BALUSTRADE		
BY	GLAZED BOLLARD		

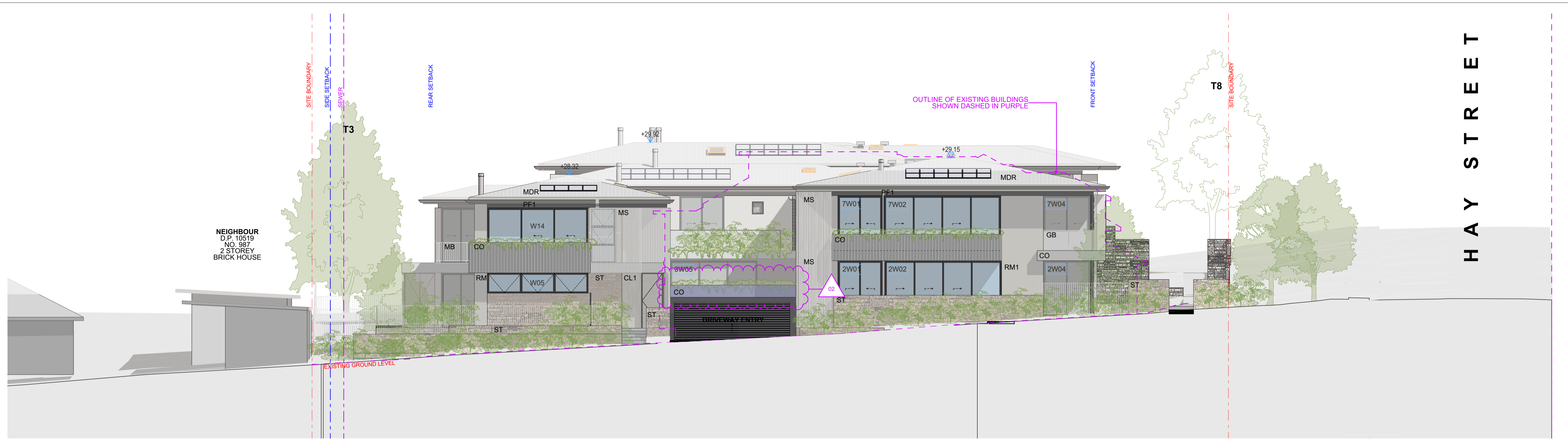
02 05/12/24 C34 AMENDMENTS
 01 19/07/24 FOR SUBMISSION
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Client
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 Project
COLLARROY LIVING RESIDENCES
 37-43 Hay Street Collaroy NSW 2097
 Status
4.58 APPLICATION

Title
Elevations 1
 Drawing No.
0638-MOD112
 Scale
 1:100 at A1 size
 Revision
 02
 Date
 05/12/24



1 NORTH ELEVATION 1:100



2 SOUTH ELEVATION 1:100



PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW

 PROCEEDINGS NO: 2024/291256

 DATED: 26 February 2025

CHANGES INDICATED BY AREA SHADED IN BLUE

LEGEND:

CO	CONCRETE	DP	DOWNPIPE
BR	BRICKWORK	GU	GUTTER
RM	RENDERED MASONRY	MDR	METAL DECK ROOF
ST	STONE CLADDING	MS	METAL SCREEN
CL	CEMENT CLADDING	MF	METAL FENCE
GW	GLAZED WINDOWS (ALUMINUM FRAMED)	MB	METAL BALUSTRADE
GL	GLAZED GLAZING	PF	PAINT FINISH
GB	GLASS BALUSTRADE		
BY	GLAZED BOLLARD		

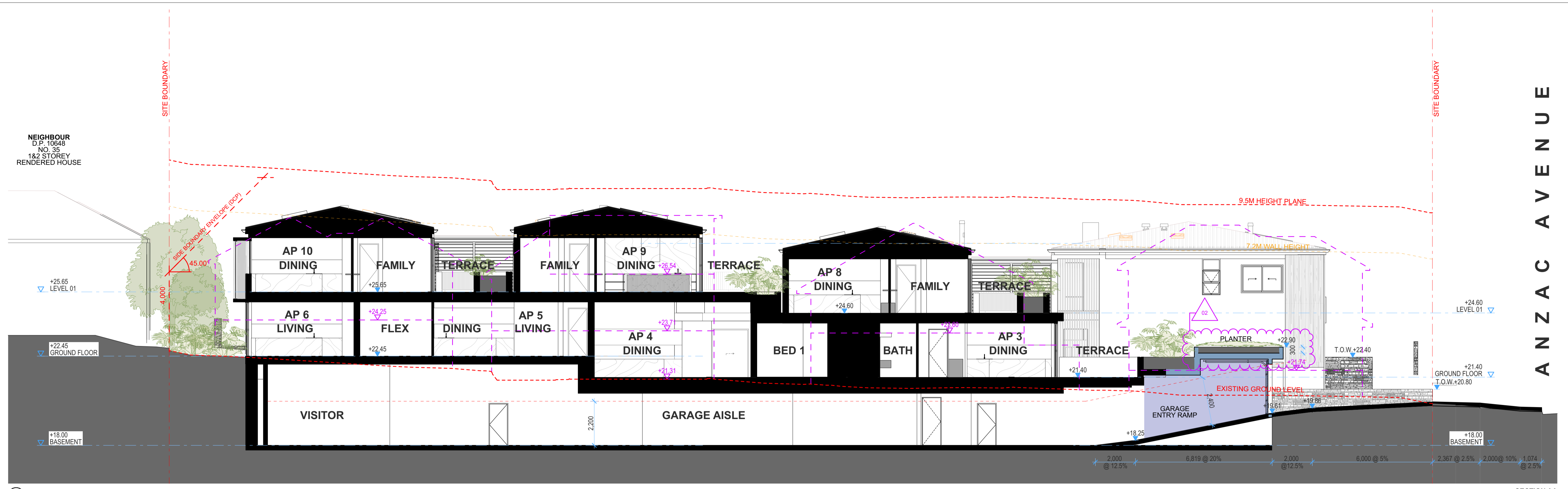
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Collaroy Living Pty Ltd
 Project
COLLARROY LIVING RESIDENCES
 37-43 Hay Street Collaroy NSW 2097
 Status
4.58 APPLICATION

Title
Elevations 2
 Drawing No.
0638-MOD113
 Scale
 1:100 at A1 size
 Revision
 02
 Date
 05/12/24

02 05/12/24 C34 AMENDMENTS
 01 19/07/24 FOR SUBMISSION
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SECTION AA

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 PROCEEDINGS NO: 2024/291256
 DATED: 26 February 2025



SECTION BB

CHANGES INDICATED BY AREA SHADED IN BLUE

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 Project
COLLARROY LIVING RESIDENCES
 37-43 Hay Street Collaroy NSW 2097
 Status
4.58 APPLICATION

Title
Section AA & BB
 Drawing No.
 0638-MOD114
 Revision
 02
 Scale
 1:100 at A1 size
 Date
 05/12/24

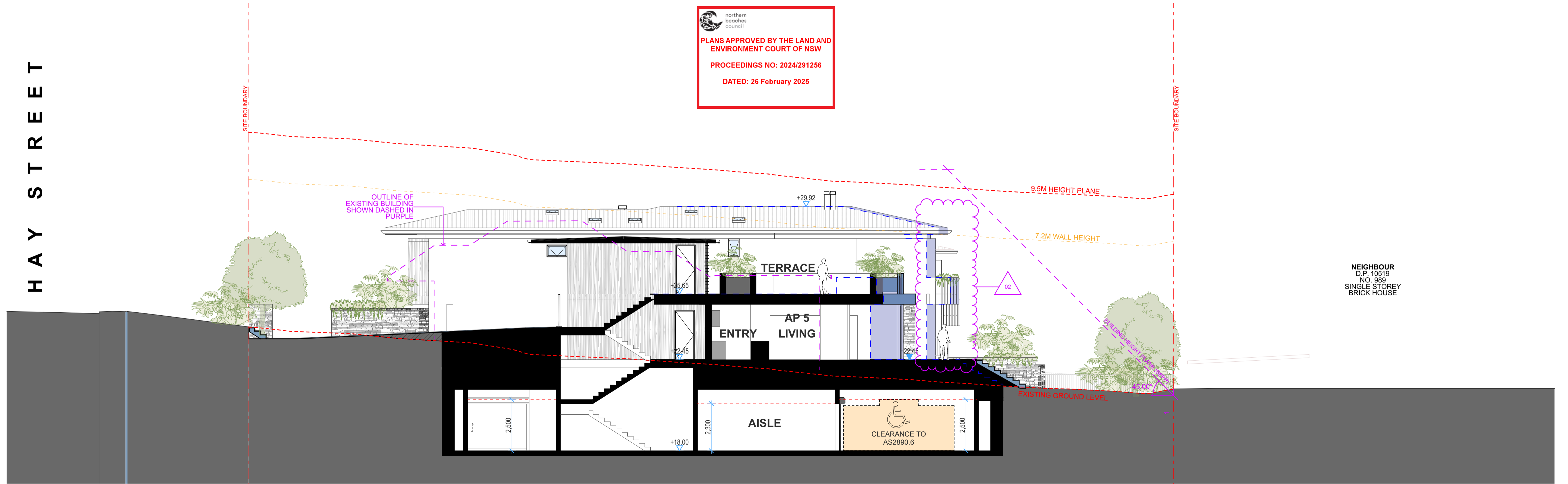
02 05/12/24 C34 AMENDMENTS BG BB
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HAY STREET



NEIGHBOUR
D.P. 10519
NO. 993
SINGLE STOREY
RENDERED HOUSE

HAY STREET



northern beaches council
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PROCEEDINGS NO: 2024/291256
DATED: 26 February 2025

NEIGHBOUR
D.P. 10519
NO. 989
SINGLE STOREY
BRICK HOUSE

2

SECTION DD

CHANGES INDICATED BY
AREA SHADED IN BLUE

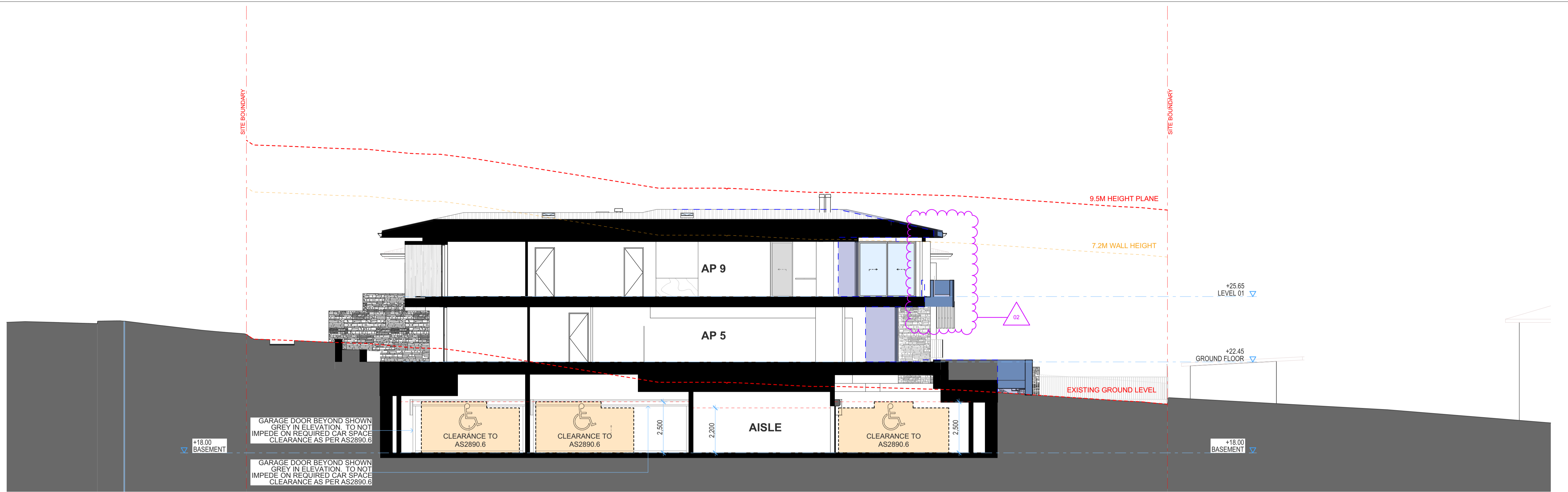
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W popovbass.com.au

Client
Collaroy Living Pty Ltd
Project
COLLARROY LIVING RESIDENCES
37-43 Hay Street Collaroy NSW 2097
Status
4.58 APPLICATION

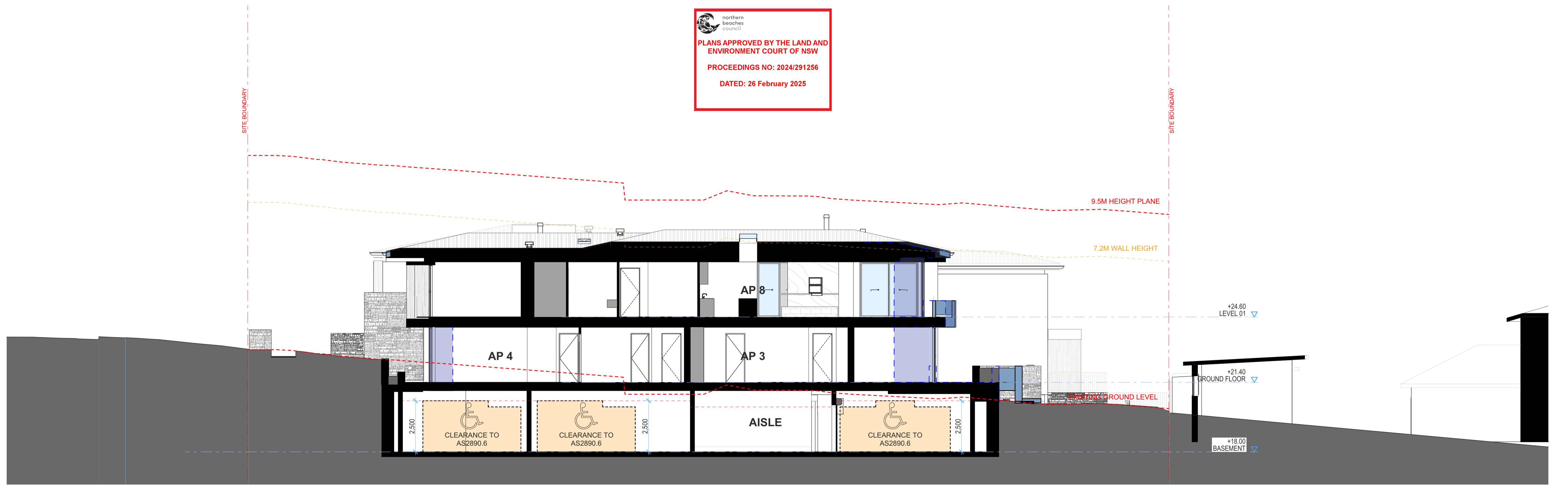
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Section CC & DD
Drawing No. 0638-MOD115
Revision 02
Scale 1:100 at A1 size
Date 05/12/24

02 05/12/24 C34 AMENDMENTS BG BB
01 19/07/24 FOR SUBMISSION BB BB
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1 SECTION EE


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 PROCEEDINGS NO: 2024/291256
 DATED: 26 February 2025



2 SECTION FF

CHANGES INDICATED BY AREA SHADED IN BLUE

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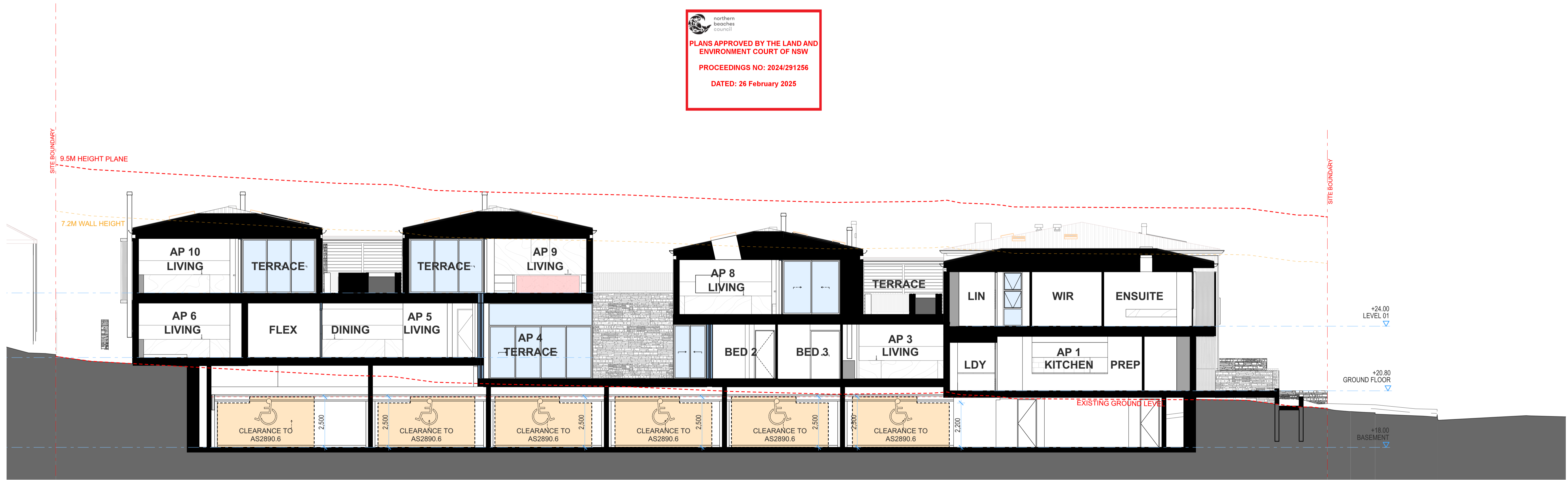
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Client
Collaroy Living Pty Ltd
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COLLARROY LIVING RESIDENCES
 37-43 Hay Street Collaroy NSW 2097
 Status
4.58 APPLICATION

Title
Section EE & FF
 Drawing No.
 0638-MOD116
 Scale
 1:100 at A1 size
 Revision
 02
 Date
 05/12/24

02 05/12/24 C34 AMENDMENTS BG BB
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 PROCEEDINGS NO: 2024/291256
 DATED: 26 February 2025



1 SECTION GG

CHANGES INDICATED BY AREA SHADED IN BLUE

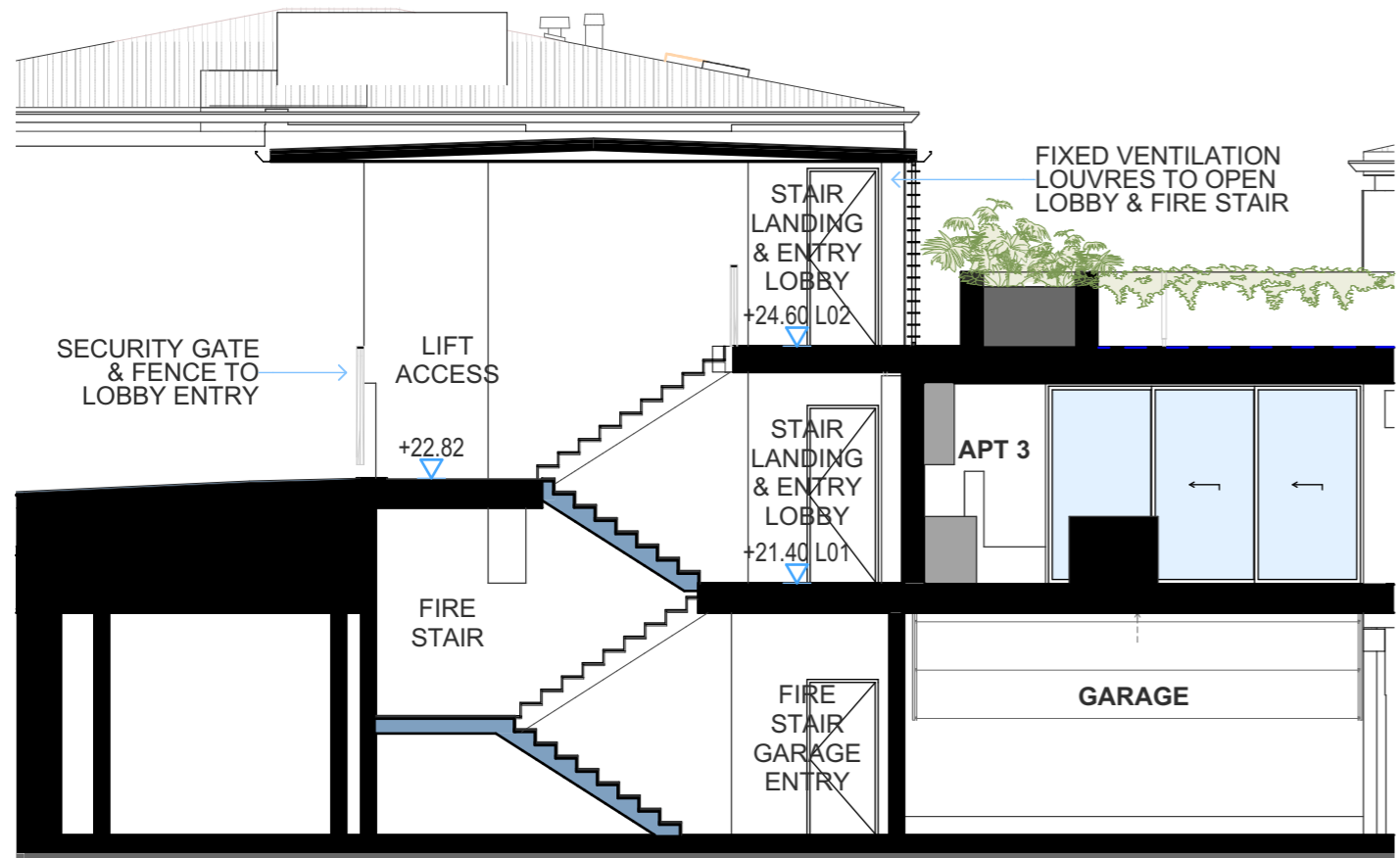
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 W popovbass.com.au

Client
Collaroy Living Pty Ltd
 Project
COLLARROY LIVING RESIDENCES
 37-43 Hay Street Collaroy NSW 2097
 Status
4.58 APPLICATION

Title
Section GG
 Drawing No.
0638-MOD117
 Scale
1:100 at A1 size
 Revision
02
 Date
05/12/24

02 05/12/24 C34 AMENDMENTS BG BB
 01 19/07/24 FOR SUBMISSION BG BB
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SECTION HH

1



ENTRY PATHWAY



ENTRY ACCESS GATE



LEVEL 02 STAIR LANDING

02	05/12/24	C34 AMENDMENTS	BG	BB
01	19/07/24	FOR SUBMISSION	BG	BB
Rv	Date	Amendment	Drw	Chk

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DATED: 26 February 2025

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Client
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Project
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37-43 Hay Street Collaroy NSW 2097

Status
4.58 APPLICATION

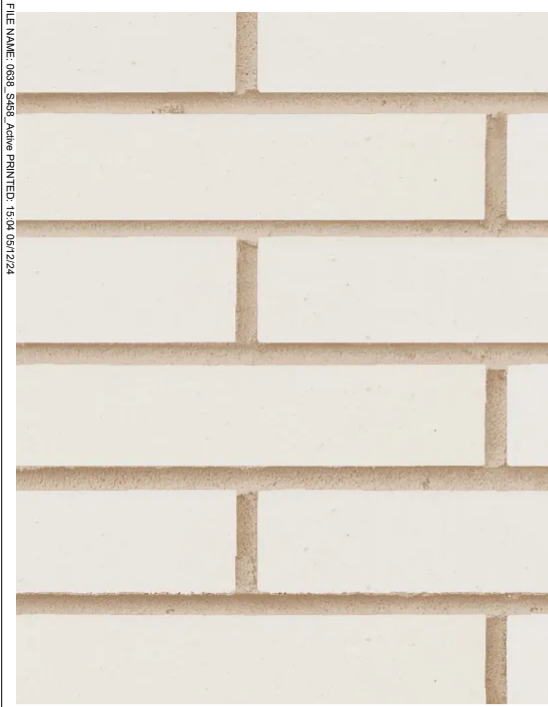
Title
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Page
0638-MOD118

Revision
02

Scale
1:100 at A3 size

Date
05/12/24



BR
BRICKWORK



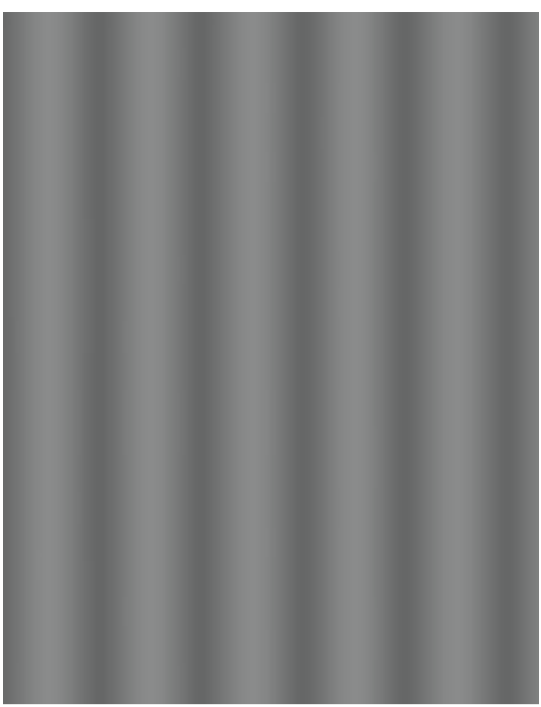
CO
CONCRETE



ST
SANDSTONE



CL1
TIMBER LOOK
CLADDING



MDR
METAL DECK ROOF



GB
GLASS BALUSTRADE



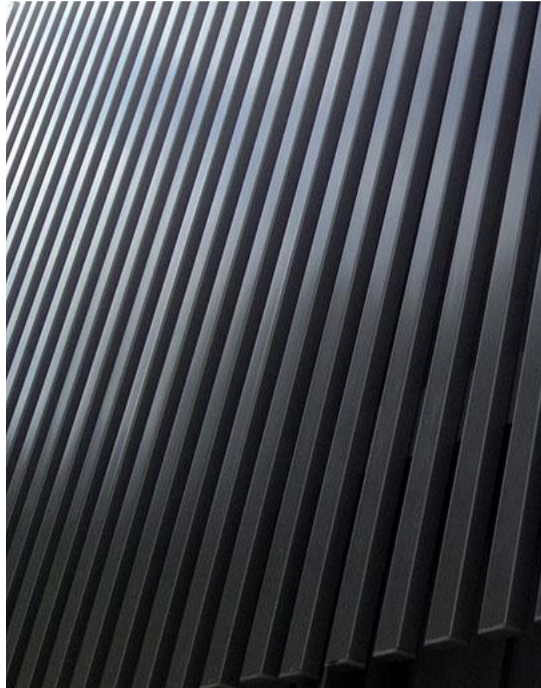
GW
GLAZED WINDOW



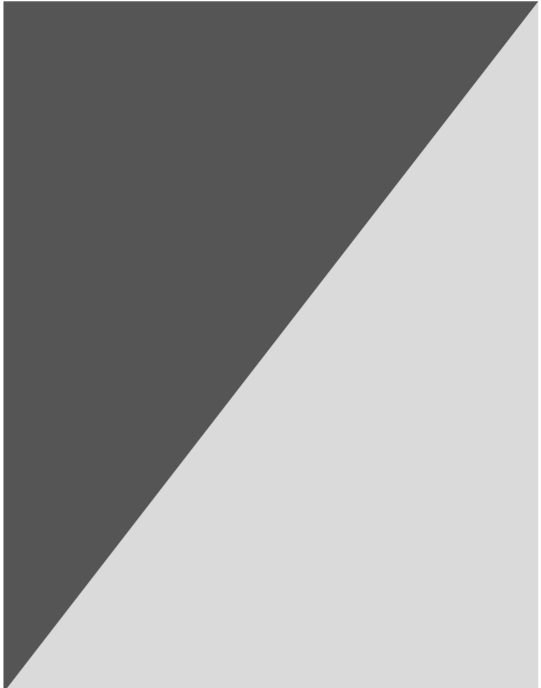
GL
GLAZED LOUVRES



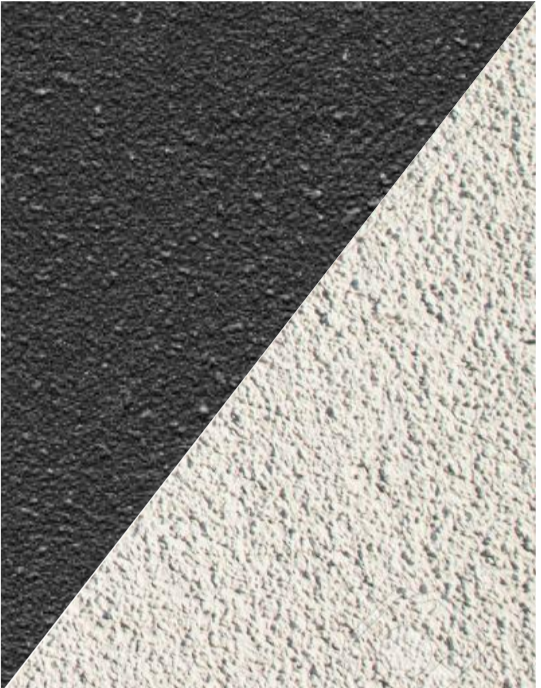
MB
METAL BALUSTRADE



MC
METAL SCREEN



PF1/PF2
PAINT FINISH DARK/
LIGHT



RM1/2
RENDERED
MASONRY



REAR TERRACE PERSPECTIVE

 northern beaches council

PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW

PROCEEDINGS NO: 2024/291256

DATED: 26 February 2025



HAY STREET PERSPECTIVE



HAY STREET PERSPECTIVE

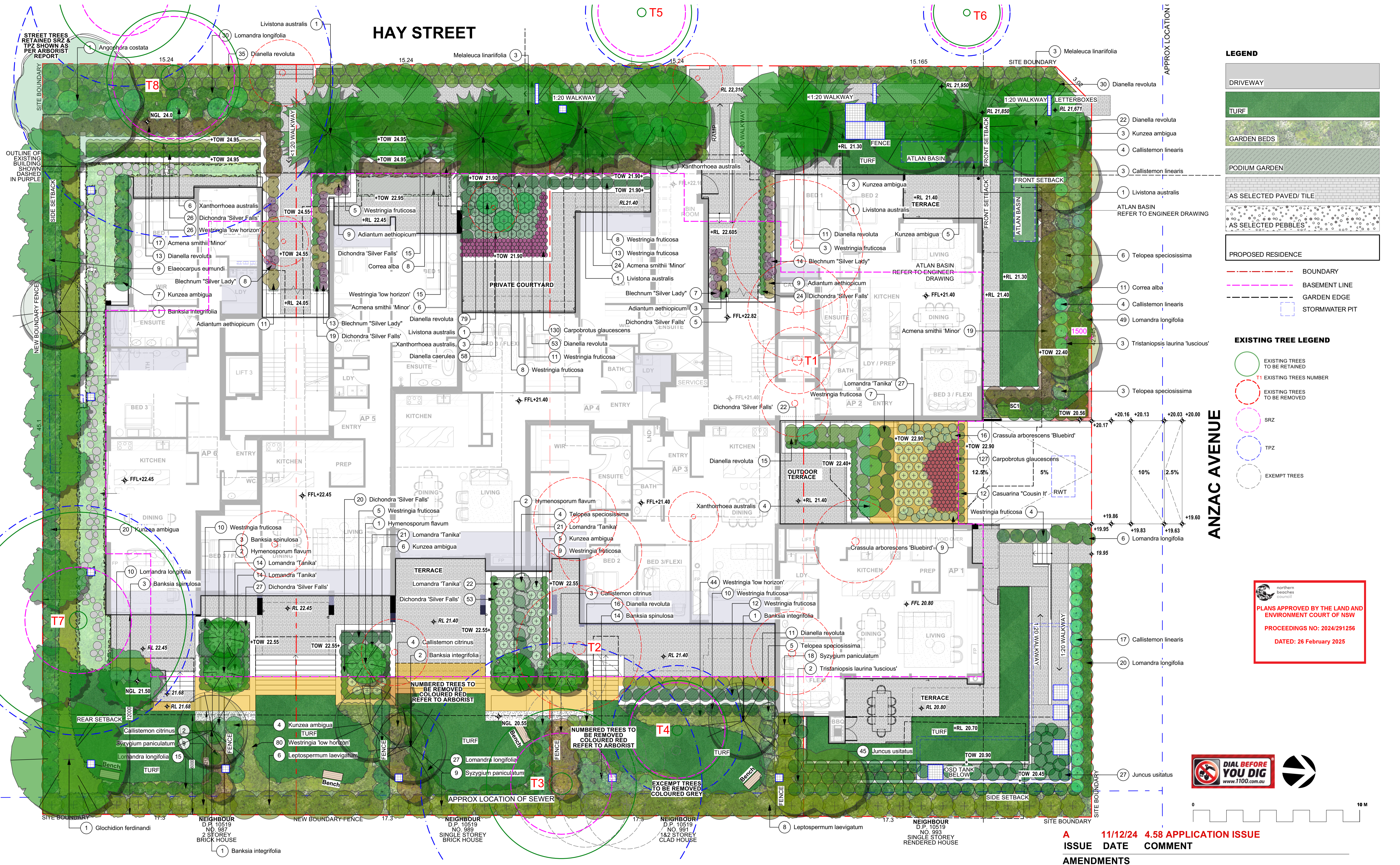
02 05/12/24 C34 AMENDMENTS BG BB
 01 15/07/24 FOR SUBMISSION BG BB
 Rev Date Description Drawn Check
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PopovBass

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 W popovbass.com.au

Client
Collaroy Living Pty Ltd
 Project
COLLARROY LIVING RESIDENCES
 37-43 Hay Street Collaroy NSW 2097
 Status
4.58 APPLICATION

Title
Schedule of colours and materials
 Drawing No.
0638-MOD127
 Revision
02
 Scale
NTS
 Date
05/12/24



LEGEND

- DRIVEWAY
- TURF
- GARDEN BEDS
- PODIUM GARDEN
- AS SELECTED PAVED/ TILE
- AS SELECTED PEBBLES

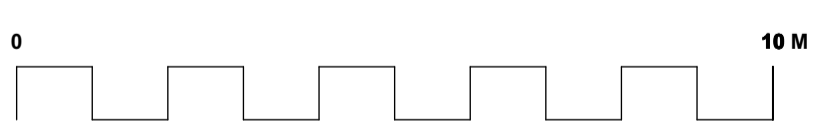
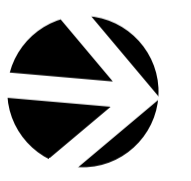
PROPOSED RESIDENCE

- BOUNDARY
- BASEMENT LINE
- GARDEN EDGE
- STORMWATER PIT

EXISTING TREE LEGEND

- EXISTING TREES TO BE RETAINED
- EXISTING TREES NUMBER
- EXISTING TREES TO BE REMOVED
- SRZ
- TPZ
- EXEMPT TREES

PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW
 PROCEEDINGS NO: 2024/291256
 DATED: 26 February 2025



AMENDMENTS	ISSUE DATE	COMMENT
A	11/12/24	4.58 APPLICATION ISSUE

GENERAL NOTES
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Project **COLLAROY LIVING RESIDENCES DA LANDSCAPE**
 Address **37-43 Hay Street Collaroy NSW 2097**
 Drawing Title **LEVEL 1 LANDSCAPE PLAN**

Date **11/12/2024**
 Scale **1:100@A1**
 Drawing No. **1500**

Page **L-01**

HAY STREET



LEGEND

- DRIVEWAY
- TURF
- GARDEN BEDS
- PODIUM GARDEN
- AS SELECTED PAVED/ TILE
- AS SELECTED PEBBLES
- PROPOSED RESIDENCE

- BOUNDARY
- BASEMENT LINE
- GARDEN EDGE
- STORMWATER PIT

EXISTING TREE LEGEND

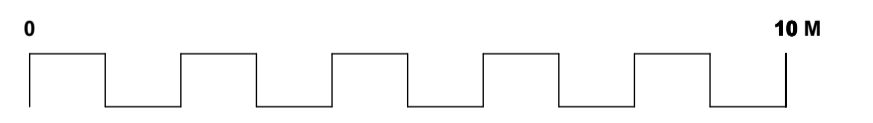
- EXISTING TREES TO BE RETAINED
- EXISTING TREES TO BE REMOVED
- EXISTING TREES NUMBER
- SRZ
- TPZ
- EXEMPT TREES

ANZAC AVENUE

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A 11/12/24 4.58 APPLICATION ISSUE

ISSUE DATE COMMENT

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 Address **37-43 Hay Street Collaroy NSW 2097**
 Drawing Title **LEVEL 2 LANDSCAPE PLAN**

Date **11/12/2024**
 Scale **1:100@A1**

Drawing No. **1500**

Page
L-02

DEEP SOIL CALCULATION	
Control	: 15% sqm
Required sqm	: 425.87 Sqm
Achieved	: 824.8 Sqm
Complies	: yes

REAR DEEP SOIL CALCULATION	
Control	: 65% of 15% sqm
Minimum sqm	: 276.81 Sqm
Achieved sqm	: 366.7 Sqm
Complies	: yes

LANDSCAPE CALCULATION	
Total Site Area	: 2839.1 Sqm
Total Landscaped on structure (Level 1 + Level 2)	: 175 + 83 Sqm = 258 Sqm
Deep Soil Area	: 824.8 Sqm
Rear Deep Soil Area	: 366.7 Sqm
Total Landscaped Area = 1449.5 Sqm or 51.05% of Total Site Area	
Council Deep Soil Requirement is 30 %	
Complies	: yes

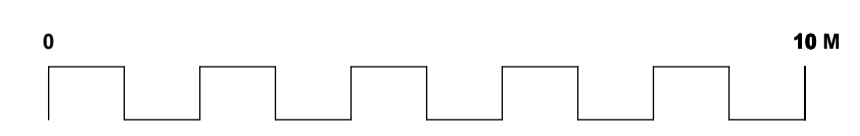
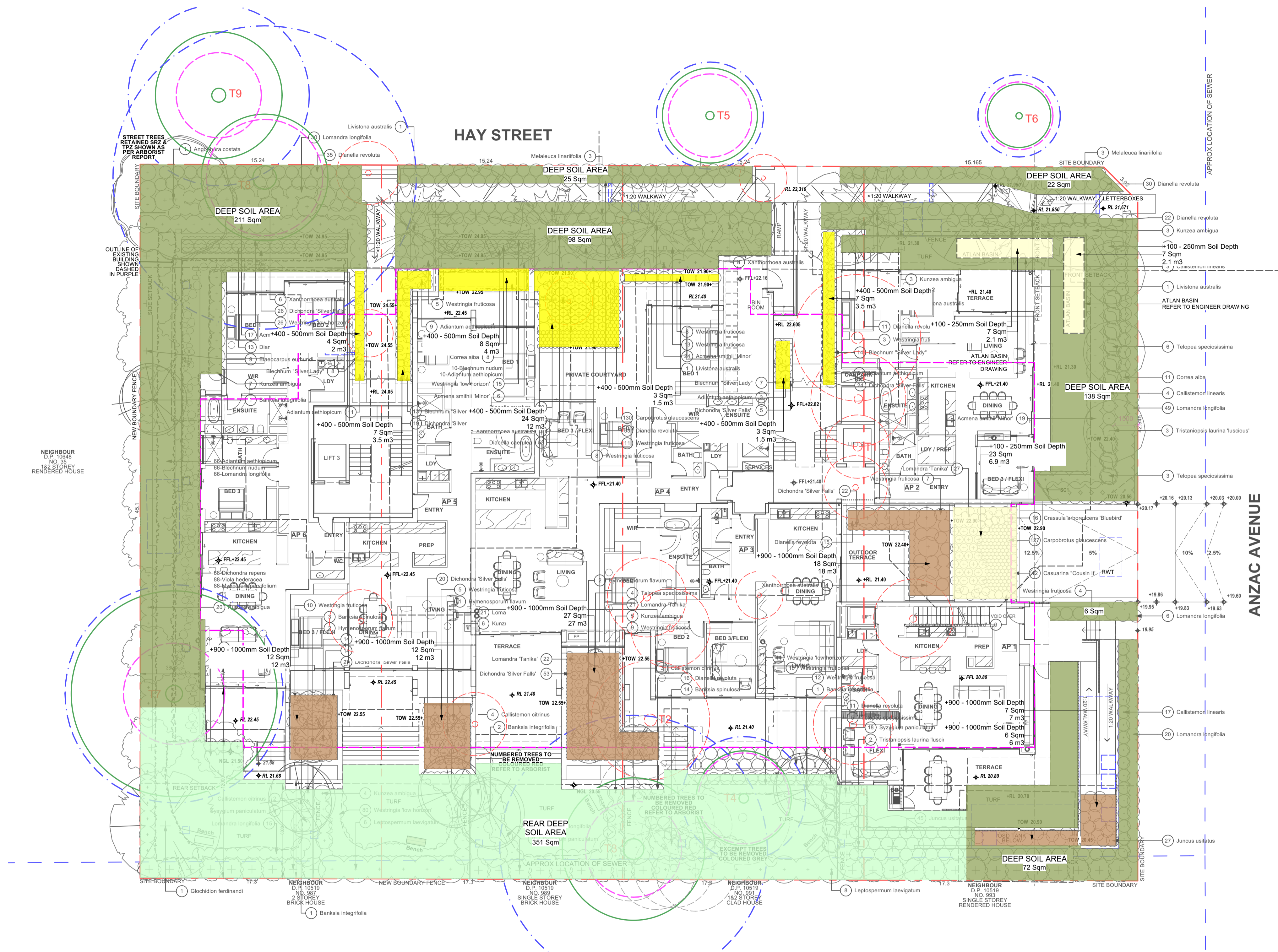
KEY

- 250-300MM SOIL DEPTH
- 400-500MM SOIL DEPTH
- 600-800MM SOIL DEPTH
- 900-1000MM SOIL DEPTH
- DEEP SOIL ZONE
- REAR DEEP SOIL ZONE

EXISTING TREE LEGEND

- EXISTING TREES TO BE RETAINED
- T1 EXISTING TREES NUMBER
- EXISTING TREES TO BE REMOVED
- SRZ
- TPZ
- EXEMPT TREES

 northern beaches council
PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW
 PROCEEDINGS NO: 2024/291256
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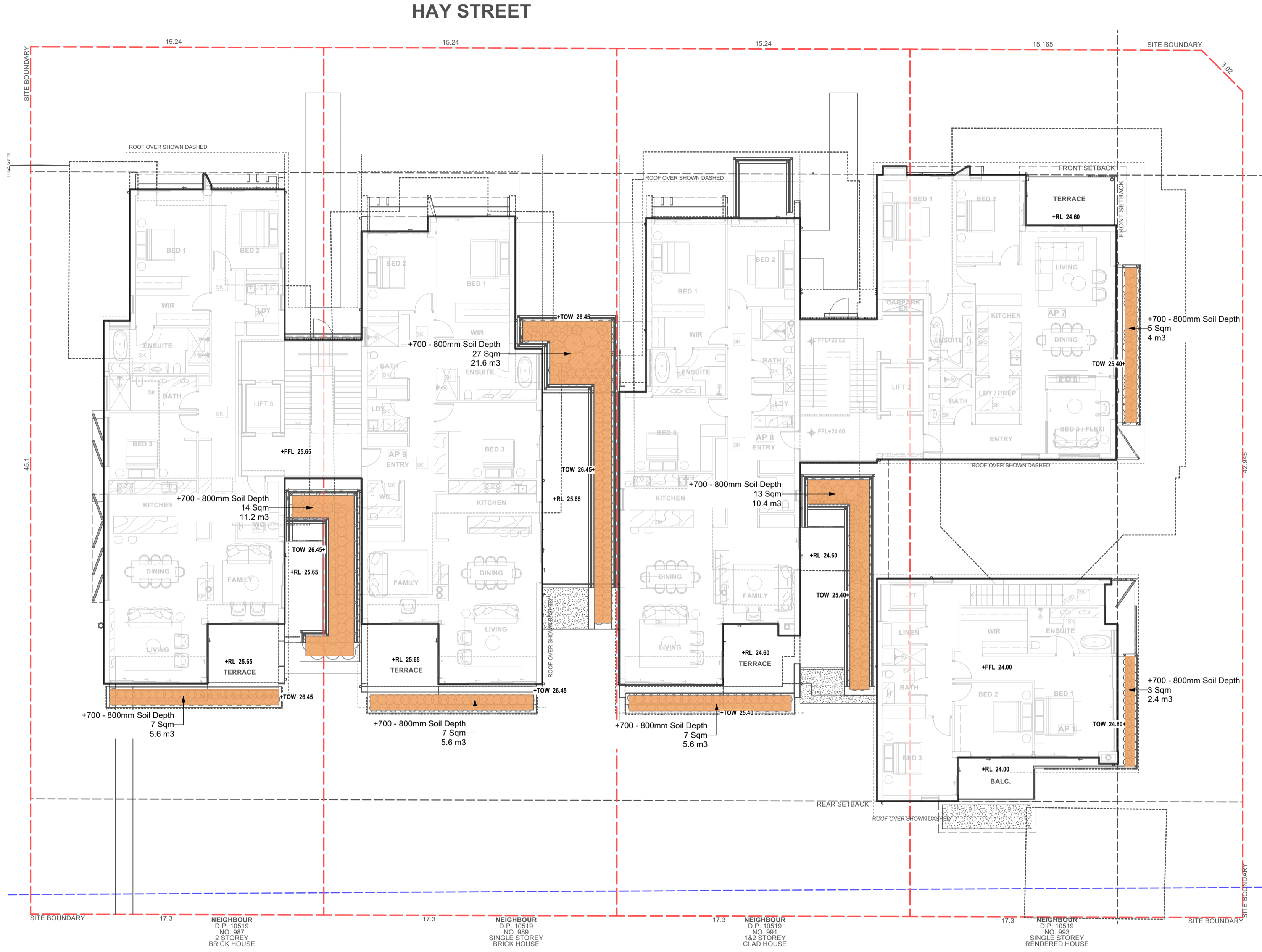
Project	COLLARROY LIVING RESIDENCES DA LANDSCAPE	
Address	37-43 Hay Street Collaroy NSW 2097	Date 11/12/2024
Drawing Title	LANDSCAPE AREA CALCULATION PLAN	Scale 1:100@A1
	- LEVEL 1	Drawing No. 1500

Page
L-03

CALCULATION	
Total Site Area	: 2839.1 sqm
Total Landscaped on structure	: 83 Sqm

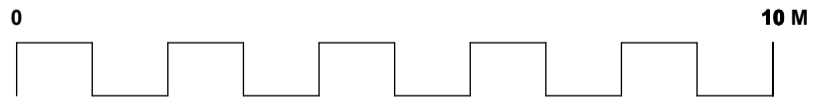
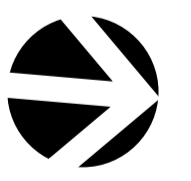


PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW
PROCEEDINGS NO: 2024/291256
DATED: 26 February 2025



- KEY**
- 250-300MM SOIL DEPTH
 - 400-500MM SOIL DEPTH
 - 600-800MM SOIL DEPTH
 - 900-1000MM SOIL DEPTH
 - DEEP SOIL ZONE
 - REAR DEEP SOIL ZONE

- EXISTING TREE LEGEND**
- EXISTING TREES TO BE RETAINED
 - T1 EXISTING TREES NUMBER
 - EXISTING TREES TO BE REMOVED
 - SRZ
 - TPZ
 - EXEMPT TREES



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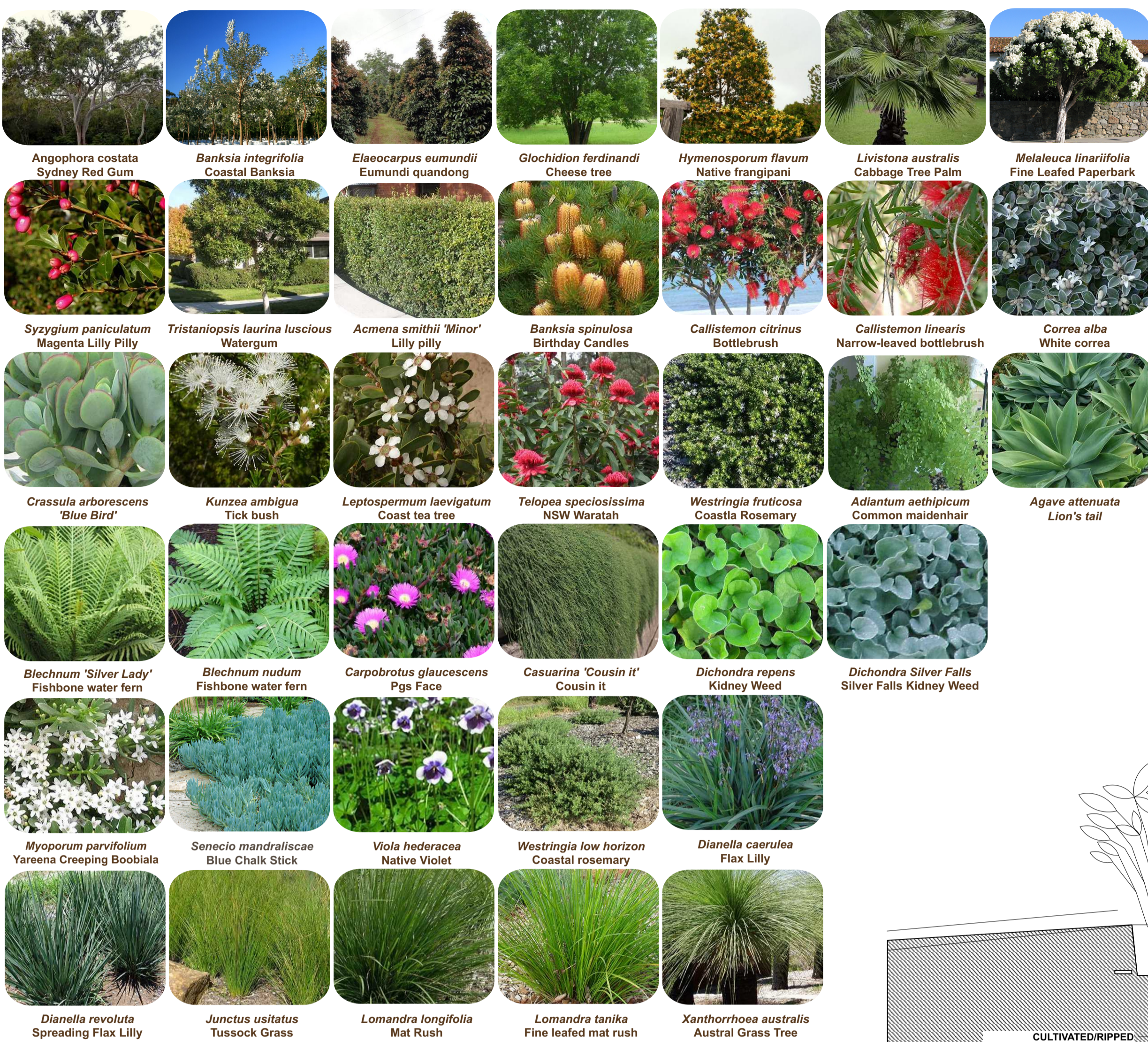
Project **COLLARROY LIVING RESIDENCES DA LANDSCAPE**
 Address **37-43 Hay Street Collaroy NSW 2097** Date **11/12/2024**
 Drawing Title **LANDSCAPE AREA CALCULATION PLAN** Scale **1:100@A1**
- LEVEL 2 Drawing No. **1500**

Page
L-04

ID	Qty	Common Name	Botanical Name	Scheduled Size	Mature Height	Mature Spread
Trees						
ACost	1	Sydney Red Gum, Smooth-barked Apple 'N'	Angophora costata	75L	15 - 20m	6 - 10m
Ban-int	5	Coastal Banksia 'N'	Banksia integrifolia	75L	8m	3m
EE	9	Smoothed leaved Quandong 'N'	Elaeocarpus eumundii	75L	6 - 10m	2.0 - 3.5m
Glo-fer	1	Cheese Tree 'N'	Glochidion ferdinandi	75L	5 - 10m	6 - 10m
Hym-fl	5	Native frangipani 'N'	Hymenosporum flavum	75L	6m	2.5m
LAust	5	Cabbage-tree Palm 'N'	Livistona australis	75L	10m	3m
ML	6	Flax-leaved Paperbark 'N'	Melaleuca linearifolia	75L	5 - 10m	6 - 10m
SP	36	Magenta Lillypilly 'N'	Syzygium paniculatum	75L	5 - 10m	6 - 10m
TLaur-lus	5	Kanooka, Water Gum 'N'	Tristaniopsis laurina 'luscious'	75L	6 - 10m	3.5 - 6m
Shrubs						
Acm-smi	66	Lillypilly 'N'	Acmena smithii 'Minor'	200mm	2-3m	2m
Ban-spi	20	Hairpin Banksia 'N'	Banksia spinulosa	200mm	0.9 - 1.5m	0.9 - 1.2m
Cal-cit	9	Scarlet Bottlebrush 'N'	Callistemon citrinus	45L	3 - 5m	2.0 - 3.5m
cal-lin	28	Narrow-leaved Bottlebrush 'N'	Callistemon linearis	200mm	1.5 - 3m	0.6 - 0.9m
Cor-alb	19	White Correa 'N'	Correa alba	200mm	0.9 - 1.5m	0.9 - 1.2m
Cra-arb	177	'Blue Bird'	Crassula arborescens 'Bluebird'	200mm	0.0 - 0.3m	0.3 - 0.6m
Kun-amb	53	Tick Bush 'N'	Kunzea ambigua	200mm	1.5 - 3m	1.2 - 2.0m
LL	14	Coast Tea-Tree 'N'	Leptospermum laevigatum	300mm	1.5 - 4m	1.2 - 2.0m
TeSp	18	Waratah 'N'	Telopea speciosissima	200mm	1.5 - 3m	0.9 - 1.2m
Wes-fru	123	Coastal Rosemary 'N'	Westringia fruticosa	200mm	0.6m	0.9m
Ground Covers						
adi-aet	108	Common Maidenhair 'N'	Adiantum aethiopicum	200mm	0.3 - 0.45m	0.0 - 0.3m
Aga-att	12	lion's tail	Agave attenuata	150mm	0.75 - 0.9m	0.5 - 1.2m
Ble-sl	42	Fishbone Water Fern 'N'	Blechnum "Silver Lady"	150mm	0.75 - 0.9m	0.3 - 0.6m
ble-nud	76	Fishbone Water Fern 'N'	Blechnum nudum	150mm	0.75 - 0.9m	0.3 - 0.6m
Car-gla	257	Coastal Moonflower, Pigface, Iceplant 'N'	Carpobrotus glaucescens	150mm	0.0 - 0.3m	1.2 - 2.0m
cas'ci	131	Casuarina "Cousin It"	Casuarina "Cousin It"	150mm	0.0 - 0.3m	1.2 - 2.0m
Dic-rep	88	Kidney Weed 'N'	Dichondra repens	150mm	0.0 - 0.3m	0.9 - 1.2m
dic-sf	211	Silver falls kidney weed	Dichondra 'Silver Falls'	150mm	1.2m	0.5m
Myo-par	148	Carpet Spreading Myoporium 'N'	Myoporium parvifolium	150mm	0.45 - 0.6m	0.3m
sen-ma	22	Blue Chalk Sticks	Senecio mandraliscae	150mm	0.15m	0.5m
vio-he	88	Native Violet 'N'	Viola hederacea	150mm	0.2m	0.8m
wes-lh'	165	coastal rosemary 'N'	Westringia 'low horizon'	150mm	0.4m	0.8m
Grasses						
Dia-cae	139	Blue Flax-lily 'N'	Dianella caerulea	150mm	0.4m	0.6m
Dia-rev-lr	285	Spreading Flax Lily 'N'	Dianella revoluta	150mm	0.3 - 0.45m	0.3 - 0.6m
jun-us	72	tussock grass 'N'	Juncus usitatus	150mm	1m	0.8m
Lom-lon	223	Spiny-headed Mat-Rush 'N'	Lomandra longifolia	150mm	0.6m	0.8m
lom-ta	119	Fine-leaved mat rush 'N'	Lomandra 'Tanika'	150mm	0.5m	0.6m
Xan-arb	17	Grass Tree 'N'	Xanthorrhoea australis	300mm	1m	1m
Total	2803					

NOTE:

In Accordance with Warringah / Northern Beaches Councils Native Plant list.
80.27 % of Total Plants is Native Species 'N'



LANDSCAPE MAINTENANCE NOTES

THE CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ALL AREAS OF THE CONTRACT DURING THE PROGRESS OF THE WORKS. THE CONTRACTOR SHALL COMMENCE AND FULLY IMPLEMENT THE SHORT-TERM MAINTENANCE AND ESTABLISHMENT AFTER PRACTICAL COMPLETION HAS BEEN CONFIRMED. SITE CONTROL: REPORT TO THE PRINCIPAL'S DESIGNATED REPRESENTATIVE ON ARRIVING AT AND BEFORE LEAVING THE SITE. PLANT ESTABLISHMENT PERIOD: THE PERIOD BETWEEN THE DATE OF PRACTICAL COMPLETION AND THE DATE OF FINAL COMPLETION. MAINTENANCE/ ESTABLISHMENT PERIOD: 12 MONTHS.

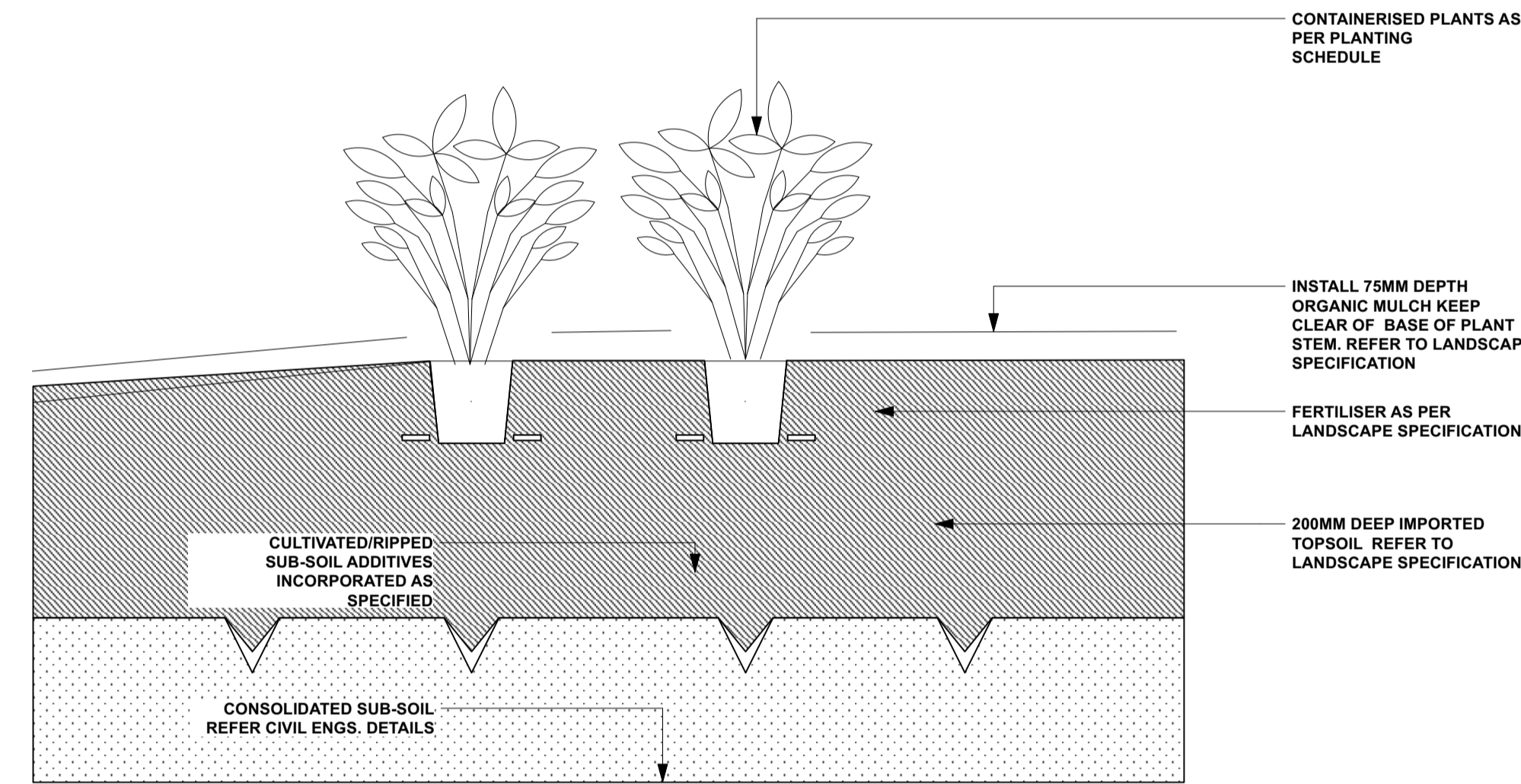
PLANT ESTABLISHMENT: MAINTAIN THE CONTRACT AREA DURING THE PLANT ESTABLISHMENT PERIOD. ENSURE THE GENERAL APPEARANCE AND PRESENTATION OF THE LANDSCAPE AND THE QUALITY OF PLANT MATERIAL AT DATE OF PRACTICAL COMPLETION IS MAINTAINED FOR THE FULL PLANTING ESTABLISHMENT PERIOD. EXISTING PLANT MATERIAL: MAINTAIN EXISTING PLANTING WITHIN THE LANDSCAPE CONTRACT AREA AS SPECIFIED FOR NEW PLANTING.

REPLACEMENTS: REPLACE FAILED, DEAD AND/OR DAMAGED PLANTS AT MINIMUM 3 WEEK INTERVALS AS NECESSARY THROUGHOUT THE FULL PLANT ESTABLISHMENT PERIOD. REPORTING: SUBMIT REGULAR REPORTS BY THE LAST FRIDAY OF EACH MONTH SUMMARISING THE GENERAL STATUS OF WORKS. INCLUDE A MAINTENANCE SCHEDULE, A LOG BOOK OF MAINTENANCE ACTIVITY, SOIL TEST RESULTS AS REQUIRED FOR ANY FERTILISING PROGRAMS, AND PLANT REPLACEMENT REQUIREMENTS.

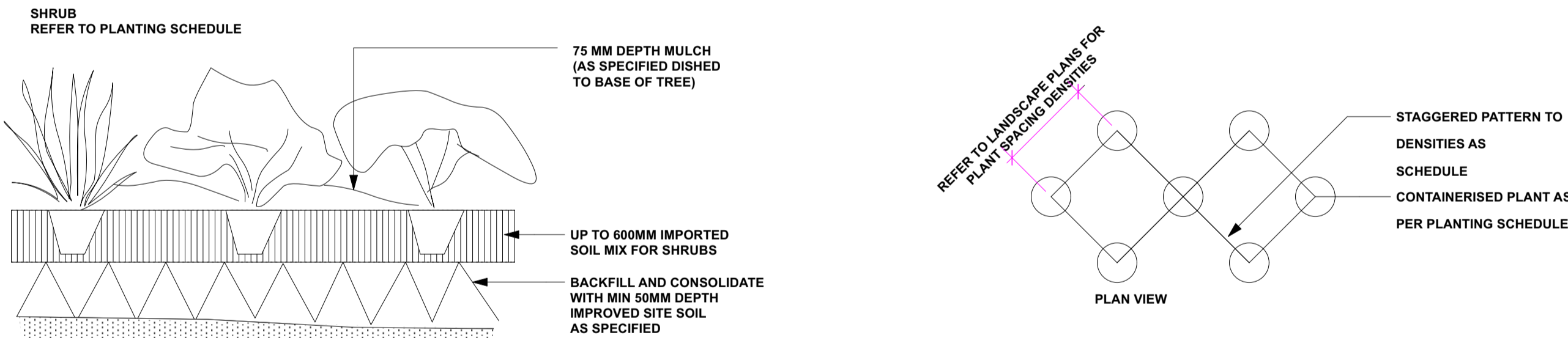
WATER RESTRICTIONS: COORDINATE THE WATER SUPPLY AND CONFIRM THE WATERING REGIME AGAINST RELEVANT GOVERNMENT LEGISLATION AND RESTRICTIONS AT THE TIME. STAKES AND TIES: REMOVE AT THE END OF THE PLANTING ESTABLISHMENT PERIOD. TEMPORARY FENCES: REMOVE TEMPORARY PROTECTIVE FENCES AT THE END OF THE PLANTING ESTABLISHMENT PERIOD.

COMPLIANCE: PLANT ESTABLISHMENT SHALL BE DEEMED COMPLETE, SUBJECT TO THE FOLLOWING:
* REPAIRS TO PLANTING MEDIA COMPLETED.

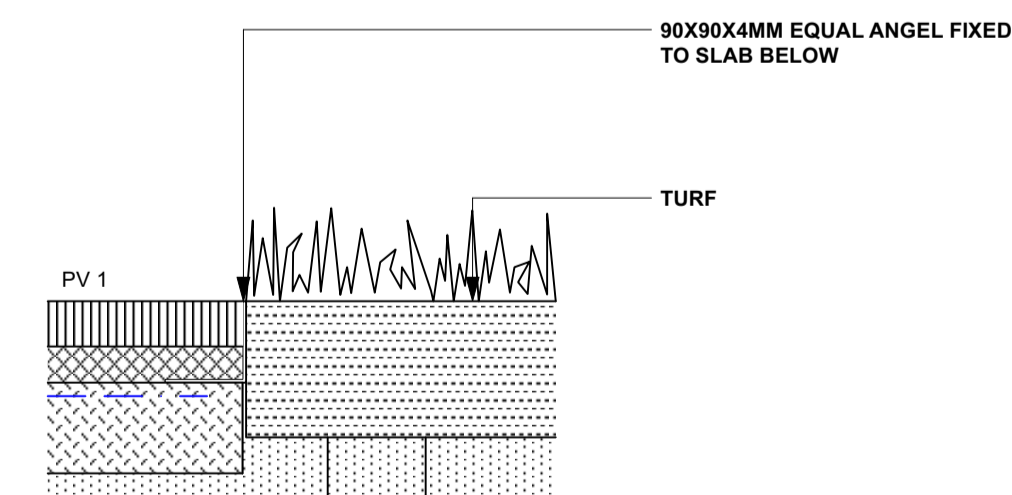
- * PESTS, DISEASE, OR NUTRIENT DEFICIENCIES OR TOXICITIES ARE NOT EVIDENT.
- * MULCHED SURFACES HAVE BEEN MAINTAINED IN A WEED FREE AND TIDY CONDITION AND TO THE SPECIFIED DEPTH.
- * VEGETATION IS ESTABLISHED AND WELL FORMED.
- * PLANTS HAVE HEALTHY ROOT SYSTEMS.
- * VEGETATION IS NOT RESTRICTING ESSENTIAL SIGHT LINES AND SIGNAGE.
- * COLLECTION AND REMOVAL OF LITTER COMPLETED.
- * REMOVAL OF MULCH FROM DRAINAGE AND ACCESS AREAS COMPLETED.
- * ALL DEFECTS NOTIFICATIONS HAVE BEEN CLOSED OUT.



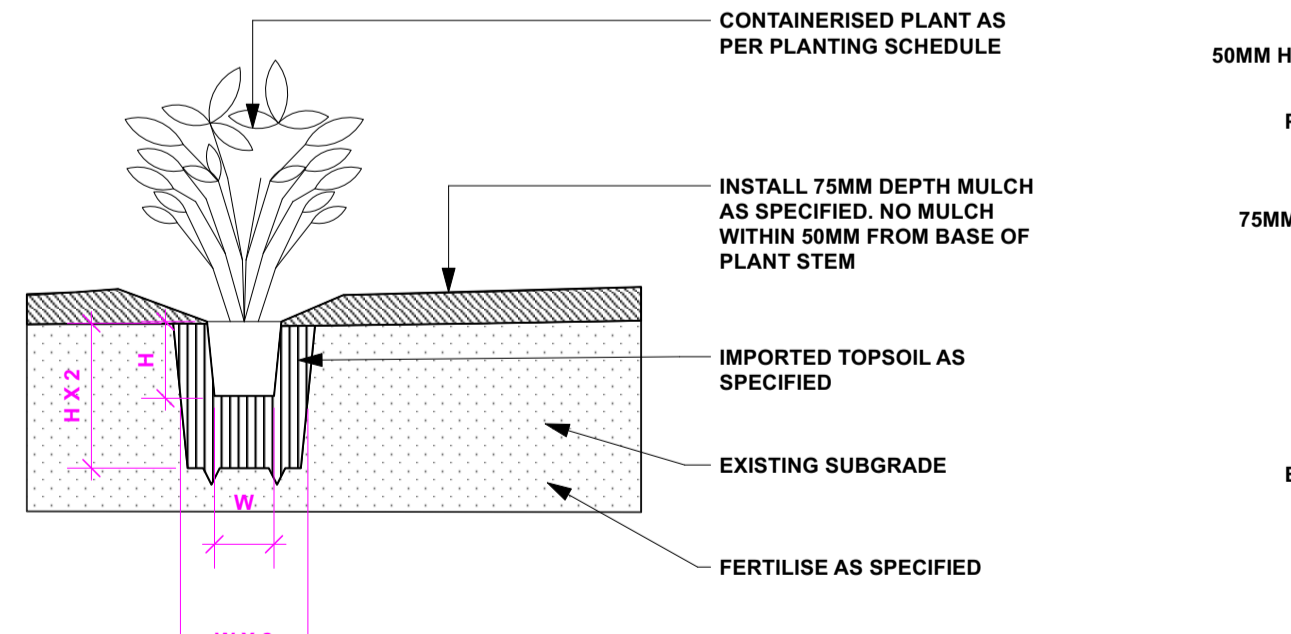
TYPICAL GROUNDCOVER PLANTING DETAIL



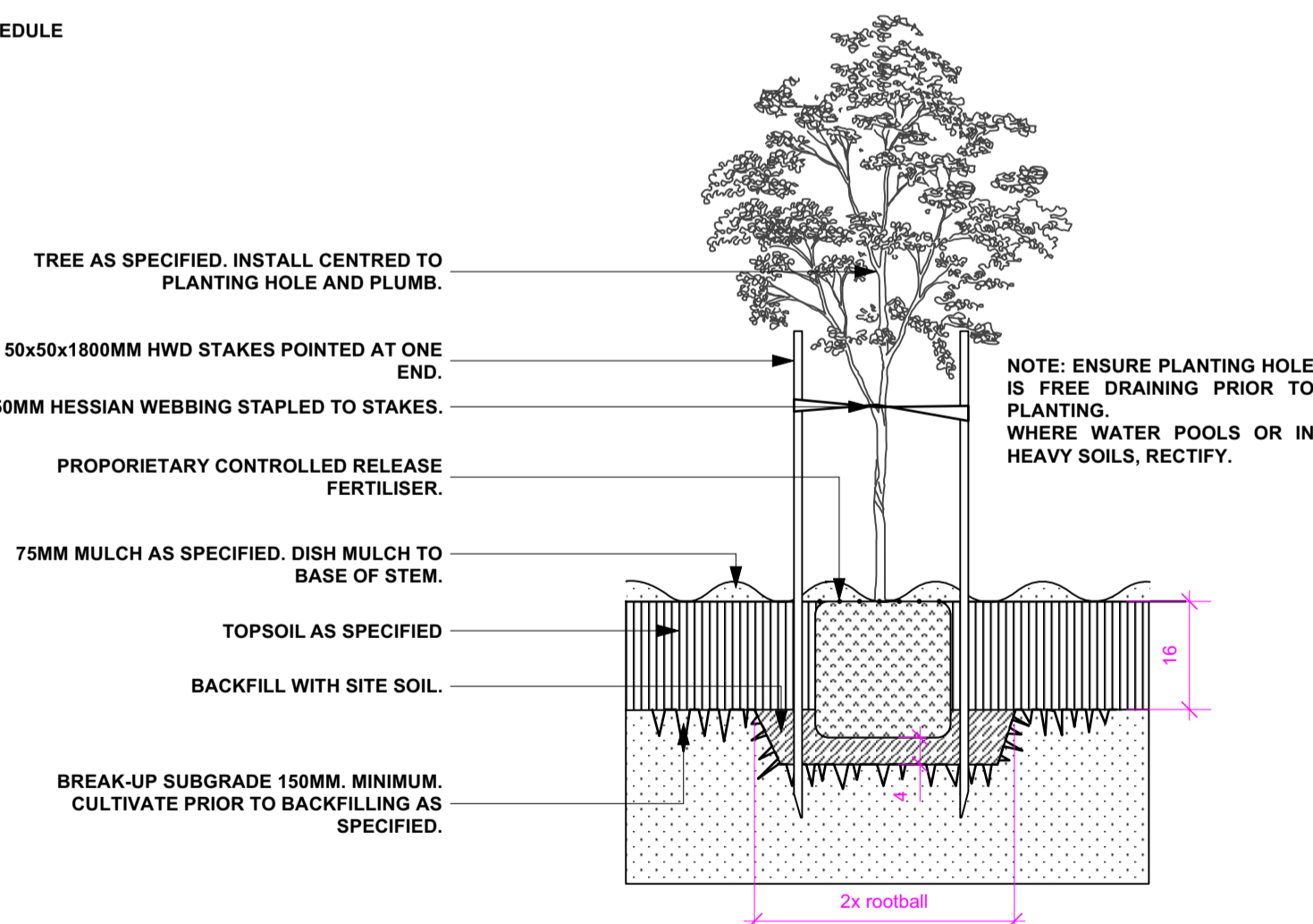
TYPICAL SHRUB PLANTING DETAIL



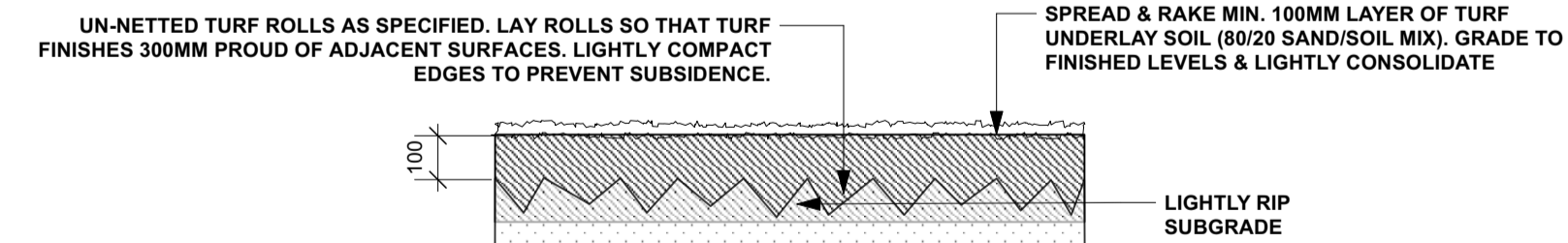
EDGE TYPE 1 | 8MM CORTEN STEEL EDGE



INDIVIDUAL PLANTING



75-100L TREE PLANTING DETAIL



TURF DETAIL

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Project **COLLARROY LIVING RESIDENCES DA LANDSCAPE**
Address **37-43 Hay Street Collaroy NSW 2097**
Drawing Title **PLANTING SCHEDULE AND DETAILS**

Date **11/12/2024**
Scale **N.T.S@A1**

Drawing No. **1500**

Page **L-05**

LANDSCAPE WORK SPECIFICATION

PRELIMINARIES

1.01 GENERAL

The following general conditions should be considered prior to the commencement of landscape works:

The landscape plans should be read in conjunction with the architectural plans, hydraulic plans, service plans and survey prepared for the proposed development.

All services including existing drainage should be accurately located prior to the commencement of landscape installation. Any proposed tree planting which falls close to services will be relocated on site under the instruction of the landscape architect.

Installation of conduit for required irrigation, electrical and other services shall be completed prior to the commencement of hardscape works and hardstand pours.

All outdoor lighting specified by architect or client to be installed by qualified electrician

Anomalies that occur in these plans should be brought to our immediate attention.

Where an Australian Standard applies for any landscape material testing or installation technique, that standard shall be followed.

1.02 PROTECTION OF ADJACENT FINISHES

The Contractor shall take all precautions to prevent damage to all or any adjacent finishes by providing adequate protection to these areas / surfaces prior to the commencement of the Works

1.03 PROTECTION OF EXISTING TREES

Existing trees identified to be retained shall be done so in accordance with NATSPEC Guide 2 "A Guide to Assessing Tree Quality". Where general works are occurring around such trees, or pruning is required, a qualified Arborist shall be engaged to oversee such works and manage tree health.

Existing trees designated on the drawing for retention shall be protected at all times during the construction period. Any soil within the drip-line of existing trees shall be excavated and removed by hand only. No stockpiling shall occur within the root zone of existing trees to be retained.

Any roots larger in diameter than 50mm shall only be severed under instruction by a qualified arborist. Roots smaller than 50mm diameter shall be cut cleanly with a saw.

Temporary fencing shall be installed around the base of all trees to be retained prior to the commencement of landscape works. Where possible this fencing will be located around the drip line of these trees, or a minimum of 3m from the trunk. The fencing shall be maintained for the full construction period.

1.04 EROSION & POLLUTION CONTROL

The Contractor shall take all proper precautions to prevent the erosion of soil from the subject site. The contractor shall install erosion & sediment control barriers and as required by council, and maintain these barriers throughout the construction period. Note that the sediment control measures adopted should reflect the soil type and erosion characteristics of the site.

Erosion & pollution control measures shall incorporate the following:

- Construction of a sediment trap at the vehicle access point to the subject site.
- Sediment fencing using a geotextile filter fabric in the location indicated on the erosion control plan or as instructed on site by the landscape architect.
- Earth banks to prevent scour of stockpiles
- Sandbag kerb sediment traps
- Straw bale & geotextile sediment filter.
- Exposed banks shall be pegged with an approved Jute matting in preparation for mass planting

Refer to "Sitewise Reference Kit" as prepared by DLWC & WSROC (1997) for construction techniques

SOIL WORKS

2.01 MATERIALS

Specified Soil Conditioner (Generally to improve site soil)

The specified soil conditioner for site top-soil improvement shall be an organic mix, equal to "Botany Humus", as supplied by ANL. Note that for sites where soil testing indicates toxins or extremes in pH, or soils that are extremely poor, allow to excavate and supply 300mm of imported soil mix.

New gardens & proposed Planting

New garden and planting areas shall consist of a 50/50 mix of clean site soil (refer d) below) and imported "Organic Garden Mix" as supplied by ANL or approved equal. All mixes are to comply with AS 4419 Soils for landscaping & garden use, & AS 4454 Composts, Soil conditioners & mulches.

Specified Soil Mix - Turf

The specified soil mix for all turf areas shall be a min 75mm layer of imported soil mix consisting of 80% washed river sand (reasonably coarse), and 20% composted organic matter equivalent to mushroom compost or soil conditioner, or other approved lawn top dress.

Site Topsoil

Site topsoil is to be clean and free of unwanted matter such as gravel, cXXlay lumps, grass, weeds, tree roots, sticks, rubbish and plastics, and any deleterious materials and materials toxic to plants. The topsoil must have a pH of between 5.5 and 7. Use 100% imported soil mix when site when site topsoil runs out.

2.02 INSTALLATION

a) Establishing Subgrade Levels

Subgrade levels are defined as the finished base levels prior to the placement of the specified material (i.e. soil conditioner). The following subgrade levels shall apply:

Mass Planting Beds - 300mm below existing levels with specified imported soil mix.

Turf areas - 100mm below finished surface level.



Note that all subgrades shall consist of a relatively free draining natural material, consisting of site topsoil placed previously by the Civil Contractor. No builders waste material shall be acceptable.

b) Subgrade Cultivation

Cultivate all subgrades to a minimum depth of 100mm in all planting beds and all turf areas, ensuring a thorough breakup of the subgrade into a reasonably coarse tilth. Grade subgrades to provide falls to surface and subsurface drains, prior to the placement of the final specified soil mix.

c) Drainage Works

Install surface and subsurface drainage where required and as detailed on the drawing. Drain subsurface drains to outlets provided, with a minimum fall of 1:100 to outlets and / or service pits.

d) Placement and Preparation of Specified Soil Conditioner & Mixes.

Trees in turf & beds - Holes shall be twice as wide as root ball and minimum 100mm deeper - backfill hole with 50/50 mix of clean site soil and imported "Organic Garden Mix" as supplied by ANL or approved equal.

Mass Planting Beds - Install specified soil conditioner to a compacted depth of 100mm

Place the specified soil conditioner to the required compacted depth and use a rotary hoe to thoroughly mix the conditioner into the top 300mm of garden bed soil. Ensure thorough mixing and the preparation of a reasonably fine tilth and good growing medium in preparation for planting.

Turf Areas - Install specified soil mix to a minimum compacted depth of 75mm.

Place the specified soil mix to the required compacted depth and grade to required finished soil levels, in preparation for planting and turfing.

PLANTING

3.01 MATERIALS

a) Quality and Size of Plant Material

All trees supplied above a 25L container size must be grown and planted in accordance with *Clarke, R 1996 Purchasing Landscape Trees: A guide to assessing tree quality. Natspec Guide No. 2*. Certification that trees have been grown to Natspec guidelines is to be provided upon request of Council's Tree Management Officer.

Above - Ground Assessment:

The following plant quality assessment criteria should be followed:

Plant true to type, Good vigour and health, free from pest & disease, free from injury, self-supporting, good stem taper, has been pruned correctly, is apically dominant, has even crown symmetry, free from included bark & stem junctions, even trunk position in pot, good stem structure

Below - Ground Assessment:

Good root division & direction, rootball occupancy, rootball depth, height of crown, non-suckering For further explanation and description of these assessment criteria, refer to Ross Clark's book.

All Plant material shall be to the type and size specified. No substitutions of plant material shall be permitted without written prior approval by the Landscape Architect. No plant shall be accepted which does not conform to the standards listed above.

b) Stakes and Ties

Provide min. 3 No. Stakes and ties to all plants identified as trees in the plant schedule. Stakes shall be sound, unpainted, straight hardwood, free of knots and pointed at one end. They shall be 2200mm x 50mm x 50mm Hardwood, or approved alternative. Ties shall be 50mm wide hessian webbing material.

c) Fertilisers

Fertilisers shall be approved slow release fertilisers suitable for the proposed planting types. Note that for native plants, specifically Proteaceae family plants including Grevillea species, low phosphorus fertilizers shall be used.

d) Mulch

Mulch shall be an approved equal to "Forest Blend" as supplied by ANL. Mulch shall be completely free from any soil, weeds, rubbish or other debris.

e) Turf

Turf shall be "Sir Walter" Buffalo or equivalent (unless stated otherwise), free from any weeds and other grasses, and be in a healthy growing condition.

3.02 INSTALLATION

a) Setting Out

All planting set out shall be in strict accordance with the drawings, or as directed. Note that proposed tree planting located near services should be adjusted at this stage. Notify Landscape Architect for inspection for approval prior to planting.

b) Planting

All plant material shall be planted as soon after delivery as possible. Planting holes for trees shall be excavated as detailed and specified. Plant containers shall be removed and discarded, and the outer roots gently teased from the soil mass.

Immediately set plant in hole and backfill with specified soil mix, incorporating the approved quantity of fertiliser for each plant type. Ensure that plants are set plumb vertically and root balls set to the consolidated finished grades detailed on the drawings. Compact the backfilled soil and saturate by hand watering to expel any remaining air pockets immediately after planting.

c) Staking and Tying

Staking and tying shall be in strict accordance with the drawings and shall occur immediately following plant placement and soil backfilling. All plants identified as "Trees" on the planting schedule shall be staked with a min. 3 stakes.

d) Mulching

Mulch should be spread so that a compacted thickness of 75mm is achieved after settlement in all planting beds and around each individual plant. Apply immediately following planting and watering in, ensuring that a 50mm radius is maintained around the trunk of each plant . There shall be no mixing of soil and mulch material.

e) Turfing

Moisten soil prior to the turf being laid. Turf shall be neatly butt jointed and true to grade to finish flush with adjacent surfaces. Incorporate a lawn fertilizer and thoroughly water in. Keep turf moist until roots have taken and sods/rolls cannot be lifted.

Keep all traffic off turf until this has occurred. Allow for top dressing of all turf areas. All turf shall be rolled immediately following installation.

f) Steel Garden Edging

The Contractor shall install stone edging as shown on the drawings, to all mass planting beds adjoining turf or gravel mulched areas, and where required. The resultant edge shall be true to line and flush with adjacent surfaces.

HARDSCAPE WORKS

4.01 GENERAL

The Contractor shall undertake the installation of all hardscape works as detailed on the drawing, or where not detailed, by manufacturers specification.

Paving - refer to typical details provided, and applicable Australian Standards. *Permeable paving may be used as a suitable means of satisfying Council permeable surface requirements, while providing a useable, hardwearing, practical surface.* In most instances, the client shall nominate the appropriate paving material to be used.

Australian Standards shall be adhered to in relation to all concrete, masonry & metal work. Some details are typical and may vary on site. All hardscape works shall be setout as per the drawings, and inspected and approved by the Landscape Architect prior to installation. All workmanship shall be of the highest standard. Any queries or problems that arise from hardscape variations should be bought to the attention of the Landscape Architect.

Your attention is directed to any obligations or responsibilities under the Dividing Fences Act, 1991 in respect of adjoining property owner/s which may arise from this application. Any enquiries in this regard may be made to the Crown Lands Division on (02) 8836 5332

IRRIGATION WORKS

5.01 GENERAL (PERFORMANCE SPECIFICATION)

An automated drip-irrigation system is to be installed to all gardens, planters and lawn areas in accordance with the approved Irrigation Design.

This system shall be designed and installed by a qualified and licensed irrigation specialist, to the highest industry standards and to maximise the efficient usage of water.

The Installer is required to obtain all approvals necessary for the completion of works in accordance with the Laws of Australia, Laws of the State of NSW, Council By-Laws and Ordinances.

Drawings:

- The Landscape Contractor nominated Licensed Irrigation Specialist shall provide irrigation drawings for approval upon engagement.

Design Requirements:

- The irrigation system shall be installed prior to all planting works. It shall incorporate a commercially available irrigation system, with sub-surface dripper lines to irrigate all gardens, planters and lawn areas.

- It shall incorporate a suitable back flow prevention device for the scale of works, an in-line filter, check valves, and suitable high and low density poly hose fittings and PVC piping to achieve flow rates suitable for specified planting.

- The irrigation application rate shall not exceed the infiltration rate of the soil or creates run-off.

- The landscape contractor shall check the existing pressure available from the ring mains and size irrigation piping to suit. Supply shall be from local hose cock where available.

- All piping and fittings shall be buried 50mm below the finished soil levels in garden and lawn areas, and secured in position at 500mm centres with galv wire pins.

- Size of pipes shall be selected to ensure the working pressure at the end of the line does not decrease by more than 5%.

Services Co-ordination:

- Co-ordination required by Landscape Contractor or Project Manager to provide required conduit, pipe work and penetration through slabs and planter walls for water and power provisions.

- The Landscape Contractor shall be engaged with the Irrigation Specialist to co-ordinate with the Project Manager to identify the preferred service and conduit locations.

- Project Manager and Landscape Contractor to establish area suitable for irrigation control system with required area, power provision and water supply.

Testing & Defects:

Upon completion of installation, the system shall be tested, including:

- Main Line Pressure Test: The main line is pressurised to test for leaks. All valves are shut and the pressure is taken over a determined length of time.

- Dripper Pressure Test: Measurement at flushing valves are taken and the pressure gauged to make sure it conforms to the manufacturer recommendations. The inlet pressure is then tested under the same conditions to check it does not exceed 300Kpa.

- All components are to be satisfactorily functional and operational prior to approval. Should any defect develop, or the capacity or efficiency of the system decline during the agreed maintenance system, then these faults shall be immediately rectified.

Warranty :

- A full 12 month warranty shall be included to cover labour and all parts.

Further Documentation:

- On request, a detailed irrigation performance specification report can be issued.

12 MONTH MAINTENANCE

6.01 GENERAL

The consolidation and maintenance period shall be 12 months beginning from the approved completion of the specified construction work (Practical Completion). A qualified landscape maintenance contractor shall undertake the required landscape maintenance works. Consolidation and maintenance shall mean the care and maintenance of Contracted works by accepted landscaping or horticultural practices, ensuring that all plants are in optimum growing conditions and appearance at all times, as well as rectifying any defects that become apparent in the contracted works.

This shall include, but not be limited to, the following items where and as required: Watering all planting and lawn areas / irrigation maintenance.

Clearing litter and other debris from landscaped areas.

Removing weeds, pruning and general plant maintenance.

Replacement of damaged, stolen or unhealthy plants. Make good areas of soil subsidence or erosion.

Topping up of mulched areas.

Spray / treatment for Insect and disease control.

Fertilizing with approved fertilizers at correct rates.

Mowing lawns & trimming edges each 14 days in summer or 18 days in winter Adjusting ties to Stakes

Maintenance of all paving, retaining and hardscape elements.

On the completion of the maintenance period, the landscape works shall be inspected and at the satisfaction of the superintendent or landscape architect, the responsibility will be signed over to the client.xx

A	11/12/24	4.58 APPLICATION ISSUE
ISSUE	DATE	COMMENT

AMENDMENTS

Project	COLLAROY LIVING RESIDENCES DA LANDSCAPE	
Address	37-43 Hay Street Collaroy NSW 2097	
Drawing Title	SPECIFICATION	Date 11/12/2024
		Scale N.T.S@A1

Drawing No. **1500**

GENERAL NOTES

All work to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Local Authorities Regulations and all other relevant Authorities concerned.
All structural work and site drainage to be subject to Engineer's details or certification where required by Council. This shall include r.c. slabs and footings, r.c. and steel beams & columns, wind bracing to AS 1170 and AS4055, anchor rods or bolts, tie downs, fixings etc., driveway slabs and drainage to Council's satisfaction. All timbers to be in accordance with SAA Timber Structure Code AS1720 and SAA Timber Framing Code AS 1684. All work to be carried out in a professional and workman- shiplike manner according to the plans and specification.

NOTE

Do not scale off the drawings unless otherwise stated and use figured dimensions in preference.

All dimensions are to be checked and verified on site before the commencement of any work, all dimensions and levels are subject to final survey and set-out
No responsibility will be accepted by Sitedesign for any variations in design, builder's method of construction or materials used, deviation from specification without permission or accepted work practices resulting in inferior construction. Locate and protect all services prior to construction.

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Page

L-06

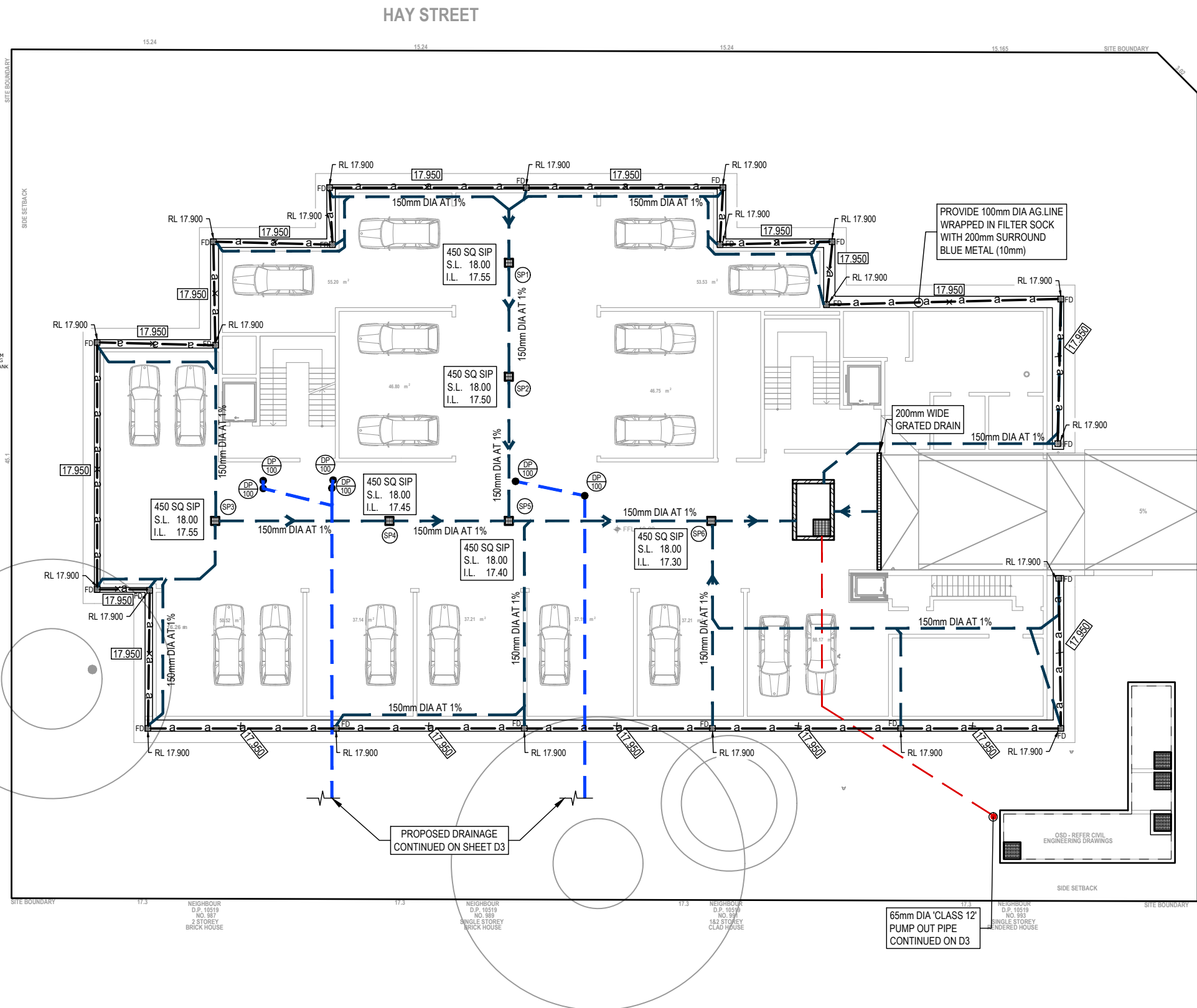
Drawing No. **1500**

northern beaches council

PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW

PROCEEDINGS NO: 2024/291256

DATED: 26 February 2025



PUMP-OUT CALCULATIONS AS PER AS3500.3

PROPOSED RISING MAIN PIPE DIAMETER:
65mm DIA uPVC 'PRESSURE PIPE' CLASS "12"

- HEAD LOSS**
- STATIC = 3.00 m
 - PIPE FRICTION = 0.5 m
 - FITTINGS = 0.5 m
 - TOTAL = 4.0 m

PUMP DUTY :
6 l/s AT 4.0 m HEAD

PUMP TYPE :
SUBMERSIBLE EQUAL TO DAVEY D150 2.2 kW, 240 V, OR EQUIVALENT.
USE TWO (2) x PUMPS TO OPERATE

ALTERNATIVELY AS PER AS3500.3.

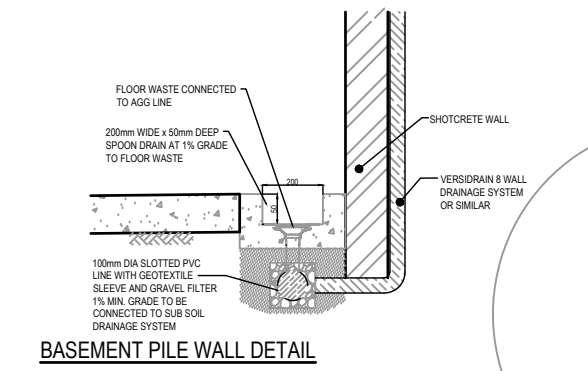
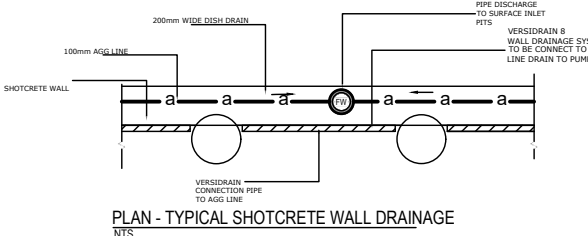
PUMP CONTROL:
AUTOMATIC WITH FLOAT SWITCHES

PUMP-OUT CALCULATIONS AS PER AS3500.3

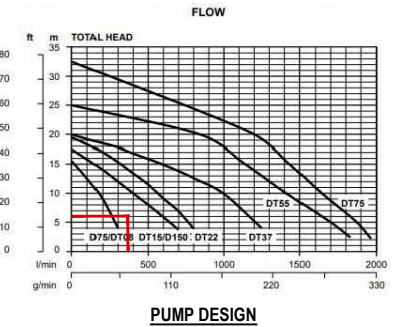
- DESIGN STORM 10 ARI 2Hr (I = 31.8mm/hr)
- AREA TO PUMP APPROX 66m²
- MAX FLOW $\frac{0.0066Ha \times 273 \text{ mm/hr}}{360} = 5.0\text{L/s}$
- DESIGN FLOW $\frac{0.0066Ha \times 31.8 \text{ mm/hr}}{360} = 0.6\text{L/s}$
- ASSUMED SEEPAGE = 0.1L/s
- DESIGN VOLUME (0.6L/s + 0.1L/s) x 60s x 120min = 5,040L

THEREFORE PROVIDE MINIMUM 5.04m³ HOLDING TANK PUMP OUT PSD 10.0L/s (AS PER AS 3500.3)

PROVIDE DUAL PUMPS WITH MINIMUM DISCHARGE RATE OF 6 l/s EACH. REFER TO DETAIL



- DRAINAGE PIPE LEGEND**
- uPVC AREIAL PIPE IN CEILING AT 1%
 - uPVC AREIAL PIPE CHARGED TO RWT
 - IN GROUND GRAVITY DRAINAGE
 - PIPE TO RAINWATER TANK
 - DOWNPIPE FROM ABOVE FLOOR
 - SLAB PENETRATION
- NOTE: ALL AREIAL PIPES TO BE 100mm DIA uPVC UNO**



PLANS ARE FOR CONCEPT ONLY AND NOT FOR CONSTRUCTION



APPROVED BY
NADER ZAKI
MIEAust CPEng NER

[Signature]

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admin@nycivilengineering.com.au
www.nycivilengineering.com.au

REVISION	DRAWN	DESCRIPTION	DATE
E	MR	ISSUED FOR DA	6.03.2024
F	MR	UPDATED DRIVEWAY PLANS	22.03.2024
G	MR	UPDATED ARCHITECTURAL PLANS	09.04.2024
H	MR	UPDATED ARCHITECTURAL PLANS	16.07.2024

DRAWING TITLE
BASEMENT PLAN

PROJECT TITLE
**PROPOSED SENIORS LIVING DEVELOPMENT
No.37-43 HAY STREET
COLLARROY**

SHEET SIZE	A3	JOB REFERENCE	E230197
DESIGNED	NZ	DRAWING No.	D2
CHECKED	NZ	No. IN SET	13
ISSUE	H		
SCALE	1:200		



PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW

PROCEEDINGS NO: 2024/291256

DATED: 26 February 2025

OSD CALCULATION SUMMARY

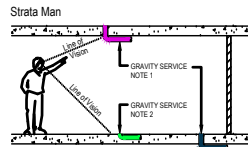
STORM (AEP)	1%	5%	20%
PRE-DEVELOPMENT STATE PSD (L/s)	147	106	67
POST DEVELOPMENT OSD DISCHARGE (L/s)	66	65	65
POST DEVELOPMENT (L/s) (BYPASSING OSD)	0	0	0
OSD VOLUME (m³)	50.4	24.2	4.8

THEREFORE POST DEVELOPMENT DISCHARGE LIMITED TO UNDEVELOPED STATE IN ANY STORM EVENT UP TO AND INCLUDING 1% AEP

DRAINAGE PIPE LEGEND

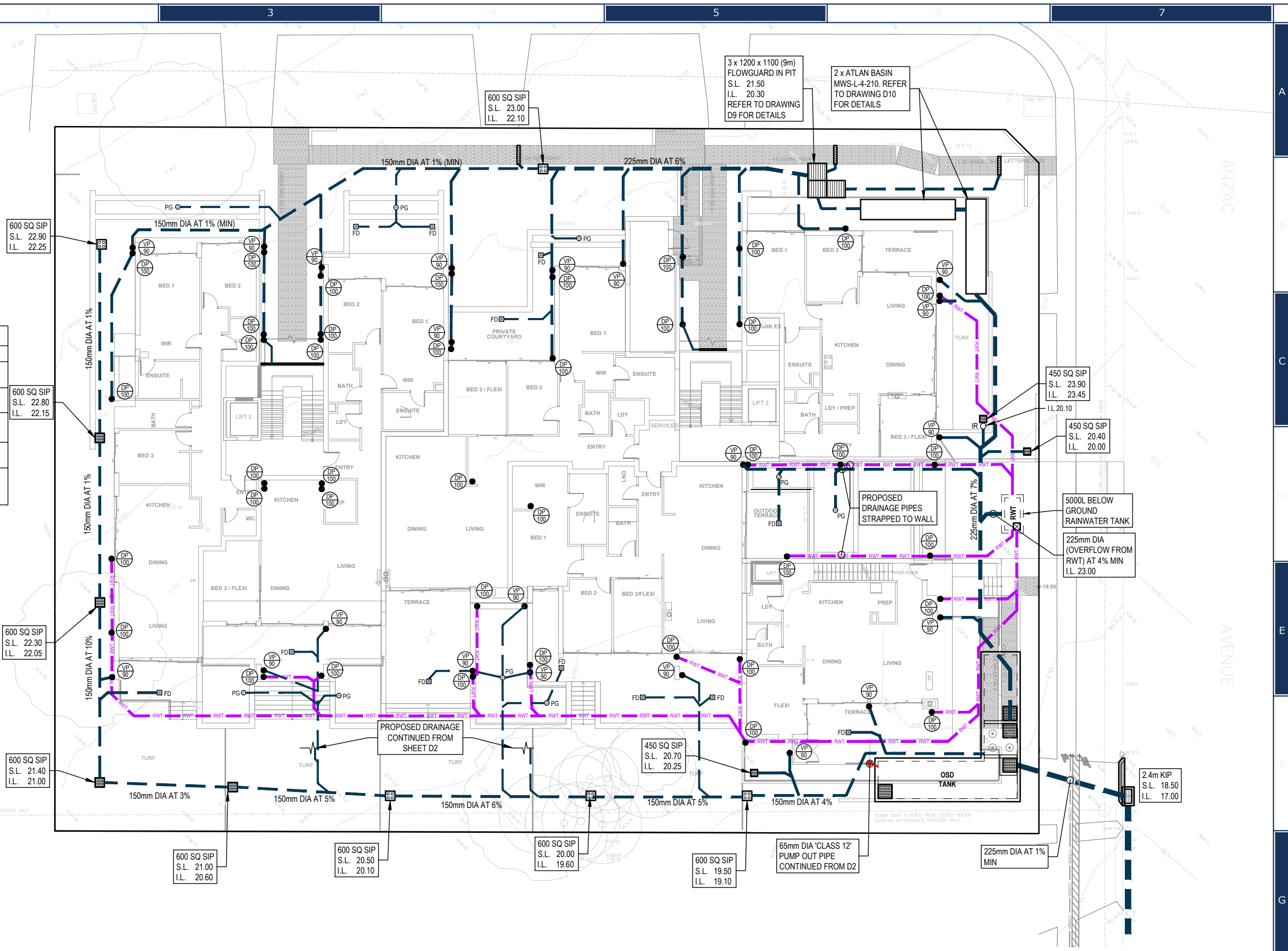
- uPVC AREIAL PIPE IN CEILING AT 1%
 - uPVC AREIAL PIPE CHARGED TO RWT
 - IN GROUND GRAVITY DRAINAGE
 - DRAINAGE PIPES TO RWT
- NOTE: ALL ARIEL PIPES TO BE 100mm DIA uPVC UNO

NOTE: ALL GRATED DRAINS ARE TO BE 150mm WIDE U.N.O



- NOTES
- GRAVITY SERVICES ARE SHOWN IN STRATA UNLESS NOTED OTHERWISE
 - GRAVITY CAST INTERSERVICES ARE SHOWN OUT OF STRATA UNLESS NOTED OTHERWISE

PLANS ARE FOR CONCEPT ONLY AND NOT FOR CONSTRUCTION



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	H	MR	UPDATED ARCHITECTURAL PLANS	16.07.2024

DRAWING TITLE	
GROUND FLOOR PLAN	
PROJECT TITLE	
PROPOSED SENIORS LIVING DEVELOPMENT No.37-43 HAY STREET COLLARROY	

SHEET SIZE	A3	JOB REFERENCE	E230197
DESIGNED	NZ	DRAWING No.	D3
CHECKED	NZ	No. IN SET	13
ISSUE	H		
SCALE	1:250		



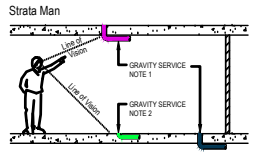

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PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW
PROCEEDINGS NO: 2024/291256
DATED: 26 February 2025

NOTE: ENSURE ALL BALCONIES TO HAVE A Ø50 OVERFLOW PIPES

DRAINAGE PIPE LEGEND

- uPVC AREIAL PIPE IN CEILING AT 1%
- 65mm CAST IN PIPE

NOTE: ALL AERIAL PIPES TO BE 100mm DIA uPVC UNO



NOTES
 1. GRAVITY SERVICES ARE SHOWN IN STRATA UNLESS NOTED OTHERWISE
 2. GRAVITY CAST INSERVICES ARE SHOWN OUT OF STRATA UNLESS NOTED OTHERWISE



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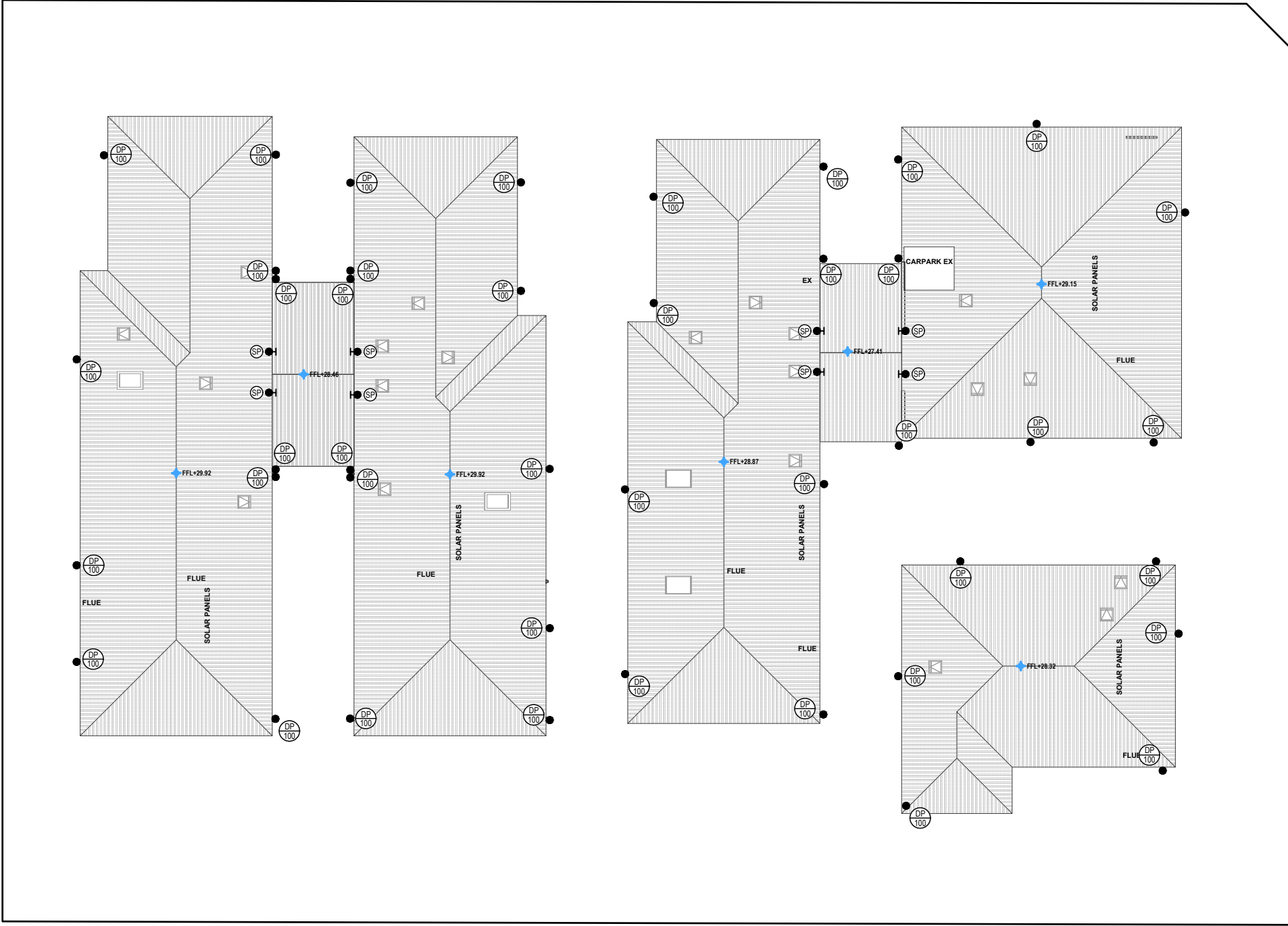
DRAWING TITLE
LEVEL 02 PLAN
PROJECT TITLE
PROPOSED SENIORS LIVING DEVELOPMENT
No.37-43 HAY STREET
COLLARROY

SHEET SIZE	A3	JOB REFERENCE	E230197
DESIGNED	NZ	DRAWING No.	D4
CHECKED	NZ	No. IN SET	13
ISSUE	H		
SCALE	1:250		

ROOF DRAINAGE

- GUTTERING - CROSS SECTIONAL AREA OF GUTTER TO BE GREATER THAN 10,500mm²
- DOWN PIPES - 100mm DIA PVC OR COLORBOND

NOTE: ROOF DESIGNED TO 1% AEP INTENSITY 258 mm/hr




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PLANS APPROVED BY THE LAND AND
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PROCEEDINGS NO: 2024/291256

DATED: 26 February 2025



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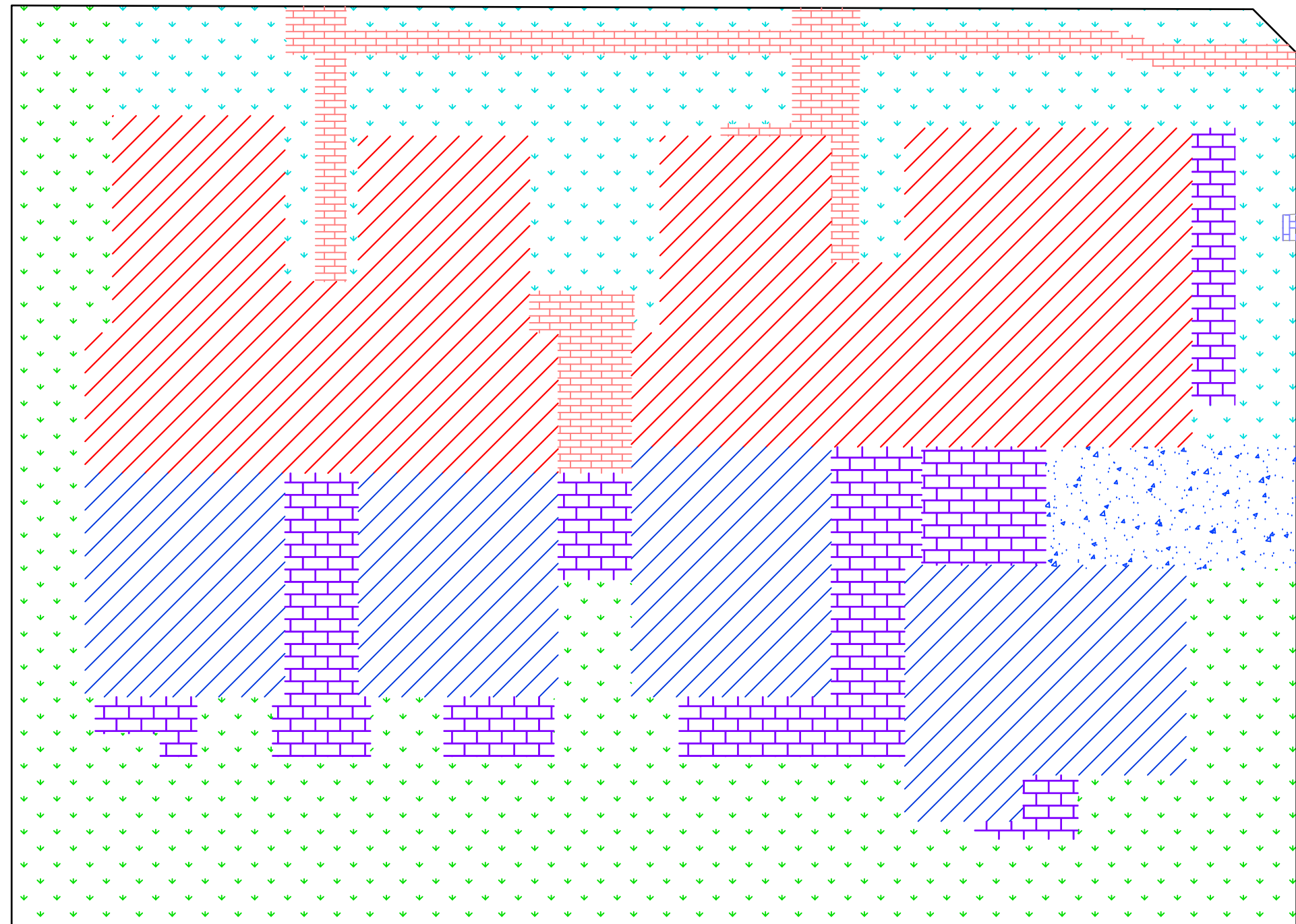
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G	MR	UPDATED ARCHITECTURAL PLANS	09.04.2024
H	MR	UPDATED ARCHITECTURAL PLANS	16.07.2024

DRAWING TITLE
ROOF PLAN
PROJECT TITLE
PROPOSED SENIORS LIVING DEVELOPMENT No.37-43 HAY STREET COLLARROY

SHEET SIZEA3	JOB REFERENCE
DESIGNED NZ	E230197
CHECKED NZ	DRAWING No.
ISSUE H	D5
SCALE 1:250	No. IN SET
	13

 ROOF AREA = 728.5m ² TO FLOWGUARD + ATLAN BASIN	 ROOF AREA = 490m ² TO RWT, WSUD AND OSD TANK	 PAVED AREA = 141.9m ² TO FLOWGUARD + ATLAN BASIN	 PAVED AREA = 255.0m ² TO WSUD AND OSD TANK	 DRIVEWAY AREA = 75.0m ² BYPASS WSUD	 LANDSCAPED AREA = 389.8m ² TO FLOWGUARD + ATLAN BASIN	 LANDSCAPED AREA = 758.9m ² TO WSUD AND OSD TANK
---	---	--	---	---	--	--

 FOOTPATH AREA FALLING INTO SITE = 98.0m ²	 FOOTPATH AREA BYPASSING SITE = 98.0m ²
--	---




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PROCEEDINGS NO: 2024/291256

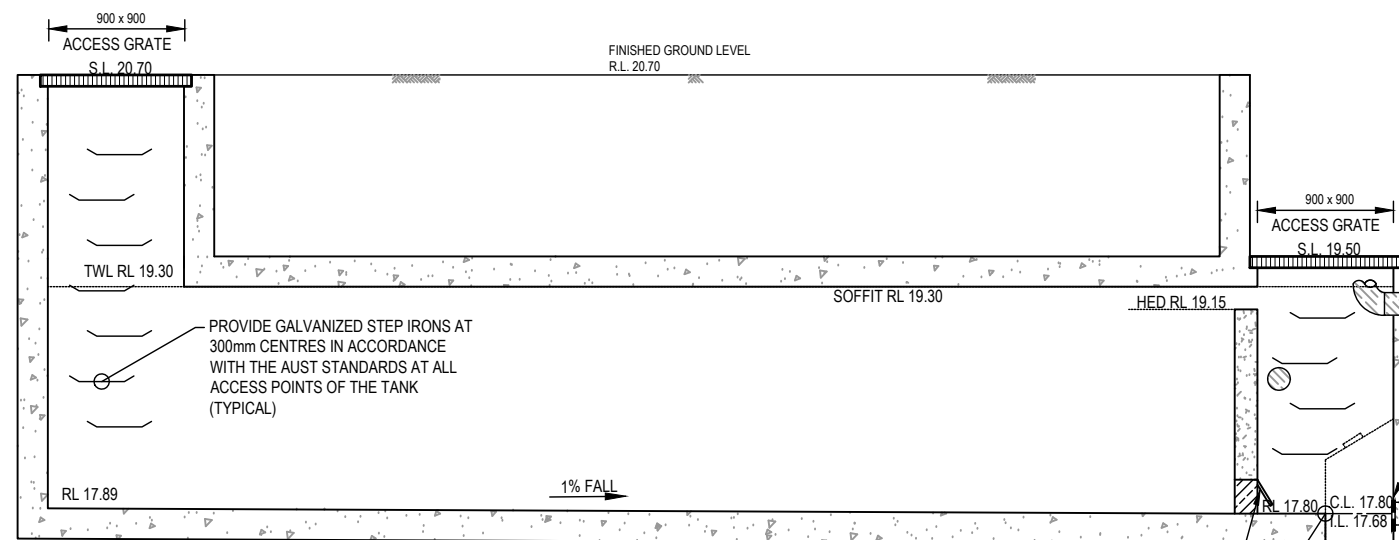
DATED: 26 February 2025



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NADER ZAKI MIEAust CPEng NER  0413 942 613 admin@nycivilengineering.com.au www.nycivilengineering.com.au	E	MR	ISSUED FOR DA	6.03.2024
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	H	MR	UPDATED ARCHITECTURAL PLANS	16.07.2024

DRAWING TITLE
WSUD/OSD CATCHMENT PLAN
PROJECT TITLE
PROPOSED SENIORS LIVING DEVELOPMENT No.37-43 HAY STREET COLLARROY

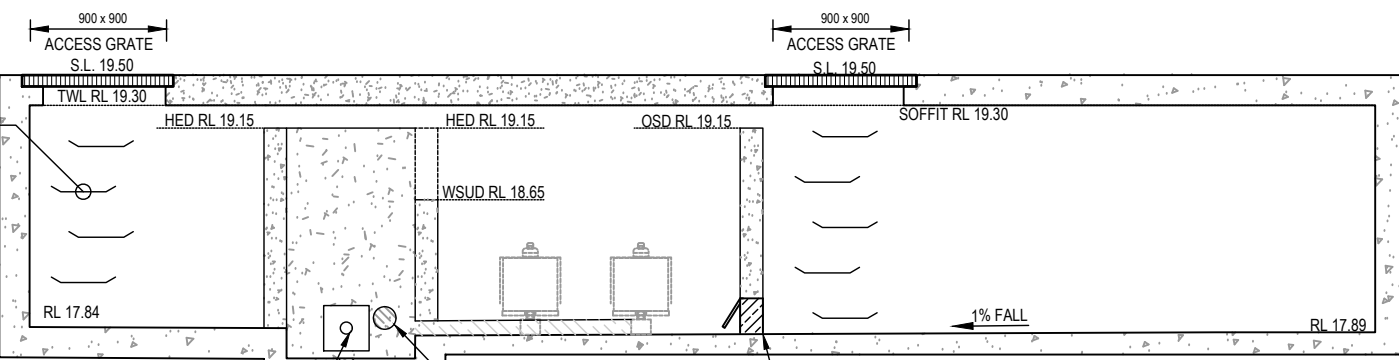
SHEET SIZE	A3	JOB REFERENCE	E230197
DESIGNED	NZ	DRAWING No.	D6
CHECKED	NZ	No. IN SET	13
ISSUE	H		
SCALE	1:50		



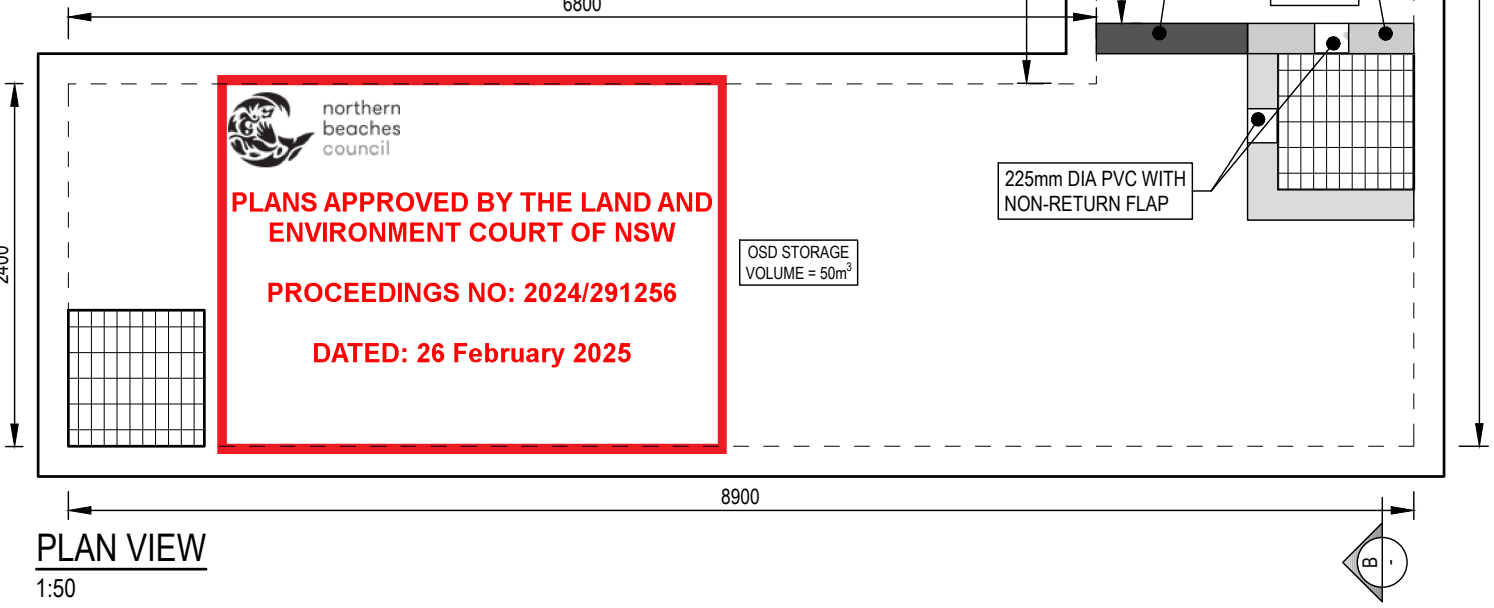
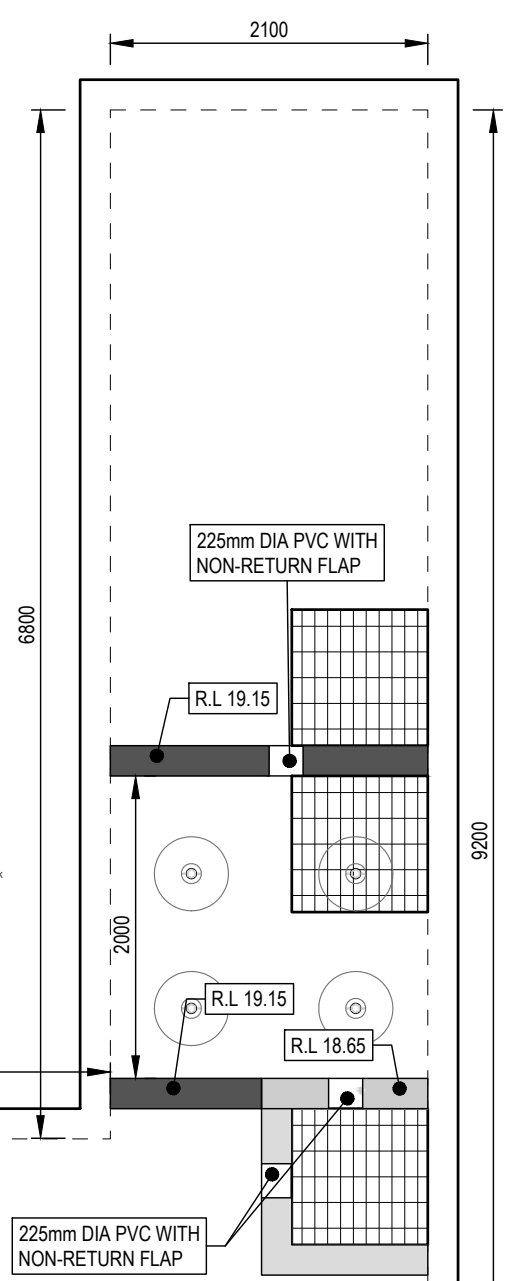
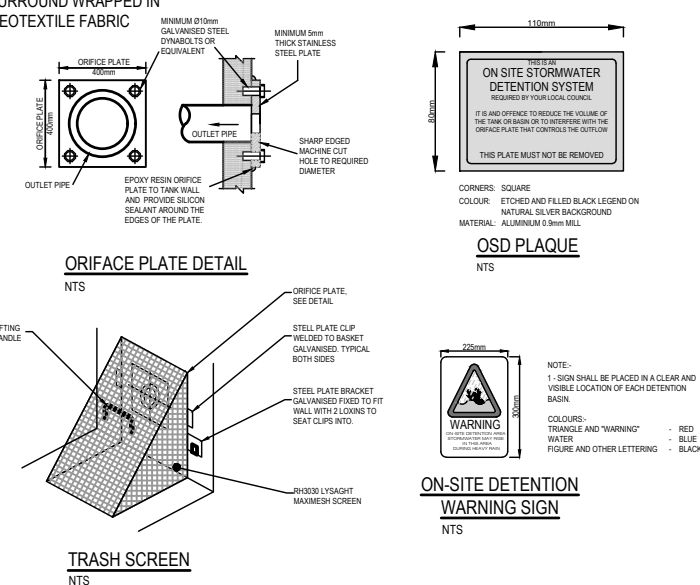
OVERFLOW WEIR CALCULATIONS - 'WSUD OVER FLOW WEIR'

AREA TO HED CHAMBER = 2,756m²
 FLOW TO WSUD CHAMBER = (0.8 x 258mm/hr x 0.2756Ha / 360) = 158 L/s
 RECTANGULAR WEIR CAPACITY = (1.67 x 2.7 x 0.15m^{1.5}) = 262 L/s
THEREFORE 150mm HIGH WEIR SUFFICIENT

SECTION A
1:50



SECTION B
1:50



PLAN VIEW
1:50



NOTE:-
 1 - SIGN SHALL BE PLACED IN A CLEAR AND VISIBLE LOCATION OF EACH DETENTION BASIN.

COLOURS:-
 TRIANGLE AND "WARNING" - RED
 WATER - BLUE
 FIGURE AND OTHER LETTERING - BLACK

ON-SITE DETENTION WARNING SIGN
NTS



CORNERS: SQUARE
 COLOUR: ETCHED AND FILLED BLACK LEGEND ON NATURAL SILVER BACKGROUND
 MATERIAL: ALUMINIUM 0.9mm MILL

OSD PLAQUE
NTS



PLAN VIEW
1:50



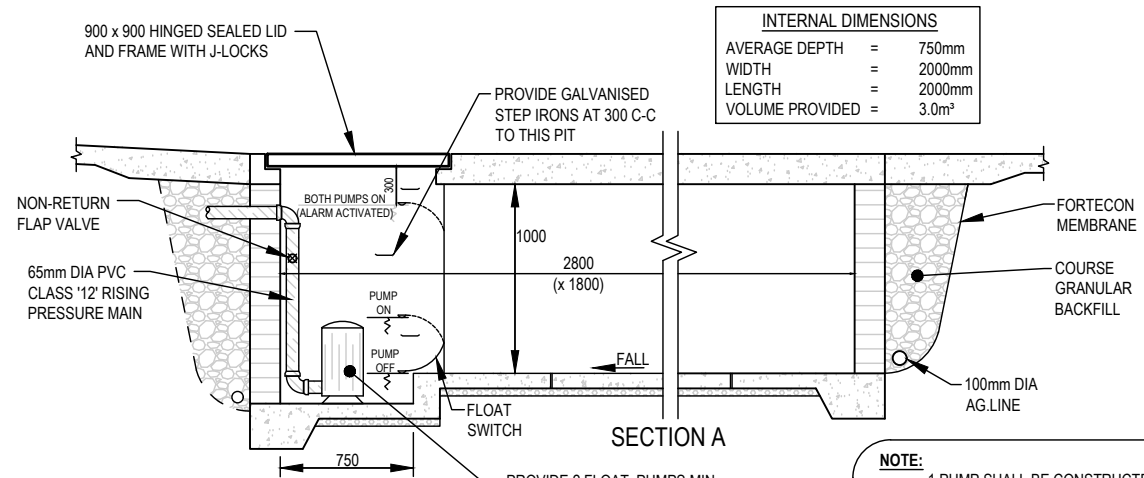
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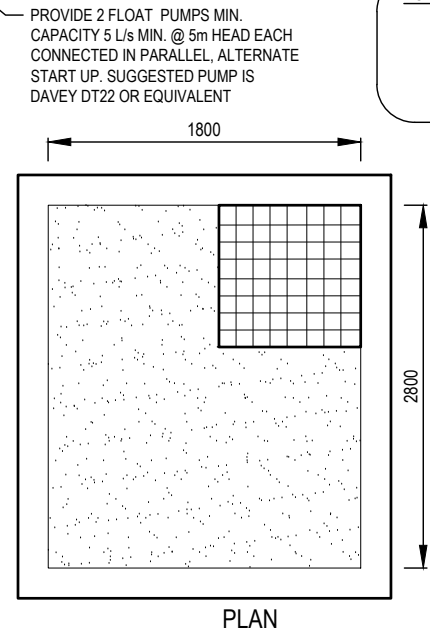
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H	MR	UPDATED ARCHITECTURAL PLANS	16.07.2024

DRAWING TITLE	
OSD DETAILS	
PROJECT TITLE	
PROPOSED SENIORS LIVING DEVELOPMENT No.37-43 HAY STREET COLLARROY	

SHEET SIZE	A3	JOB REFERENCE	E230197
DESIGNED	NZ	DRAWING No.	D7
CHECKED	NZ	No. IN SET	13
ISSUE	H		
SCALE	1:50		



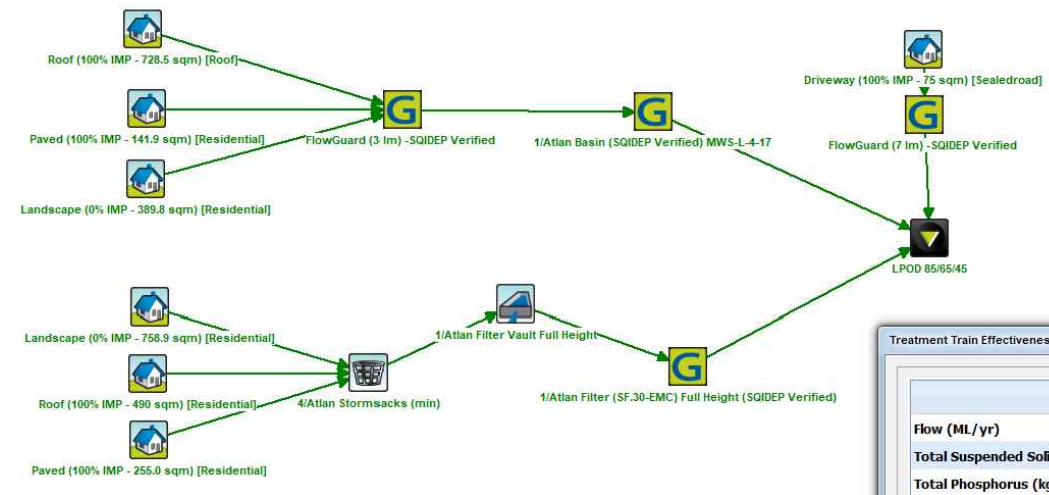
NOTE:
 1. PUMP SHALL BE CONSTRUCTED TO THE STRUCTURAL ENGINEERS DETAILS
 2. ALL THE A.G LINES BEHIND THE BASEMENT WALLS ARE TO BE CONNECTED TO PUMP-OUT SYSTEM



PUMP HOLDING TANK (TYPICAL)
 NTS

STANDARD PUMP OUT DESIGN NOTES:

- THE PUMP OUT SYSTEM SHALL BE DESIGNED TO OPERATE IN THE FOLLOWING MANNER-
- THE PUMPS SHALL BE PROGRAMMED TO WORK ALTERNATELY SO AS TO ALLOW BOTH PUMPS TO HAVE AN EQUAL OPERATION LOAD AND PUMP LIFE.
 - A LOW LEVEL FLOAT SHALL BE PROVIDED TO ENSURE THAT THE MINIMUM REQUIRED WATER LEVEL IS MAINTAINED WITHIN THE SUMP AREA OF THE BELOW GROUND TANK. IN THIS REGARD THE FLOAT WILL FUNCTION AS AN OFF SWITCH FOR THE PUMPS.
 - A SECOND FLOAT SHALL BE PROVIDED AT A HIGHER LEVEL, APPROXIMATELY 300mm ABOVE THE MINIMUM WATER LEVEL, WHEREBY ONE OF THE PUMPS WILL OPERATE AND DRAIN THE TANK TO THE LEVEL OF THE LOW-LEVEL FLOAT.
 - A THIRD FLOAT SHALL BE PROVIDED AT A HIGH LEVEL, WHICH IS APPROXIMATELY THE ROOF LEVEL OF THE BELOW GROUND TANK. THIS FLOAT SHOULD START THE OTHER PUMP THAT IS NOT OPERATING AND ACTIVATE THE ALARM.
 - AN ALARM SYSTEM SHALL BE PROVIDED WITH A FLASHING STROBE LIGHT AND A PUMP FAILURE WARNING SIGN WHICH ARE TO BE LOCATED AT THE DRIVEWAY ENTRANCE TO THE BASEMENT LEVEL. THE ALARM SYSTEM SHALL BE PROVIDED WITH A BATTERY BACK-UP IN CASE OF POWER FAILURE.



Treatment Train Effectiveness - LPOD 85/65/45

	Sources	Residual Load	% Reduction
Flow (ML/yr)	2.4	2.4	0
Total Suspended Solids (kg/yr)	293	43.2	85.2
Total Phosphorus (kg/yr)	0.59	0.173	70.7
Total Nitrogen (kg/yr)	5.21	1.65	68.4
Gross Pollutants (kg/yr)	48.3	0.541	98.9

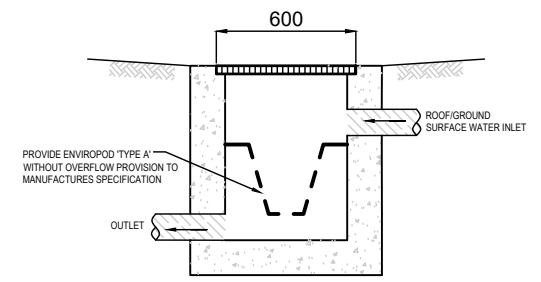
MUSIC MODELLING

northern beaches council

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SIP DETAIL WITH ENVIROPOD TYPICAL
 NTS



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DRAWING TITLE
STORMWATER DETAILS

PROJECT TITLE
PROPOSED SENIORS LIVING DEVELOPMENT
No.37-43 HAY STREET
COLLARROY

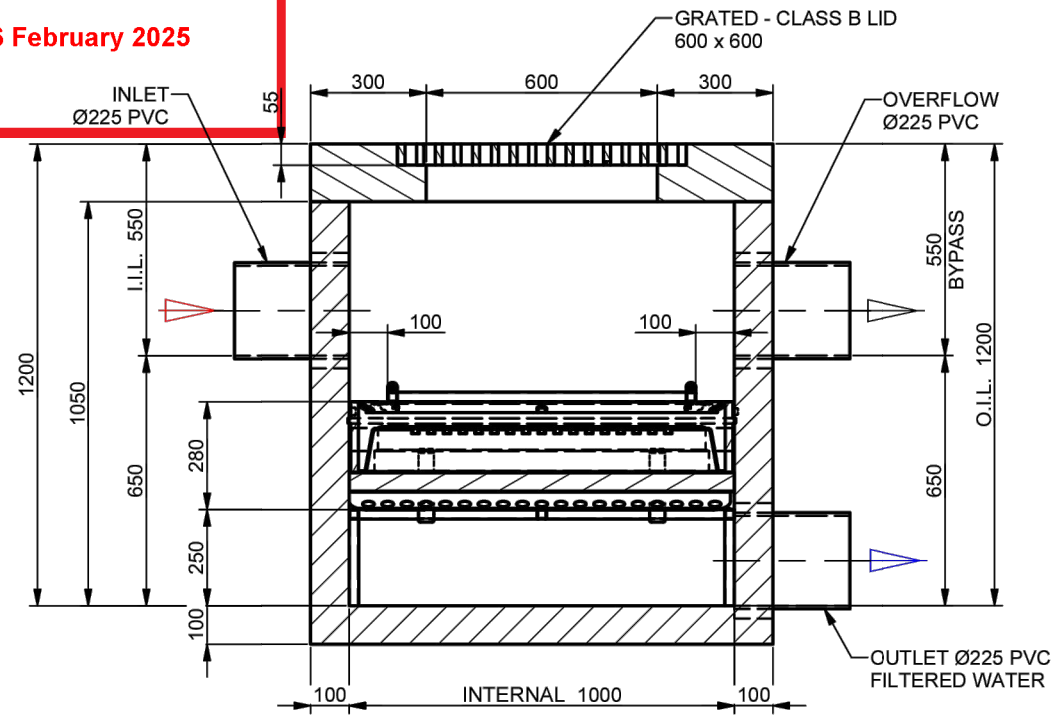
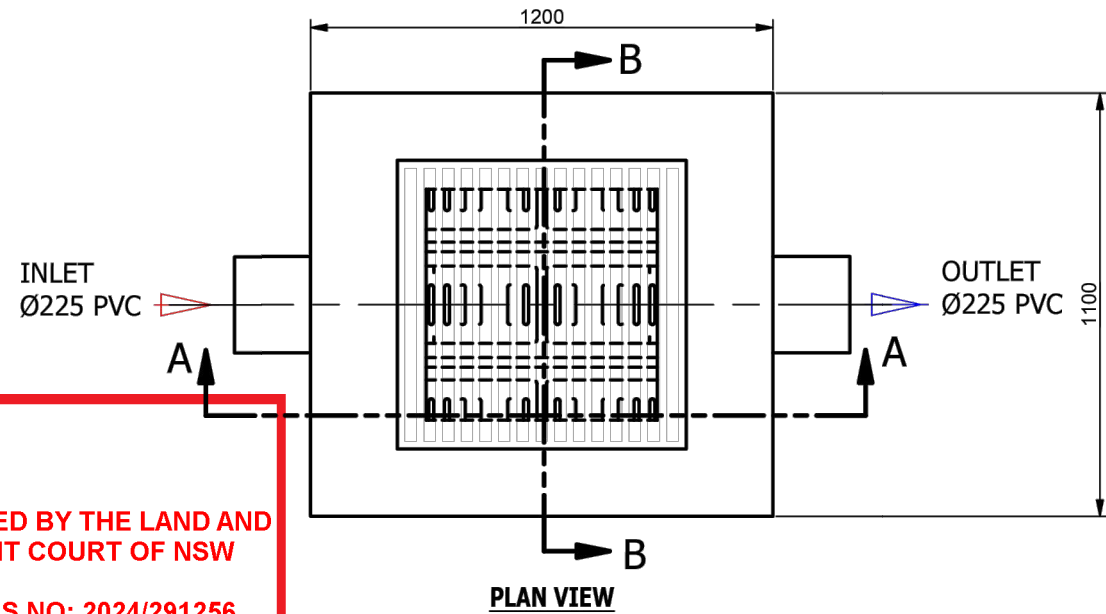
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DESIGNED	NZ	DRAWING No.	D8
CHECKED	NZ	No. IN SET	13
ISSUE	H		
SCALE	1:50		



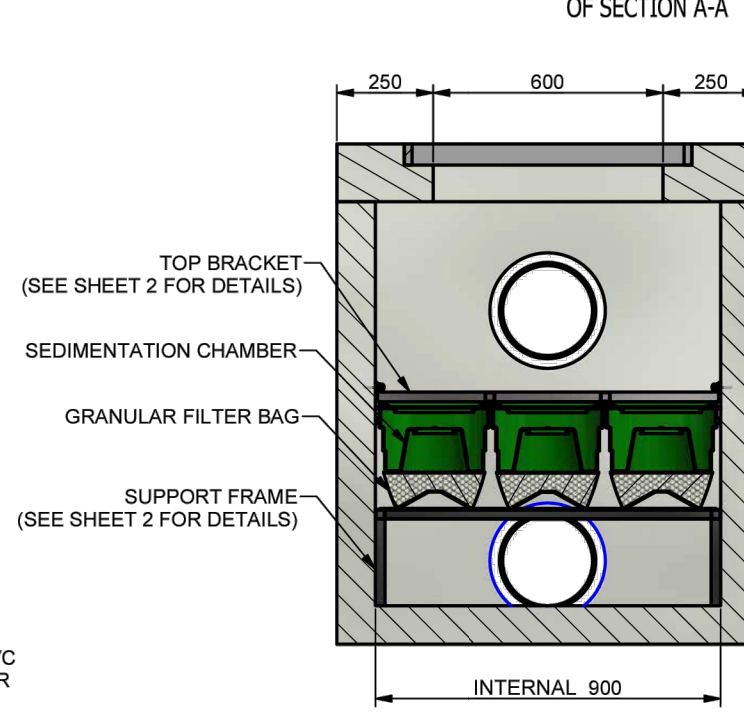
PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW

PROCEEDINGS NO: 2024/291256

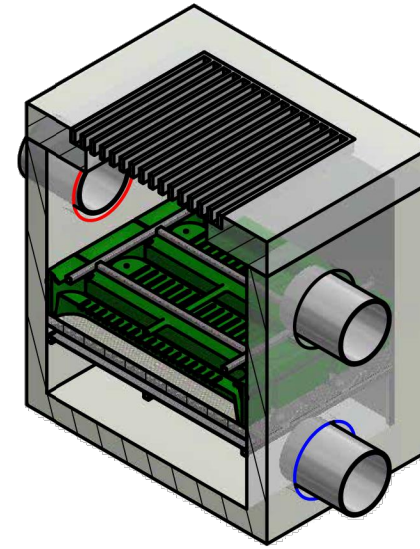
DATED: 26 February 2025



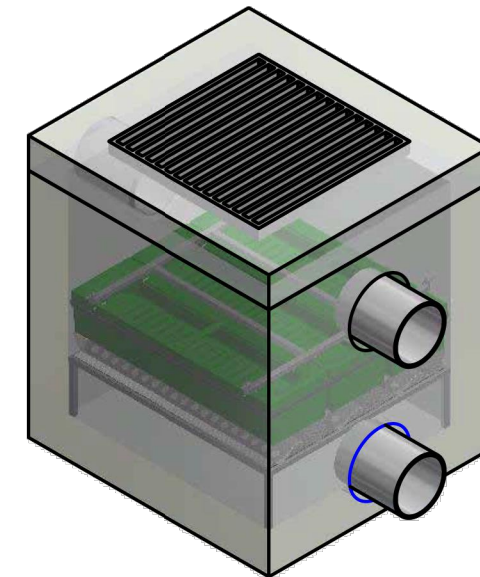
SECTION A-A



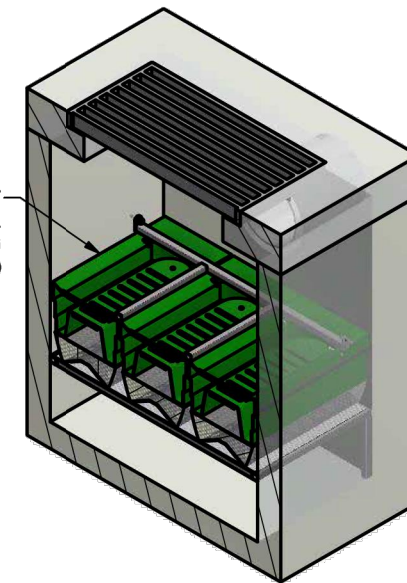
SECTION B-B



ISOMETRIC VIEW OF SECTION A-A



ISOMETRIC VIEW



ISOMETRIC VIEW OF SECTION B-B

ISSUE FOR APPROVAL
NOT FOR CONSTRUCTION

TOLERANCE: All Dimensions to Closest 10 mm & +/- 30 mm ALL INTERCONNECTING PIPEWORK, PITS AND ASSOCIATED DRAINAGE BY OTHERS

REV	DATE	BY	DESCRIPTION	CHK
4	07/09/2021	P.Z.	DETAILS ADDED	
3	07/09/2021	P.Z.	DESIGN CHANGED	
2	07/09/2021	P.Z.	DESIGN CHANGED	
1	23/04/2020	P.Z.	INITIAL RELEASE	

CLIENT:	
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Drawn	Date
P.Z.	23/04/2020
Check	Date
Verified	Date
Approved	Date
Request No.	



PROJECT			
TITLE			
SPEL HYDROCHANNEL IN CONCRETE PIT 3 HYDROCHANNEL - 450 L/S CONCRETE PIT - 1050 DEEP - CLASS B GENERAL ARRANGEMENT			
SCALE	SIZE	SHEET	REV
N.T.S	A3	1	4
CUSTOMER CODE : DWG No.		SP20-HC14460-P	



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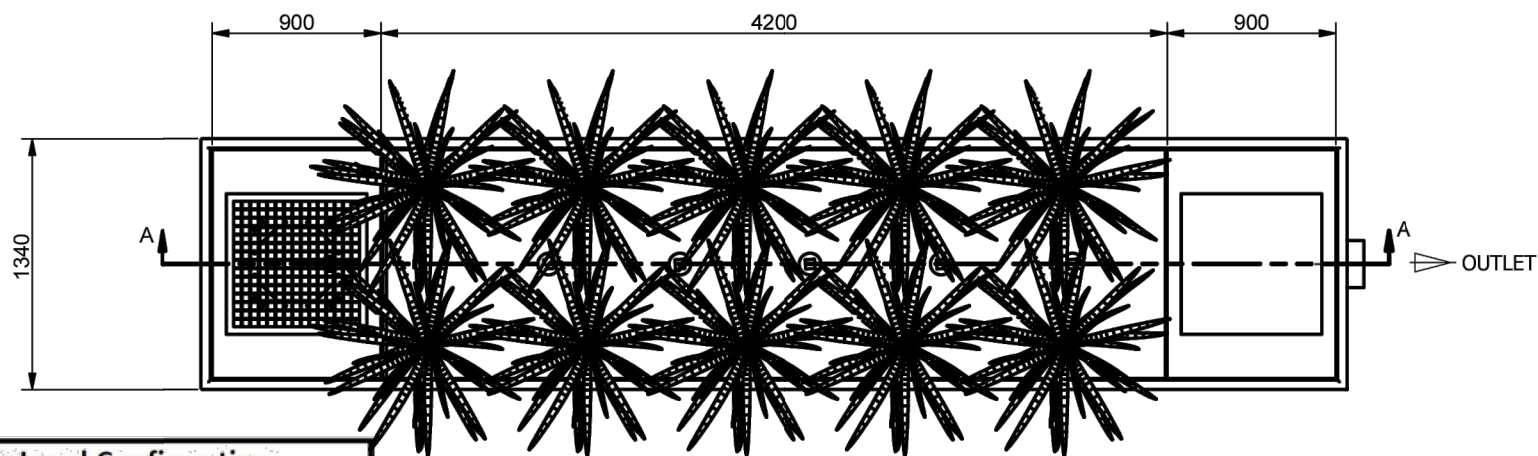
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H	MR	UPDATED ARCHITECTURAL PLANS	16.07.2024

DRAWING TITLE
ATLAN HYDROCHANNEL DETAILS
 PROJECT TITLE
**PROPOSED SENIORS LIVING DEVELOPMENT
 No.37-43 HAY STREET
 COLLAROY**

SHEET SIZE	A3
DESIGNED	NZ
CHECKED	NZ
ISSUE	H
SCALE	1:50

JOB REFERENCE
E230197
 DRAWING No.
D9
 No. IN SET
13



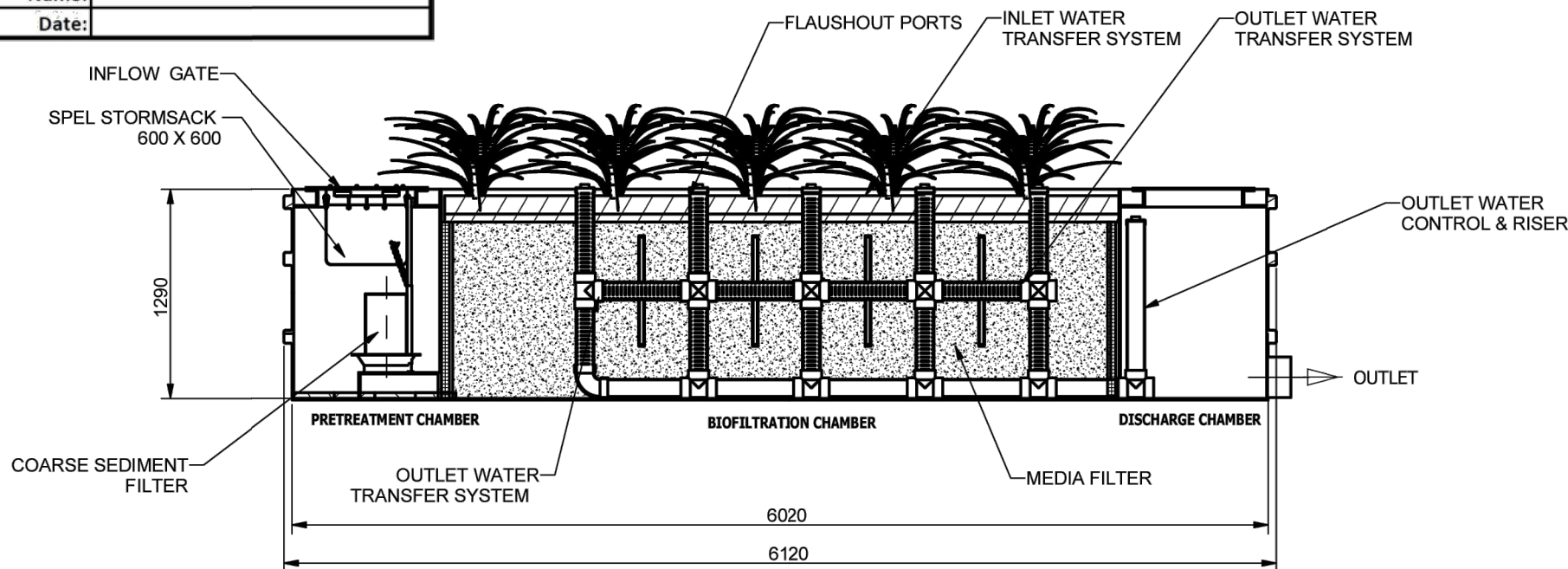
PLAN VIEW



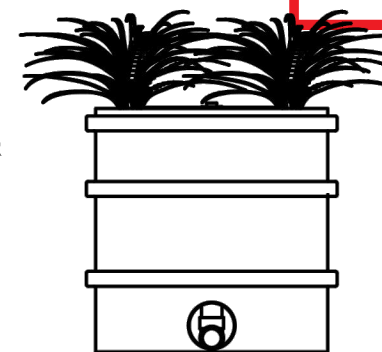
ISOMETRIC VIEW

Site Level Confirmation	
Finished Surface Level (FSL) RL:	
Access Cover Thickness	mm
Inlet Invert Level RL:	
Outlet Invert Level RL:	
Company:	
Name:	
Date:	

northern beaches council
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PROCEEDINGS NO: 2024/291256
DATED: 26 February 2025



ELEVATION VIEW SECTION A-A



RIGHT END VIEW
OUTLET

TOLERANCE: All Dimensions to Closest 10 mm & +/- 30 mm ALL INTERCONNECTING PIPEWORK, PITS AND ASSOCIATED DRAINAGE BY OTHERS

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1	INITIAL RELEASE	M.MAKIN	13/04/2021			
REV	DESCRIPTION	DESIGNER	DATE	CHECKED BY		



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	G	MR	UPDATED ARCHITECTURAL PLANS	09.04.2024
	H	MR	UPDATED ARCHITECTURAL PLANS	16.07.2024

DRAWING TITLE	
ATLAN BASIN DETAIL	
PROJECT TITLE	
PROPOSED SENIORS LIVING DEVELOPMENT No.37-43 HAY STREET COLLARROY	

SHEET SIZE	A3	JOB REFERENCE	E230197
DESIGNED	NZ	DRAWING No.	D10
CHECKED	NZ	No. IN SET	13
ISSUE	H		
SCALE	1:50		



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PROCEEDINGS NO: 2024/291256

DATED: 26 February 2025

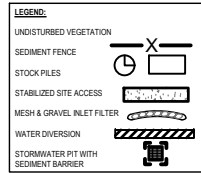
DUST CONTROL

NOTE: DURING EXCAVATION, DEMOLITION AND CONSTRUCTION, ADEQUATE MEASURES SHALL BE TAKEN TO PREVENT DUST FROM AFFECTING THE AMENITY OF THE NEIGHBOURHOOD. THE FOLLOWING MEASURES MUST BE ADOPTED:

- PHYSICAL BARRIERS SHALL BE ERECTED AT RIGHT ANGLES TO PREVENT WIND DIRECTION OR SHALL BE PLACED AROUND OR OVER DUST SOURCES TO PREVENT WIND OR ACTIVITY FROM GENERATING DUST.
- EARTHWORKS AND SCHEDULING ACTIVITIES SHALL BE MANAGED TO COINCIDE WITH THE NEXT STAGE OF DEVELOPMENT TO MINIMISE THE AMOUNT OF TIME THE SITE IS LEFT TO CUT OR EXPOSED.
- ALL MATERIALS SHALL BE STORED OR STOCKPILED AT THE BEST LOCATIONS.
- THE GROUND SURFACE SHOULD BE DAMPENED SLIGHTLY TO PREVENT DUST FROM BECOMING AIRBORNE BUT SHOULD NOT BE WET TO THE EXTENT THAT RUN-OFF OCCURS.
- ALL VEHICLES CARRYING SOIL OR RUBBLE TO OR FROM THE SITE SHALL AT ALL TIMES BE COVERED TO PREVENT THE ESCAPE OF DUST.
- ALL EQUIPMENT WHEELS SHALL BE WASHED BEFORE EXISTING THE SITE USING MANUAL OR AUTOMATED SPRAYERS AND DRIVE-THROUGH WASHING BAYS.
- GATES SHALL BE CLOSED BETWEEN VEHICLE MOVEMENTS SHALL BE FITTED WITH SHADE CLOTH.
- CLEANING OF FOOTPATHS AND ROADWAYS SHALL CARRIED OUT DAILY.
- ALL BUILDERS REFUSE, SPILL AND/OR MATERIAL UNSUITABLE FOR USE IN LANDSCAPE AREAS SHALL BE REMOVED FROM SITE ON COMPLETION OF THE BUILDING WORKS.

NOTES

- ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY SITE MANAGER IN ACCORDANCE WITH COUNCIL REQUIREMENTS.
- ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS.
- DRAINAGE IS TO BE CONNECTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE.
- ROADS AND FOOTPATH TO BE SWEEPED DAILY AS REQUIRED BY COUNCIL.
- IF YOU DO NOT COMPLY WITH COUNCIL REQUIREMENTS & DOCUMENTATION, YOU MAY BE LIABLE TO PROSECUTION FROM GOVERNMENT AUTHORITIES.



SEDIMENTATION BASIN CALCULATIONS - BLUE BOOK

ASSUMED

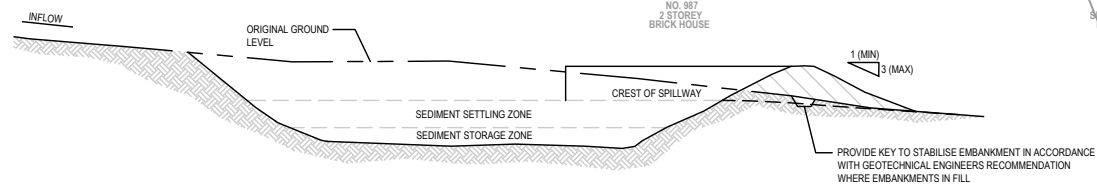
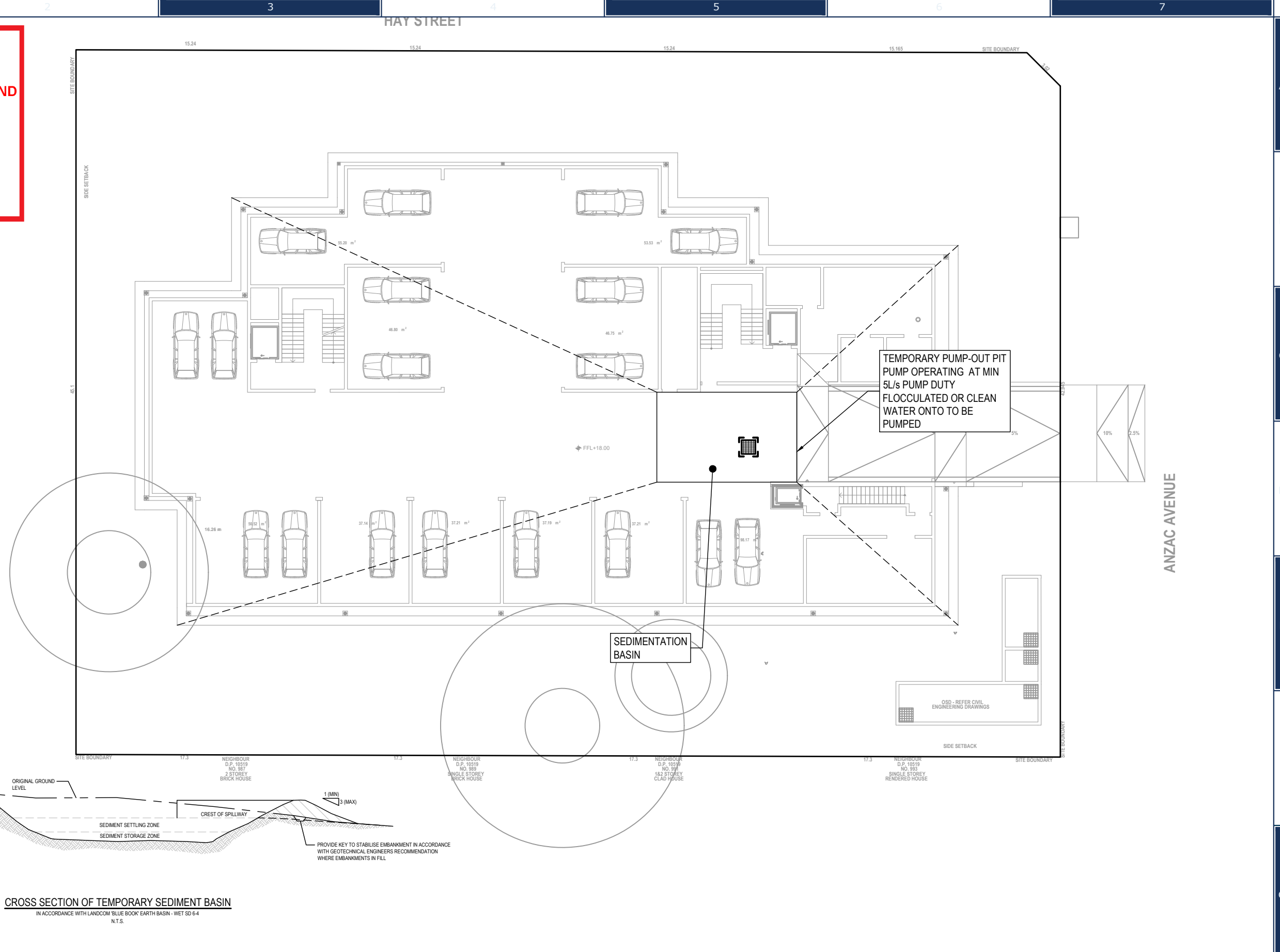
- GREATER THAN 6 MONTH CONSTRUCTION
- SOIL TYPE C

SETTLING ZONE REQUIRED = $10 \times C_s \times A \times R_v$
= $10 \times 0.58 \times 0.28Ha \times 44$
= $71m^3$

SITE CONSIDERED 'LOW EROSION RISK' - THEREFORE BASIN TO BE 50% VOLUME OF SETTLING ZONE

PROVIDE 106m³ SEDIMENTATION BASIN TO SITE

SLOPE = 3%
R FACTOR = 3500 (APPENDIX B, MAP 13)
C_s (APPENDIX F - TABLE F.3) = 0.58
R_v (TABLE 6.3b) = 65TH PERCENTILE 5-DAY RAINFALL MOANVALE = 44mm



CROSS SECTION OF TEMPORARY SEDIMENT BASIN
IN ACCORDANCE WITH LANDCOM 'BLUE BOOK' EARTH BASIN - WET SD 6-4
N.T.S.



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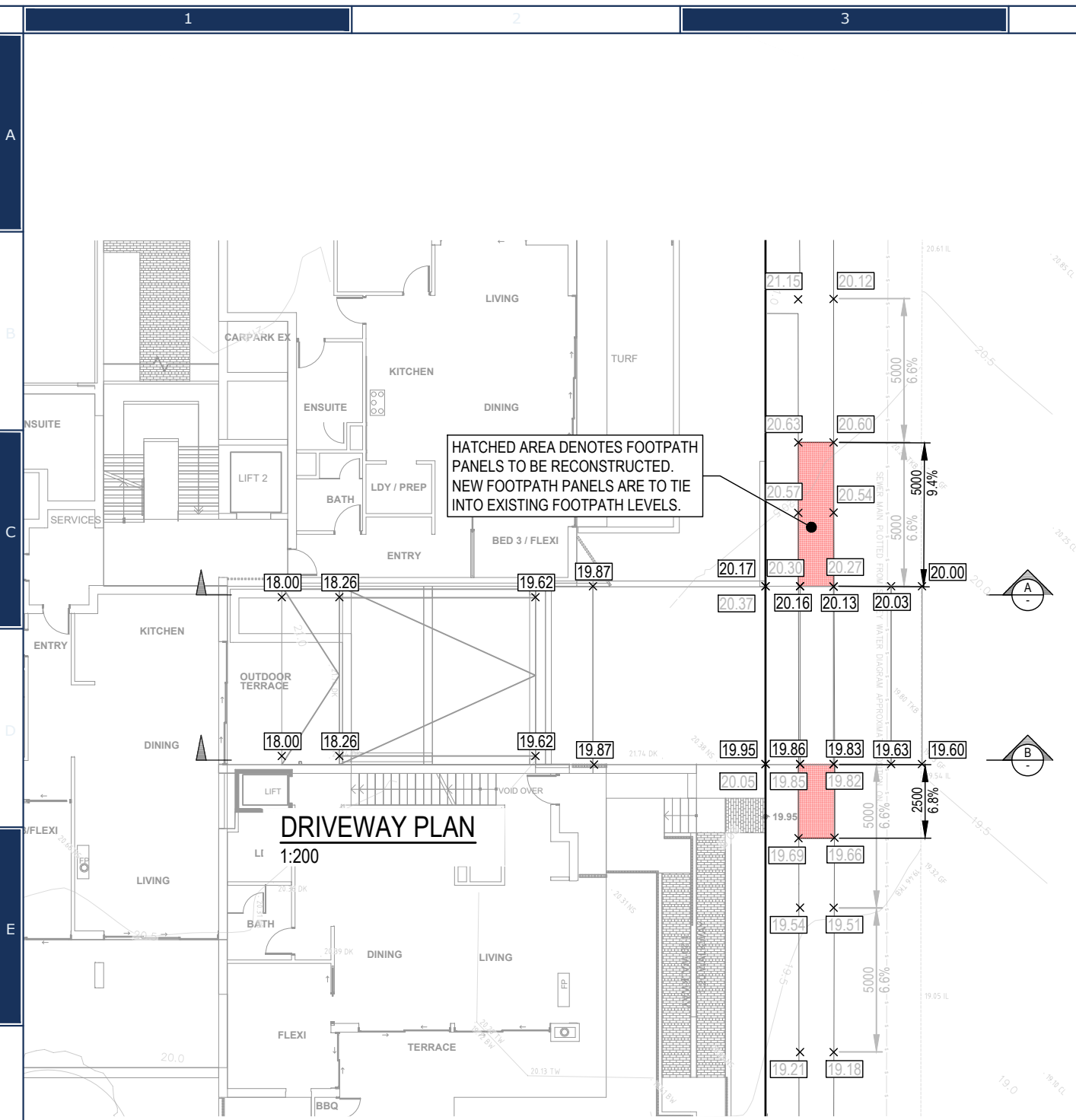
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DRAWING TITLE
DRIVEWAY SECTION

PROJECT TITLE
PROPOSED SENIORS LIVING DEVELOPMENT
No.37-43 HAY STREET
COLLARROY

SHEET SIZE	A3	JOB REFERENCE	E230197
DESIGNED	NZ	DRAWING No.	D11
CHECKED	NZ	No. IN SET	13
ISSUE	H		
SCALE	1:250		



HATCHED AREA DENOTES FOOTPATH PANELS TO BE RECONSTRUCTED. NEW FOOTPATH PANELS ARE TO TIE INTO EXISTING FOOTPATH LEVELS.

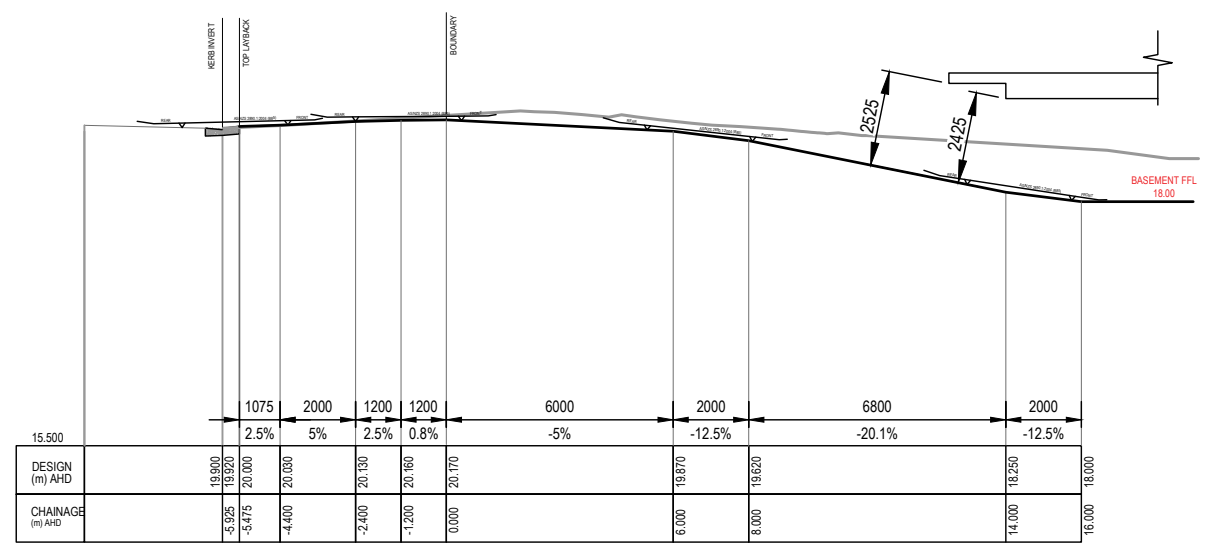
DRIVEWAY PLAN
1:200

northern beaches council

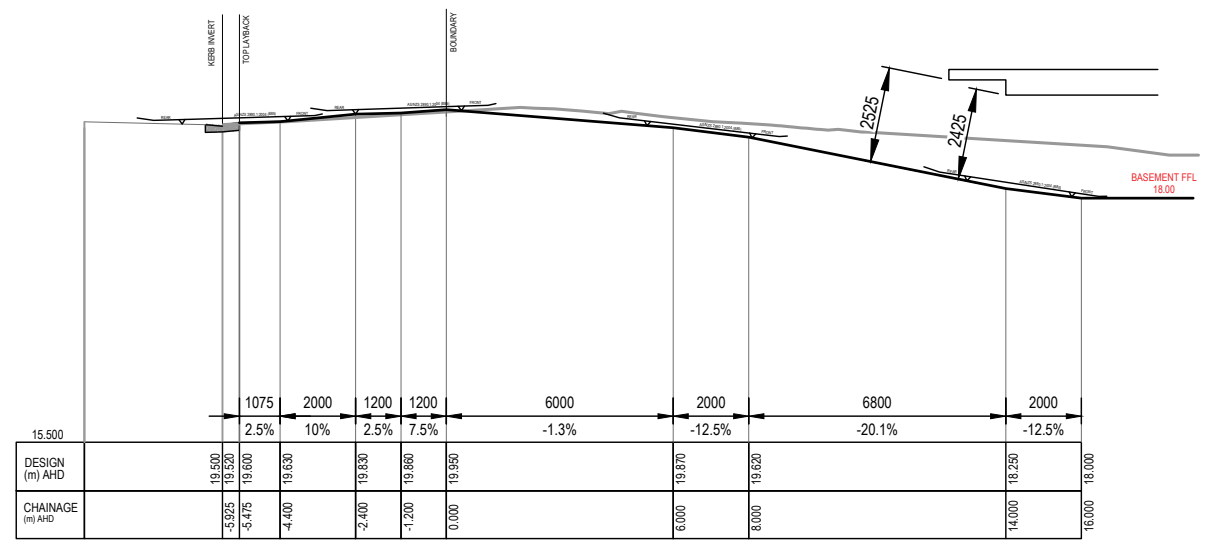
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DRIVEWAY LONGSECTION A
HORIZONTAL 1:200
VERTICAL 1:200



DRIVEWAY LONGSECTION B
HORIZONTAL 1:200
VERTICAL 1:200



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DRAWING TITLE	
DRIVEWAY SECTION	
PROJECT TITLE	
PROPOSED SENIORS LIVING DEVELOPMENT No.37-43 HAY STREET COLLARROY	

SHEET SIZE	A3	JOB REFERENCE	E230197
DESIGNED	NZ	DRAWING No.	D12
CHECKED	NZ	No. IN SET	13
ISSUE	H		
SCALE	1:200		



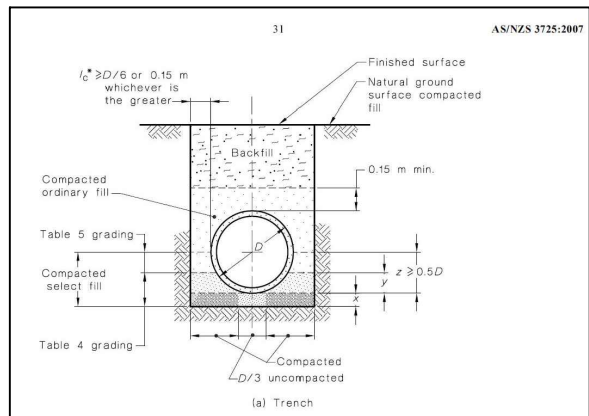
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DATED: 26 February 2025

2.4m KIP
S.L. 18.50
I.L. 17.00

NOTE:
ALL PITS TO BE CAST IN-SITU TO COUNCIL'S DETAILS AND SPECIFICATIONS



**TABLE 6
GRADING LIMITS FOR SELECT FILL IN BED AND HAUNCH ZONES**

Sieve size mm	Weight passing %
19.0	100
2.36	100-50
0.60	90-20
0.30	60-10
0.15	25-0
0.075	10-0

**TABLE 7
GRADING LIMITS FOR SELECT FILL IN SIDE ZONES**

Sieve size mm	Weight passing %
75.0	100
9.5	100-50
2.36	100-30
0.60	50-15
0.075	25-0

NOTE: Acceptable material within the above grading limits would result in material that is well graded and free draining. Granular materials that may exhibit these qualities but would break down when wetted, such as shale or gravelly conglomerates, are not suitable materials and shall not be used.

NOTE: Acceptable material within the above grading limits would result in material that is well graded and free draining. Granular materials that may exhibit these qualities but would break down when wetted, such as shale or gravelly conglomerates, are not suitable materials and shall not be used.

ROAD RECTIFICATION NOTES (TYPICAL)

REINSTATE INTEGRAL KERB AND GUTTER ON 50mm SAND TO COUNCIL'S SPECIFICATIONS AND DETAILS

CUT ROAD PAVEMENT 500mm WIDE AND REINSTATE TO GEORGES RIVER COUNCIL'S SPECIFICATIONS;

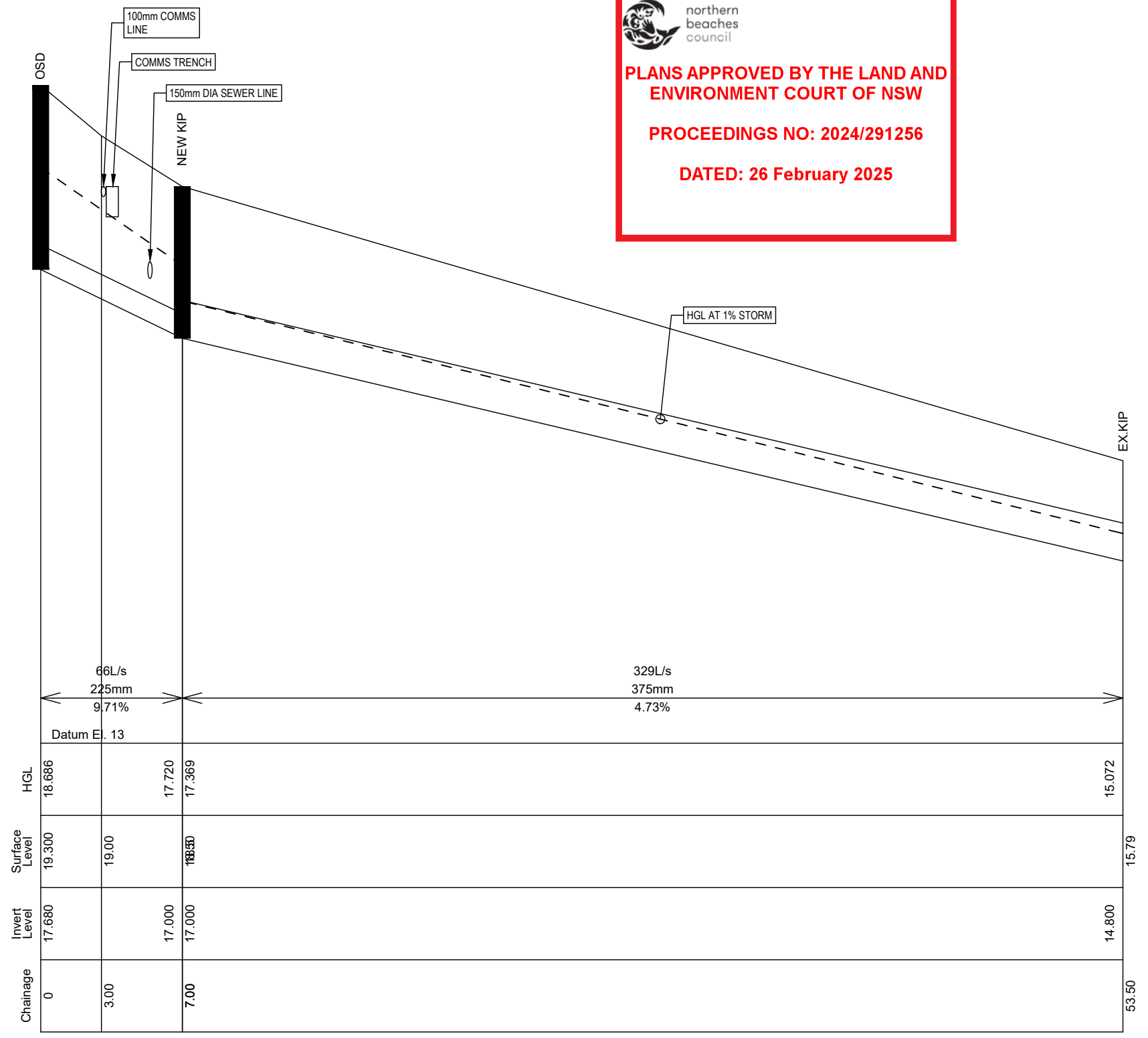
PIPE BEDDING AND HAUNCH MATERIAL TO BE CEMENT MODIFIED CRUSHED ROCK CONFORMING TO AS3725

PIPE BACKFILL TO CONFORM TO AS3725, COMPACTED TO 95% DRY COMPACTION IN LAYERS OF 150mm THICKNESS

ROAD PAVEMENT MINIMUM 200mm THICKNESS 20mm CRUSHED ROCK COMPACTED TO 98% DRY COMPACTION IN LAYERS OF 100mm THICKNESS

WEARING COURSE TO BE 50mm AC10 HOTMIX

EXISTING KIP
S.L. 15.79
I.L. 14.80
(ASSUMED)



LONGSECTION
H - 1:250
V - 1:25

NOTE: BED LAYER (x) TO BE 100mm THICK 1-2% CEMENT BOUND WELL GRADED BACKFILL COMPACTED TO 80% COMPACTION.

PIPE HAUNCH ZONE (y) TO BE 150mm THICK 1-2% CEMENT MODIFIED WELL GRADED BACKFILL COMPACTED TO 80% COMPACTION.

MATERIAL OVER PIPE TO BE COMPACTED TO 80% COMPACTION



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DRAWING TITLE
EXTERNAL PIPE SECTION

PROJECT TITLE
**PROPOSED SENIORS LIVING DEVELOPMENT
No.37-43 HAY STREET
COLLARROY**

SHEET SIZE A3	JOB REFERENCE E230197
DESIGNED NZ	DRAWING No. D13
CHECKED NZ	No. IN SET 13
ISSUE H	
SCALE 1:250	