

Status	Sheet Number	RTVRev	RTVRev Date	Sheet Name		
AD	DA1-0000	19	07/04/25	Title Sheet & Drawing List		
AD	DA1-0110	08	07/04/25	Materials Palette		
AD	DA1-0200	08	07/04/25	General Notes & Abbreviations - Sheet 01		
AD	DA1-0201	08	07/04/25	Keynotes		
AD	DA1-0400	08	07/04/25	Existing Location Plan		
AD	DA1-0401	14	07/04/25	Existing Site Analysis Plan		
AD	DA1-0410	14	07/04/25	Site Plan - Existing & Demolition		
AD	DA1-0500	17	07/04/25	Site Plan - Proposed		
AD	DA1-1010	18	07/04/25	General Arrangement Plan - Myoora Road Venue Entry & Basement		
AD	DA1-1013	17	07/04/25	General Arrangement Plan - Restaurant		
AD	DA1-1023	17	07/04/25	General Arrangement Plan - Roof		
AD	DA1-1024	08	07/04/25	General Arrangement Plan - Landscaped Open Area & Mona Vale Roa		
AD	DA1-1100	06	07/04/25	Seating Plan - Restaurant		
AD	DA1-1200	08	07/04/25	General Notes - Food Premises		
AD	DA1-1201	08	07/04/25	Detail Plan - Restaurant		
AD	DA1-3100	14	07/04/25	Streetscape Elevations - Proposed		
AD	DA1-4100	16	07/04/25	Site Sections - Proposed - Sheet 01		
AD	DA1-4101	16	07/04/25	Site Sections - Proposed - Sheet 02		
AD	DA1-4102	15	07/04/25	Site Sections - Proposed - Sheet 03		
AD	DA1-4110	16	07/04/25	North West - Proposed Sections - Sheet 01		
AD	DA1-4111	16	07/04/25	North West - Proposed Sections - Sheet 02		
AD	DA1-4112	15	07/04/25	North West - Proposed Sections - Sheet 03		
AD	DA1-4120	16	07/04/25	South East - Proposed Sections - Sheet 01		
AD	DA1-4121	16	07/04/25	South East - Proposed Sections - Sheet 02		
AD	DA1-4122	15	07/04/25	South East - Proposed Sections - Sheet 03		
AD	DA1-4130	15	07/04/25	Building Sections - Sheet 01		
AD	DA1-9000	15	07/04/25	Area Plan & Schedule - Proposed		
AD	DA1-9010	15	07/04/25	Site Cover Plan & Schedule - Proposed		
AD	DA1-9020	09	07/04/25	Gross Floor Area Plan & Schedule - Proposed		
AD	DA1-9030	08	07/04/25	Fire Compartmentation - Proposed		
AD	DA1-9200	11	07/04/25	Shadow Diagrams - Winter 21st June 9am		
AD	DA1-9201	11	07/04/25	Shadow Diagrams - Winter 21st June 12pm		
AD	DA1-9202	11	07/04/25	Shadow Diagrams - Winter 21st June 3pm		
AD	DA1-9203	11	07/04/25	Shadow Diagrams - Summer 21st December 9am		
AD	DA1-9204	11	07/04/25	Shadow Diagrams - Summer 21st December 12pm		
AD	DA1-9205	11	07/04/25	Shadow Diagrams - Summer 21st December 3pm		

40 Myoora Road

40 Myoora Road, Terrey Hills NSW 2084

Gardoxi P/L (Norwest)

For Development Approval

Dov	Data	Amondmonto
10	26.07.24	Issue for Information
11	14.08.24	Issue for Information
12	03.09.24	For Development Approval
13	01.10.24	For Development Approval
14	14.02.25	Issue for Information
15	21.02.25	Issue for Information
16	28.02.25	Issue For Information
17	28.03.25	Issue for Information
18	28.03.25	Issue for Information
19	07.04.25	For Development Approval: Amended Scheme

Rev Date Amendments



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Humphrey & Edwards Pty Ltd | ABN 89056638227 Nominated Architect: Glenn Cunnington #6415

Scale @ A1	Drawn by	Checked by
Scale @ A3		
Project Start Date Issue Date	Sheet Issue Date	07/04/25
Project # 2725		
Drawing # DA	-0000	^{Rev} 19
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Tmb04



- 01 26.07.24 Issue for Information 02 14.08.24 Issue for Information 03 03.09.24 For Development Approval
- 04 21.02.25 Issue for Information
- 05 28.02.25 Issue For Information 06 28.03.25 Issue for Information
- 07 28.03.25 Issue for Information
- 08 07.04.25 For Development Approval: Amended Scheme



Tmb01



Tmb02



Peb01



Gra01

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Ash01

Ste01



Rev Date Amendments



Poly01



Con03



Pav01



AI02





Con02



Con04



Gla01



Client Gardoxi P/L (Norwest)

Location 40 Myoora F

> Drawing Materials Pal





Ste02



Con01



AI01



Suite 4.02, 80 Cooper Street Surry Hills NSW 2010 Australia +612 9357 2288 hello@h-e.com.au www.h-e.com.au PO Box 490 Darlinghurst NSW 1300 Humphrey & Edwards Pty Ltd | ABN 89056638227 Nominated Architect: Glenn Cunnington #6415

Materials & Finishes Legend

AI01	Aluminium Framed Windows and Doors Powder Coat Finish
AI02	Aluminium Weather Louvre Powder Coat Finish
Ash01	Ashphalt Surfacing
Brk01	Reclaimed Sandstock Brickwork
Con01	Concrete Hardstand Exposed Aggregate
Con02	Insitu Concrete Walls & Retaining
Con03	Insitu Concrete Feature Embedded Stone
Con04	Concrete Paving Honed Finish
Gla01	Clear Performance Laminated Glazing
Gra01	Grass Reinforcement Mesh
Pav01	Permeable Paving Refer to Landscape Architect's Specifications
Peb01	Permeable Pebble Road Surfacing
Poly01	Corrugated Polycarbonate Roofing
Ste01	Galvanised Corrugated Steel Wall Cladding & Roofing
Ste02	Galvanised Steel Structural & Detail Elements
Stn01	Sandstone Retaining Locally Sourced
Tmb01	Hardwood Timber Framing Structural & Detail Elements
Tmb02	Hardwood Timber Cladding Lap & Cap
Tmb03	Hardwood Timber Cladding Square Cut Shingle
Tmb04	Timber Framed Windows and Doors
Тур	nstruction to comply with Building Class, Construction be and FRLs in accordance BCA Compliance

- Assessment Report. External wall construction to comply with total system R-value of R1.40 with thermal bridging calculated in accordance with AS/NZS 4859.2 and external wall colour to a maximum solar absorptance of 0.60 in accordance with Section J DTS Assessment and Report.
- Internal wall construction to comply with total system R-value of R1.40 with thermal bridging calculated in accordance with AS/NZS 4859.2 in accordance with Section J DTS Assessment and Report.
- 4. External roof construction to comply with total system R-value of R3.70 and external wall colour to a maximum solar absorptance of 0.45 in accordance with Section J DTS Assessment and Report.
- 5. Floors to unconditioned spaces constructed to comply with total system R-value of R2.00 in accordance with Section J DTS Assessment and Report.
- External glazing suites to have a total system U-value of U4.30 and a SHGC of 0.52 generally in accordance with Section J DTS Assessment and Report.
- Roof lights to have a total system U-value of U3.90 and a SHGC of 0.29 with shaft insulation to comply with total system R-value of R1.40 generally in accordance with Section J DTS Assessment and Report.

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Road, Terrey Hills NSW 2084	Scale @ A3	
	Project Start Date Issue Date Sheet Issue Date 07	/04/25
alette	Project # 2725	
	Drawing # DA1-0110 Rev	08
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General Notes - Approval Documenation (AD)

General notes, abbreviations &

specifications Refer also to any general notes, abbreviations and specifications provided in relation to this document set. Note that written specifications, where provided, take precedence to the extent of any discrepancy.

Coordination

Where applicable refer to and coordinate information contained in the architectural drawings, and the documentation of other consultants. Notify discrepancies between architectural and/or other consultant's documentation and/or statutory or other authority requirements to the Project Administrator for direction prior to proceeding with the part of the works affected by the discrepancy.

Detail Drawings

Unless noted otherwise, where available, refer to detail drawings for set-out and detailed construction information. Where a discrepancy arises drawings at larger scales generally take precedence over drawings at smaller scales to the extent of any discrepancy. Notify discrepancies to the Project Administrator for direction prior to proceeding with the part of the works affected by the discrepancy.

Units of measurement

Unless noted otherwise: - Dimensions are shown in millimetres; and - Levels are shown in meters

Access and Mobility Compliance Report Where applicable refer to and execute the works in accordance with the current Access and Mobility Compliance Report. Where a discrepancy arises between the requirements of the Access and Mobility Compliance Report and this documentation the Access and Mobility Report will take precedence to the extent of the discrepancy. Where Compliance with the requirements of this Report will require a physical change to any part of the works illustrated by this documentation, notify the Project Administrator for direction prior to proceeding with the affected part of the works.

Acoustic Compliance Report

Where applicable refer to and execute the works in accordance with the current Acoustic Compliance Report. Where a discrepancy arises between the requirements of the Acoustic Compliance Report and this documentation the Acoustic Compliance Report will take precedence to the extent of the discrepancy. Where Compliance with the requirements of this Report will require a physical change to any part of the works illustrated by this documentation, notify the Project Administrator for direction prior to proceeding with the affected part of the works.

Fire Engineering (and/or Alternate Solution) Report

Where applicable refer to and execute the works in accordance with the current Fire Engineering (and/or Alternate Solution) Report. Where a discrepancy arises between the requirements of this documentation and any applicable Fire Engineering (and/or Alternate Solution) the Fire Engineering (and/or Alternate Solution) will take precedence to the extent of the discrepancy. Where Compliance with the requirements of this Report will require a physical change to any part of the works illustrated by this documentation, notify the Project Administrator for direction prior to proceeding with the affected part of the works.

Conservation management plan

Refer to the Conservation Management Plan. Coordinate the requirements of the Conservation Management Plan with the intent of the project documentation. Where a discrepancy is identified notify the Project Administrator for direction prior to proceeding with the part of the works affected by the discrepancy.

Levels

Levels shown are consistent with the datum and benchmarks shown on the associated detail survey. Unless noted otherwise surveyed levels are indicated relative to the Australian Height Datum. Prior to the commencement of construction, levels and datum are to be confirmed on site by a licensed surveyor with reference to the site survey documents.

Falls

Finish surfaces in wet and/or external areas to fall, as required and in accordance with NCC and AS requirements, to facilitate effective drainage.

INTERPRETATION

"Approved" or "Approval" UNO means, depending upon the context of the related part of the works, to the approval of the Project Administrator or party authorised by the Project Administrator to grant approval, or "Waterproof" describes the property of a as approved by the relevant consent authority in relation to the related part of the works.

"BCA (Building Code of Australia)" refers to the current and/or applicable edition of the BCA. Any reference made to the BCA or Building Code of Australia, unless in relation to a specific provision of a previous issue of the BCA, is to be interpreted to refer to the current and/or applicable edition of the BCA.

"Documentation" means the current version of the complete documents for the works including the relevant drawings, specifications from all consultants and the relevant statutory requirements.

"If (where or as) required" is a conditional term for work which may be shown on or implied by the documentation for the practical construction and whole completion of the works or works that are required by legislation or other relevant authority requirements.

"NCC (National Construction Code)" refers to the current and/or applicable edition of the NCC. Note that from May 2011 the NCC incorporates the BCA.

"PCA" means "Principal Certifying Authority".

"Principal" has the same meaning as "owner", "client" and "proprietor" and refers to the party **Electrical works** to whom the Contractor is legally bound, under the terms of the construction contract, to construct the works.

"Project administrator" has the same meaning achieve the design intent implied by the as "Contract administrator", "architect" or "superintendent" as applicable to a particular project and is the person appointed by the "owner", "principal" and/or "proprietor" with authority to issue approvals and/or instructions under the contract.

"Proprietary" means identifiable by naming the manufacturer, supplier, installer, trade name, brand name, catalogue or reference number.

"Provide" means to supply and install.

"Required" means required by the contract documents, and/or by the Local or Statutory Authorities and/or to contribute to complete the execution of the works in accordance with the intent of the documentation.

"Selected" means a material, finish, fitting or fixture to be selected by the Architect, Project Administrator and/or Proprietor. Refer to the relevant specification or schedule. If no selection is apparent notify the Project Administrator for direction.

"... to detail" in reference to an item or element of the works means that the applicable item is to be in accordance with the relevant Architect's detail. If a relevant detail is not evident notify the Project Administrator for direction prior to proceeding with the affected part of the works.

"Refurbish" means to repair any existing damage and return the element to a standard of operation and finish generally consistent with a similar new element.

"UNO" means "unless noted otherwise"

"Water resistant' describes the property of a material that restricts moisture movement and requirements to the PCA's satisfaction. will not degrade under conditions of moisture.

material that does not allow moisture to penetrate through it.

EXECUTION OF THE WORKS Compliance

Execute the works in compliance with the relevant provisions of the current editions (as amended at the time of execution of the works) of:

- The National Construction Code (NCC) and Building Code of Australia (BCA), refer to the BCA Compliance Schedule for reference

where provided with this documentation; - Applicable Australian and other published Standards, codes and policies; - Relevant requirements of Local and/or Statutory Authorities applicable to the execution of the works; and

- Where available, the associated BCA and/or Development Consent Compliance Report.

Where a discrepancy arises between the requirements of the above mentioned codes, standards and policies, and this documentation the relevant code, standards and/or policy(ies) shall take precedence to the extent of the discrepancy. Where compliance will require a physical change to any part of the works described by this documentation, notify the Project Administrator for direction prior to proceeding with the affected part of the works.

Electrical works including general power, lighting, security, audio visual, point-of-sale etc. are to be designed and constructed to architectural documentation, coordinate with other structure and services and be accordance with the Local Authority, Statutory Authority, Electrical Consultant's requirements.

Coordinate with the electrical consultant and contractors to ensure that all required certifications are provided in accordance with the relevant service authority and statutory requirements to the PCA's satisfaction.

Hydraulic works

Stormwater drainage, waste water drainage, fresh water, gas supply and other hydraulic services are to be designed and constructed to achieve the design intent implied by the architectural documentation, coordinate with other structure and services and in accordance with the Local Authority, Statutory

Authority, Hydraulic and/or Civil Works Consultant's requirements. Coordinate with the hydraulic consultant and contractors to ensure that all required certifications are provided in accordance with

the relevant service authority and statutory requirements to the PCA's satisfaction.

Mechanical works Mechanical works including air-conditioning,

ventilation, exhaust etc. are to be designed and constructed to achieve the design intent implied by the architectural documentation, coordinate with other structure and services and be accordance with the Local Authority, Statutory Authority, Mechanical Consultant's requirements.

Coordinate with the mechanical consultant and contractors to ensure that all required certifications are provided in accordance with the relevant service authority and statutory

Structural works

Foundations, footings, reinforced concrete, slabs, retaining walls, framing, bracing, tiedown and other structural elements are to be constructed to achieve the design intent implied by the relevant aspects of the structural engineer's design and specification, architectural documentation and other design and services consultant's documentation. Coordinate the structural works with the architectural documentation and other design and services consultant's documentation as required.

Provide cleats, brackets, holes, spacers, etc as required to achieve the implied design intent whether specifically detailed or not. Where cleats, brackets, holes, spacers, etc are required and are not specifically detailed, submit proposed details to the Project Administrator for approval prior to fabrication.

Coordinate with the structural engineer to ensure that all required certifications are provided in accordance with statutory requirements to the PCA's satisfaction.

Existing Buildings & Structures including finished levels & details of external works Details of existing buildings and structures, including finished levels and details of external works shown are consistent with the associated detail survey and may also reflect measurements on site. Confirm the veracity, in regard to location, extent and levels of existing building elements on site. Where a discrepancy arises notify the Project Administrator for direction prior to proceeding with associate works to the extent that they are affected by the discrepancy.

Erosion & Sediment Control

Apply erosion and sediment control measures in accordance with the Local Authority and. where applicable, Hydraulic or Civil Works Consultant's requirements to avoid erosion, sedimentation and/or contamination of the site, surrounds and stormwater drainage system. Apply measures to ensure that the site remains free of water and to prevent water flow over the new work. Erosion & sediment control measures are to be effective from commencement of the works (including demolition) and maintained throughout the course of the works until the site is fully stabilised.

Rev Date Amendments

FGL

FH

FHR

FIP

Fix

FJ

Finished ground level

Fire hydrant

Fire Hose Reel

Fixing / fixings

Floor joist

Fire Indicator Panel

General Notes

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- Rev Date Amendments 01 26.07.24 Issue for Information
- 02 14.08.24 Issue for Information 03 03.09.24 For Development Approval
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- 05 28.02.25 Issue For Information 06 28.03.25 Issue for Information
- 07 28.03.25 Issue for Information 08 07.04.25 For Development Approval: Amended Scheme

Standard Abbreviations Legend (AD)

Standa	ard Appreviations Le	egena (AD)				
General		Fla	Flashing	RHS	Rectangular hollow section	Materials 8	Finishes
#	Where indicated to designate a	Flr	Floor	RI	Rough in (cap and/or terminate	Acr	Acrylic
	particular type of a referenced	FR	Fire rated	D 1	as req for future connection)	Adh	Adhesive (compatible with
	item. Refer to the relevant	Frm	Frame / framing	RL	Reduced / relative level (to	۸ e: حا	substrate and fit-for-purpose)
A.C.	schedule for specifications.	FS	Flush set	DT#	datum) Roof turo #	Agd	Aged / Antiqued
AC Acst	Air-conditioning Acoustic	FT# FW	Floor type # Appyd proprietany floor waste to	RT# RWO	Roof type # Rain Water Outlet	Al An	Aluminium Anodised
Adj	Adjustable / adjacent		Aprvd proprietary floor waste to suit floor finish and WPM regs	S4.55	Section 4.55 Application to	Bit	Bitumen
AFFL	Above finished floor level	Fxd	Fixed	34.33	amend a Development Consent	Blk	Block / Blockwork
Agmt	Arrangement	GA	General Arrangement	SBt	Spilt batten (fixing)	Brk	Brick / Brickwork
Amd(t)	Amend(ed) / Amendment	Gd#	Grid #	Schd(s)	Schedule(s)	Brs	Brass
AP	Access Panel	GD#	Grated Drain#	Scr#	Screen # to detail	Brz	Bronze
Aprv(d/l)	Approved by / Approval of the	Gnd	Ground	SDr	Surface drainage	CB	Colourbond (finish)
	PA and/or relevant authority	HC	Hose cock	Sect	Section	CFC	Compressed fibre cement
Aprx	Approximate	Hd	Head	Sel	Selected typically referring to	CLam	Compact laminate
Arch	Architect	Hdl	Handle		a finish to be selected by the	Conc	Concrete
AS	Australian Standard	Hor	Horizontal		archiect, client, PA or PM	Cpt	Carpet
Avg	Average	HR	Hand Rail	Serv(s)	Services	CR	Cement render
AWC	Accessible water closet	Ht	Height	SFL	Structural floor level	Cu	Copper
Awn	Awning	Hyd	Hydraulic "	SHS	Square hollow section	Ерху	Ероху
Bal	Balustrade	HWB#	Hand wash basin #	Si#	Sign# / Signage to detai	FBrk	Face brick / Face brickwork
Bat(s) BCA	Batten(s) Building Code of Australia	IAW Incl	In accordance with Include / included / inclusive	Sk Skt	Sink / Sketch Skirting	Fab FC	Fabric Fibre cement
	0		Indicator		Seal / sealant	Gal	Galvanized
Bdy BG	(Property) Boundary Box Gutter to detail	Ind Ins	Inside / Inside of	SI SL	Surface level / Shadow-line	Gla#	Glass # / Glazing #
Bbd	Bulkhead	Ins#	Insulation #	SId	Sliding	HDG	Hot dipped galvanized
Bldg	Building	Inst	Instruction(s)	Smk	Smoke	HMR	Heat & moisture resistent
BOR	Bottom of ramp	Int	Internal	SN	Stair nosing	Lam	Laminate / Laminate overlaid /
BOS	Bottom of stair	IO	Inspection opening	Sof	Soffit	Lam#	Laminate #/ Laminate overlaid
BT	Proprietary SS bucket trap easily	IR	Impact resistant	Spec(s)	Specification(s)		/ Laminate(d)
	removable & integrated with FW	J?.#	Joinery item # (?: Level)	SR#	Service(s) riser #	MB	Mortar bed
Cav	Cavity	KE	Kitchen Exhaust	SSD	Sub-surface drainage	MDF	Medium density fibreboard
CC	Construction certificate	Lvl	Level	SSL	Structural slab level	Mel	Melamine overlaid
Ceil	Ceiling	Lvr	Louvre / louvred	Std	Standard	MIO	Micaceious iron oxide
Chg(d)	Change /changed	Man('s)	Manufacturer('s)	Str	Store / Storage	MSt	Metal stud (framing)
Chk	Check	Max	Maximum	Struct	Structure / Structural	Obs	Obscure
Chnl	Channel	Mech	Mechanical	SWP	Storm water pit	OFC	Off form (reinforced) concrete
CJ	Control joint / Construction joint	Min MR	Minimum Mirror rev / Moisture resistent	TBA	To be advised (UNO generally	Pav# Pb	Paving Plasterboard
CL	to aprvd detail / Ceiling joist Centre line	Mtr	Mitro / Mitrod	TBC	by the PA, Arch and/or Owner) To be confirmed (UNO generally	PD PC	Powdercoat
Clr	Clear / Clearance / closer	NA	Not applicable	TDC	by the Contractor)	Pcb	Polycarbonate
Cnr	Corner	NCC	National Construction Code	TD	Tun dish to aprvd detail iaw Hyd	PCC	Pre cast concrete
Col	Colour / Column	Nom	Nominal		Con's spec	PF#	Selected paint finish #
Con('s)	Consultant('s)	NTS	Not to scale	TGSI#	Tactile ground surface indicators	Ply	Plywood
Cont('s)	Contractor('s)	OA	Overall	ТО	Top of	Ptb	Particleboard
Coord	Coordinate (with)	Obs	Obscure	TOG	Top of gutter	RBd	Renderboard
COS	Check / confirm on site	OH	Over head	TOK	Top of kerb	RC	Reinforced concrete to Struct
Cpd	Cupboard	OF	Overflow	Tol	Tolerance		Eng spec
Crs	Centres	Orig	Original (building fabric)	TOR	Top of ramp	SCP	Satin chrome plated
CT#	Ceiling #	OS	Outside / Outside of / On site	TOS	Top of stair	SS	Stainless steel
Ctr	Centre / contour	Own	Owner / Proprietor / Principal	TOW	Top of wall	SSS	Satin stainless steel
D?.#	Door # (?: Level)	PA Davi	Project Administrator	Tr Ture	Tree	Ste Sto#	Steel
DA Domo	Development Application	Pav	Paving Principal cortifying authority	Тур	Typical	Stn#	Stone # to sched and/or spec
Demo Det(s)	Demolish and remove from site Detail(s)	PCA PFC	Principal certifying authority Parallel flange channel	UA UB	Unequal angle Universal beam	Til# Tmb#	Tile # Timber #
Det(s) Dia	Diameter	PFC Plt	Plate	UC	Universal column / under cut	TSt	Timber # Timber stud (framing)
Dia	Dimension	PM	Project Manager	UG	Under ground	TV	Timber stud (naming) Timber veneer
Doc(s)	Documentation, documents	Prelim	Preliminary	UNO	Unless noted otherwise	Vbd	"Villaboard" or aprvd equal fibre
DP	Down pipe	Proj	Project	Ur#	Urinal #		cement lining board
Dwg(s)	Drawing / drawings	Prop	Proposed	US	Underside	Vin	Vinyl
EA	Equal angle	Prt#	Part / Partition #	VB	Vapor barrier	Zn	Zinc / Zincalume
EG	Eaves Gutter	Qty	Quantity	Vert	Vertical		
Elec	Electrical	R / Rad	Radius	Vent	Ventilation (grille)		
Elev	Elevation	RCP(s)	Reflected Ceiling Plan(s)	W	With		
Eng('s)	Engineer('s)	Re	Reinforced / reinforcement	W?.#	Window #, Glazing # and/or		
Eq	Equal	Reb	Rebate	1410 "	Shop Front element # (?: Level)		
Est	Estimated	Recyc	Demolish, stockpile and recycle	WC#	Water closet / Toilet Pan #		
Ex / Exst	Existing when referring to	Def	into the works as req	Win	Window Wall finish tune #		
	building elements	Ref	Reference, refer (to)	WF#	Wall finish type #		
Exh Ext	Exhaust	Rem	Remove, take care to avoid	WO	Without Water proof		
Ext	External / exterior Einished ceiling level		damage to substrate materials	WP WPM	Water proof		
FCL FE	Finished ceiling level Fireescape / exit / extinguisher	Ron	and structure, and dispose of Replace, UNO to match exst	WPM WT#	Water proof membrane Wall type #		
FE FF#	Floor finish type #	Rep Req(s)	Required / Requirement(s)	vv I #*	νναπ τ <u>γ</u> ρ ο π		
FF# FFL	Finished floor level	Rev#	Revision #				
FG	Fixed glazing	RFR	Recover without damage,				
FGL	Finished around level		protect, store and prepare for				

ARCHITECTS

RFO

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protect, store and prepare for

reuse within the works as req

Owner to remove

Recover without damage for the

40 Myoora Road

Client Gardoxi P/L (Norwest)

Location 40 Myoora l

Drawing General Not

Deed Terrer Hills NOW 2004	Scale @ A1 Drawn by Checked by
Road, Terrey Hills NSW 2084	Scale @ A3
	Project Start Date Issue Date Sheet Issue Date 07/04/25
otes & Abbreviations - Sheet 01	Project # 2725
	Drawing # DA1-0200 Rev 08
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Demolition Keynote Legend

Key Value	Keynote Text					
De.01	Demolish existing building.					
De.02	Remove existing tree in accordance with arborist impact assessment.					
De.03	Demolish existing paving, hardstand and driveway surfaces.					
De.04	Extent of excavation in accordance with cut and fill plan prepared by civil engineer.					
De.05	Existing power pole to be removed.					
	Base Build Keynote Legend					

Base Build Reynote Legend

Key Value	Keynote Text				
BB.01	Traversable green roof constructed above basement. Minimum soil depth 1000mm.				
BB.02	Tiered planters constructed above basement. Minimum soil depth 1000mm.				
BB.03	Outdoor double sided wood burning fireplace. Flue and chimney height to manufacturer's specifications.				
BB.04	Outdoor burning fireplace integrated into retaining wall. Flue and chimney height to manufacturer's specifications and installed in compliance with g2d3.				
BB.05	Indoor wood burning fireplace. Flue and chimney height to manufacturer's specifications and installed in compliance with g2d3.				
BB.06	Industrial automatic steel sliding privacy gate. 2700mm high.				
BB.08	Hardwood timber pergola.				

Site Works Keynote Legend

Key Value

Key Value

Keynote Text

Si.03	Hardwood post and rail fencing.
Si.04	Sandstone block and log fencing and retaining walls.
Si.05	Palisade providing secure separation for kids play to at grade parking.
Si.06	Tiered retaining wall.
Si.07	Proposed new public and service vehicle entry.
Si.08	Proposed kerb ramps to provide pedestrian access within council's road reserve.
Si.09	Illuminated digital traffic signage for overflow parking to future detail.
Si.10	Illuminated traffic way finding signage to future detail.
Si.11	External lighting integrated into retaining wall and planters to illuminate driveway in accordance with as/nzs 1158.3.1.
Si.12	External lighting integrated into retaining wall and planters to illuminate parking in accordance with as/nzs 1158.3.1.

Services Keynote Legend

Keynote Text

Se.01	Provisional location for booster assembly.
Se.02	On site detention tank installed under ground below on grade parking. Refer to civil engineer's documentation for further details.
Se.03	Provision for public electrical vehicle charging bay.
Se.08	Cpex riser with exhaust integrated into outdoor fireplace.
Se.09	Ducted-split actron to service restaurant 02 and restaurant 03.
Se.10	Garbage exhaust duct riser. Provide (min.). Duct to connect to roof-mounted cowl fan.
Se.11	Toilet exhaust duct riser. Duct to connect to roof-mounted cowl fan.
Se.12	Duct riser to serve restaurant. Duct riser to be connected to cowl fan.
Se.13	Supply duct riser to serve kitchen area and amenities. Duct riser to be connected to cowl fan.
Se.14	Supply duct riser to serve kitchen area. Duct riser to connect to roof-mounted cowl fan.
Se.15	Kitchen exhaust duct riser to connect to roof-mounted cowl fan.
Se.16	Pit inlets. Refer to civil engineer's documentation for further details.
Se.18	Live fuel cooking system.
Se.19	Blue hatched areas indicate potential locations for pv panels. To be refined by supplier/operator taking into account overshadowing from trees and roof limitations
Se.20	Proprietary 10kl underground water tank. Minimum 1000mm soil depth above tank.
Se.21	Proposed location of power pole.

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inless designated.	08	07.04.25	For Development Approval: Amended Scheme

Rev Date Amendments



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Project **40 Myoora Road**

Client Gardoxi P/L (Norwest) Location 40 Myoora R

Drawing Keynotes

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Road, Terrey Hills NSW 2084	Scale @ A1	Drawn by	Checked by
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- 0126.07.24Issue for Information0214.08.24Issue for Information
- 03 03.09.24 For Development Approval
- 0421.02.25Issue for Information0528.02.25Issue For Information
- 06 28.03.25 Issue for Information
- 28.03.25 Issue for Information
 07.04.25 For Development Approval: Amended Scheme



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^{Client} Gardoxi P/L (Norwest) Location **40 Myoora F**

Drawing
Existing Loca

Site Analysis Legend



	Scale @ A1	1:2500	Drawn by	Checked by
Road, Terrey Hills NSW 2084	Scale @ A3	1:5000		
	Project Start Date	Issue Date	Sheet Issue Date	07/04/25
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Rev Date Amendments 01 27.10.23 Issue for Information

02 31.10.23 Issue for Information

03 19.03.24 Consultant Issue

04 02.04.24 Issue for Information: Pre-DA Meeting

05 03.05.24 Issued for Landscape Coordination 06 21.05.24 Issue for Information: Design and Sustainability Advisory Panel

07 26.07.24 Issue for Information 08 14.08.24 Issue for Information

Rev Date Amendments 09 03.09.24 For Development Approval 10 21.02.25 Issue for Information 11 28.02.25 Issue For Information 12 28.03.25 Issue for Information 13 28.03.25 Issue for Information 14 07.04.25 For Development Approval: Amended Scheme



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Project **40 Myoora Road**

Location 40 Myoora Road, Terrey Hills N

Client Gardoxi P/L (Norwest)





For Development Approval

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NSW 2084	Scale @ A3	1:2000		
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Drawing
Existing Site Analysis Plan



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06 21.05.24 Issue for Information: Design and Sustainability Advisory Panel

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	13	28.03.25	Issue for Information
	14	07.04.25	For Development

DA Legend

Subject to final layout this area is to comply with Australian Standard 4674-2004; Design, construction and fit out of food premises. Refer to DA1-1200. Neighbouring Light Proposed new building fabric Industrial Buildings Strahler System 1st Order Watercourse as per Warringah DCP 2011Map Data Neighbouring Residential Area of proposed demolition Buildings For Development Approval 1:400 Drawn by Location Checked by Scale @ A1 1:800 Scale @ A3 Project Start Date Issue Date Sheet Issue Date 07/04/25 Project # 2725 Drawing # DA1-0410 14 9/04/2025 11:17:40 AM

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Project **40 Myoora Road**

Client Gardoxi P/L (Norwest) UNO the general extent and location of alterations or additions, including demolition is indicated accordingly: 40 Myoora Road, Terrey Hills NSW 2084 Drawing
Site Plan - Existing & Demolition



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Area of proposed demolition

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Project 40 Myoora Road

Client Gardoxi P/L (Norwest)

Location 40 Myoora F

Drawing Site Plan - P

UNO the general extent and location of alterations or additions, including demolition is indicated accordingly:

Proposed new building fabric

Neighbouring Light Industrial Buildings

Neighbouring Residential Buildings

Subject to final layout this area is to comply with Australian Standard 4674-2004; Design, construction and fit out of food premises. Refer to DA1-1200.

Strahler System 1st Order Watercourse as per Warringah DCP 2011Map Data

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Road, Terrey Hills NSW 2084	Scale @ A3 1:800
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Project **40 Myoora Road**

Client Gardoxi P/L (Norwest) Location 40 Myoora Road, Terrey Hills NSW 2084 1:200 Drawn by Checked by Scale @ A1 1:400 Scale @ A3 Project Start Date Issue Date Sheet Issue Date 07/04/25 Drawing General Arrangement Plan - Landscaped Open Area & Mona Vale Road Project # 2725 Drawing # **DA1-1024** 08 9/04/2025 11:19:59 AM



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01 01.10.24 For Development Approval

02 21.02.25 Issue for Information 03 28.02.25 Issue For Information

04 28.03.25 Issue for Information 05 28.03.25 Issue for Information

06 07.04.25 For Development Approval: Amended Scheme

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Project **40 Myoora Road**

Client Gardoxi P/L (Norwest)

Location 40 Myoora I

Drawing Seating Plan

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Road, Terrey Hills NSW 2084	Scale @ A3 1:400	
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General Notes - Food Premises Fitout

General notes

The following specification is based upon the specific installation requirements. provisions of AS4674-2004 "Design, construction and fit-out of food premises" and Hot Water Service "The food Standards Code" under the "Food Act 2003". It outlines minimum standards required for particular aspects of construction in relation to the food premises facilities. Other relevant authority and statutory requirements, including relevant conditions of 4.3). development consent, may also require consideration.

Equipment layouts shown for the purpose of a DA are indicative only, subject to further design development and coordination. In the absence of specific detailed provisions ensure that the requirements of this specification are met. Where a discrepancy arises notify the Project Administrator for instruction prior to proceeding with the related handled or stored. part of the works.

Certification

Submit certification that works associated with food preparation have been undertaken in accordance with the provisions of AS4674-2004 "Design, construction and fitout of food premises" and "The food Standards Code" under the "Food Act 2003" as they apply to this project.

Pest proofing

General

Ensure that windows, doors, access panels and hatches are enclosed so as to prevent the entry of pests. All pest proofing provisions must be readily accessible for cleaning.

Penetrations

Where pipework, drains, cables and ducts penetrate walls, ceilings and roofs, suitably seal and finish the penetration with washable impervious elastomeric sealant to prevent the entry of pests.

Cavities and spaces

Spaces between adjoining structures, such as between coolroom walls and premises walls, shall be accessible for inspection and cleaning or sealed with a suitable compound so that they are inaccessible to pests. Spaces between the top surface of equipment or structures such as coolrooms shall be accessible for inspection and cleaning or sealed or boxed in so that they are inaccessible to pests.

Seals

In the absences of specific detailed provisions plans together with a compliance statement required. ensure that suitable seals are utilised for doors, windows, vents and the like to exclude, where practicable, the infiltrations of and approved prior to installation (AS4674outside contaminants, including, dirt, dust, fumes, and smoke.

Water supply

Water used for any activities involved in the preparation of food, personal hygiene, cleaning and sanitizing shall be potable.

Pipes carrying non-potable water shall be identified as containing non-potable water in accordance with AS 1345.

Taps in food handling areas discharging non- must be constructed so as to finish flush potable water shall be identified as discharging non potable water in accordance with AS 1319.

The water supply shall be supplied in accordance with the requirements of AS/NZS 3500.1.2.

Heated water shall be supplied in accordance 1668.1 and AS 1668.2, provide an extraction with the requirements of AS/NZS 3500.4.2.

Equipment is to be connected to a continuous vents steam into the area to the extent that supply of hot, cold and/or warm potable water there is, or is likely to be, condensation as appropriate.

Ensure sinks receive water at a temperature

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- 45 for washing operations; and
- 80 for sanitising operations.

General Notes

unless designated.

prior to proceeding with the works.

Refer to the relevant supply authority for

The hot water service must be positioned at least 75mm clear of the adjacent wall surfaces, and mounted a minimum 150mm above floor level on a stand of non-corrosive metal construction (AS4674-2004 – Section

Sewage and waste water disposal

Access openings Do not locate access openings to the sanitary Subdued lighting may be provided in dining drainage system in areas of the premises where open food is handled.

Grease arrestors

Do not locate grease arrestors in areas where food, equipment or packaging materials are

Access to grease arrestors for emptying shall not be through areas where open food is handled or stored or where food contact equipment and packaging materials are handled or stored.

Garbage rooms

Floor construction

Construct garbage room floors from a slip material, coved at the intersection with the walls with coving integral with the floor; and graded and drained to a (removable bucket trapped) floor waste connected to the sewerage system.

Wall construction

Construct walls with a smooth, water proof. impervious surface.

Ventilation

Provide natural and/or mechanical ventilation sufficient to meet the standards required by the BCA. AS/NZS 1668.1 and AS 1668.2.

<u>Hose tap</u>

Provide a hose tap connected to the hot & cold water supply.

Ventilation

Provide natural and/or mechanical ventilation sufficient to meet the standards required by the BCA, AS/NZS 1668.1 and AS 1668.2.

Mechanical Exhaust

Mechanical exhaust ventilation must be provided to the cooking appliances. Detailed from a mechanical engineer is required for the system must be submitted to the PCA 2004 – Section 2.5, AS1668.2 – 1991).

An exhaust hood must completely cover the equipment to be ventilated and extended no less than 200mm beyond the perimeter of the equipment (Australian Standard 1668.2 – 1991).

The exhaust hood must be provided with a condensation gutter around the base. The gutter must not be less than 50mm wide by 25mm deep. Where abutting walls, the hood against the wall surface (AS1668.2 – 1991).

The low edge of the canopy-type exhaust hood must be at least 2000mm above floor level (AS1668.2 – 1991).

Dish washer hood

In addition to the requirements of AS/NZS system where there is any dishwasher and/or other washing and sanitizing equipment that collecting on walls and ceilings.

Lighting

Provide natural or artificial lighting in accordance with the requirements of the Building Code of Australia (BCA), with the following exceptions:

- Where natural lighting is provided the lighting levels shall be equivalent to the levels for artificial lighting.
- Where artificial lighting is provided the lighting shall also comply with the requirements of AS 1680.1 and AS/NZS 1680.2.4.

and drinking areas, provided that there is lighting available that complies with the above requirements during cleaning and inspection operations.

The exposed surface of all conduits installed on the surface of walls or ceilings shall be smooth.

Light fittings

In areas where open food is handled or stored, light fittings shall be-

(a) designed and constructed to prevent contamination of food should the globe or tube shatter; and

resistant, heavy duty, water proof, impervious (b) free from any features that would harbour dirt, dust or insects or make the fitting difficult to clean.

Floors

Finish floors in a selected non-slip, nonabsorbent, epoxy finish over a sound structural substrate.

Areas of a floor draining to a floor waste is to be laid to a minimum fall of 1:100.

Design and construct floor to facilitate effective cleaning, such that they do not pond and do not harbour pests.

"Feather edge skirting" and non-rebated

coving are not permitted. Refer to AS4674-2004 – Section 3.1.5, Figure 3.1. Use a solid, preformed fillet to support the cove where required.

<u>Coving</u>

Provide coving to wall and plinth junctions in such a manner as to form a continuous uninterrupted surface with a min 25mm radius and 75mm height. Use a solid, preformed fillet to support the cove where

Construct plinths to be a minimum of 75mm high and to the same specification as the

Walls

In relation to walls within or surrounding a food preparation area:

- Construct walls to ensure that no voids or cavities are provided for the harbourage of vermin.
- Preferably construct walls of solid masonry.
- Where it is necessary for walls within or surrounding a food preparation area to be of framed construction, fill wall cavities with Easyfoam or an approved equal spray injected foam filler in accordance with the manufacturer's instructions.
- Undertake thermal imaging as required and provide certification from the manufacturer / installer of compliance with AS 4674 – 2004.
- Finish walls with an impervious, washable finish such as stainless steel sheet and/or ceramic tile with epoxy

Effectively seal all junctions.

Rev Date Amendments

01 26.07.24 Issue for Information

02 14.08.24 Issue for Information

04 21.02.25 Issue for Information

05 28.02.25 Issue For Information

06 28.03.25 Issue for Information

07 28.03.25 Issue for Information

08 07.04.25 For Development Approval: Amended Scheme

03 03.09.24 For Development Approval

Window sills Generally window sills must be located a minimum of 450mm above the top of any bench/sink and tiled at a splayed angle of 45 degrees.

Ceilings

Line ceiling with flush set moisture resistant plasterboard and ensure that the ceiling is non-perforated and finished free of open joints, cracks, crevices.

Ensure that the intersection of the walls and ceiling is tight jointed, sealed and dustproof. Use only washable impervious sealant.

Pipes, conduits and electrical wiring Service pipes, conduits and electrical wiring shall either be:

- concealed in floors, plinths, walls or ceilings; or
- fixed on brackets so as to provide at least 25 mm clearance between the pipe and adjacent vertical surface and 100 mm between the pipe or conduit and adjacent horizontal surfaces.

Seal all penetrations with washable elastomeric sealant to maintain the integrity of the finished surface.

Equipment, shelving and the like

All stoves, refrigerators, cupboards and similar fittings must have metal legs made of non corrosive metal or moulded plastic at a minimum height of 150mm above the floor. If placed flush on solid plinths the solid plinth is to be a minimum of 75 mm high. All shelving must be fixed 25mm clear of the walls on solid metal brackets.

Fittings

All fixtures, fittings and equipment must be installed in accordance with Section 4 of AS4674-2004

Equipment for cleaning and sanitising Provide equipment for cleaning and sanitising in accordance with AS 4674 Section 4.1.

Cool rooms and freezers

Cool room(s), refrigerated chambers and strong-rooms are to be constructed in accordance with G 1.2 of the Building Code of Australia.

The floor of the coolroom must be graded to the door and a floor trapped waste outlet must be located outside the coolroom as near as possible to the door opening.

All proposed shelving in the coolroom must be free-standing, constructed of galvanised steel angle section or other approved material gaps, crevices or exposed joints with the lowest shelf at least 150mm clear of (AS4674-2004 – Section 4.2). the floor. All shelving must be fixed 25mm clear of the walls on solid metal brackets.

The floor of the coolroom must be constructed of impermeable concrete or coated, topped or otherwise finished with an impervious material to a smooth even surface and coved at the intersections with the walls to a minimum radius of 25mm.

A door which can be opened at all times from inside without a key.

An approved audible alarm device must be located outside the coolroom(s) but controllable only from within the coolroom(s) and be able to achieve a sound pressure level outside the chamber or coolroom(s) of 90 d B (A) when measured 3 metres from the sounding device.

All metal work in the cool room must be

Condensation from the refrigeration units/cool

Rev Date Amendments

room motors must be directed to a tundish,

installed in accordance with Sydney Water

protected to resist corrosion.

requirements.

Hand washing facilities

Provide hand washing facilities where open food is handled, in wash up areas and in or immediately adjacent to toilet cubicles. Ideally locate a hand washing facility adjacent to the entry to an area where open food is handled.

Hand washing facilities should:

- Not be obstructed
- Be at bench height
- Accessible and no further than 5.0m from any part of an area required to have a hand washing facility.

Hand washing facilities must be provided with a means of effectively drying hands and arms, which prevents the transfer of pathogenic micro-organisms to the hands or arms, such as a single use paper towel dispenser.

Provide hand washing facilities with a permanent supply of warm, running potable water delivered through a single spout.

Cleaners sink

Make provision for a cleaners sink serviced with hot and cold water through taps fitted with hose connectors must be provided and located outside of areas where open food is handled (AS4674-2004 – Section 4.1.8).

Dish Washing Machines

Details of the dish washing/glass washing machines must be submitted to Council and approved prior to installation (Food Regulation 2004, AS4674-2004 – Section 4.1).

Double-bowl Sinks

A double bowl wash sink of adequate size and capacity must be provided (AS4674-2004 – Section 4.1)

Benches

The top and exposed edges of all benches and counters must be finished in a smooth and non-absorbent material, and free of cracks, gaps, crevices or exposed joints (AS4674-2004 – Section 4.2).

Storage Cabinets

Storage cabinets, both internally and externally, must be finished in a smooth and non-absorbent material, and free of cracks,

Any appliance used for the storage of hot or cold food must be provided with a numerically scaled indicating thermometer or recording thermometer accurate to the nearest degree Celsius or an alarm system for continuous monitoring of the temperature of the appliance (Food Regulation 2004).

False Bottoms

False bottoms and cavities under fittings are not permitted (AS4674-2004– Section 4.2 and 4.3).

Display Units

The food display units must be enclosed to prevent the possibility of contamination by customer's breath, handling, or from flies, dust, etc (Food Regulation 2004, AS4674-2004 – Section 4.2).

Self-Service Appliances

Self-service food appliances must be constructed so as to comply with Food Regulation 2004 and the NSW Self-Service Food Industry Code of Practice.

Locker Storage

Sufficient lockers must be provided in the premises specifically for the storage of cleaning materials and employees' clothing and personal belongings (AS4674-2004 -Section 5.2).



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40 Myoora Road

Location 40 Myoora

Client Gardoxi P/L (Norwest)



Deed Terror Hills NGW 2004	Scale @ A1 Drawn by Checked by
Road, Terrey Hills NSW 2084	Scale @ A3
	Project Start Date Issue Date Sheet Issue Date 07/04/25
otes - Food Premises	Project # 2725
	Drawing # DA1-1200 Rev 08
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r the purpose it was created. Do not use this drawing for construction	07	28.03.25	Issue for Information		
nless designated.	08	07.04.25	For Development Approval: Amended Scheme		



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01 Site Elevation - Mona Vale Rd



02 Site Elevation - Myoora Rd

	Rev	Date	Amendments
	09	03.09.24	For Development
	10	21.02.25	Issue for Informati
	11	28.02.25	Issue For Informat
	12	28.03.25	Issue for Informati
	13	28.03.25	Issue for Informati
Advisory Panel	14	07.04.25	For Development

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Rev Date Amendments 01 27.10.23 Issue for Information 02 31.10.23 Issue for Information 03 19.03.24 Consultant Issue 04 02.04.24 Issue for Information: Pre-DA Meeting 05 03.05.24 Issued for Landscape Coordination 06 21.05.24 Issue for Information: Design and Sustainability A 07 26.07.24 Issue for Information

08 14.08.24 Issue for Information





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Project **40 Myoora Road**

Client Gardoxi P/L (Norwest)

Neighbouring Light Subject to final layout this area is to comply with Australian Standard Proposed new building fabric Industrial Buildings 4674-2004; Design, construction and fit out of food premises. Refer to DA1-1200. Strahler System 1st Order Watercourse as per Warringah DCP 2011Map Data Neighbouring Residential Area of proposed demolition Buildings For Development Approval 1:200 Drawn by Checked by Location Scale @ A1 40 Myoora Road, Terrey Hills NSW 2084 Scale @ A3 1:400 Project Start Date Issue Date Sheet Issue Date 07/04/25 Drawing
Streetscape Elevations - Proposed Project # 2725 Drawing # DA1-3100 14 8/04/2025 5:01:26 PM





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Rev	Date	Amendments	Rev	Date	Amendments
01	28.09.23	Preliminary Issue for Information	09	26.07.24	Issue for Information
02	16.10.23	Issue for Information	10	14.08.24	Issue for Information
03	27.10.23	Issue for Information	11	03.09.24	For Development Ap
04	31.10.23	Issue for Information	12	21.02.25	Issue for Information
05	19.03.24	Consultant Issue	13	28.02.25	Issue For Information
06	02.04.24	Issue for Information: Pre-DA Meeting	14	28.03.25	Issue for Information
07	03.05.24	Issued for Landscape Coordination	15	28.03.25	Issue for Information
08	21.05.24	Issue for Information: Design and Sustainability Advisory Panel	16	07.04.25	For Development Ap

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Project **40 Myoora Road**

Client Gardoxi P/L (Norwest)

Location 40 Myoora I

Drawing Site Section

	Scale @ A1	1:400	Drawn by	Checked by
Road, Terrey Hills NSW 2084	Scale @ A3	1:800		
	Project Start Date	ssue Date	Sheet Issue Date	07/04/25
ns - Proposed - Sheet 01	Project # 272	25		
	Drawing #	DA1	-4100	^{Rev} 16
			ç	0/04/2025 11:29:28 AM



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Architects. Do not scale from drawings. Confirm dimensions on site prior to	03	27.10.23	Issue for Information	11	03.09.24	For Development Ap
the commencement of works. Where a discrepancy arises seek direction	04	31.10.23	Issue for Information	12	21.02.25	Issue for Information
prior to proceeding with the works.	05	19.03.24	Consultant Issue	13	28.02.25	Issue For Informatio
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for the purpose it was created. Do not use this drawing for construction	07	03.05.24	Issued for Landscape Coordination	15	28.03.25	Issue for Information
unless designated.	08	21.05.24	Issue for Information: Design and Sustainability Advisory Panel	16	07.04.25	For Development Ap

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Client Gardoxi P/L (Norwest)

1:800 Scale @ A3 Project Start Date Issue Date Sheet Issue Date 07/04/25 Drawing
Site Sections - Proposed - Sheet 02 Project # 2725 Drawing # **DA1-4101** 16 8/04/2025 5:11:36 PM



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Architects. Do not scale from drawings. Confirm dimensions on site prior to	03	31.10.23	Issue for Information	11	21.02.25	Issue for Information
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Project **40 Myoora Road**

Client Gardoxi P/L (Norwest)

UNO the general extent and location of alterations or additions, including demolition is indicated accordingly: Subject to final layout this area is to comply with Australian Standard 4674-2004; Design, construction and fit out of food premises. Refer to DA1-1200. Neighbouring Light Proposed new building fabric Industrial Buildings Strahler System 1st Order Watercourse as per Warringah DCP 2011Map Data Neighbouring Residential Buildings Area of proposed demolition For Development Approval Location 40 Myoora Road, Terrey Hills NSW 2084 1:400 Drawn by Checked by Scale @ A1 1:800 Scale @ A3 Project Start Date Issue Date Sheet Issue Date 07/04/25 Project # 2725 Drawing
Site Sections - Proposed - Sheet 03 Drawing # **DA1-4102** 15 9/04/2025 11:21:54 AM



_01 Section 01 - North West





General	Notes
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06	02.04.24	Issue for Information: Pre-DA Meeting	14	28.03.25	Issue for Informat
07	03.05.24	Issued for Landscape Coordination	15	28.03.25	Issue for Information
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Project **40 Myoora Road**

Client Gardoxi P/L (Norwest) Location



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he commencement of works. Where a discrepancy arises seek direction	04	31.10.23	Issue for Information	12	21.02.25	Issue for Information
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or the purpose it was created. Do not use this drawing for construction	07	03.05.24	Issued for Landscape Coordination	15	28.03.25	Issue for Information
nless designated.	08	21.05.24	Issue for Information: Design and Sustainability Advisory Panel	16	07.04.25	For Development Ap

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01 Section 05 - North West

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Project 40 Myoora Road

Client Gardoxi P/L (Norwest) Location 40 Myoora R

Drawing North West -

UNO the general extent and location of alterations or additions, including demolition is indicated accordingly:

Proposed new building fabric

Neighbouring Light Industrial Buildings



Subject to final layout this area is to comply with Australian Standard 4674-2004; Design, construction and fit out of food premises. Refer to DA1-1200.

Strahler System 1st Order Watercourse as per Warringah DCP 2011Map Data

	Scale @ A1	1:200	Drawn by	Checked by
Road, Terrey Hills NSW 2084	Scale @ A3	1:400		
	Project Start Date	Issue Date	Sheet Issue Date	07/04/25
- Proposed Sections - Sheet 03	Project # 27	25		
	Drawing #	DA1	-4112	^{Rev} 15
				8/04/2025 5:25:20 PM



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01	28.09.23	Preliminary Issue for Information	09	26.07.24	Issue for Information
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07	03.05.24	Issued for Landscape Coordination	15	28.03.25	Issue for Information
08	21.05.24	Issue for Information: Design and Sustainability Advisory Panel	16	07.04.25	For Development App



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Project **40 Myoora Road**

Client Gardoxi P/L (Norwest) Location

Neighbouring Residential Buildings

Subject to final layout this area is to comply with Australian Standard 4674-2004; Design, construction and fit out of food premises. Refer to DA1-1200.

Strahler System 1st Order Watercourse as per Warringah DCP 2011Map Data







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03	27.10.23	Issue for Information	11	03.09.24	For Development Ap
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06	02.04.24	Issue for Information: Pre-DA Meeting	14	28.03.25	Issue for Information
07	03.05.24	Issued for Landscape Coordination	15	28.03.25	Issue for Information
08	21.05.24	Issue for Information: Design and Sustainability Advisory Panel	16	07.04.25	For Development Ap

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Client Gardoxi P/L (Norwest)

Drawing
South East - Proposed Sections - Sheet 02

DA1-4121 16 8/04/2025 5:31:32 PM

Project # 2725

Drawing #



01 Section 05 - South East

178.500 Restaurant Bar

177.000 Restaurant

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the commencement of works. Where a discrepancy arises seek direction	04	19.03.24	Consultant Issue	12	28.02.25	Issue For Informatio
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Proposed new building fabric



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Project 40 Myoora Road

^{Client} Gardoxi P/L (Norwest)

Location 40 Myoora R

Drawing South East -

UNO the general extent and location of alterations or additions, including demolition is indicated accordingly:

Neighbouring Light Industrial Buildings

Neighbouring Residential Buildings

Subject to final layout this area is to comply with Australian Standard 4674-2004; Design, construction and fit out of food premises. Refer to DA1-1200.

Strahler System 1st Order Watercourse as per Warringah DCP 2011Map Data

	Scale @ A1	1:200	Drawn by	Checked by
Road, Terrey Hills NSW 2084	Scale @ A3	1:400		
	Project Start Date	Issue Date	Sheet Issue Date	07/04/25
- Proposed Sections - Sheet 03	Project # 27	25		
	Drawing #	DA1	-4122	^{Rev} 15
	_			8/04/2025 5:33:39 PM





General Notes	Rev	Date	Amendments	Rev	Date	Amendments
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Project **40 Myoora Road**

Location 40 Myoora R

Client Gardoxi P/L (Norwest) Drawing Building Sect

	3 (2		1	≻
)	4000	14000	8500	BOUNDARY
		8500 - Hei	7500 - Setback Warringah DCP 2011 ght Limit - Warringah DCP 2011	
Tmb01	utdoor Dining			
Underground Carpark			Natural Ground Line	

(3	2		1)	≿
	4000	14000	8500	BOUNDARY
 				B
			7500 - Setback	
			Warringah DCP 2011	
		8500 - He	ight Limit - Warringah DCP 2011	
Tmb03		Con02 Tmb02 Stn01		
				Š.
*/**/**/**/**/*	×/ X	, , , , , , , , , , , , , , , , , , , ,	x/ x x/	~ ~ /

UNO the general extent and location of alterations or additions, including demolition is indicated accordingly:

Proposed new building fabric

Neighbouring Light Industrial Buildings Subject to final layout this area is to comply with Australian Standard 4674-2004; Design, construction and fit out of food premises. Refer to DA1-1200.

Area of proposed demolition



Strahler System 1st Order Watercourse as per Warringah DCP 2011Map Data

Deed Terrer Lille NOW 2004	Scale @ A1	1:200	Drawn by	Checked by	
Road, Terrey Hills NSW 2084	Scale @ A3	1:400			
	Project Start Date ISSU	e Date	Sheet Issue Date	07/04	/25
ections - Sheet 01	Project # 2725				
	Drawing #	DA1	-4130	Rev	5
				8/04/2025 5:36:48	8 PM



2 Restaurant 01 & 02 - Proposed



1 Venue Entry & Carparking - Proposed

General Notes	Rev	Date	Amendments	Rev	Date	Amendments
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the commencement of works. Where a discrepancy arises seek direction	04	31.10.23	Issue for Information	12	28.02.25	Issue For Informatio
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unless designated.	08	26.07.24	Issue for Information			

Area Legend



Landscaped Open Area

Terrace 492m²

Restaurant FOH 805m²

Restaurant BOH ^{599m²}





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^{Client} Gardoxi P/L (Norwest) Location 40 Myoora R

Drawing Area Plan & S

		-	· · ·			
Deed Terror Hills NCW 2004	Scale @ A1	1:500	Drawn by	Checked by		
Road, Terrey Hills NSW 2084	Scale @ A3	1:1000				
	Project Start Date	Issue Date	Sheet Issue Date	07/04/25		
& Schedule - Proposed	Project # 27	25				
	Drawing #	DA	-9000	Rev 15		
				8/04/2025 5:37:36 PM		







3 Site Cover Plan - Total Building Footprint



4 Site Cover Plan - Open Landscape Area

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Project **40 Myoora Road**

Client Gardoxi P/L (Norwest)

Location 40 Myoora Road, Terrey Hills NSW 2084		Scale @ A1 As	indicated indicated	Drawn by Sheet Issue Date	Checked by
	Open Landscape Area 9314m ² (58.4%)		Additional L 247m²	andscaping (1.5%)	
	Total Building Footprint 3180m ² (19.9%)		Permeable 2527m ²	Area (15.8%)	
	Building Footprint at Finished Ground Level 1484m ² (9.2%)		Impermeabl 2396m²	e Area (15.0%)	

Drawing #

Total Area: 15960m²

DA1-9010

15

8/04/2025 5:39:53 PM



2 Gross Floor Area - Restaurant 01 & 02 - Proposed



1 Gross Floor Area - Myoora Rd Venue Entry - Proposed

General Notes	Rev	Date	Amendments	Rev	Date	Amendments
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the commencement of works. Where a discrepancy arises seek direction	04	03.09.24	For Development Approval			
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unless designated.	08	28.03.25	Issue for Information			

Area Legend





GFA - Restaurant & Bar 1399m² Total GFA Total FSR 1399m² 11.4%

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^{Client} Gardoxi P/L (Norwest) Location 40 Myoora R

Drawing Gross Floor A

		•	• •	
Road, Terrey Hills NSW 2084	Scale @ A1	1:500	Drawn by	Checked by
	Scale @ A3	1:1000		
	Project Start Date	Issue Date	Sheet Issue Date	07/04/25
or Area Plan & Schedule - Proposed	Project # 27	25		
	Drawing #	DA	1-9020	Rev 09
				8/04/2025 5:40:10 PM



2 Fire Compliance Diagram - Restaurant 01 & 02 - Proposed



1 Fire Compliance Diagram - Myoora Rd Venue Entry - Proposed

General Notes	Rev	Date	Amendments	Rev Date	Amendments
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Architects. Do not scale from drawings. Confirm dimensions on site prior to	03	03.09.24	For Development Approval		
he commencement of works. Where a discrepancy arises seek direction	04	21.02.25	Issue for Information		
prior to proceeding with the works.	05	28.02.25	Issue For Information		
This drawing is only to be used by the stated Client in the stated location	06	28.03.25	Issue for Information		
for the purpose it was created. Do not use this drawing for construction	07	28.03.25	Issue for Information		
inless designated.	08	07.04.25	For Development Approval: Amended Scheme		

Area Legend

Compartment 01 2631.8m² Automatic Sprinkler System installed throughout entirity of compartment in accordance with AS 2118.6.

Compartment 02 1838.5m²



Compartment 03 274.3m²



Line of Building

Line of Awning Over

Separation of Fire Compartments In accordance with BCA Report



Suite 4.02, 80 Cooper Street Surry Hills NSW 2010 Australia +612 9357 2288 hello@h-e.com.au www.h-e.com.au PO Box 490 Darlinghurst NSW 1300 Humphrey & Edwards Pty Ltd | ABN 89056638227 Nominated Architect: Glenn Cunnington #6415 Project **40 Myoora Road**

^{Client} Gardoxi P/L (Norwest) Location 40 Myoora R

Drawing Fire Compar

		-		
Road, Terrey Hills NSW 2084	Scale @ A1	1:500	Drawn by	Checked by
	Scale @ A3	1:1000		
	Project Start Date	Issue Date	Sheet Issue Date	07/04/25
artmentation - Proposed	Project # 27	25		
	Drawing #	DA	-9030	Rev 08
				8/04/2025 5:40:28 PM



1 Existing Shadow Diagram



2 Proposed Shadow Diagram

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03 21.05.24 Issue for Information: Design and Sustainability Advisory Panel

04 26.07.24 Issue for Information

05 14.08.24 Issue for Information

06 03.09.24 For Development Approval

07 21.02.25 Issue for Information 08 28.02.25 Issue For Information

09 28.03.25 Issue for Information 10 28.03.25 Issue for Information

Rev Date Amendments

11 07.04.25 For Development Approval: Amended Scheme



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Project 40 Myoora Road

Location 40 Myoora F

Client Gardoxi P/L (Norwest) Drawing

Shadow Diag

	Scale @ A1	1:500	Drawn by	Checked by
Road, Terrey Hills NSW 2084	Scale @ A3	1:1000		
	Project Start Date	Issue Date	Sheet Issue Date	07/04/25
agrams - Winter 21st June 9am	Project # 27	25		
	Drawing #	DA	-9200	Rev 11
				8/04/2025 5:40:50 PM



1 Existing Shadow Diagram



2 Proposed Shadow Diagram

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06 03.09.24 For Development Approval 07 21.02.25 Issue for Information

08 28.02.25 Issue For Information

Rev Date Amendments 09 28.03.25 Issue for Information 10 28.03.25 Issue for Information

11 07.04.25 For Development Approval: Amended Scheme



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Project 40 Myoora Road

Location 40 Myoora F

Client Gardoxi P/L (Norwest) Drawing

Shadow Diag

	Scale @ A1	1:500	Drawn by	Checked by
Road, Terrey Hills NSW 2084	Scale @ A3	1:1000		
	Project Start Date	Issue Date	Sheet Issue Date	07/04/25
agrams - Winter 21st June 12pm	Project # 27	25		
	Drawing #	DA	-9201	Rev 11
				8/04/2025 5:41:17 PM



1 Existing Shadow Diagram



2 Proposed Shadow Diagram DA1-9202 1:500

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08 28.02.25 Issue For Information

Rev Date Amendments 09 28.03.25 Issue for Information 10 28.03.25 Issue for Information

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Project 40 Myoora Road

Location 40 Myoora F

Client Gardoxi P/L (Norwest) Drawing

Shadow Diag

	Scale @ A1	1:500	Drawn by	Checked by
Road, Terrey Hills NSW 2084	Scale @ A3	1:1000		
	Project Start Date	Issue Date	Sheet Issue Date	07/04/25
agrams - Winter 21st June 3pm	Project # 27	25		
	Drawing #	DA	-9202	Rev 11
				8/04/2025 5:41:50 PM



1 Existing Shadow Diagram



2 Proposed Shadow Diagram

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Project 40 Myoora Road

Location 40 Myoora Roa

Client Gardoxi P/L (Norwest) Drawing

Shadow Diagra

			1:500 Drawn by		Check	ed by	
ad, Terrey Hills NSW 2084			1:1000				
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rams - Summer 21st December 9am	Project #	272	25				
	Drawing #)A1	-9203	Rev	11
						8/04/2025	5:42:16 PM



1 Existing Shadow Diagram



2 Proposed Shadow Diagram

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Project 40 Myoora Road

Location 40 Myoora Road, Terrey Hills NSV

Client Gardoxi P/L (Norwest)

Drawing Shadow Diagrams - Summer 21st D

W 2084	Scale @ A1	1:500	Drawn by	Checked by
	Scale @ A3	1:1000		
	Project Start Date	Issue Date	Sheet Issue Date	07/04/25
t December 12pm	Project # 27	25		
	Drawing #	DA1	-9204	^{Rev} 11
				8/04/2025 5:42:58 PM



1 Existing Shadow Diagram





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Project 40 Myoora Road

Location 40 Myoora Roa

Client Gardoxi P/L (Norwest)

Drawing Shadow Diagra

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ams - Summer 21st December 3pm	Project #	272	5				
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