



LOCATION DIAGRAM



638 PITTWATER ROAD
BROOKVALE

LIST OF DRAWINGS

A01A	LOCATION DIAGRAM
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SURVEY

DEVELOPMENT DATA				
ADDRESS	638 Pittwater Rd Broovale			
SITE AREA	2662m²			
LOT NOs	LOT 1 in DP 1001963			
DA Version		DA 2019_0239 Approved	MOD 2020_0598 Approved	DA L3 Proposed
NUMBER OF DWELLINGS		40 UNITS 1 Bed - 26 2 Bed - 10 3 Bed - 4	No Change	60 UNITS 1 Bed - 39 2 Bed - 15 3 Bed - 6
ADAPTABLE DWELLINGS		4 (10%)	No Change	6 (10%)
LIVABLE DWELLINGS		4 (10%)	No Change	6 (10%)
GFA*	B3	Excluded	No Change	No Change
	B2	Excluded	No Change	No Change
	B1	763m²	No Change	No Change
	Ground	1588m²	No Change	No Change
	Mezzanine	-	457m²	No Change
	First	1369m²	No Change	No Change
	Second	1411m²	No Change	No Change
	Third	-	-	1411m²
	TOTAL	5131m²	5588m²	6999m²
FSR		1.93:1	2.10:1	2.63:1
COS*	Ground	344m²	No Change	No Change
	First	368m²	No Change	No Change
	TOTAL	712m²	No Change	No Change
LANDSCAPING	Ground	178m²	No Change	No Change
	First	107m²	No Change	No Change
	TOTAL	285m²	No Change	No Change
DEEP SOIL (min dim. 3m)		177.6m²	No Change	No Change
CAR SPACES (residential/ commercial/ visitor)	B3	64/0/0 = 64	65/0/0 = 65	No Change
	B2	22/27/9 = 58	22/28/9 = 59	No Change
	B1	0/35/0 = 35	0/28/0 = 28	No Change
	TOTAL	86/62/9 = 157	87/56/9 = 152	No Change

GFA* - gross floor area calculated as per relevant Planning Instrument
COS* - communal open space

LEGEND

A	05.07.24	DA L3 ISSUE
ISSUE	DATE	AMENDMENTS



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Client

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INVESTMENT TRUST**

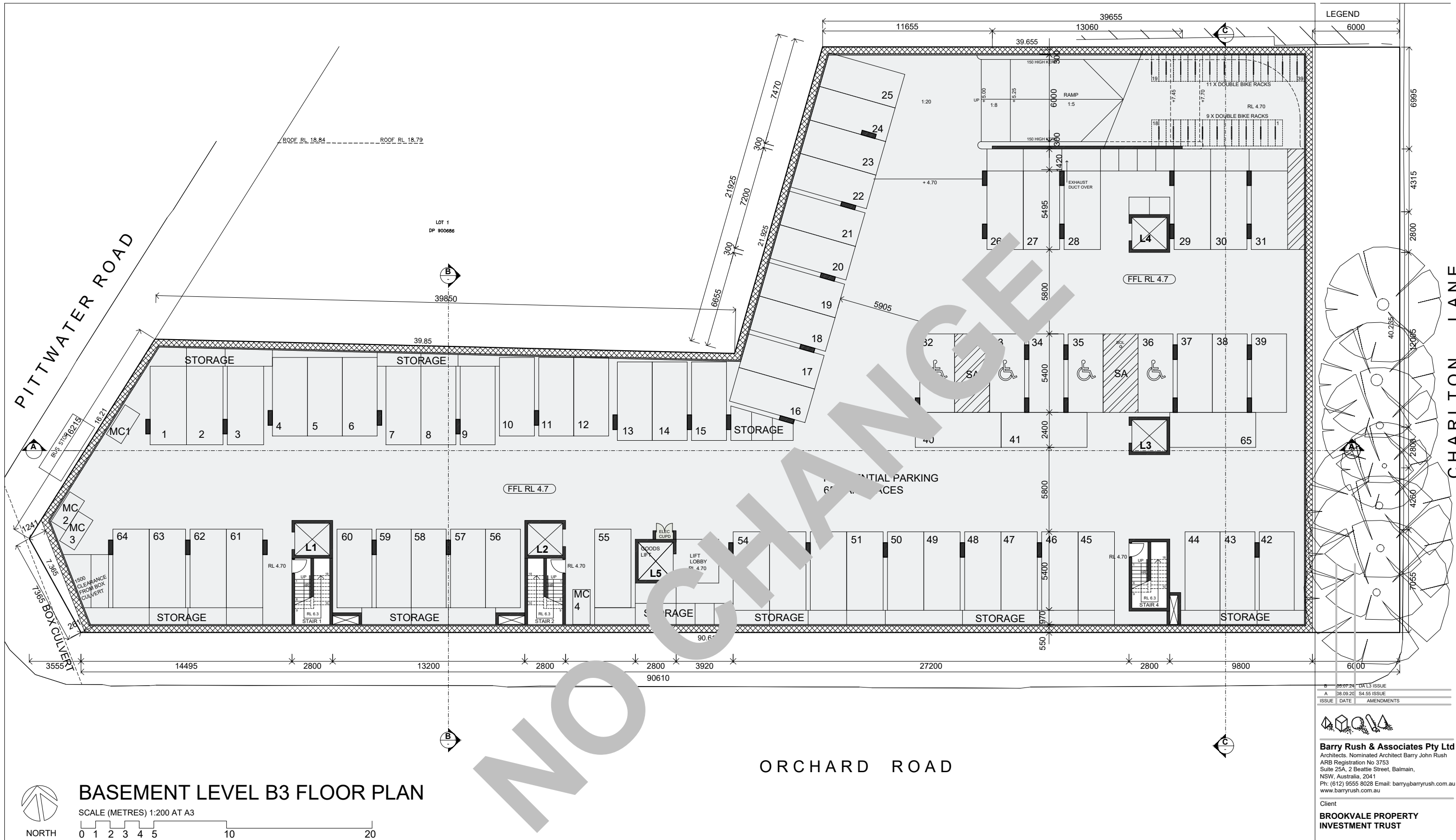
Project
**638 PITTWATER RD
BROOKVALE**

Lot 1 in DP 1001963

Drawing
LOCATION DIAGRAM

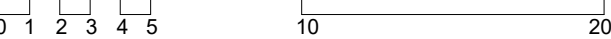
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Job No 1802 Checked BR
Version DA Drawing No: **A01A**

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BASEMENT LEVEL B3 FLOOR PLAN

SCALE (METRES) 1:200 AT A3



ISSUE	DATE	AMENDMENTS
B	05.07.24	DA L3 ISSUE
A	08.09.20	S4 S5 ISSUE



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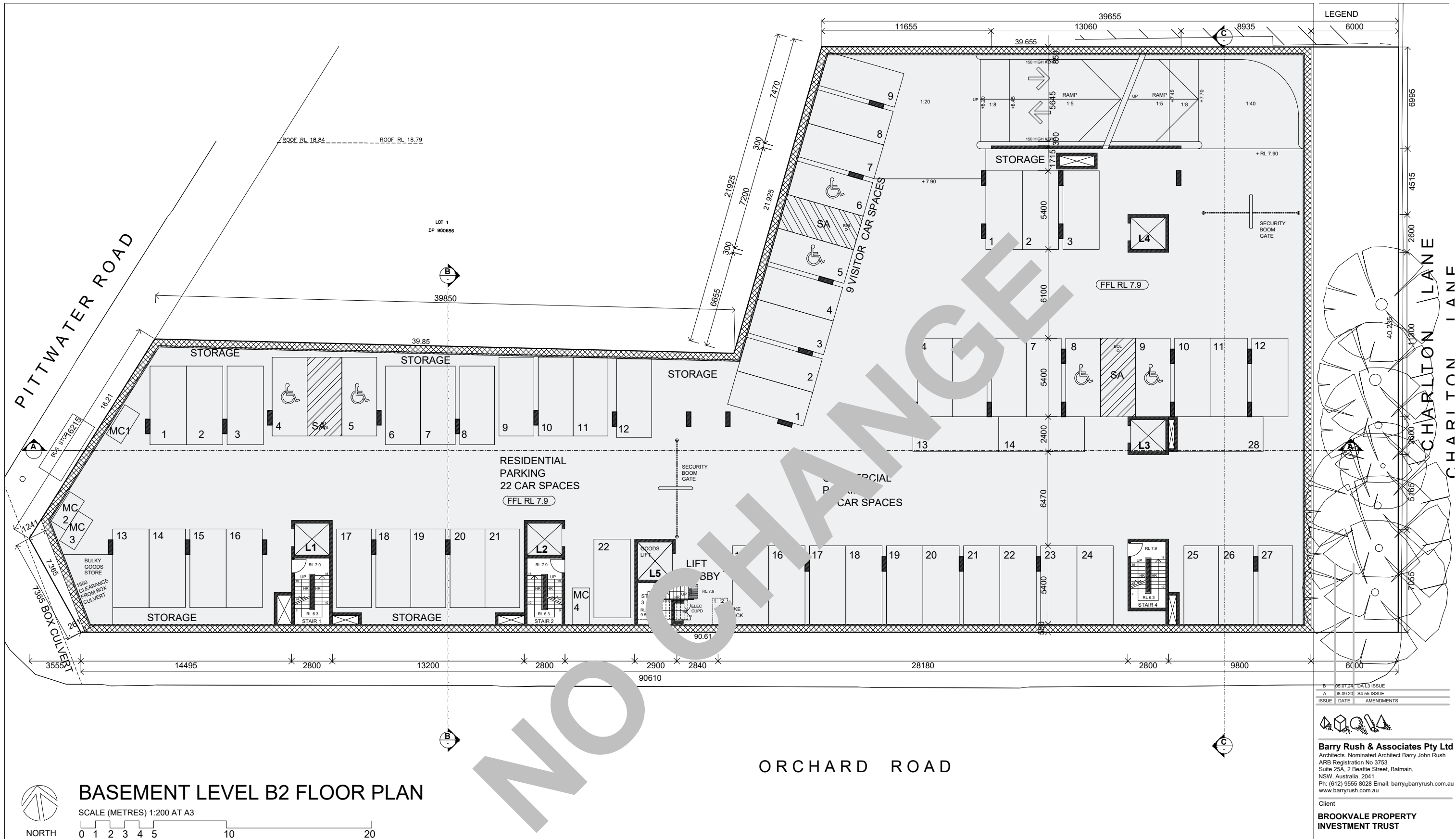
Project
**638 PITTWATER RD
BROOKVALE**

Lot 1 in DP 1001963

Drawing
BASEMENT LEVEL B3

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Plotted	17/04/2025 11:13 AM		
Job No	1802	Checked	BR
Version	DA	Drawing No:	A02B

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BASEMENT LEVEL B2 FLOOR PLAN

SCALE (METRES) 1:200 AT A3

0 1 2 3 4 5 10 20

ISSUE	DATE	AMENDMENTS
A	08.09.20	S4.55 ISSUE
B	05.07.24	DA L3 ISSUE



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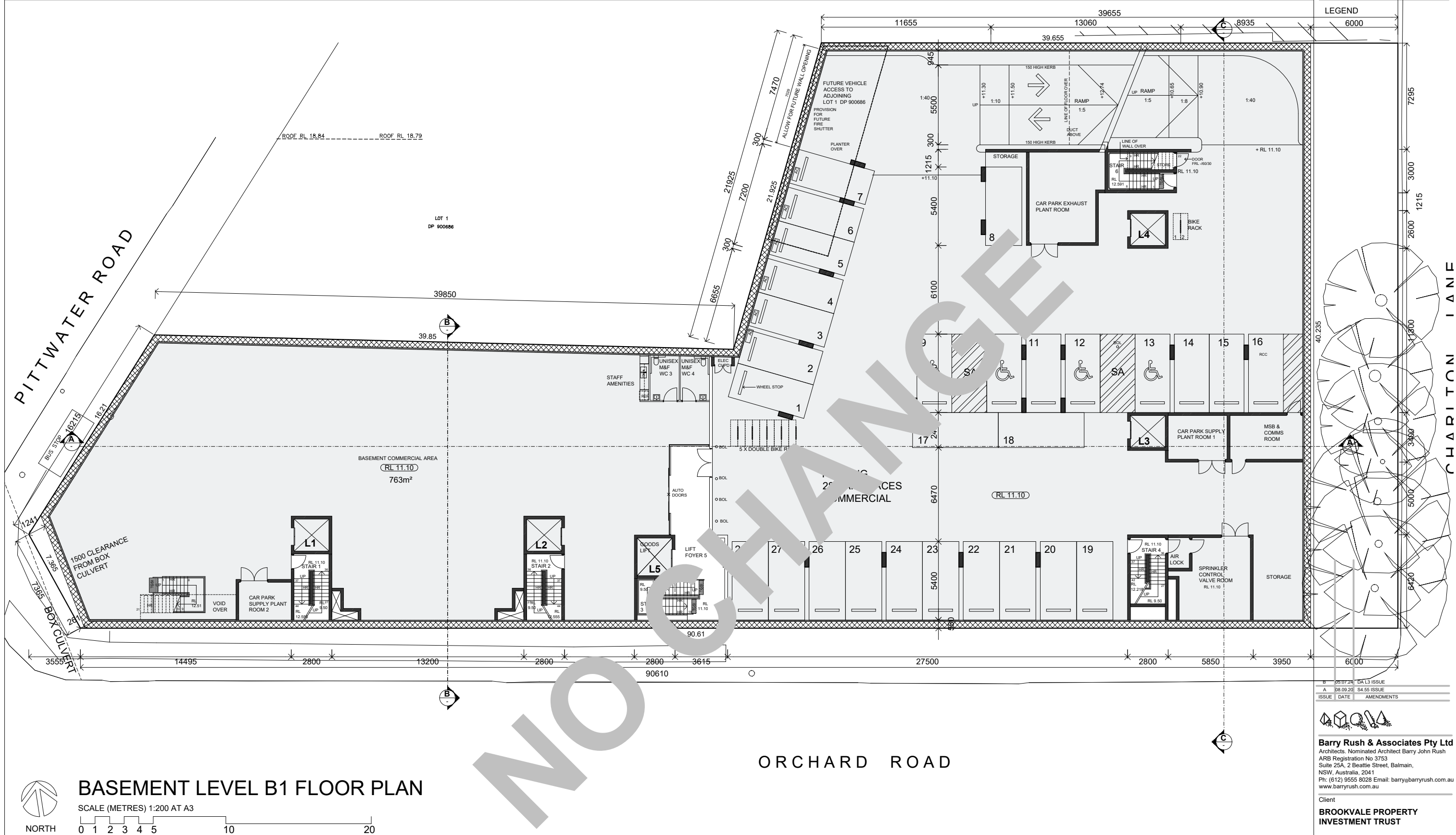
Project
**638 PITTWATER RD
BROOKVALE**

Lot 1 in DP 1001963

Drawing
BASEMENT LEVEL B2

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Plotted	17/04/2025 11:13 AM		
Job No	1802	Checked	BR
Version	DA	Drawing No	A03B

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BASEMENT LEVEL B1 FLOOR PLAN

SCALE (METRES) 1:200 AT A3

0 1 2 3 4 5 10 20

ISSUE	DATE	AMENDMENTS
B	05.07.24	DA L3 ISSUE
A	08.09.20	S4 S5 ISSUE



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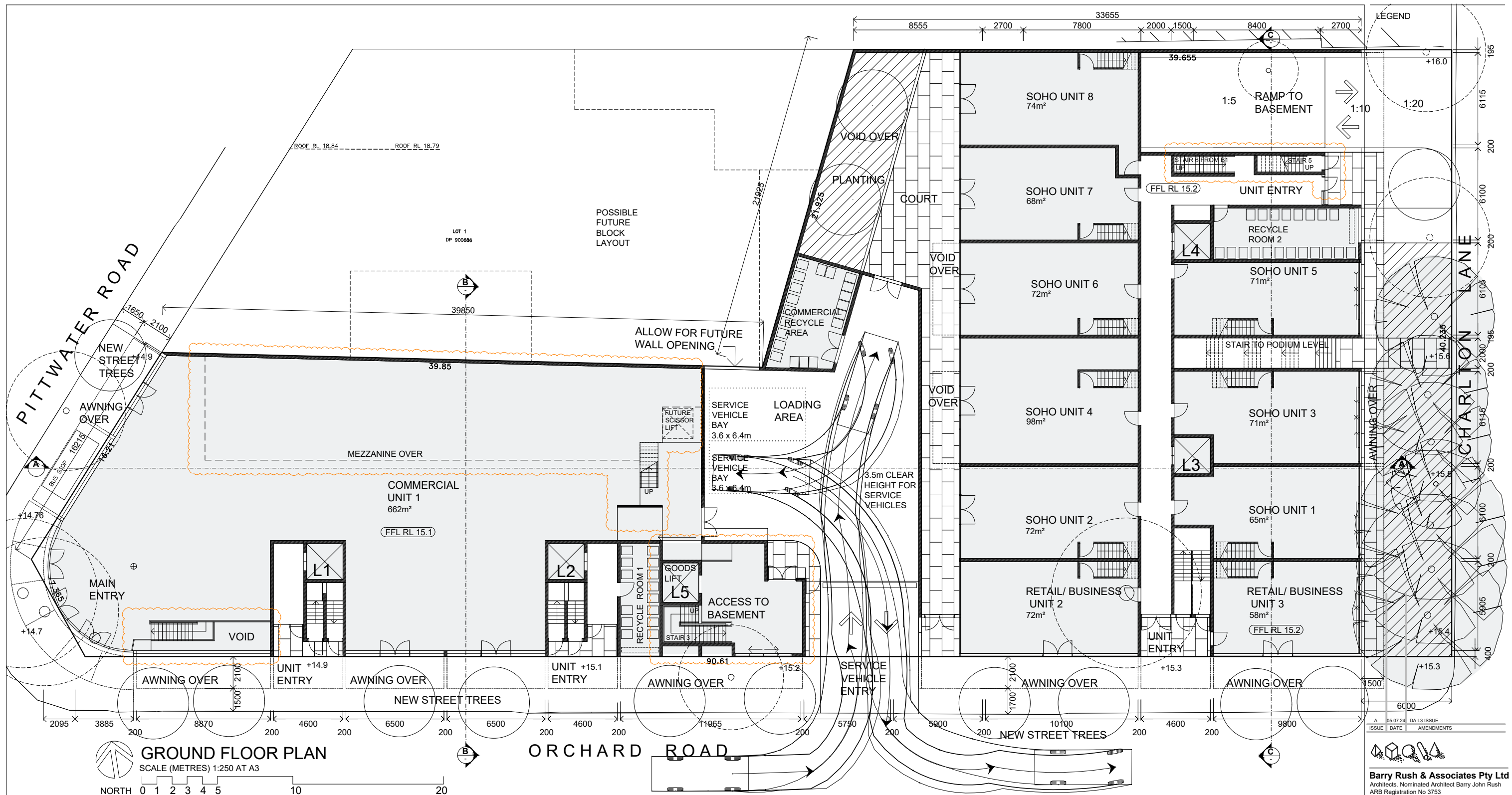
Project
638 PITTWATER RD BROOKVALE

Lot 1 in DP 1001963

Drawing
BASEMENT LEVEL B1

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Plotted	17/04/2025 11:13 AM		
Job No	1802	Checked	BR
Version	DA	Drawing No	A04B

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- EXISTING TREE TO REMAIN
- TREE TO BE REMOVED
- NEW TREES REFER TO LANDSCAPE FOR DETAILS

COMMON OPEN AREA CALCULATION:	
COMMUNAL OPEN SPACE:	344m²(G)+368m²(F)
COMMON LANDSCAPE AREA:	178m²(G)+107m²(F)
DEEP SOIL ZONE:	177.6m²

LEGEND

DA REVISIONS

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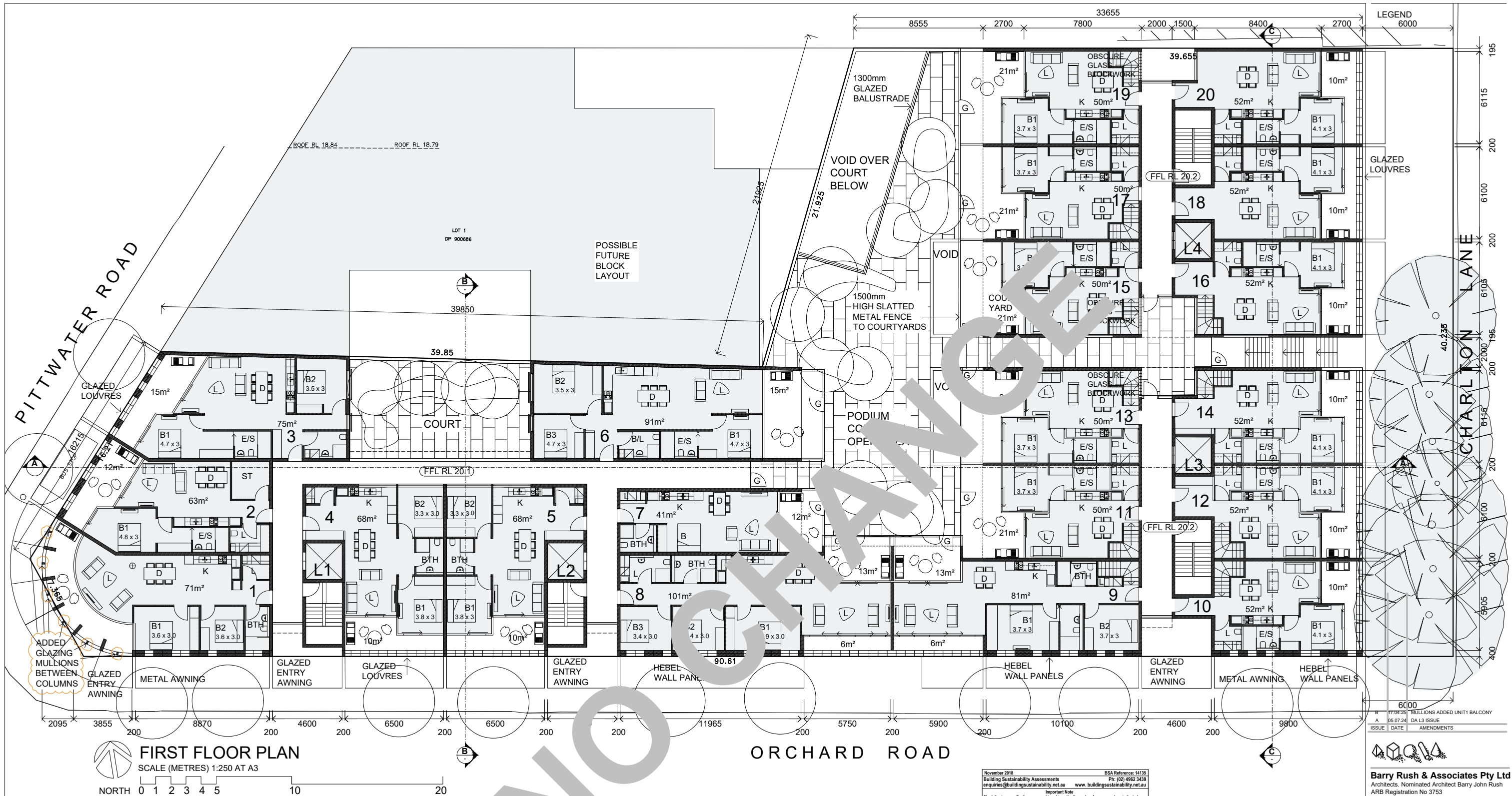
Project
638 PITTWATER RD BROOKVALE

Lot 1 in DP 1001963

Drawing
GROUND FLOOR LEVEL

Scale 1:125 Drawn BR
File DA L3D Pittwater Rd Brookvale.dwg
Plotted 17/04/2025 11:13 AM
Job No 1802 Checked BR
Version DA Drawing No: **A05A**

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November 2018		BSA Reference: 14135	
Building Sustainability Assessments		Ph: (02) 4962 3439	
enquiries@building-sustainability.net.au		www.buildingsustainability.net.au	
Important Note			
The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate and takes precedence over any other specification. If different construction elements are applied then the Assessor Certificate is no longer valid.			
Thermal Performance Specifications (does not apply to garage)			
External Wall Construction		Added Insulation	
120mm AAC + stud + plasterboard			R2.0
200mm concrete + battens + plasterboard			R1.0
Internal Wall Construction		Added Insulation	
Plasterboard on studs			none
200mm concrete + stud + Plasterboard (party walls)			none
Ceiling Construction		Added Insulation	
Plasterboard		R2.0 to ceilings adjacent to roof space and decks above	
Roof Construction		Added Insulation	
Concrete	Colour		none
Floor Construction		Added Insulation	
Concrete			R1.0 where open below
Windows			
Glass and frame type		U Value	SHGC Range
Performance glazing Type A		5.40	0.44 - 0.54
Performance glazing Type B		4.40	0.52 - 0.64
Performance glazing Type A		4.80	0.46 - 0.56
Performance glazing Type B		4.80	0.53 - 0.65
Performance glazing Type A		4.50	0.45 - 0.55
Performance glazing Type B		4.50	0.55 - 0.67
Performance glazing Type A		4.30	0.42 - 0.52
Performance glazing Type B		4.30	0.48 - 0.58
ALM-001-01 A Alum. Type A Single clear		6.70	0.51 - 0.63
ALM-002-01 A Alum. Type B Single clear		6.70	0.63 - 0.77
Type A windows are awning windows, double, casements, tilt & turn windows, entry doors, French doors			
Type B windows are double hung windows, sliding windows & doors, fixed windows, slider doors, louvers			
Skylights		Glass and frame type	
Double glazed Opal in aluminium frames		As drawn	
U and SHGC values are according to AFRC. Alternate products may be used if the U value is lower and the SHGC is within the range specified			
External Window Shading			
(louvers, verandahs, pergolas, awnings etc)			
All shade elements modelled as drawn			
Ceiling Penetrations			
(downlights, exhaust fans, flues etc)			
No adjustment has been made for losses to insulation arising from ceiling penetrations.			

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Client
BROOKVALE PROPERTY INVESTMENT TRUST

Project
**638 PITTWATER RD
BROOKVALE**

Lot 1 in DP 1001963

Drawing
FIRST FLOOR LEVEL

Scale 1:125 Drawn BR

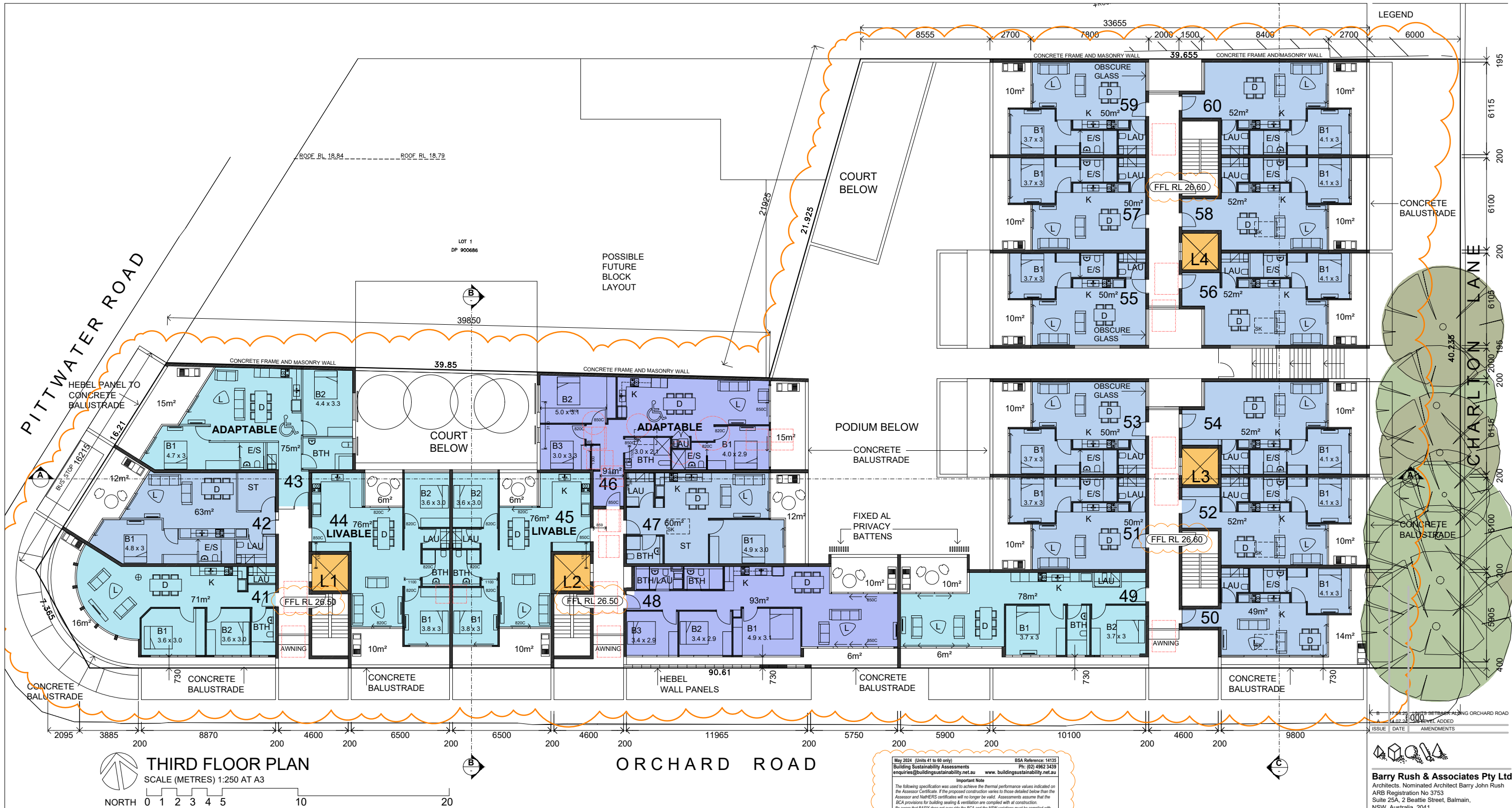
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Job No 1802 Checked BR

Version DA Drawing No: **A06B**

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May 2024 (Units 41 to 48 only)		BSA Reference: 14133
Building Sustainability Assessments		Ph: (02) 4962 3439
enquiries@buildingsustainability.net.au		www.buildingsustainability.net.au
Important Note		
The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate. If the proposed construction varies to those detailed below then the Assessor and NABERS certificates will no longer be valid. Assessments assume that the BCA provisions for building sealing & ventilation are complied with at construction. Be aware that BASIX does not over-ride the BCA and the NSW variations must be complied with.		
Thermal Performance Specifications (sole occupancy units only)		
External Wall Construction	Added Insulation	
75mm AAC on battens + Metal stud frame	R2.5	
200mm Concrete + Metal stud frame	R2.5	
Internal Wall Construction	Added Insulation	
Plasterboard on metal studs (internal to units)	None	
75mm AAC on battens + Metal stud frame (adjacent to open lobbies)	R2.5	
Concrete + Plasterboard (adjacent to lift shaft cores)	R1.0	
75mm AAC on battens + Metal stud frame (party wall between units)	R1.0	
Ceiling Construction	Added Insulation	
Plasterboard	R5.0 to ceilings adjacent to concrete roof above	
Concrete	Concrete default (SAB 70)	Added Insulation
Floor Construction	Covering	Added Insulation
Concrete	As drawn (if not noted default values used)	None
Windows	U value SHGC Range	Area sq m
Performance glazing Type A	4.50 0.48 - 0.53	Units 41 & 50 Only
Performance glazing Type B	4.50 0.58 - 0.64	Units 41 & 50 Only
Performance glazing Type A	4.80 0.48 - 0.54	Units 44, 45, 48, 50, 52, 55, 56 Only
Performance glazing Type B	4.80 0.56 - 0.62	Units 44, 45, 48, 50, 52, 55, 56 Only
Performance glazing Type A	6.70 0.54 - 0.60	All other units
Performance glazing Type B	6.70 0.67 - 0.74	All other units
Type A windows are awning windows, double, casements, lift & turn windows, entry doors, french doors		
Type B windows are double hung windows, sliding windows & doors, fixed windows, casement doors, louvers		
Skylights	Glass and frame type U SHGC Area sq m	Detail
Double glazed to units 46, 47, 50, 52, 55 & 58 only		
U and SHGC values are according to AFRC. Alternate products may be used if the U value is lower & the SHGC is within the range specified		
Shade elements	(eaves, verandahs, awnings etc)	
All shade elements modelled as drawn		
Ceiling Penetrations	(downlights, exhaust fans, flues etc)	
Downlights are modelled as IC rated with insulation fitted over the fixtures		
All exhaust fans are modelled as sealed		
Additional Notes		
Nil		

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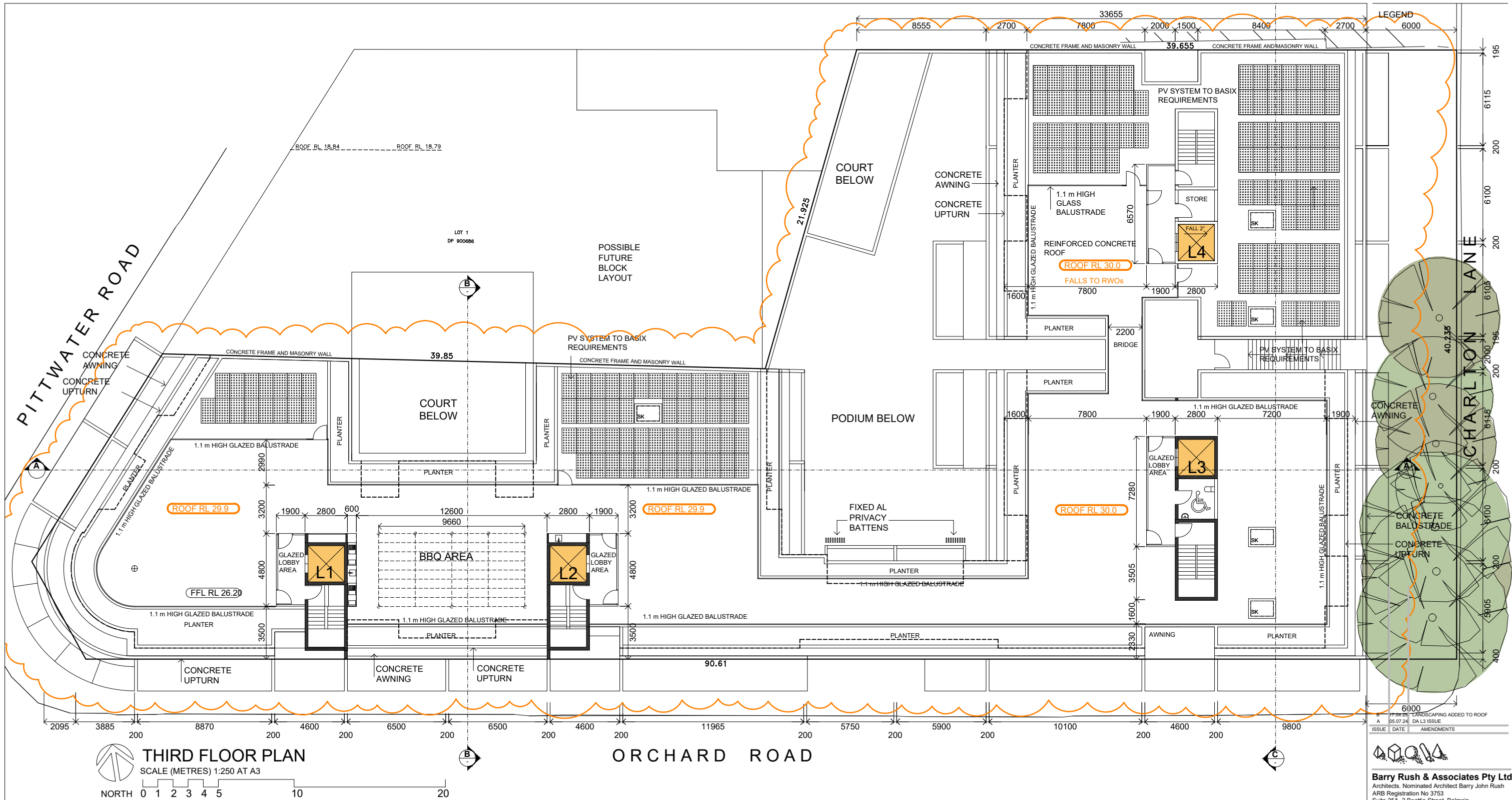
Project
**638 PITTWATER RD
BROOKVALE**

Lot 1 in DP 1001963

Drawing
THIRD FLOOR LEVEL

Scale 1:125 Drawn BR
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Version DA Drawing No: **A20B**

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LEGEND

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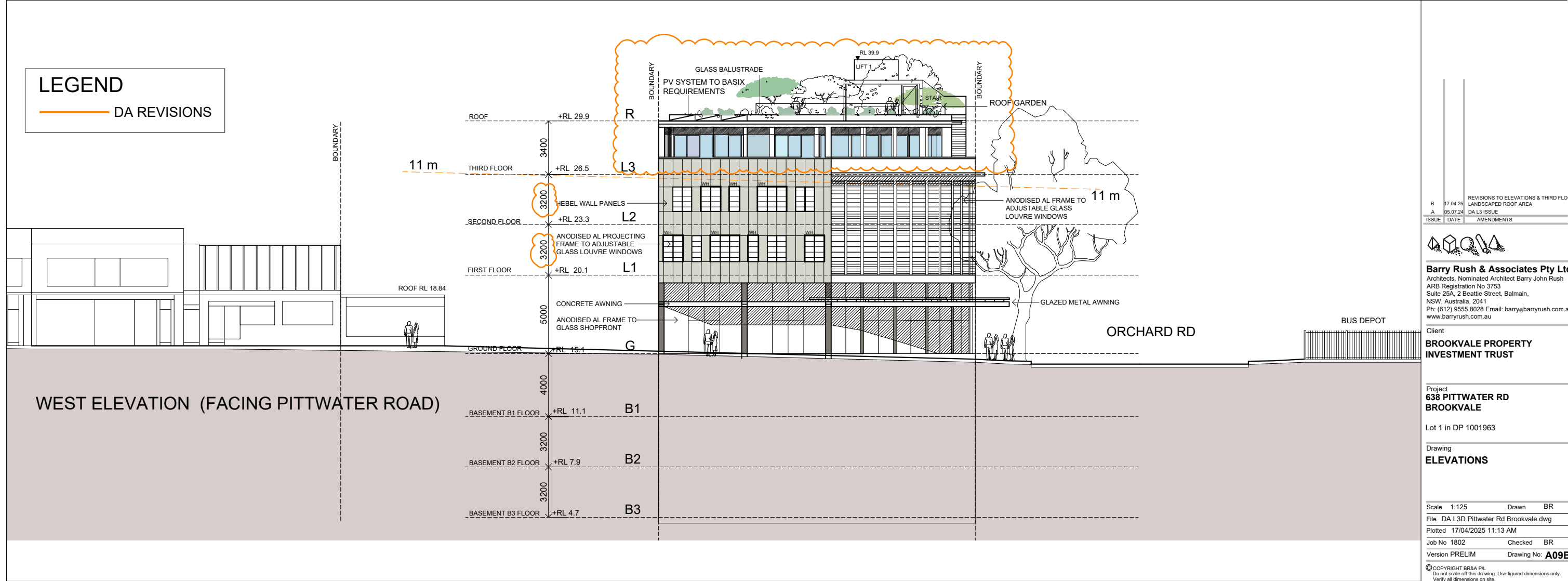
Project
**638 PITTWATER RD
BROOKVALE**

Lot 1 in DP 1001963

Drawing
ROOF PLAN

Scale 1:125 Drawn BR
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Plotted 17/04/2025 11:13 AM
Job No 1802 Checked BR
Version DA Drawing No: **A08B**

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REVISIONS TO ELEVATIONS & THIRD FLOOR		
B	17.04.25	LANDSCAPED ROOF AREA
A	05.07.24	DA L3 ISSUE
ISSUE	DATE	AMENDMENTS

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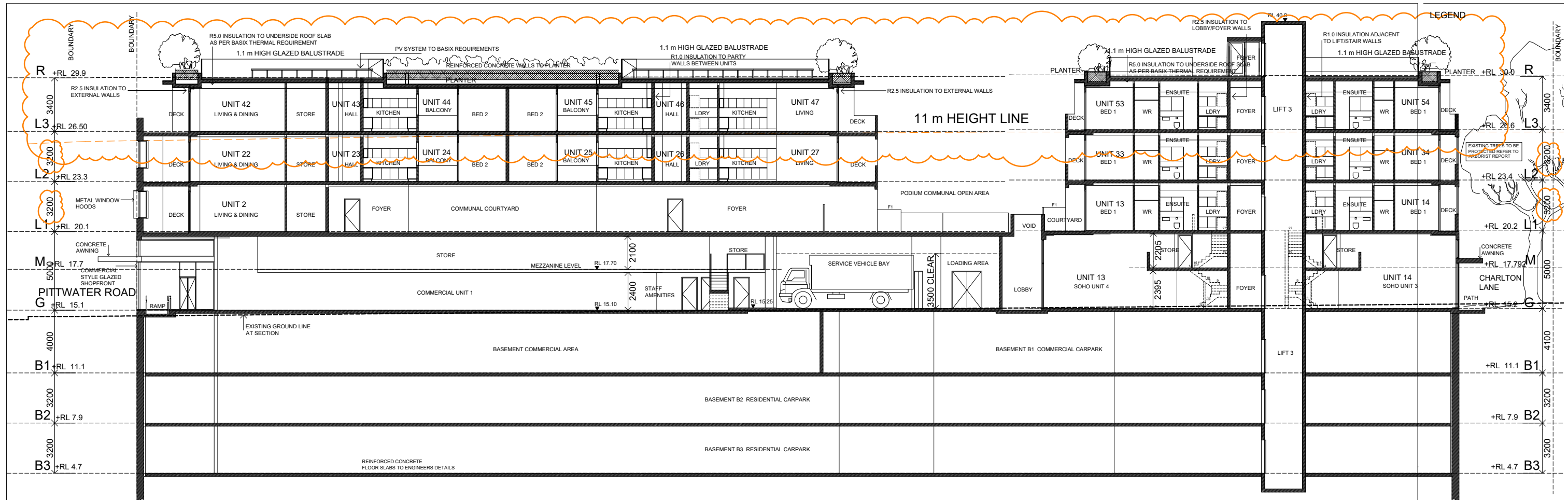
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638 PITTWATER RD BROOKVALE

Lot 1 in DP 1001963

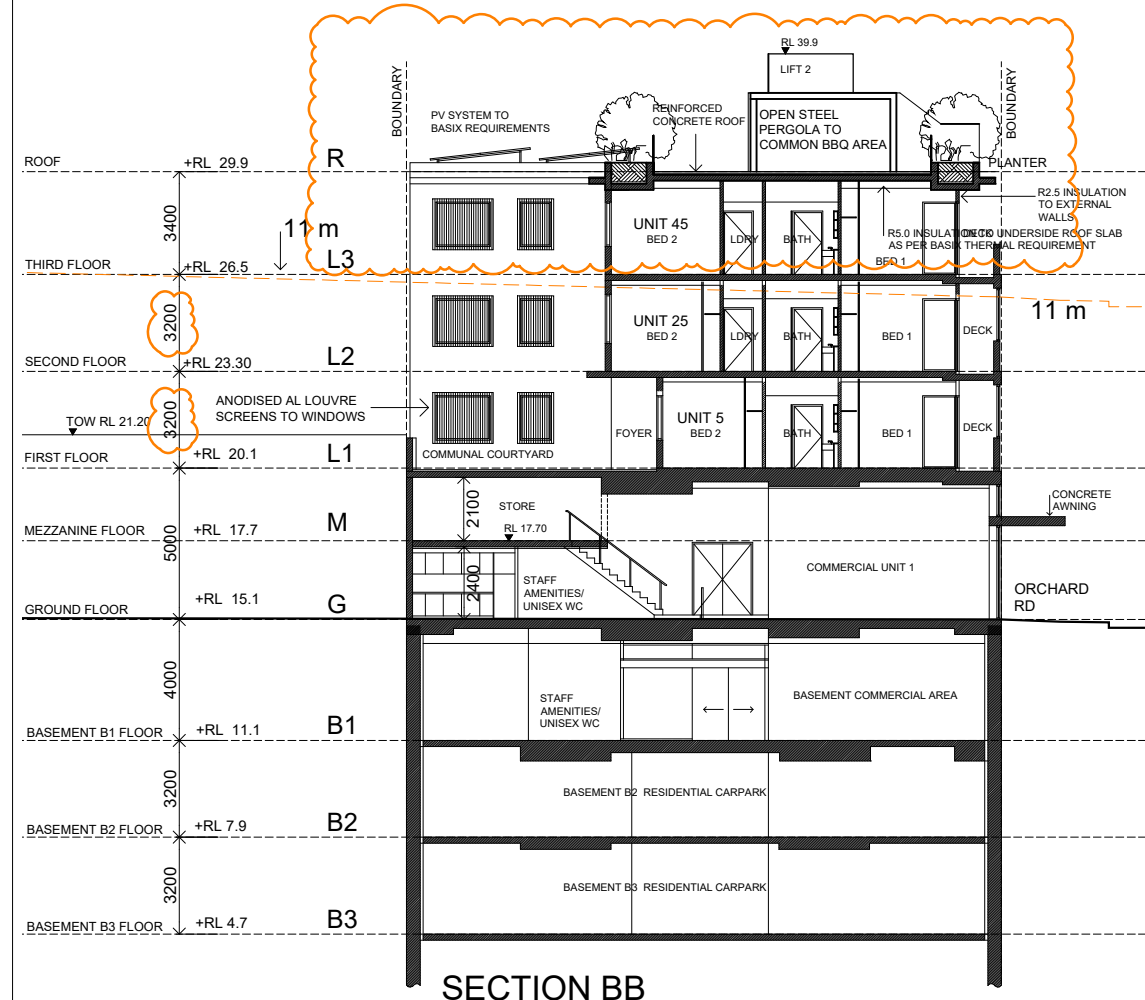
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ELEVATIONS

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Version PRELIM Drawing No: **A09B**

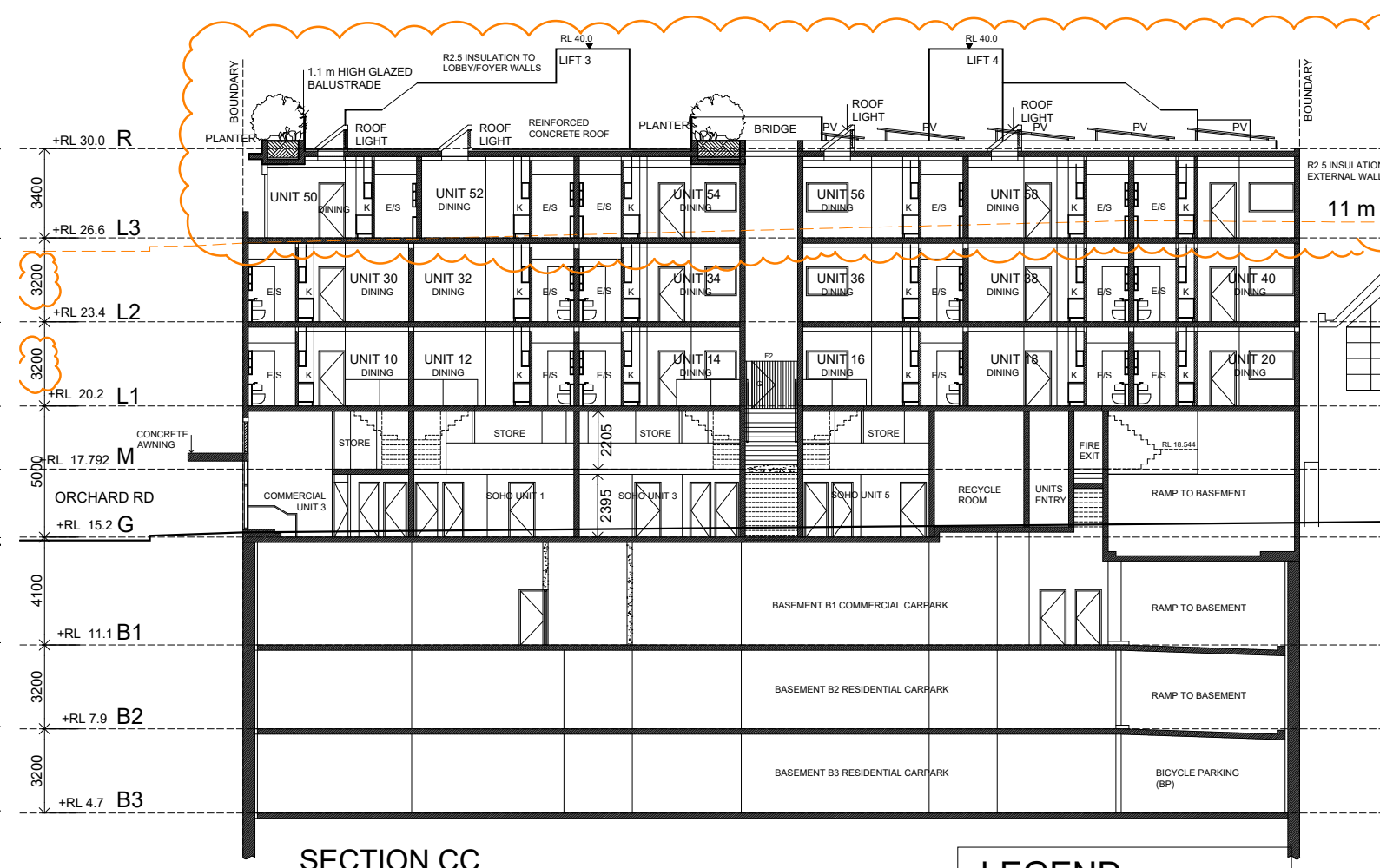
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SECTION AA



SECTION BB



SECTION CC

LEGEND

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LEGEND

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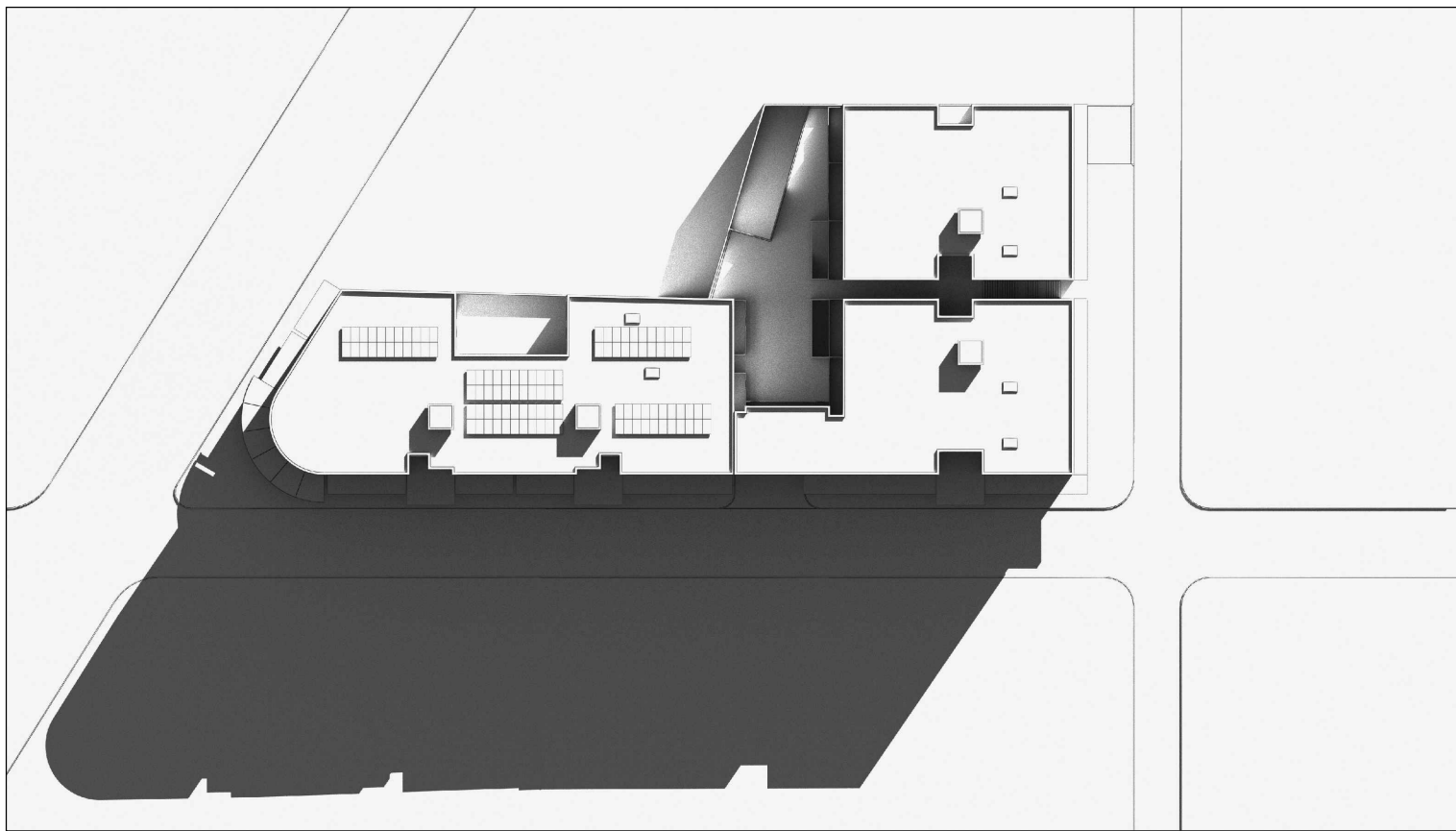
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638 PITTWATER RD BROOKVALE

Lot 1 in DP 1001963

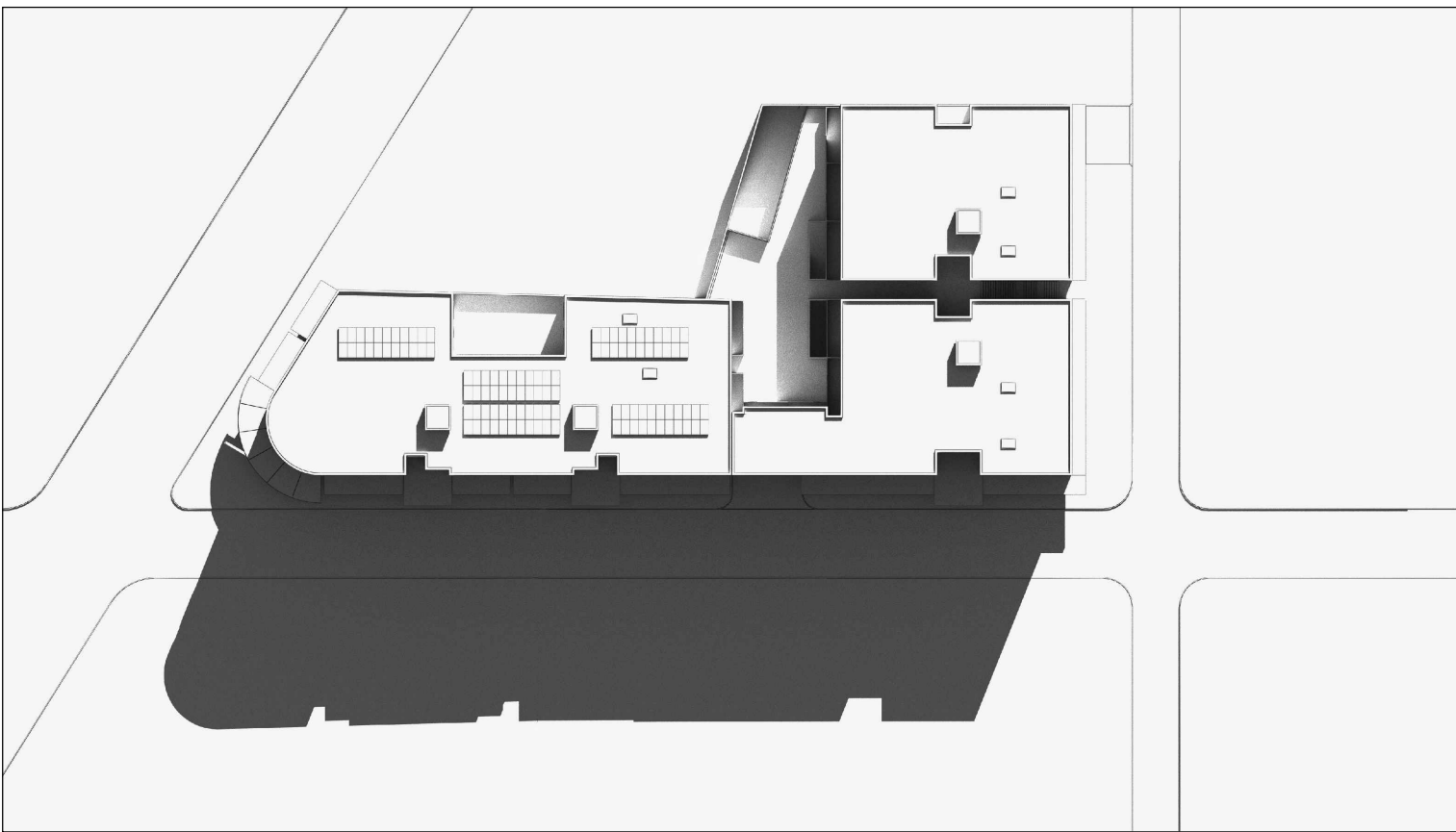
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SECTIONS

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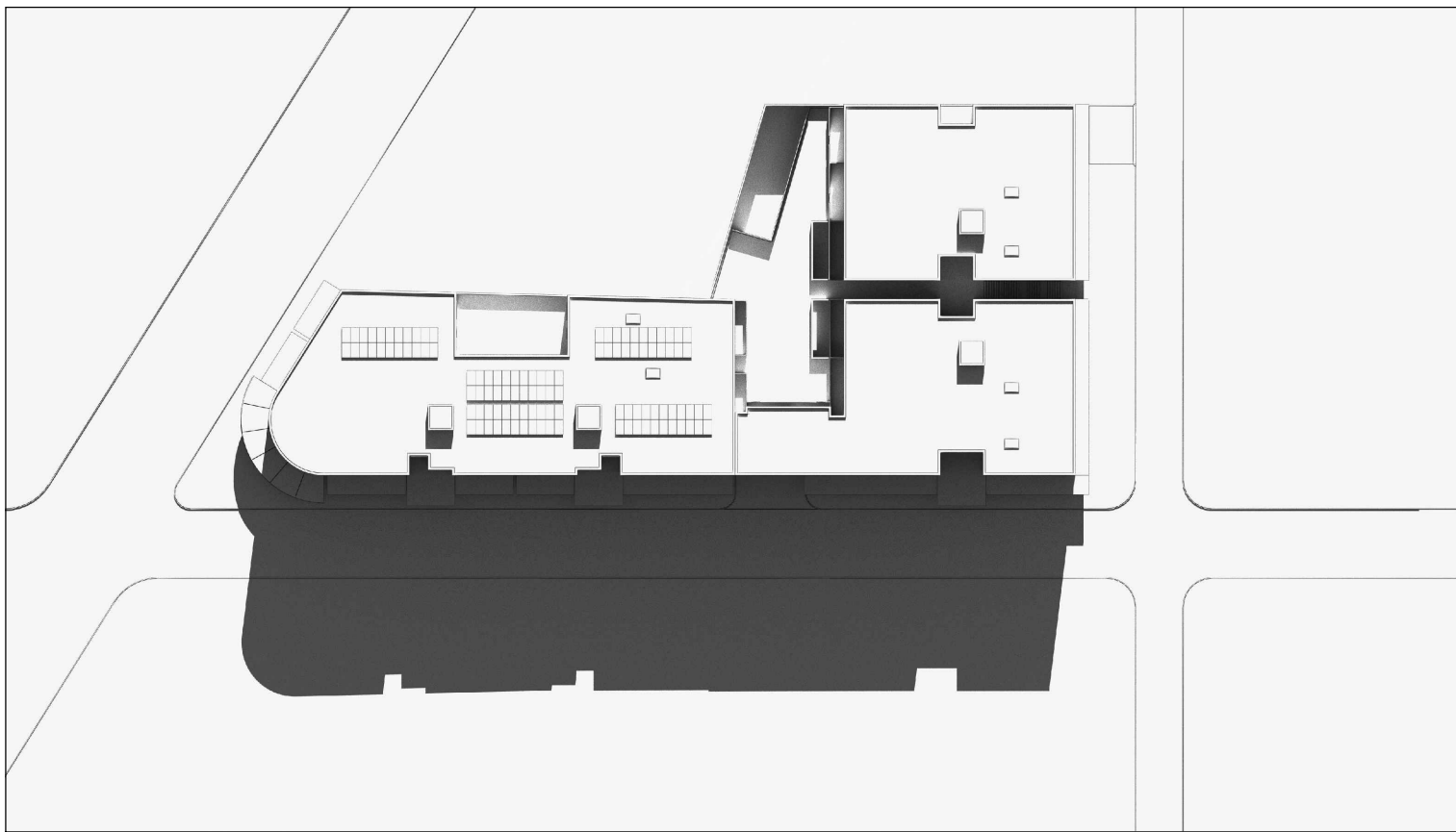
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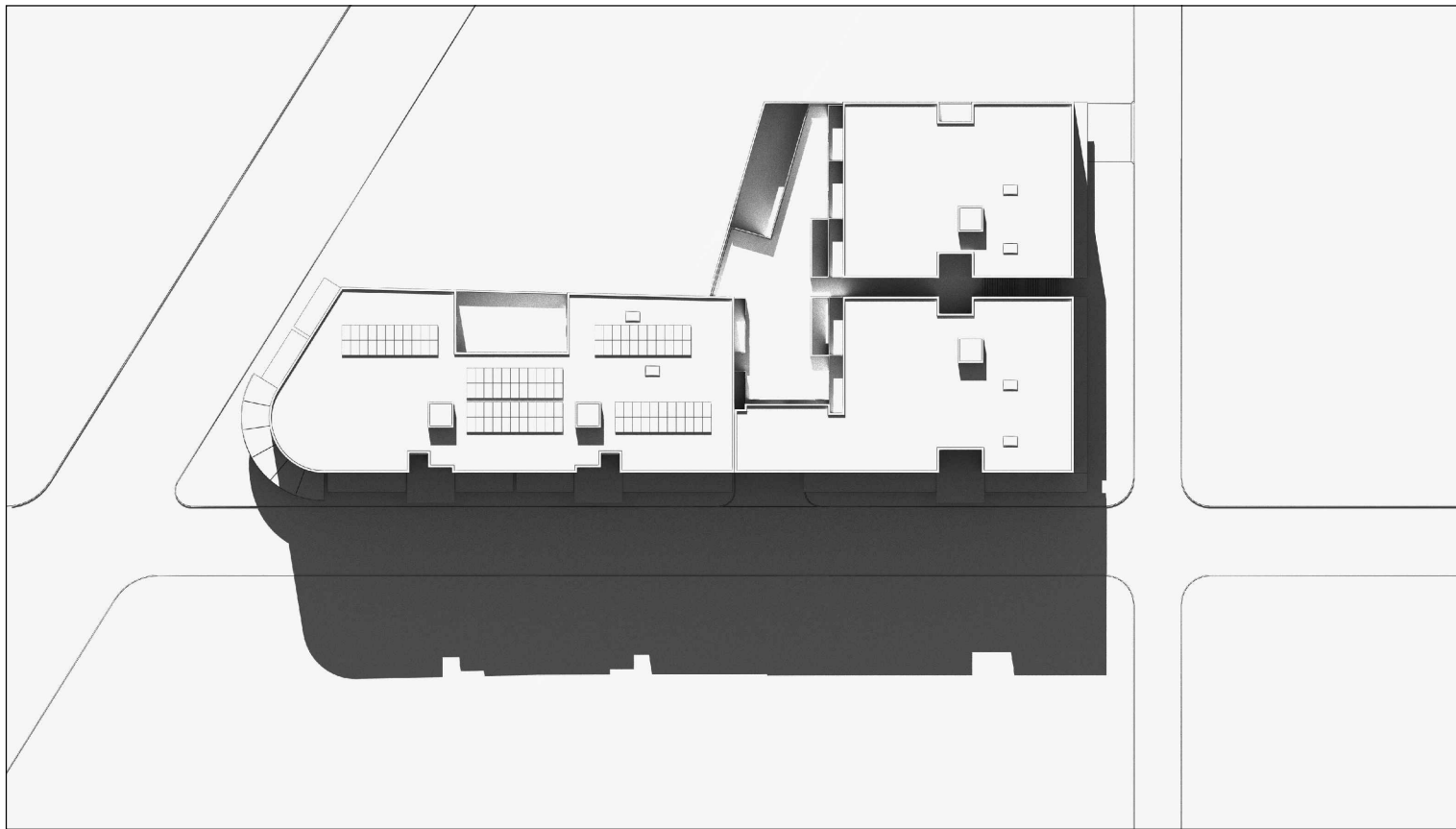
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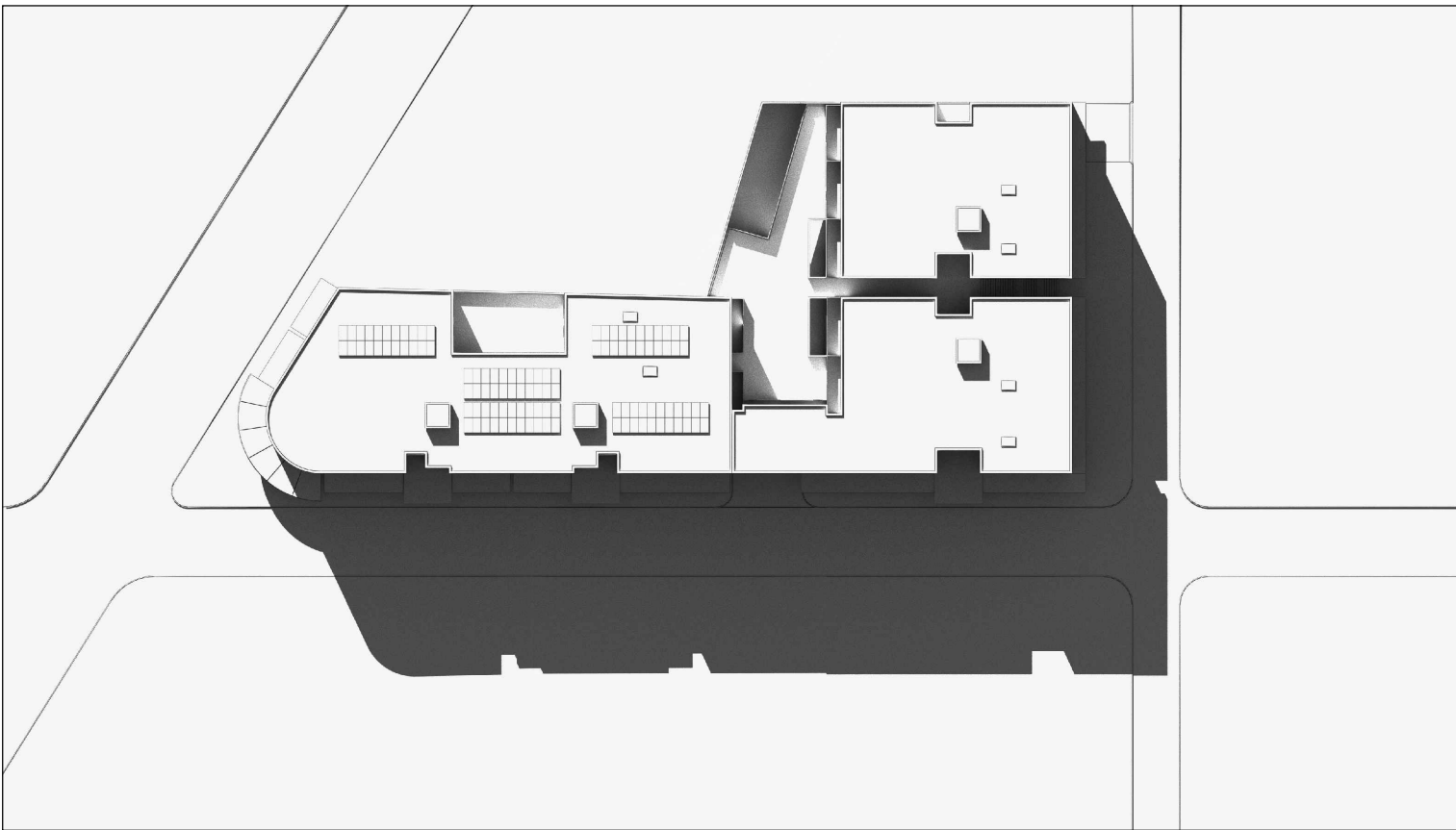
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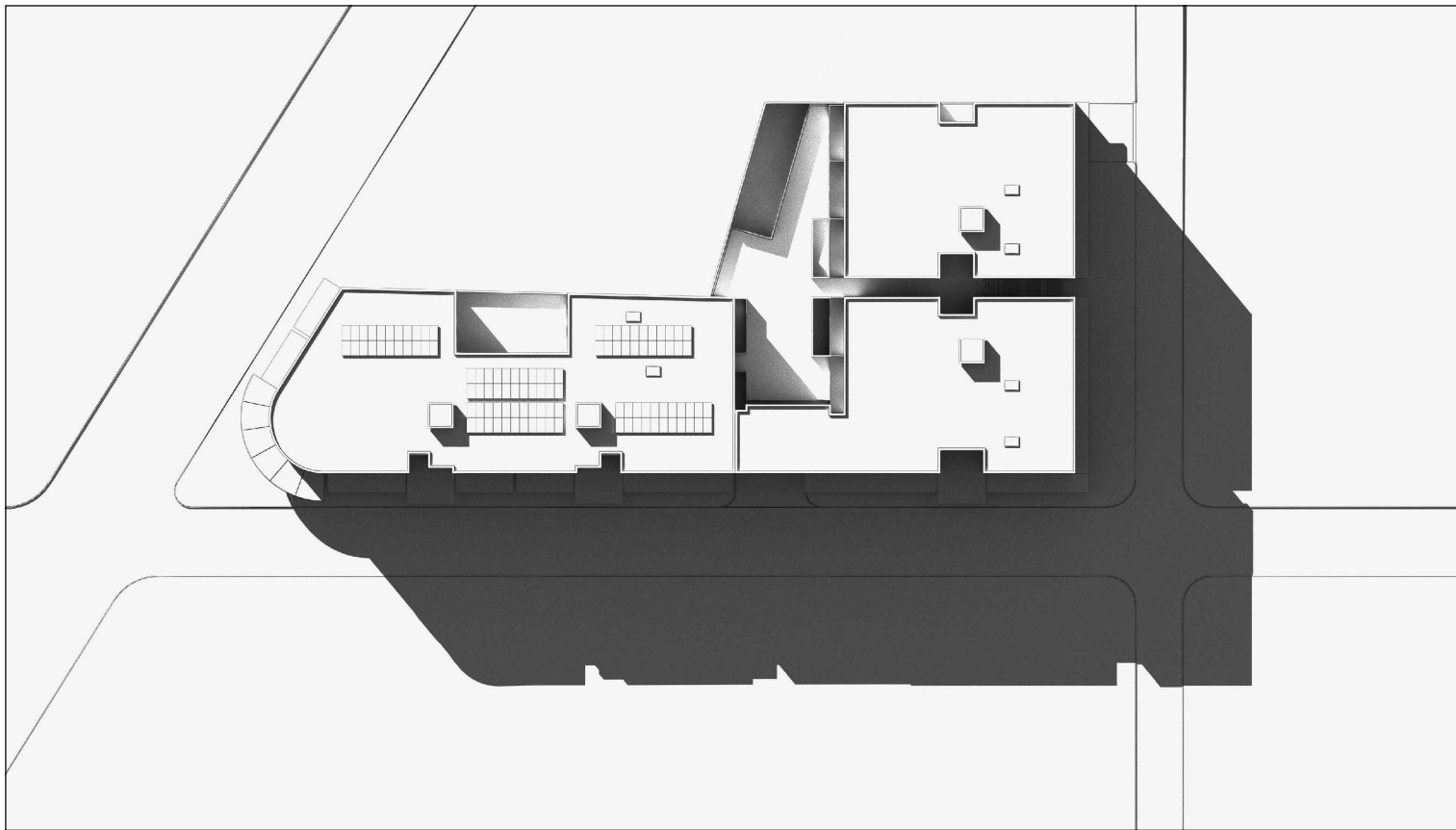
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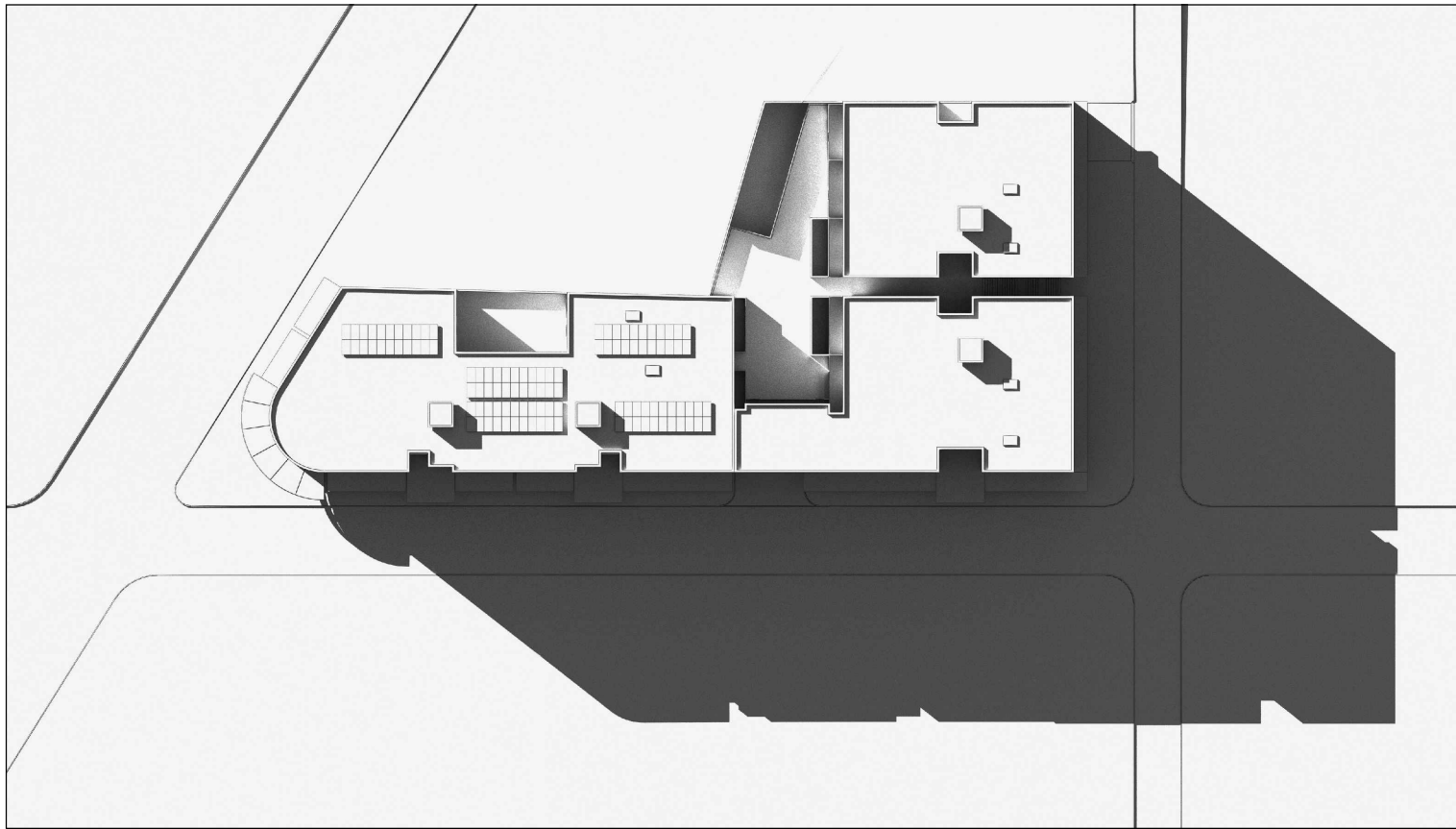
12 NOON



1PM



2PM



3PM



APARTMENTS SCHEDULE LEVEL 1						APARTMENTS SCHEDULE LEVEL 2						APARTMENTS SCHEDULE LEVEL 3					
UNIT No	TYPE	SOLAR ACCESS (H) JUNE 21 9am-3pm		CROSS VENTILATION	STORAGE (m³) BASEMENT	UNIT No	TYPE	SOLAR ACCESS (H) JUNE 21 9am-3pm		CROSS VENTILATION	STORAGE (m³) BASEMENT	UNIT No	TYPE	SOLAR ACCESS (H) JUNE 21 9am-3pm		CROSS VENTILATION	STORAGE (m³) BASEMENT
		LIVING ROOM	POS					LIVING ROOM	POS					LIVING ROOM	POS		
1	2 Bed	2	> 2	YES	> 8	21	2 Bed	2	> 2	YES	> 8	41	2 Bed	2	> 2	YES	> 8
2	1 Bed+S	2	> 2	-	> 8	22	1 Bed+S	> 2	> 2	-	> 8	42	1 Bed+S	> 2	> 2	-	> 8
3	2 Bed	2	> 2	YES	> 8	23	2 Bed	> 2	> 2	YES	> 8	43	2 Bed	> 2	> 2	YES	> 8
4	2 Bed	> 2	-	YES	> 8	24	2 Bed	> 2	> 2	YES	> 8	44	2 Bed	> 2	> 2	YES	> 8
5	2 Bed	> 2	-	YES	> 8	25	2 Bed	> 2	> 2	YES	> 8	45	2 Bed	> 2	> 2	YES	> 8
6	3 Bed	-	1	YES	> 8	26	3 Bed	-	1	YES	> 8	46	3 Bed	> 2	1	YES	> 8
7	Studio	-	1	-	> 8	27	Studio	-	1	-	> 8	47	Studio	> 2	1	-	> 8
8	3 Bed	> 2	> 2	YES	> 8	28	3 Bed	> 2	> 2	YES	> 8	48	3 Bed	> 2	> 2	YES	> 8
9	2 Bed+O	> 2	> 2	YES	> 8	29	2 Bed	> 2	> 2	YES	> 8	49	2 Bed	> 2	> 2	YES	> 8
10	1 Bed+O	1	2	YES	> 8	30	1 Bed	1	2	YES	> 8	50	1 Bed	> 2	2	YES	> 8
11	1 Bed+O	2	> 2	-	> 8	31	1 Bed	2	> 2	-	> 8	51	1 Bed	2	> 2	-	> 8
12	1 Bed+O	1	2	-	> 8	32	1 Bed	1	2	-	> 8	52	1 Bed	> 2	2	-	> 8
13	1 Bed+O	2	> 2	YES	> 8	33	1 Bed	2	> 2	YES	> 8	53	1 Bed	> 2	> 2	YES	> 8
14	1 Bed+O	2	2	YES	> 8	34	1 Bed	2	2	YES	> 8	54	1 Bed	> 2	2	YES	> 8
15	1 Bed+O	2	> 2	YES	> 8	35	1 Bed	2	> 2	YES	> 8	55	1 Bed	2	> 2	YES	> 8
16	1 Bed+O	1	2	YES	> 8	36	1 Bed	1	2	YES	> 8	56	1 Bed	> 2	2	YES	> 8
17	1 Bed+O	2	> 2	YES	> 8	37	1 Bed	2	> 2	-	> 8	57	1 Bed	2	> 2	-	> 8
18	1 Bed	1	2	-	> 8	38	1 Bed	1	2	-	> 8	58	1 Bed	> 2	2	-	> 8
19	1 Bed+O	> 2	> 2	YES	> 8	39	1 Bed	> 2	> 2	YES	> 8	59	1 Bed	> 2	> 2	YES	> 8
20	1 Bed	> 2	2	YES	> 8	40	1 Bed	> 2	2	YES	> 8	60	1 Bed	> 2	2	YES	> 8
UNIT TOTALS		14	16	15		UNIT TOTALS		14	18	14		UNIT TOTALS		20	18	14	

SOLAR ACCESS SUMMARY			UNIT TOTAL	TOTAL (%)
UNITS WITH MIN 2 HRS TO LIVING ROOM			48	80
UNITS WITH MIN 2 HRS TO POS			52	86

CROSS VENTILATION SUMMARY			UNIT TOTAL	TOTAL (%)
UNITS WITH CROSS VENTILATION			43	71

LEGEND

B	14.05.24	DA L3 ISSUE
A	04/02/19	SCHEDULE REVISED
ISSUE	DATE	AMENDMENTS



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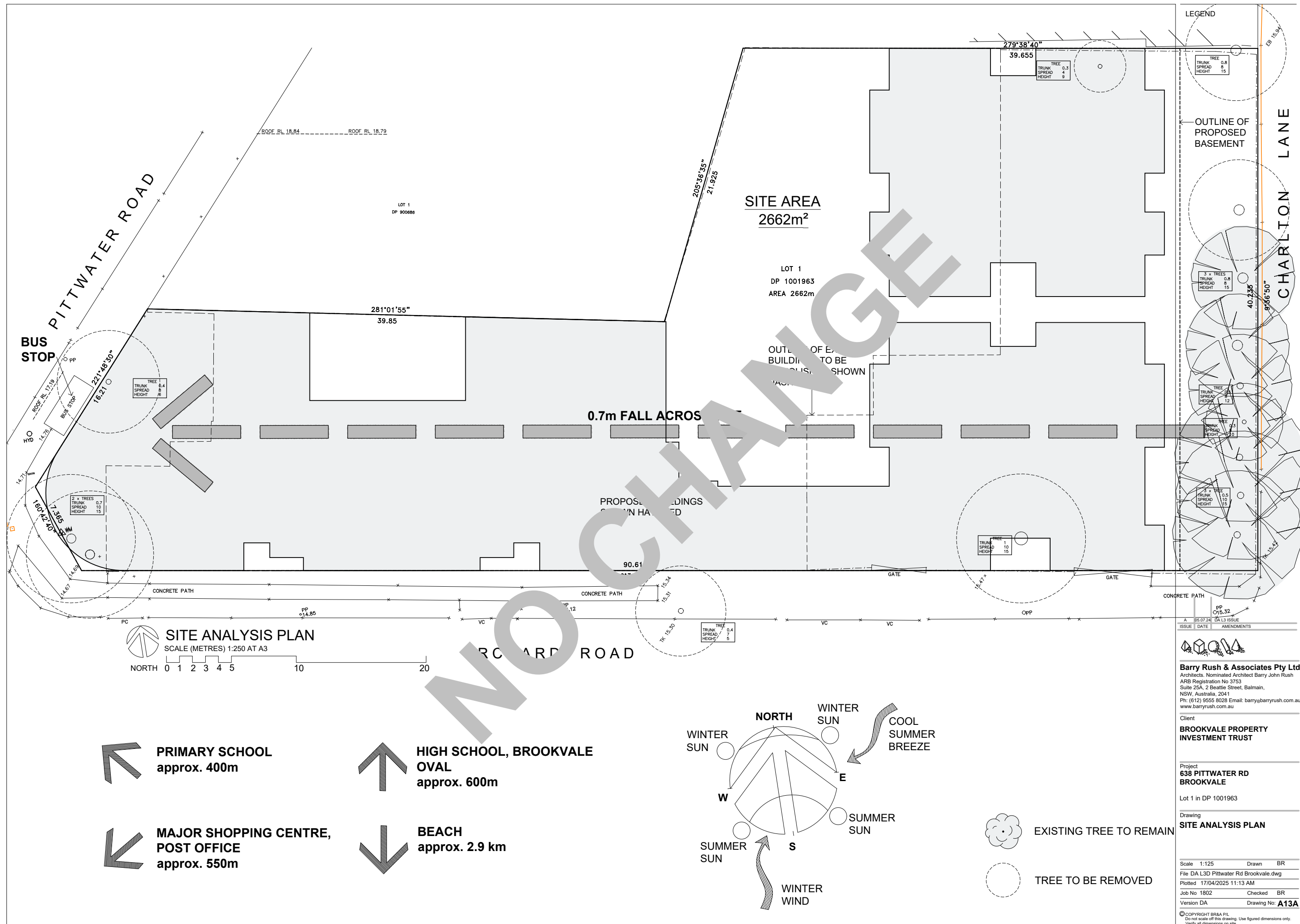
**BROOKVALE PROPERTY
INVESTMENT TRUST**

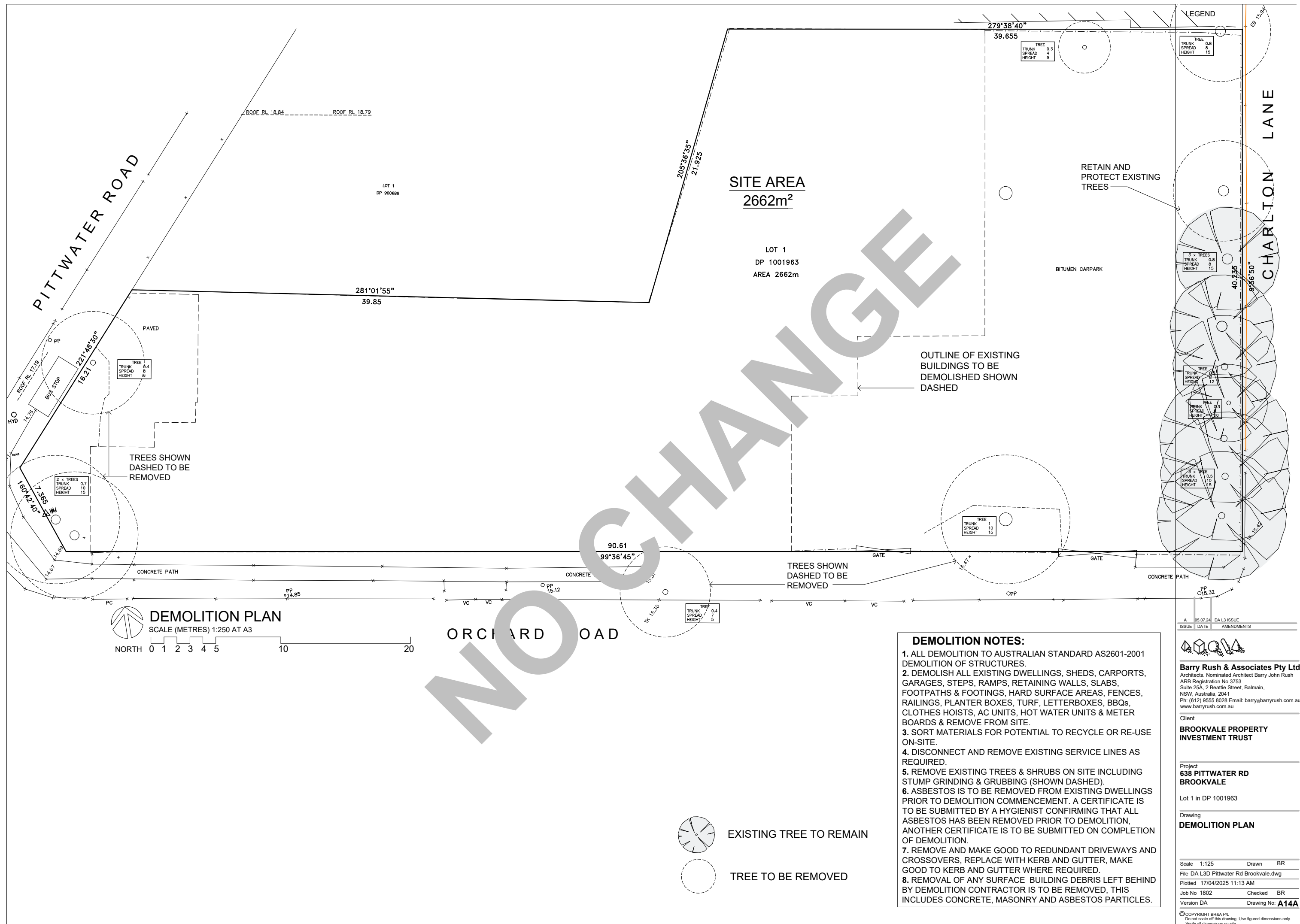
Project
**638 PITTWATER RD
BROOKVALE**

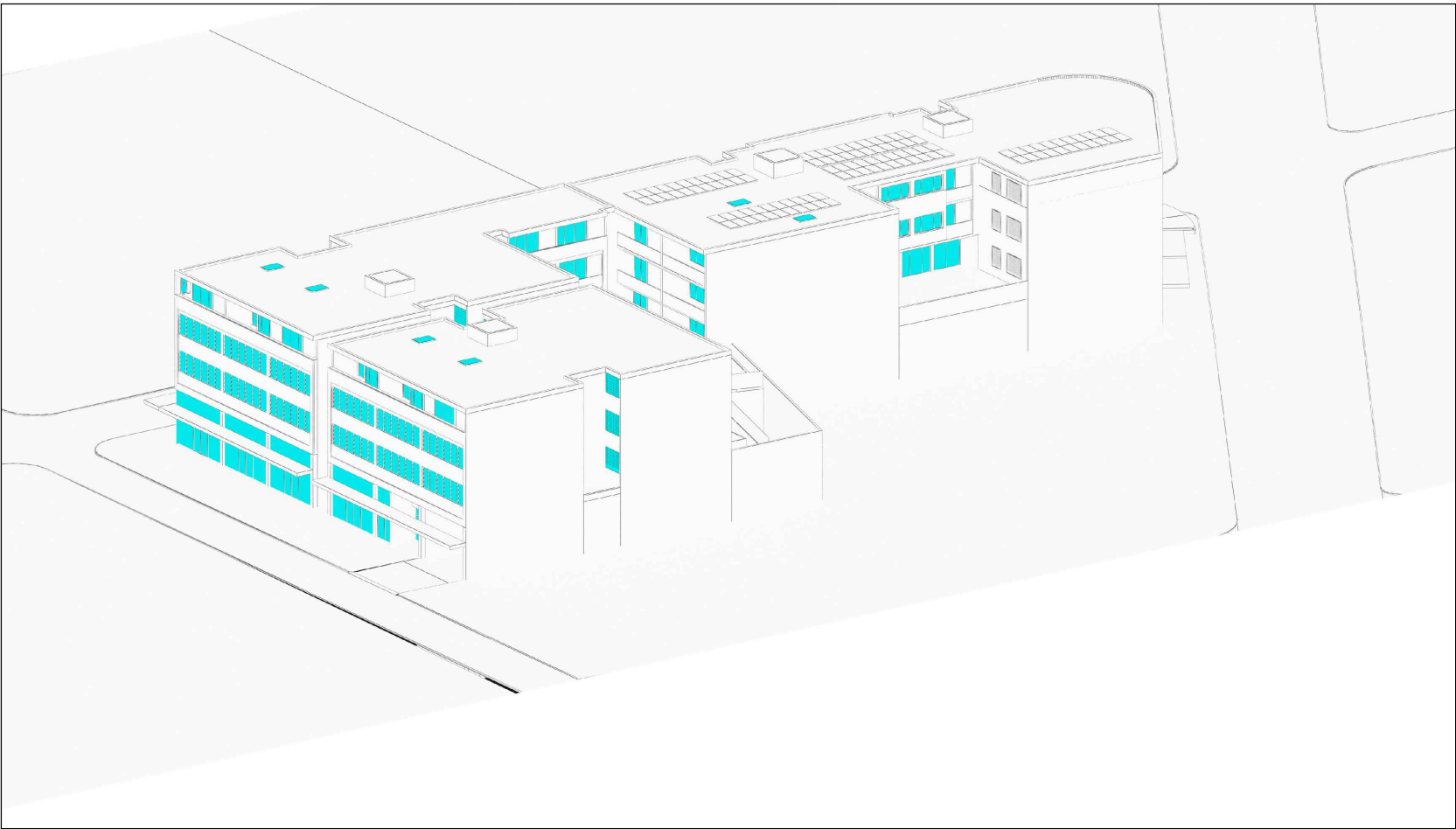
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Drawing
**SHADOW DIAGRAMS
MID WINTER**

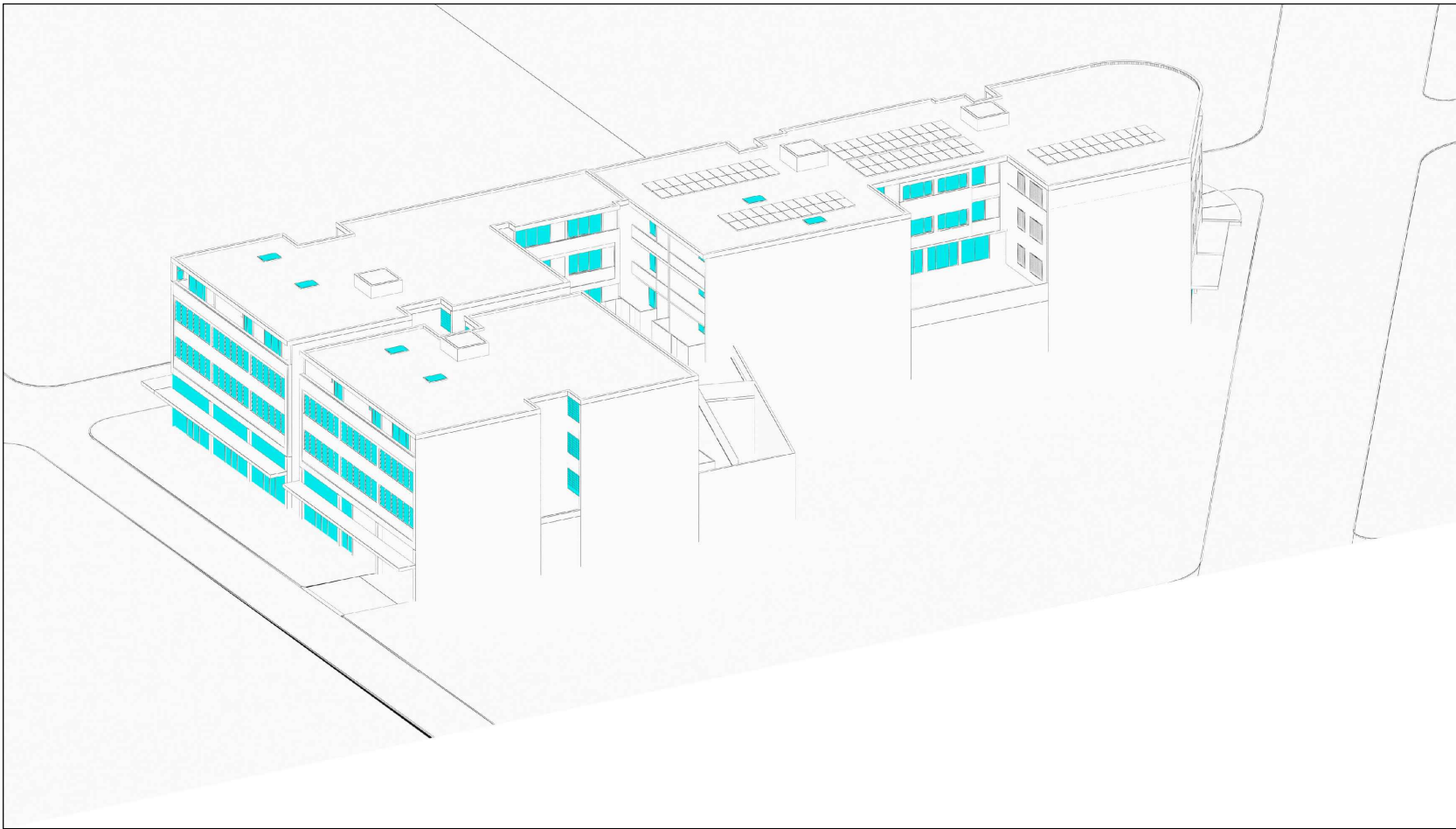
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Job No 1802 Checked BR
Version DA Drawing No: **A12B**
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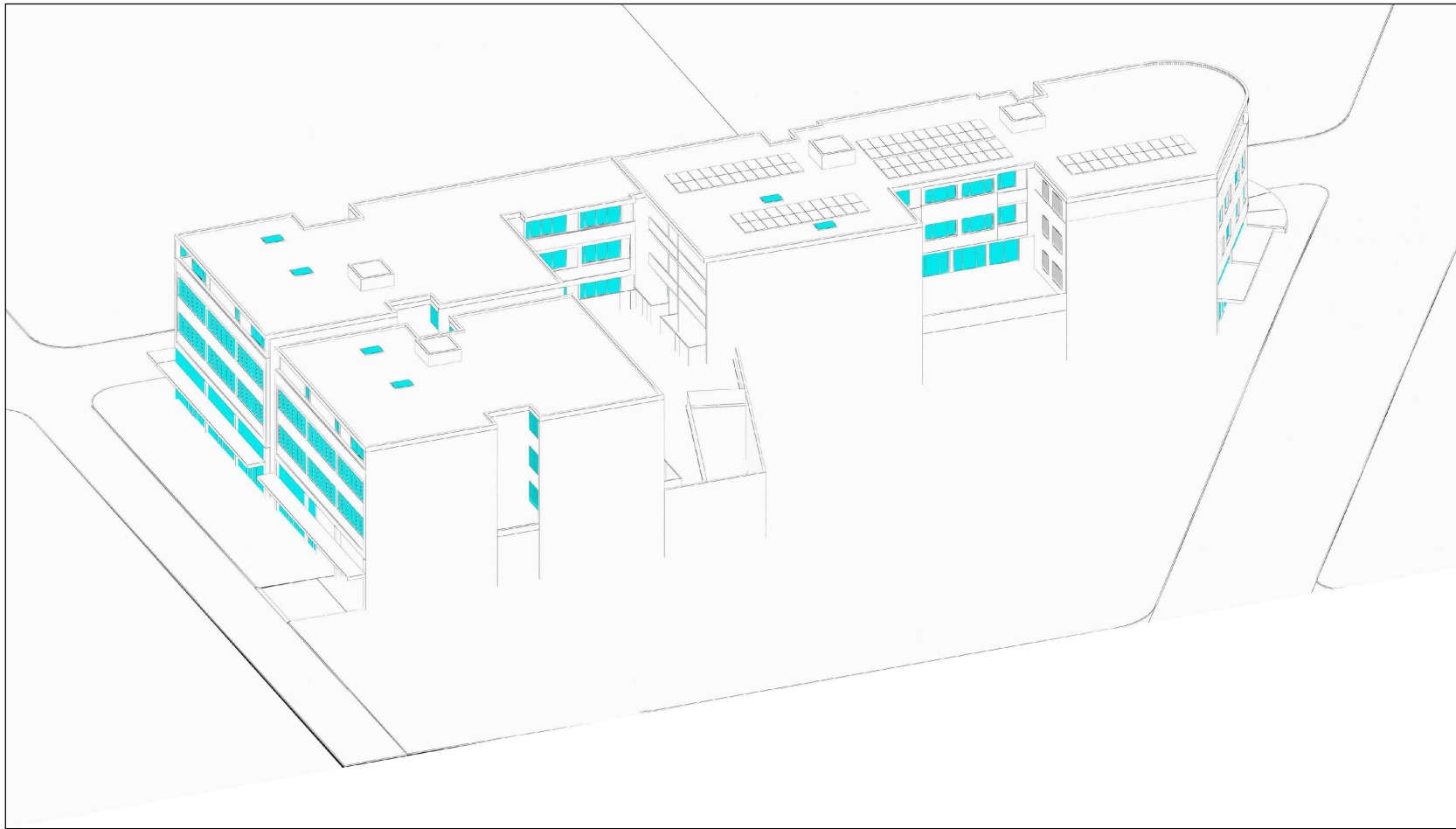




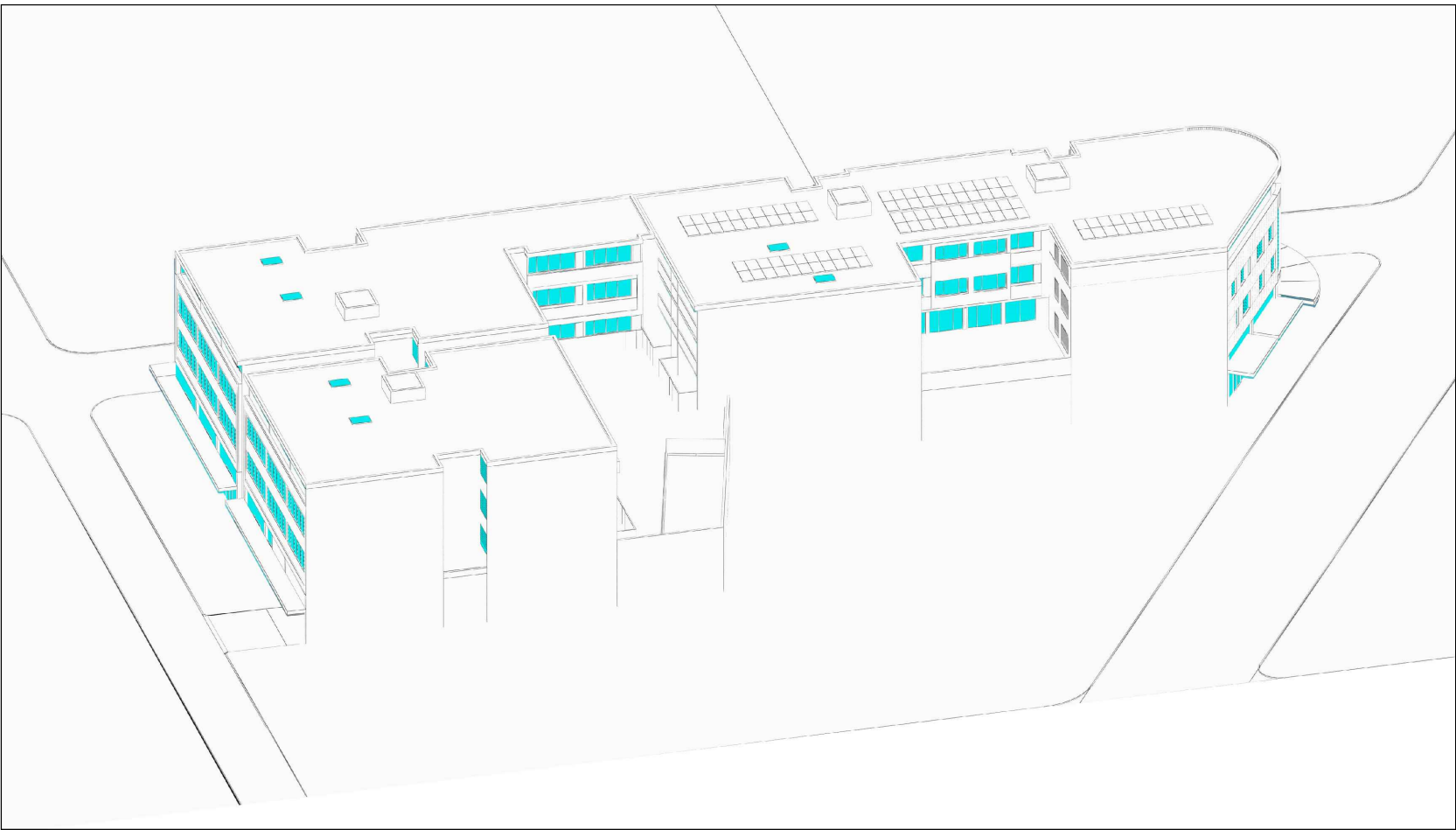
9AM



9:30AM



10AM



10:30AM



11AM



11:30AM

LEGEND

A	14.05.24	DA L3 ISSUE
ISSUE	DATE	AMENDMENTS



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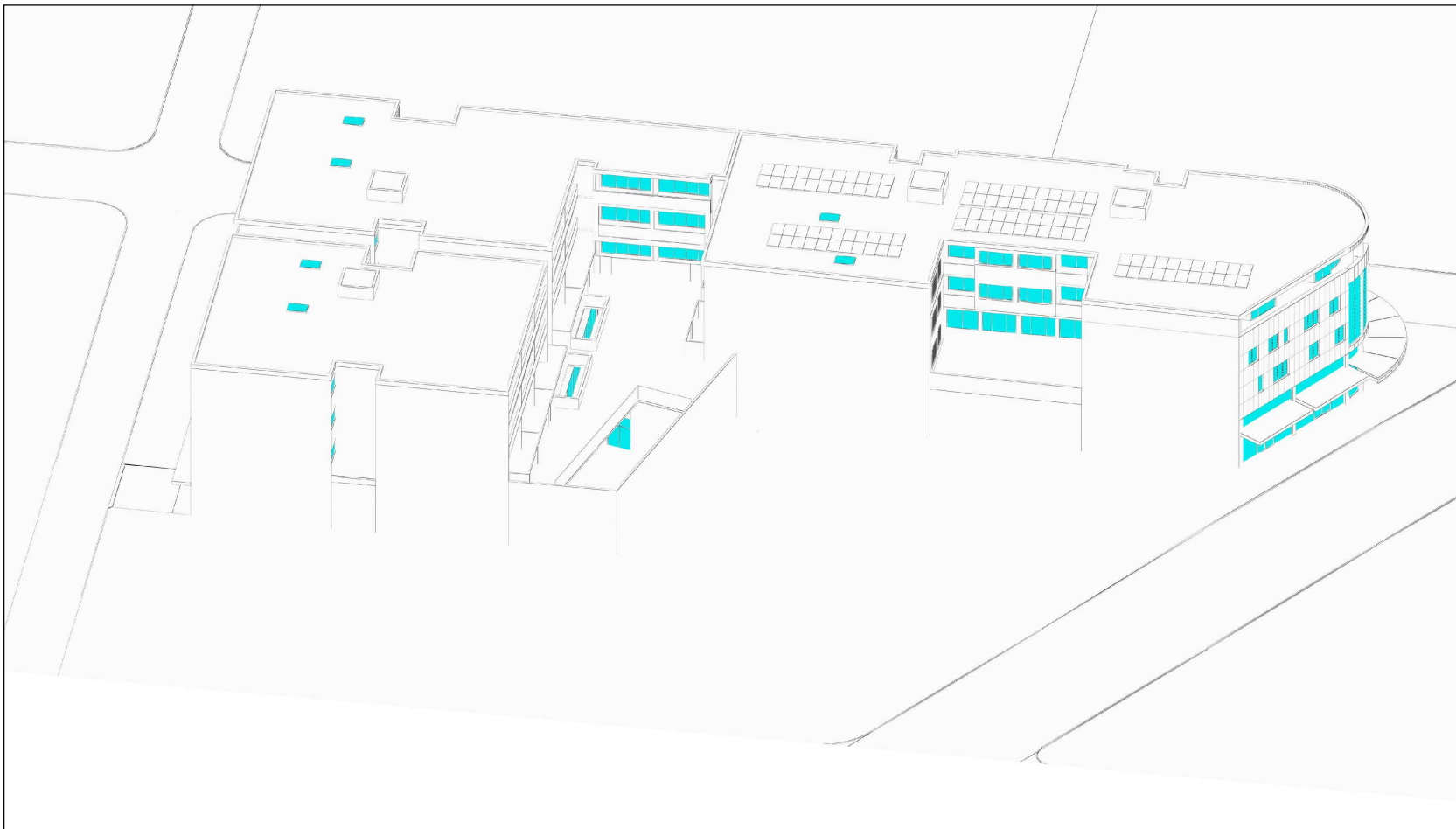
Project
**638 PITTWATER RD
BROOKVALE**

Lot 1 in DP 1001963

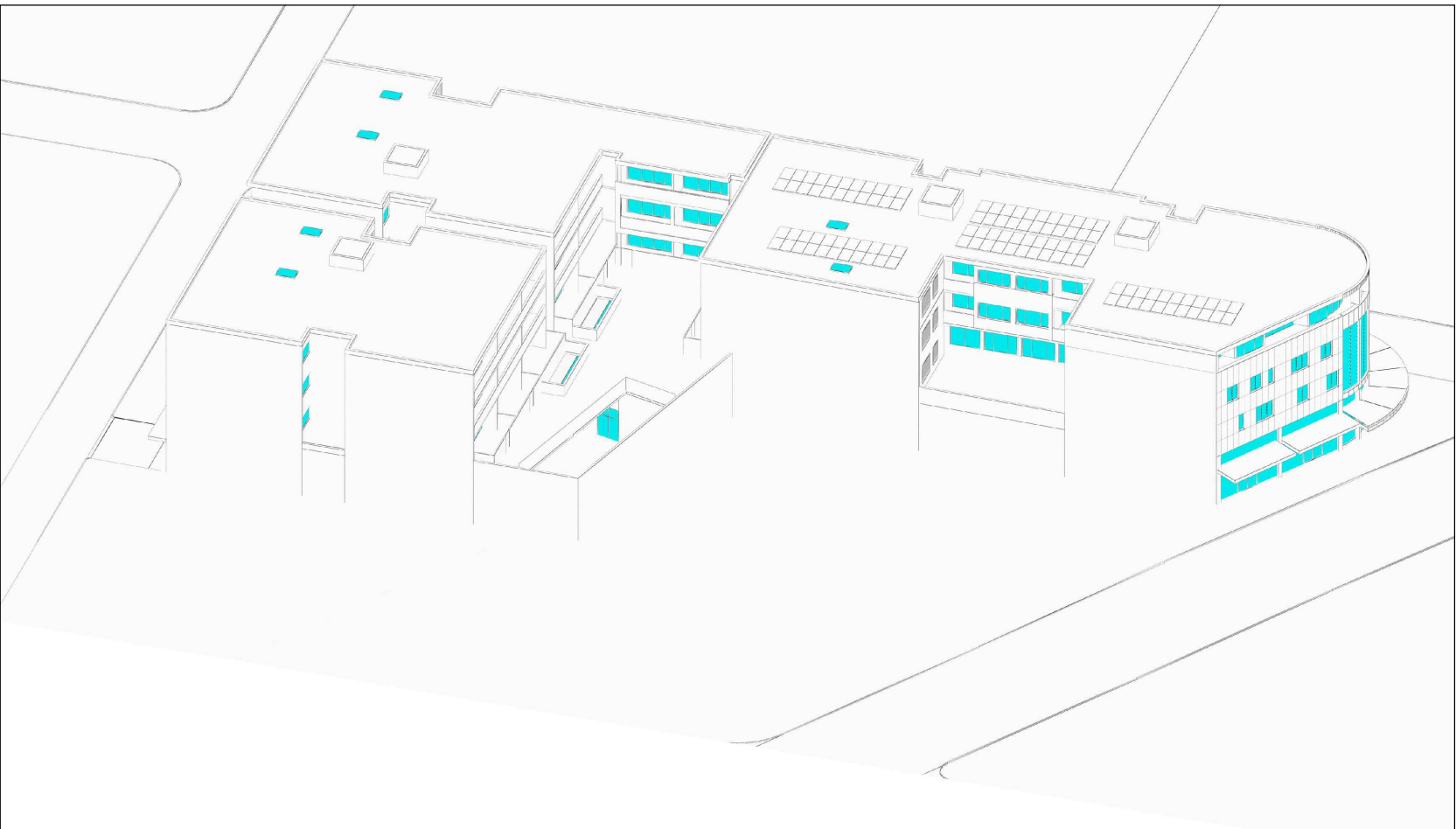
Drawing
**VIEWS FROM THE SUN
MID WINTER 21st JUNE**

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Plotted	14/05/2024 10:47 AM		
Job No	1802	Checked	BR
Version	DA	Drawing No:	A15A

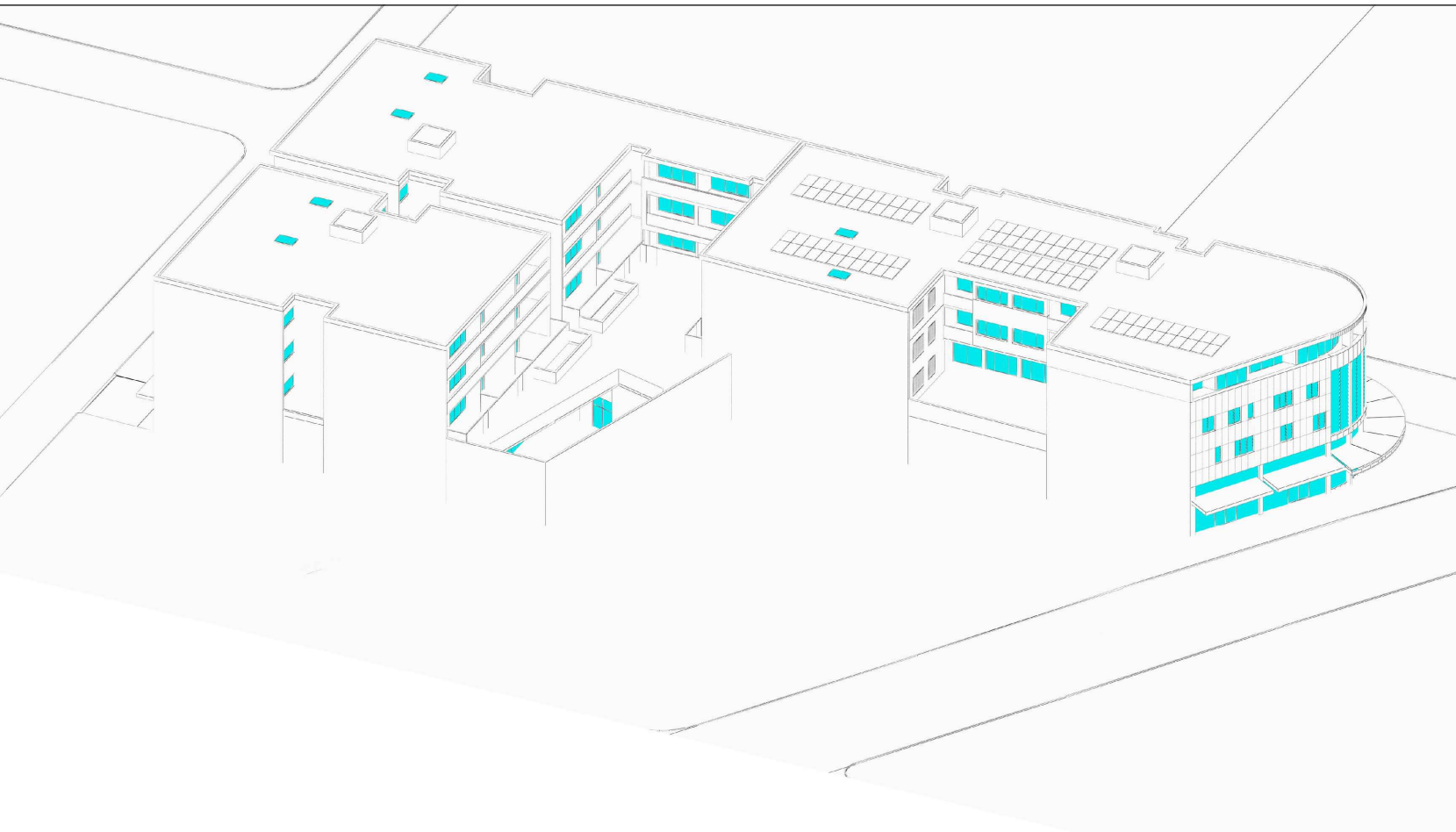
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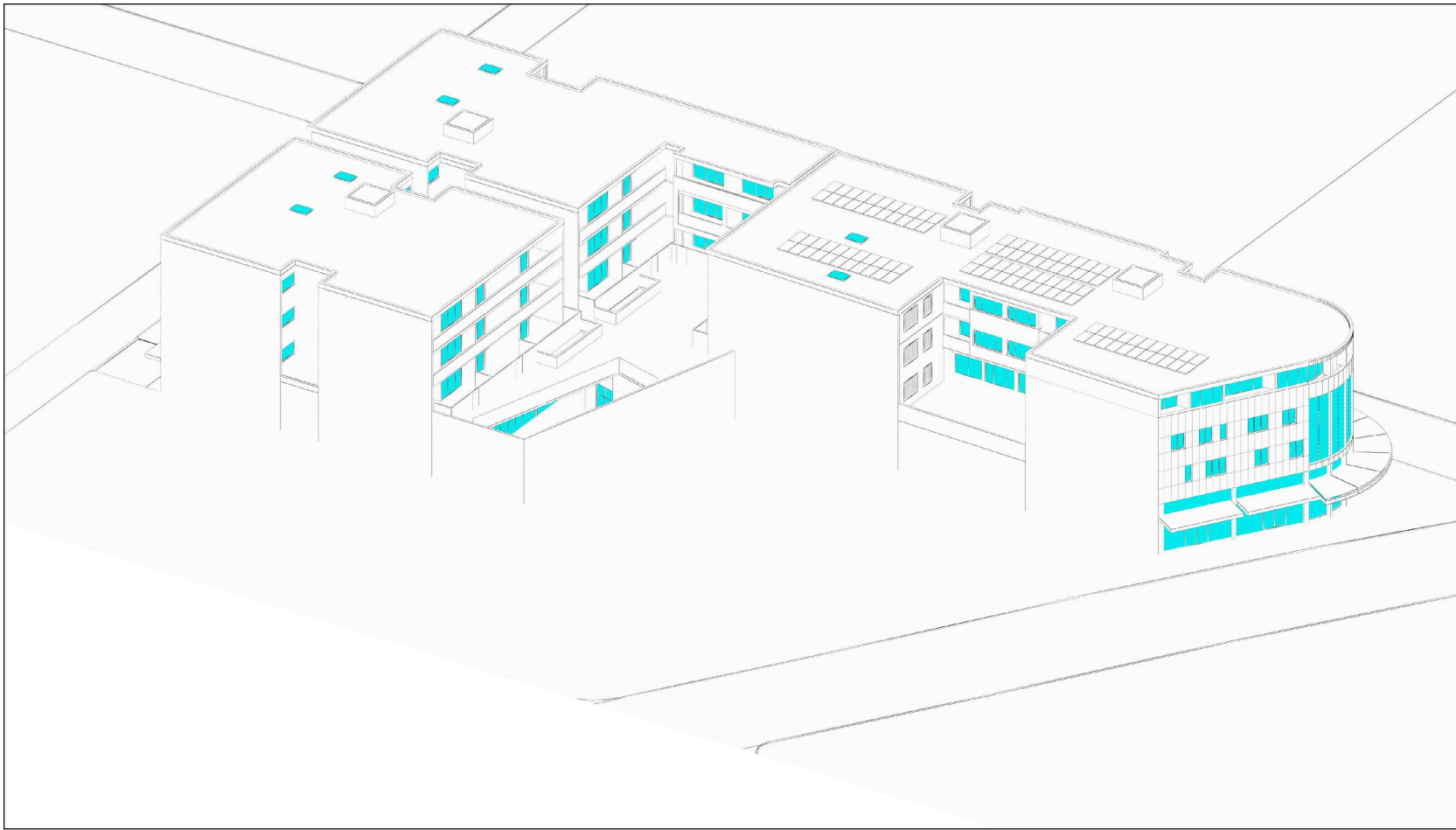
12 NOON



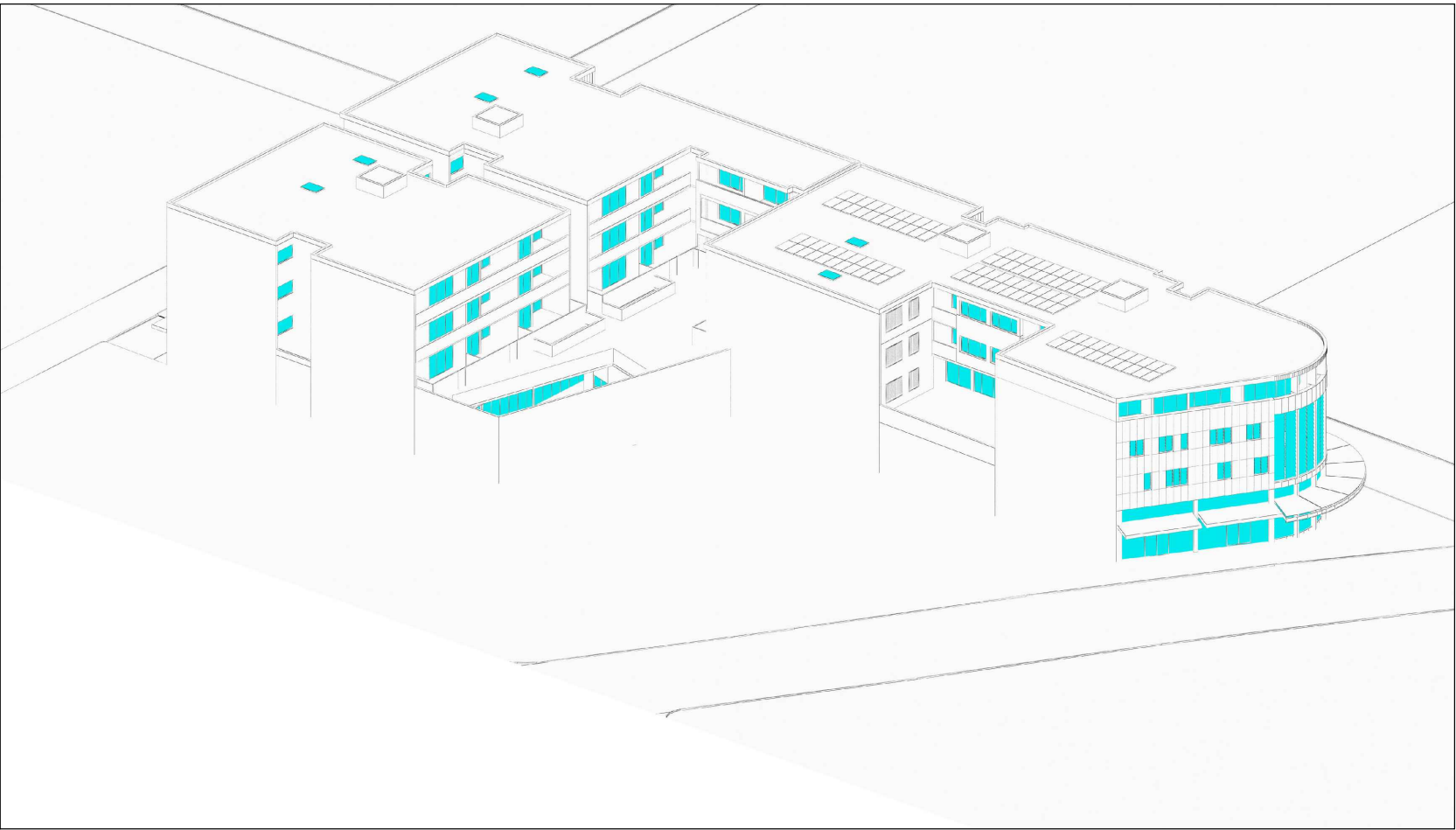
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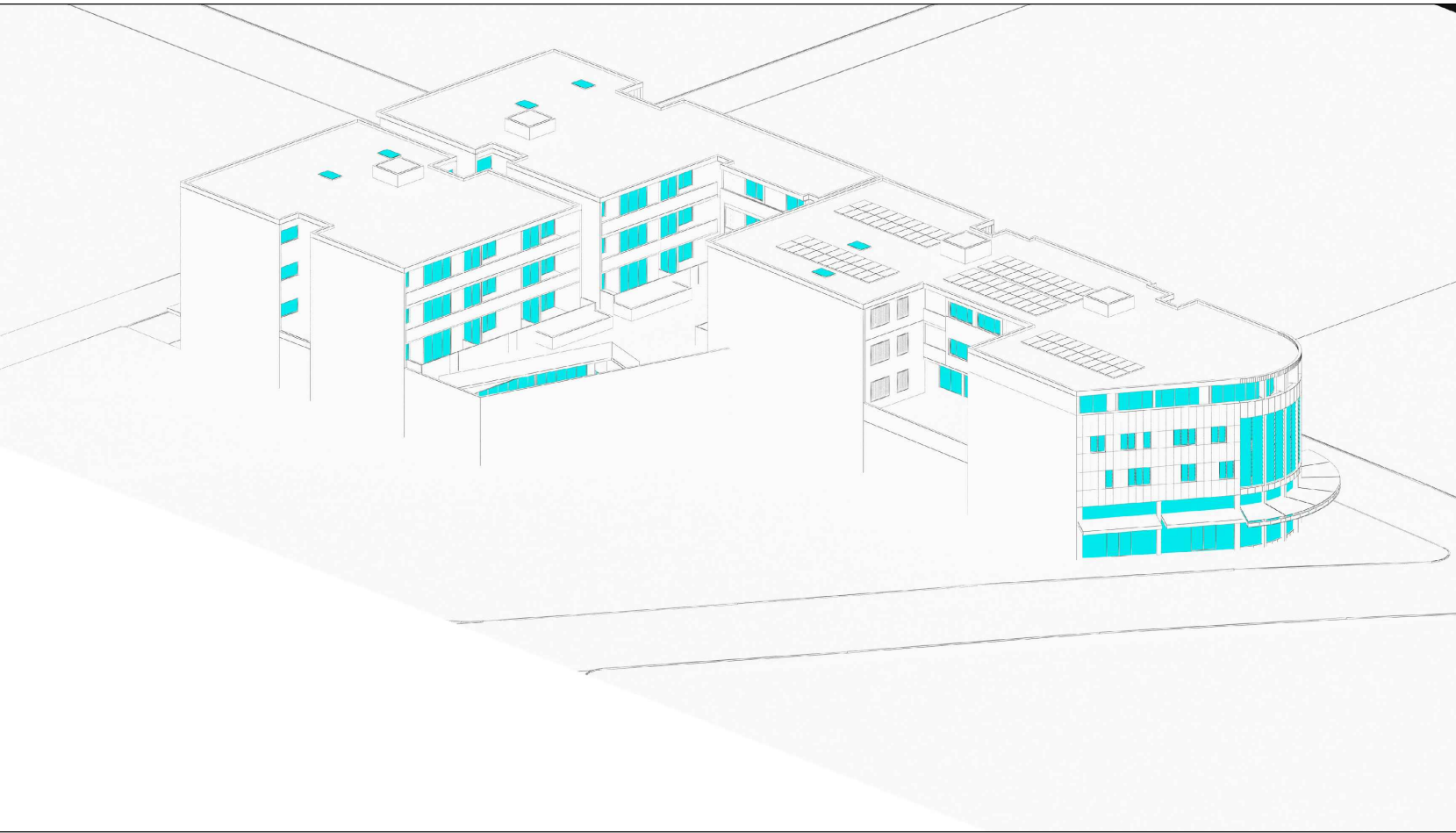
1PM



1:30PM



2PM



2:30PM



3PM

LEGEND

A	14.05.24	DA L3 ISSUE
ISSUE	DATE	AMENDMENTS



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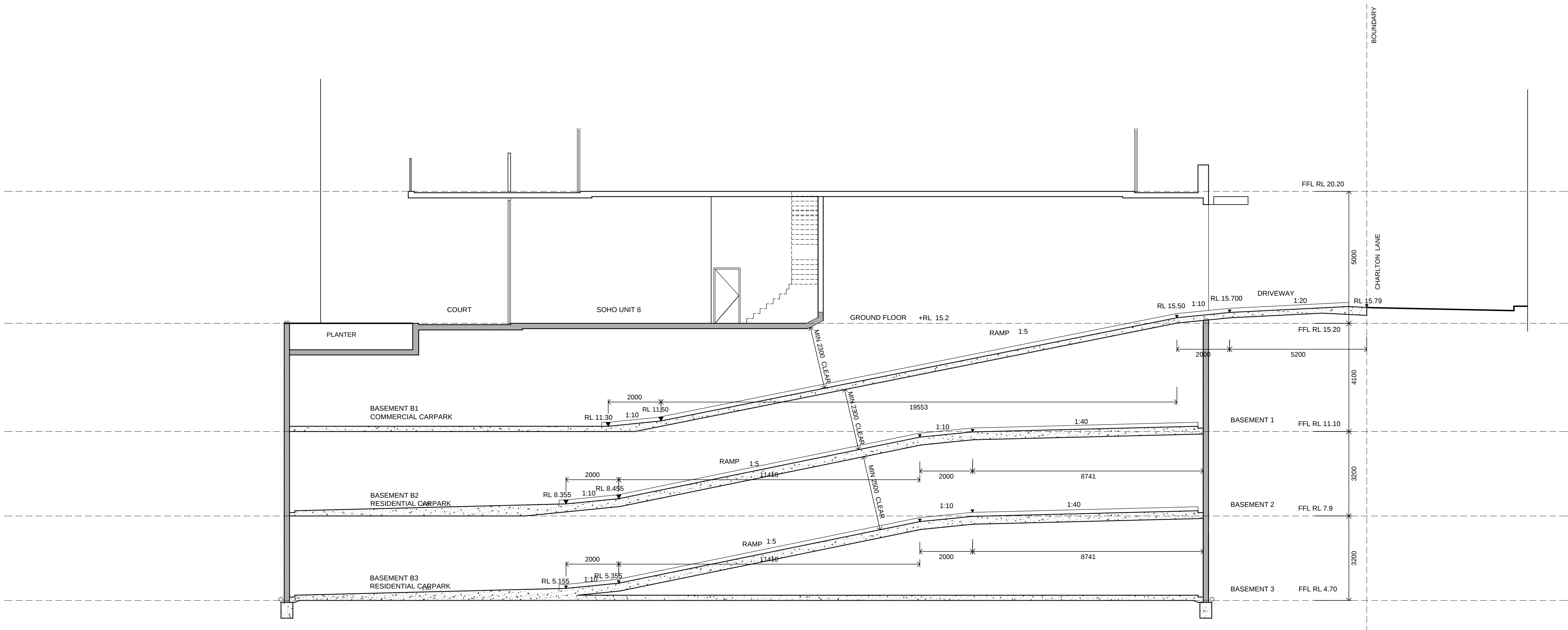
Project
**638 PITTWATER RD
BROOKVALE**

Lot 1 in DP 1001963

Drawing
**VIEWS FROM THE SUN
MID WINTER 21st JUNE**

Scale	NTS	Drawn	JL
File	DA L3a Pittwater Rd Brookvale Shadows.dwg		
Plotted	14/05/2024 10:47 AM		
Job No	1802	Checked	BR
Version	DA	Drawing No:	A16A

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DRIVEWAY/RAMP SECTION 1:50

LEGEND

A	14.05.24	DA L3 ISSUE
ISSUE	DATE	AMENDMENTS



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Project
**638 PITTWATER RD
BROOKVALE**

Lot 1 in DP 1001963

Drawing
DRIVEWAY SECTION

Scale	1:50	Drawn	BR
File	DA L3b Pittwater Rd Brookvale.dwg		
Plotted	14/05/2024 10:59 AM		
Job No	1802	Checked	BR
Version	DA	Drawing No:	A17A

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— DA REVISIONS

B	17.04.25	DA L3 REVISIONS
A	05.07.24	DA L3 ISSUE
ISSUE	DATE	AMENDMENTS



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Project
638 PITTWATER RD
BROOKVALE

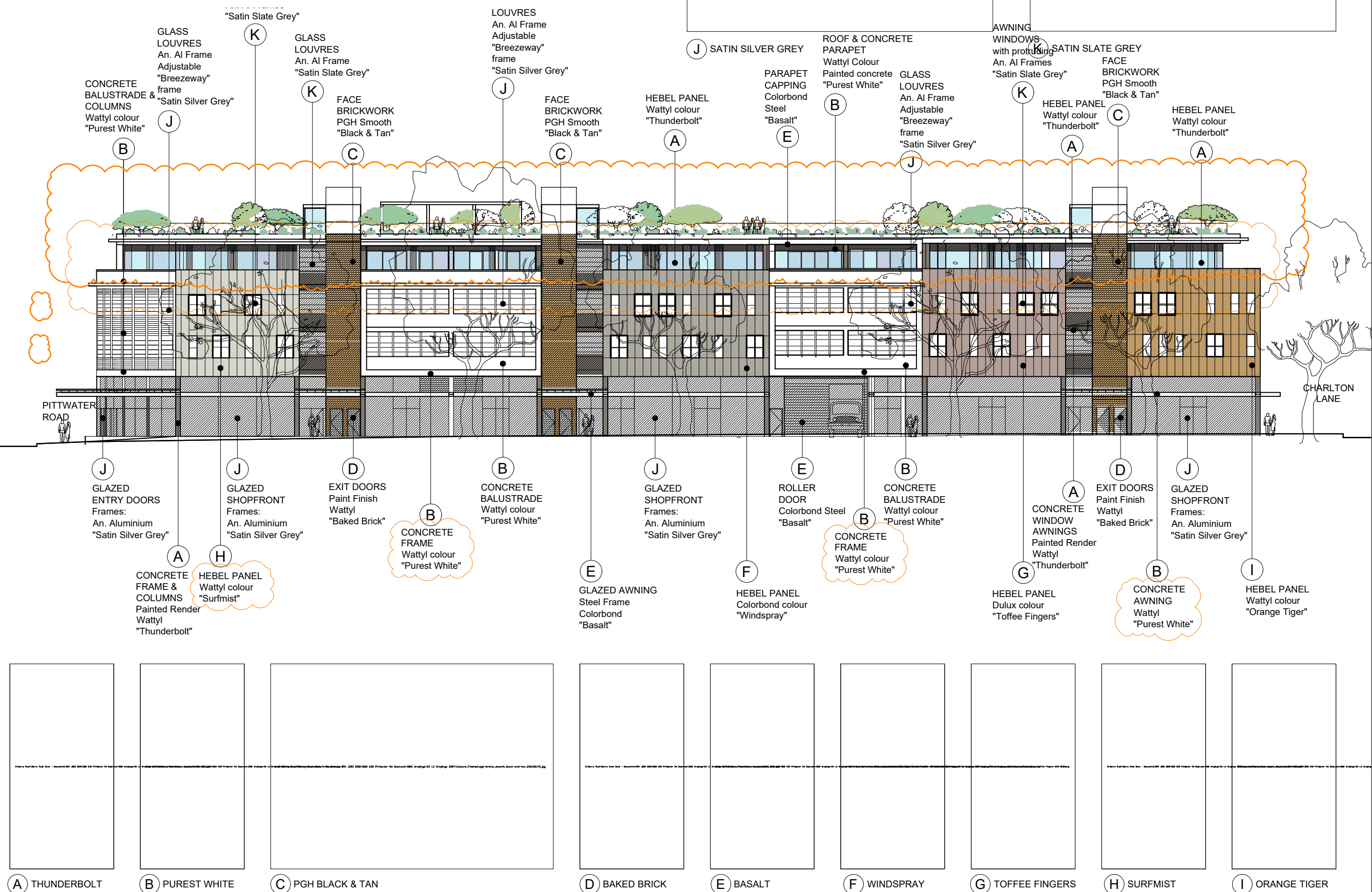
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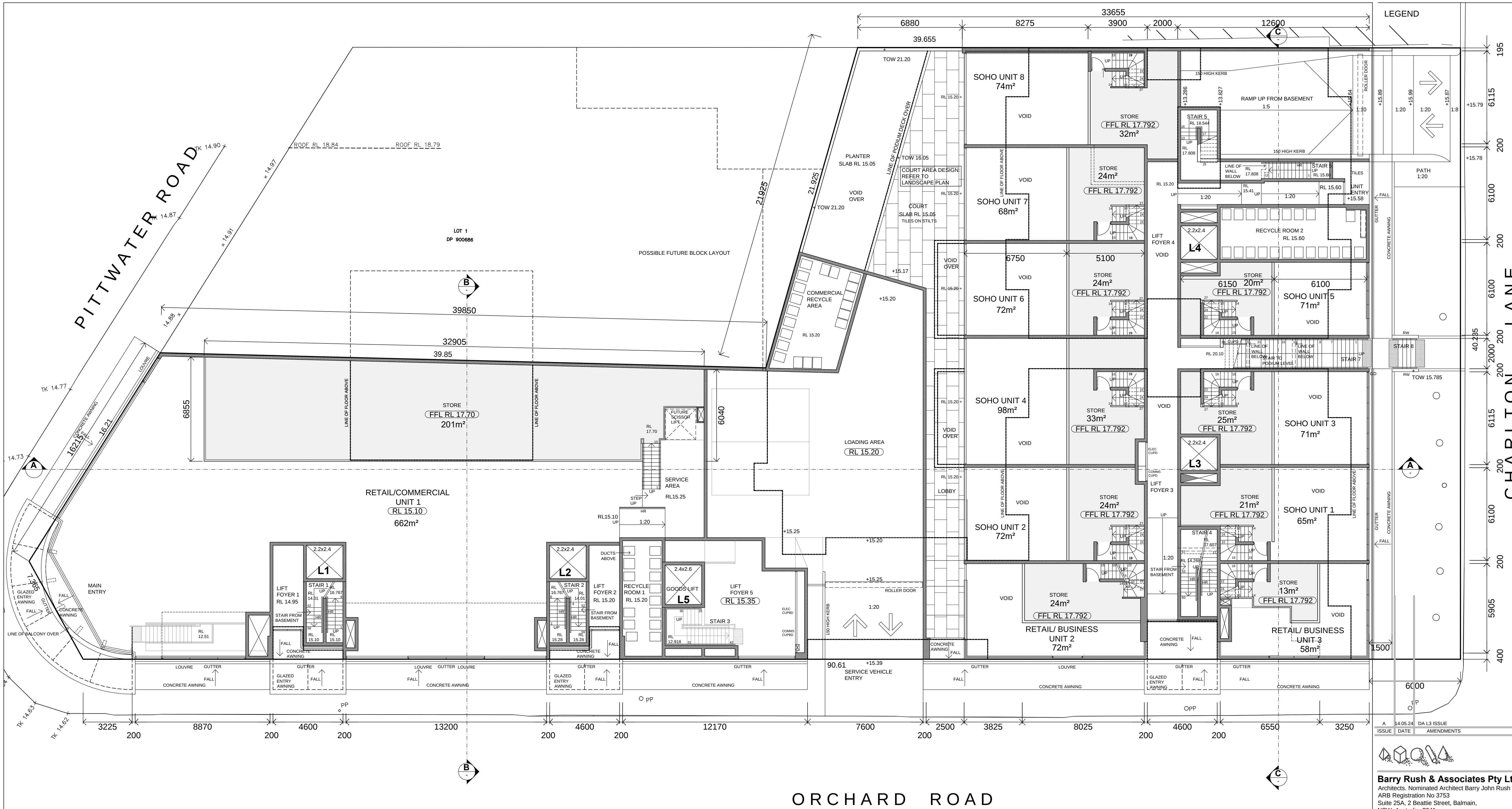
Drawing

EXTERNAL COLOUR SCHEDULE

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Plotted	17/04/2025 11:13 AM		
Job No	1802	Checked	
Version	DA	Drawing No:	A18A

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MEZZANINE FLOOR PLAN

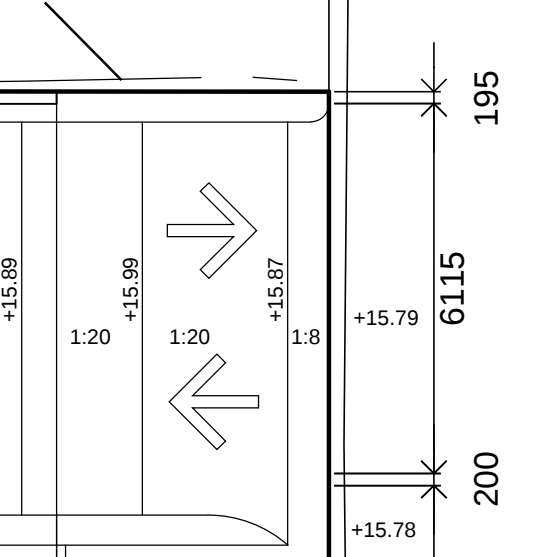
SCALE (METRES) 1:200 AT A3

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DATA TABLE

UNIT	GROUND FLOOR AREA	MEZZANINE FLOOR AREA
RETAIL 1	662m ²	201m ²
RETAIL 2	72m ²	24m ²
RETAIL 3	58m ²	13m ²
SOHO 1	65m ²	21m ²
SOHO 2	72m ²	24m ²
SOHO 3	71m ²	25m ²
SOHO 4	98m ²	33m ²
SOHO 5	71m ²	20m ²
SOHO 6	72m ²	24m ²
SOHO 7	68m ²	24m ²
SOHO 8	74m ²	32m ²

LEGEND



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Project
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BROOKVALE**

Lot 1 in DP 1001963

Drawing
MEZZANINE FLOOR LEVEL

Scale 1:125 Drawn BR
File DA L3b Pittwater Rd Brookvale.dwg
Plotted 14/05/2024 10:59 AM
Job No 1802 Checked BR
Version DA Drawing No: **A19A**

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