

40 Myoora Road

40 Myoora Road, Terrey Hills NSW 2084

Gardoxi P/L (Norwest)

For Development Approval



Drawing List - Development Application				
Status	Sheet Number	RTVRev	RTVRev Date	Sheet Name
AD	DA1-0000	19	07/04/25	Title Sheet & Drawing List
AD	DA1-0110	08	07/04/25	Materials Palette
AD	DA1-0200	08	07/04/25	General Notes & Abbreviations - Sheet 01
AD	DA1-0201	08	07/04/25	Keynotes
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AD	DA1-0401	14	07/04/25	Existing Site Analysis Plan
AD	DA1-0410	14	07/04/25	Site Plan - Existing & Demolition
AD	DA1-0500	17	07/04/25	Site Plan - Proposed
AD	DA1-1010	18	07/04/25	General Arrangement Plan - Myoora Road Venue Entry & Basement
AD	DA1-1013	17	07/04/25	General Arrangement Plan - Restaurant
AD	DA1-1023	17	07/04/25	General Arrangement Plan - Roof
AD	DA1-1024	08	07/04/25	General Arrangement Plan - Landscaped Open Area & Mona Vale Road
AD	DA1-1100	06	07/04/25	Seating Plan - Restaurant
AD	DA1-1200	08	07/04/25	General Notes - Food Premises
AD	DA1-1201	08	07/04/25	Detail Plan - Restaurant
AD	DA1-3100	14	07/04/25	Streetscape Elevations - Proposed
AD	DA1-4100	16	07/04/25	Site Sections - Proposed - Sheet 01
AD	DA1-4101	16	07/04/25	Site Sections - Proposed - Sheet 02
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AD	DA1-4130	15	07/04/25	Building Sections - Sheet 01
AD	DA1-9000	15	07/04/25	Area Plan & Schedule - Proposed
AD	DA1-9010	15	07/04/25	Site Cover Plan & Schedule - Proposed
AD	DA1-9020	09	07/04/25	Gross Floor Area Plan & Schedule - Proposed
AD	DA1-9030	08	07/04/25	Fire Compartmentation - Proposed
AD	DA1-9200	11	07/04/25	Shadow Diagrams - Winter 21st June 9am
AD	DA1-9201	11	07/04/25	Shadow Diagrams - Winter 21st June 12pm
AD	DA1-9202	11	07/04/25	Shadow Diagrams - Winter 21st June 3pm
AD	DA1-9203	11	07/04/25	Shadow Diagrams - Summer 21st December 9am
AD	DA1-9204	11	07/04/25	Shadow Diagrams - Summer 21st December 12pm
AD	DA1-9205	11	07/04/25	Shadow Diagrams - Summer 21st December 3pm

19	07.04.25	For Development Approval: Amended Scheme
18	28.03.25	Issue for Information
17	28.03.25	Issue for Information
16	28.02.25	Issue For Information
15	21.02.25	Issue for Information
14	14.02.25	Issue for Information
13	01.10.24	For Development Approval
12	03.09.24	For Development Approval
11	14.08.24	Issue for Information
10	26.07.24	Issue for Information

Rev

Date

Amendments

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Humphrey & Edwards Pty Ltd | ABN 89056638227
Nominated Architect: Glenn Cunningham #6415

For Development Approval

Scale @ A1	Drawn by	Checked by
Scale @ A3		
Project Start Date	Issue Date	Sheet Issue Date
Project #	2725	07/04/25
Drawing #	DA1-0000	Rev 19



Tmb01



Ste01



Ste02



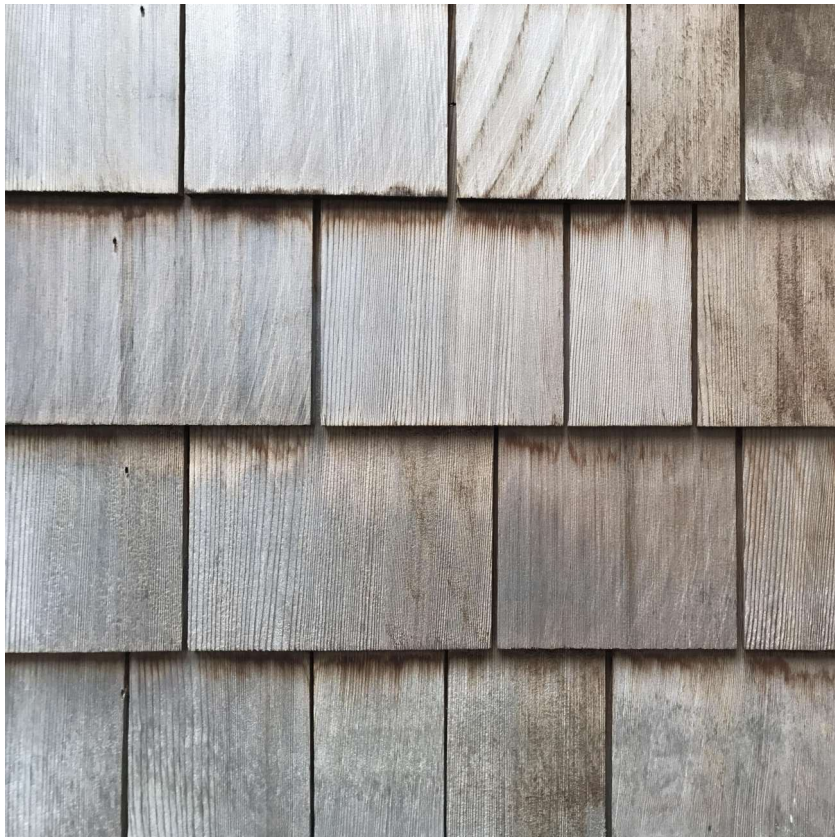
Stn01



Poly01



Tmb02



Tmb03



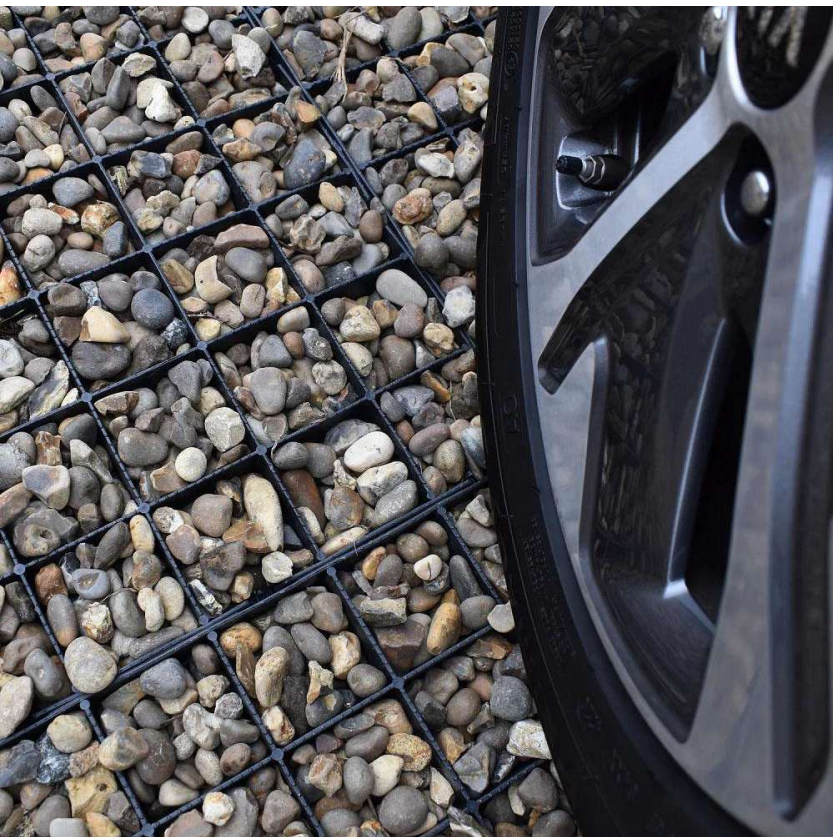
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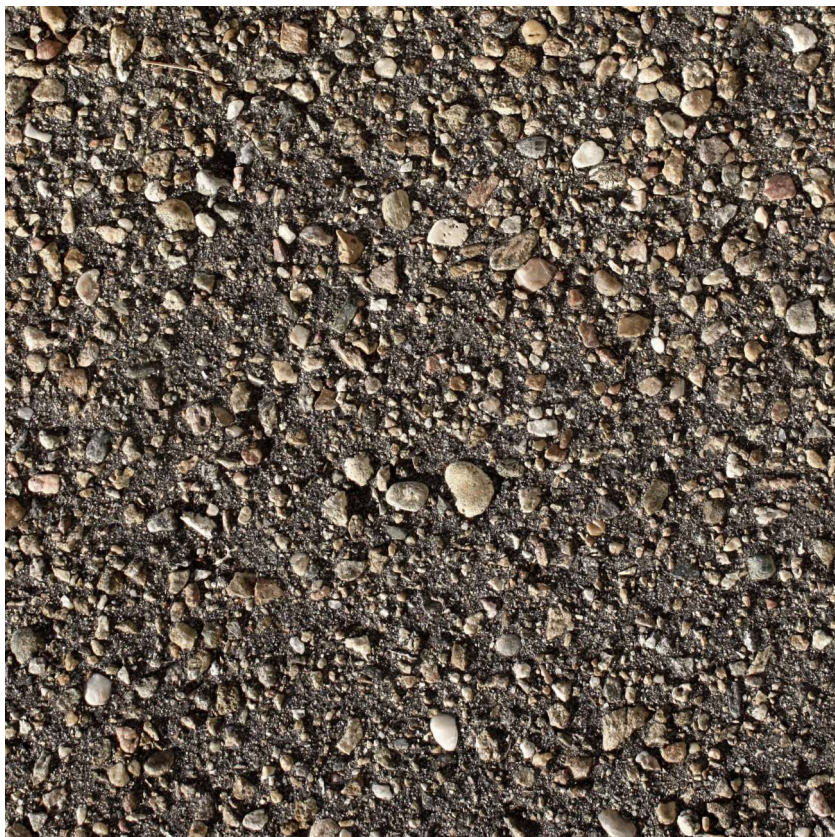
Con02



Con03



Peb01



Ash01



Con01



Con04



Pav01



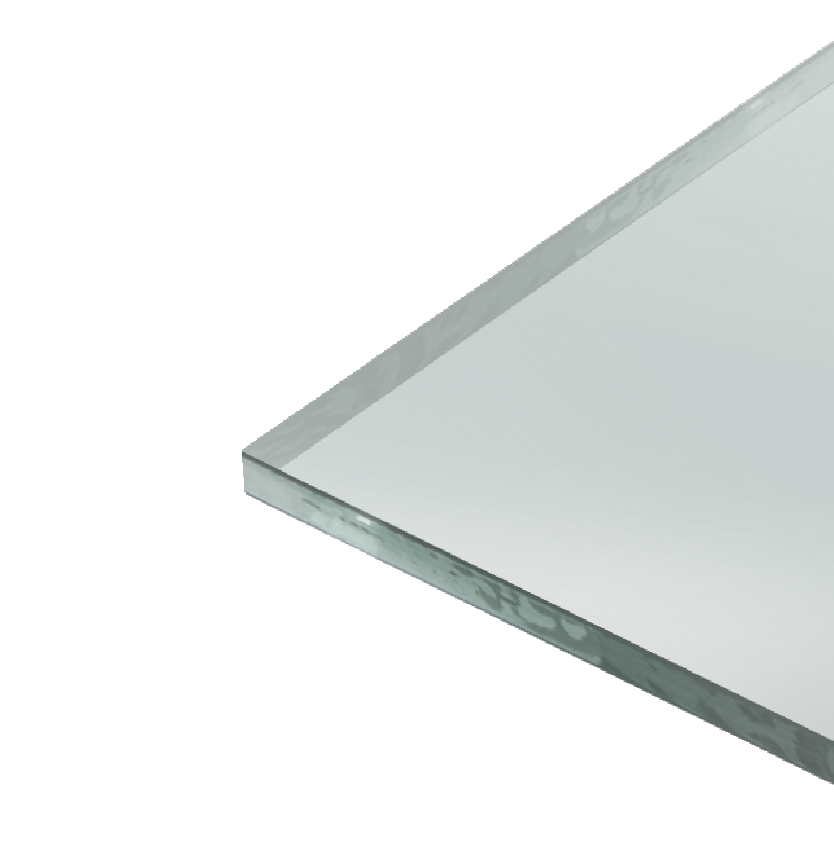
Gra01



Tmb04



AI01



Gla01



AI02

Materials & Finishes Legend

AI01	Aluminium Framed Windows and Doors Powder Coat Finish
AI02	Aluminium Weather Louvre Powder Coat Finish
Ash01	Asphalt Surfacing
Brk01	Reclaimed Sandstock Brickwork
Con01	Concrete Hardstand Exposed Aggregate
Con02	Insitu Concrete Walls & Retaining
Con03	Insitu Concrete Feature Embedded Stone
Con04	Concrete Paving Honed Finish
Gla01	Clear Performance Laminated Glazing
Gra01	Grass Reinforcement Mesh
Pav01	Permeable Paving Refer to Landscape Architect's Specifications
Peb01	Permeable Pebble Road Surfacing
Poly01	Corrugated Polycarbonate Roofing
Ste01	Galvanised Corrugated Steel Wall Cladding & Roofing
Ste02	Galvanised Steel Structural & Detail Elements
Stn01	Sandstone Retaining Locally Sourced
Tmb01	Hardwood Timber Framing Structural & Detail Elements
Tmb02	Hardwood Timber Cladding Lap & Cap
Tmb03	Hardwood Timber Cladding Square Cut Shingle
Tmb04	Timber Framed Windows and Doors

- Construction to comply with Building Class, Construction Type and FRLs in accordance BCA Compliance Assessment Report.
- External wall construction to comply with total system R-value of R1.40 with thermal bridging calculated in accordance with AS/NZS 4859.2 and external wall colour to a maximum solar absorptance of 0.60 in accordance with Section J DTS Assessment and Report.
- Internal wall construction to comply with total system R-value of R1.40 with thermal bridging calculated in accordance with AS/NZS 4859.2 in accordance with Section J DTS Assessment and Report.
- External roof construction to comply with total system R-value of R3.70 and external wall colour to a maximum solar absorptance of 0.45 in accordance with Section J DTS Assessment and Report.
- Floors to unconditioned spaces constructed to comply with total system R-value of R2.00 in accordance with Section J DTS Assessment and Report.
- External glazing suites to have a total system U-value of U4.30 and a SHGC of 0.52 generally in accordance with Section J DTS Assessment and Report.
- Roof lights to have a total system U-value of U3.90 and a SHGC of 0.29 with shaft insulation to comply with total system R-value of R1.40 generally in accordance with Section J DTS Assessment and Report.

General Notes

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01	26.07.24	Issue for Information
02	14.08.24	Issue for Information
03	03.09.24	For Development Approval
04	21.02.25	Issue for Information
05	26.02.25	Issue For Information
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08	07.04.25	For Development Approval: Amended Scheme

Rev	Date	Amendments
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Humphrey & Edwards Pty Ltd | ABN 89056538227
Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road

Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
Materials Palette

For Development Approval

Scale @ A1	Drawn by	Checked by
Scale @ A3		
Project Start Date	Issue Date	Sheet Issue Date
Project #	2725	07/04/25
Drawing #	DA1-0110	Rev 08

Demolition Keynote Legend	
Key Value	Keynote Text

De.01	Demolish existing building.
De.02	Remove existing tree in accordance with arborist impact assessment.
De.03	Demolish existing paving, hardstand and driveway surfaces.
De.04	Extent of excavation in accordance with cut and fill plan prepared by civil engineer.
De.05	Existing power pole to be removed.

Base Build Keynote Legend	
Key Value	Keynote Text

BB.01	Traversable green roof constructed above basement. Minimum soil depth 1000mm.
BB.02	Tiered planters constructed above basement. Minimum soil depth 1000mm.
BB.03	Outdoor double sided wood burning fireplace. Flue and chimney height to manufacturer's specifications.
BB.04	Outdoor burning fireplace integrated into retaining wall. Flue and chimney height to manufacturer's specifications and installed in compliance with g2d3.
BB.05	Indoor wood burning fireplace. Flue and chimney height to manufacturer's specifications and installed in compliance with g2d3.
BB.06	Industrial automatic steel sliding privacy gate. 2700mm high.
BB.08	Hardwood timber pergola.

Site Works Keynote Legend	
Key Value	Keynote Text

Si.03	Hardwood post and rail fencing.
Si.04	Sandstone block and log fencing and retaining walls.
Si.05	Palisade providing secure separation for kids play to at grade parking.
Si.06	Tiered retaining wall.
Si.07	Proposed new public and service vehicle entry.
Si.08	Proposed kerb ramps to provide pedestrian access within council's road reserve.
Si.09	Illuminated digital traffic signage for overflow parking to future detail.
Si.10	Illuminated traffic way finding signage to future detail.
Si.11	External lighting integrated into retaining wall and planters to illuminate driveway in accordance with as/nzs 1158.3.1.
Si.12	External lighting integrated into retaining wall and planters to illuminate parking in accordance with as/nzs 1158.3.1.

Services Keynote Legend	
Key Value	Keynote Text

Se.01	Provisional location for booster assembly.
Se.02	On site detention tank installed under ground below on grade parking. Refer to civil engineer's documentation for further details.
Se.03	Provision for public electrical vehicle charging bay.
Se.08	Cpex riser with exhaust integrated into outdoor fireplace.
Se.09	Ducted-split actron to service restaurant 02 and restaurant 03.
Se.10	Garbage exhaust duct riser. Provide (min.). Duct to connect to roof-mounted cowl fan.
Se.11	Toilet exhaust duct riser. Duct to connect to roof-mounted cowl fan.
Se.12	Duct riser to serve restaurant. Duct riser to be connected to cowl fan.
Se.13	Supply duct riser to serve kitchen area and amenities. Duct riser to be connected to cowl fan.
Se.14	Supply duct riser to serve kitchen area. Duct riser to connect to roof-mounted cowl fan.
Se.15	Kitchen exhaust duct riser to connect to roof-mounted cowl fan.
Se.16	Pit inlets. Refer to civil engineer's documentation for further details.
Se.18	Live fuel cooking system.
Se.19	Blue hatched areas indicate potential locations for pv panels. To be refined by supplier/operator taking into account overshadowing from trees and roof limitations
Se.20	Proprietary 10kl underground water tank. Minimum 1000mm soil depth above tank.
Se.21	Proposed location of power pole.

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Nominated Architect: Glenn Cunningham #6415

Project 40 Myoora Road
Client Gardoxi P/L (Norwest)

Location 40 Myoora Road, Terrey Hills NSW 2084
Drawing Keynotes

For Development Approval

Scale @ A1	Drawn by	Checked by
Scale @ A3		
Project Start Date	Issue Date	Sheet Issue Date
Project #	2725	07/04/25
Drawing #	DA1-0201	Rev 08



Site Analysis Legend

- Neighbouring Light Industrial Buildings
- Neighbouring Residential Buildings
- Neighbouring Public Buildings
- Neighbouring Recreation, Commercial & Hospitality Buildings
- RU4 Land Zoning
- Strahler System 1st Order Watercourse as per Warringah DCP 2011 Waterways and Riparian Lands Northern Beaches Map Data
- Predominant Wind Direction
- Noise Source
- Pedestrian Access
- Public Vehicle Entry / Exit
- Service Vehicle Entry / Exit

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40 Myoora Road

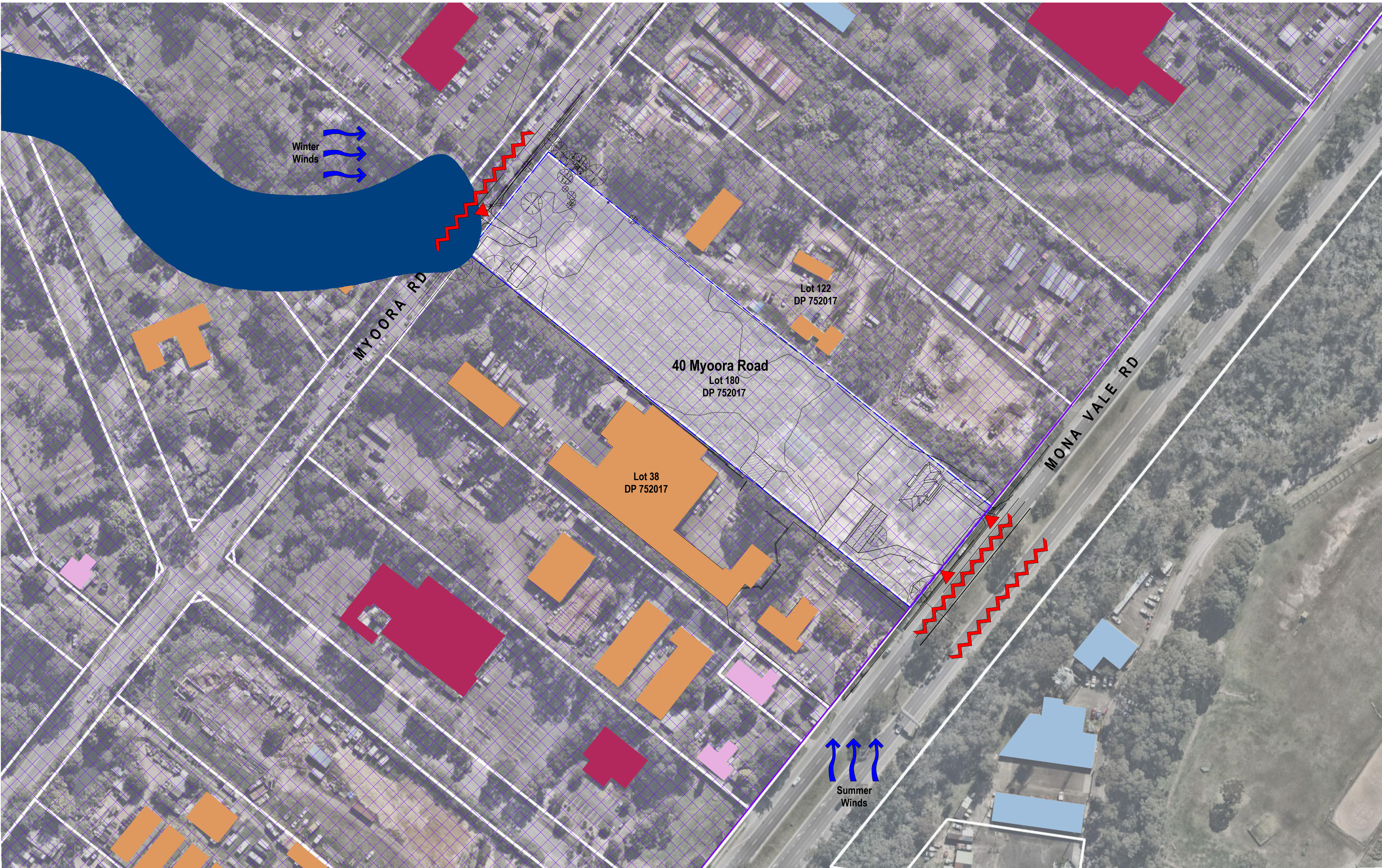
Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
Existing Location Plan

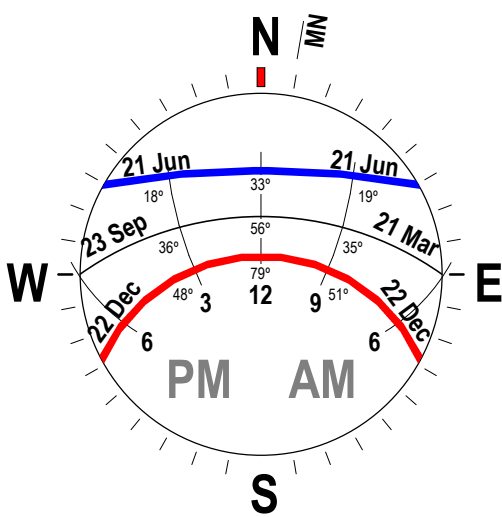
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Scale @ A3	1:5000		
Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-0400	Rev	08



Site Analysis Legend

- Neighbouring Light Industrial Buildings
- Neighbouring Residential Buildings
- Neighbouring Public Buildings
- Neighbouring Recreation, Commercial & Hospitality Buildings
- RU4 Land Zoning
- Strahler System 1st Order Watercourse as per Warringah DCP 2011 Waterways and Riparian Lands Northern Beaches Map Data
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- Pedestrian Access
- Public Vehicle Entry / Exit
- Service Vehicle Entry / Exit



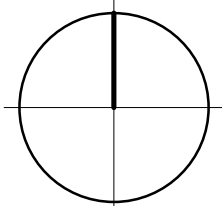
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Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-0401	Rev	14

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04	02.04.24	Issue for Information: Pre-DA Meeting
05	03.05.24	Issued for Landscape Coordination
06	21.05.24	Issue for Information: Design and Sustainability Advisory Panel
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Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road

Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
Existing Site Analysis Plan



DA Legend

UNO the general extent and location of alterations or additions, including demolition is indicated accordingly:

	Proposed new building fabric		Neighbouring Light Industrial Buildings		Subject to final layout this area is to comply with Australian Standard 4674-2004; Design, construction and fit out of food premises. Refer to DA1-1200.
	Area of proposed demolition		Neighbouring Residential Buildings		Strahler System 1st Order Watercourse as per Warringah DCP 2011Map Data

For Development Approval

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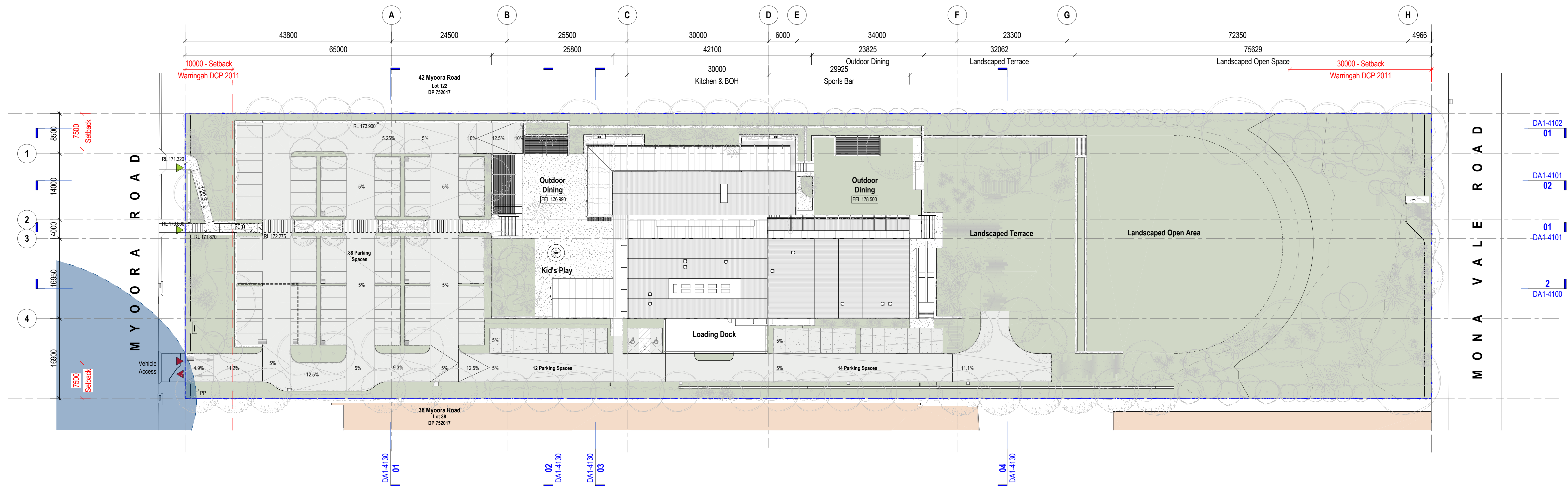
Project
40 Myoora Road

Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
Site Plan - Existing & Demolition

Scale @ A1	1:400	Drawn by	Checked by
Scale @ A3	1:800		
Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-0410	Rev	14



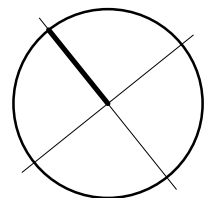
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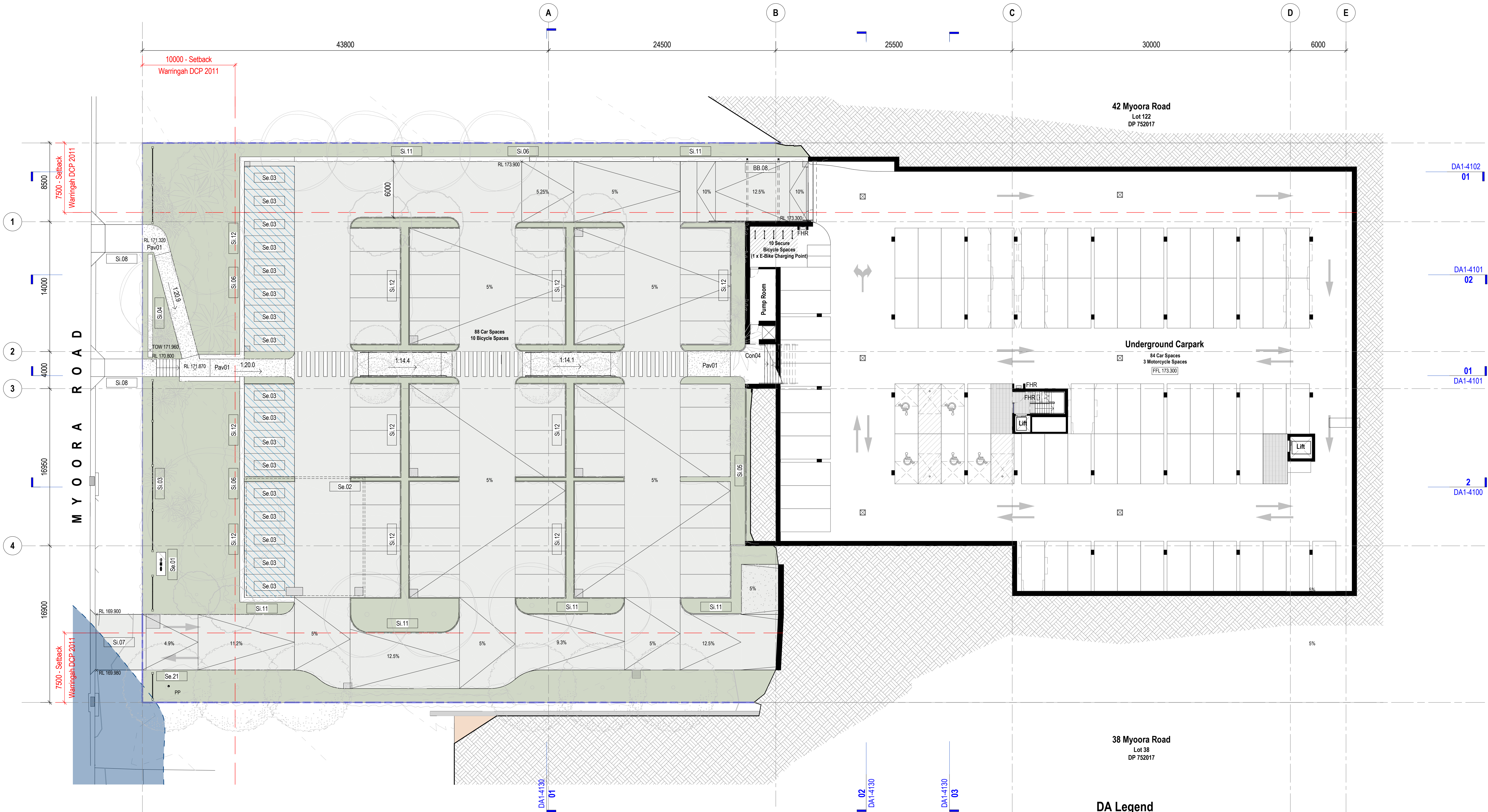
Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
Site Plan - Proposed

For Development Approval

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Scale @ A3	1:800		
Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-0500	Rev	17



38 Myoora Road
Lot 38
DP 752017

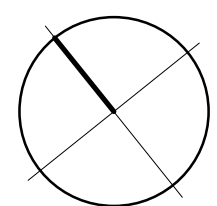
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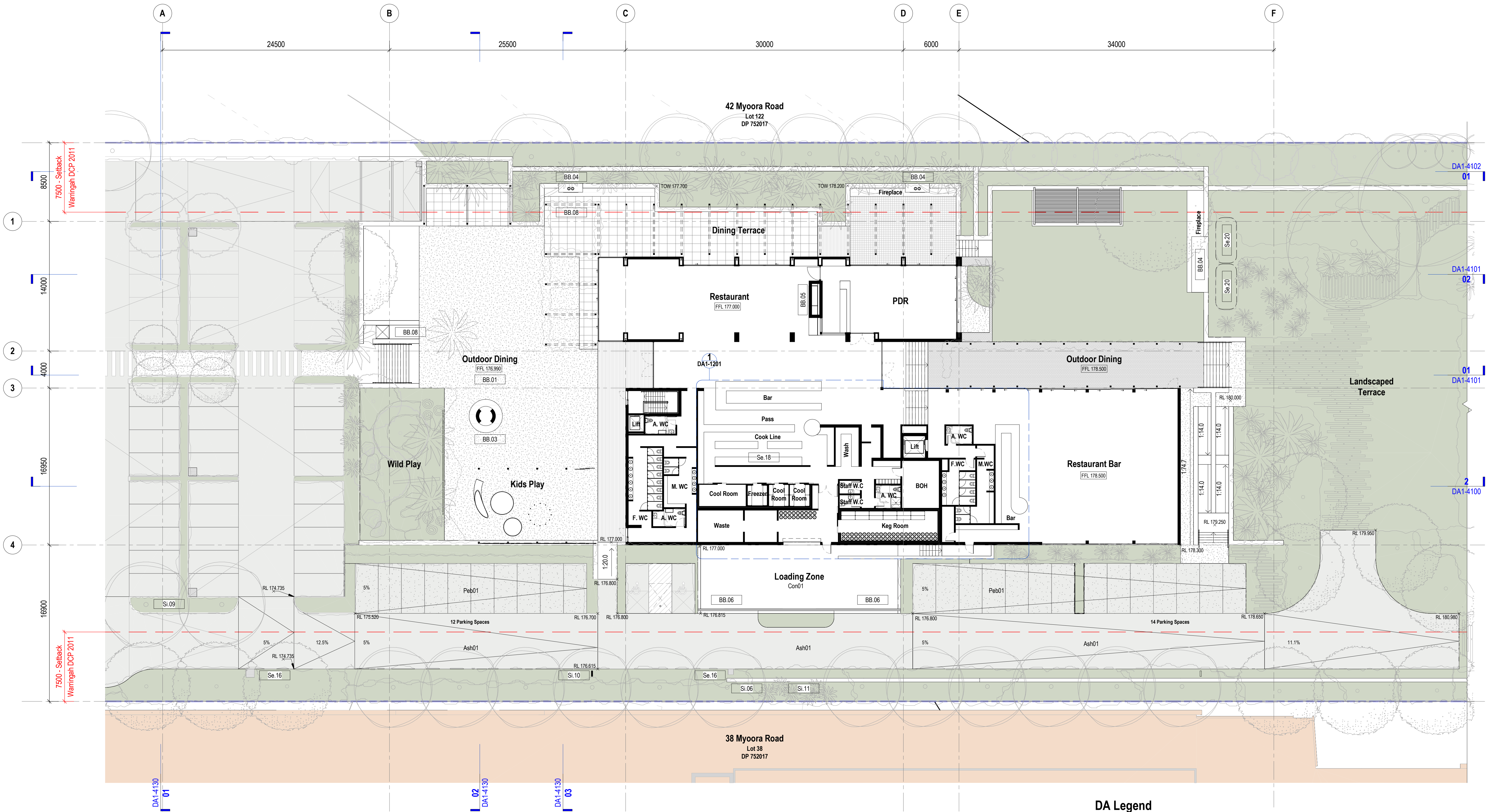
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Client
Gardoxi P/L (Norwest)

Location
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Drawing
General Arrangement Plan - Myoora Road Venue Entry & Basement

Scale @ A1	1:200	Drawn by	Checked by
Scale @ A3	1:400		
Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-1010	Rev	18



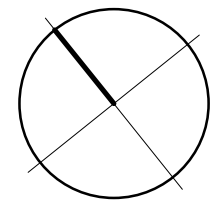
DA Legend

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 - Neighbouring Light Industrial Buildings
 - Subject to final layout this area is to comply with Australian Standard 4674-2004; Design, construction and fit out of food premises. Refer to DA1-1200.
 - Area of proposed demolition
 - Neighbouring Residential Buildings
 - Strahler System 1st Order Watercourse as per Warringah DCP 2011Map Data

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Rev	Date	Amendments
02	16.10.23	Issue for Information
03	27.10.23	Issue for Information
04	31.10.23	Issue for Information
05	19.03.24	Consultant Issue
06	02.04.24	Issue for Information: Pre-DA Meeting
07	03.05.24	Issued for Landscape Coordination
08	21.05.24	Issue for Information: Design and Sustainability Advisory Panel
09	26.07.24	Issue for Information

Rev	Date	Amendments
10	14.08.24	Issue for Information
11	03.09.24	For Development Approval
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16	28.03.25	Issue for Information
17	07.04.25	For Development Approval: Amended Scheme

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Humphrey & Edwards Pty Ltd | ABN 89056538227
Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road

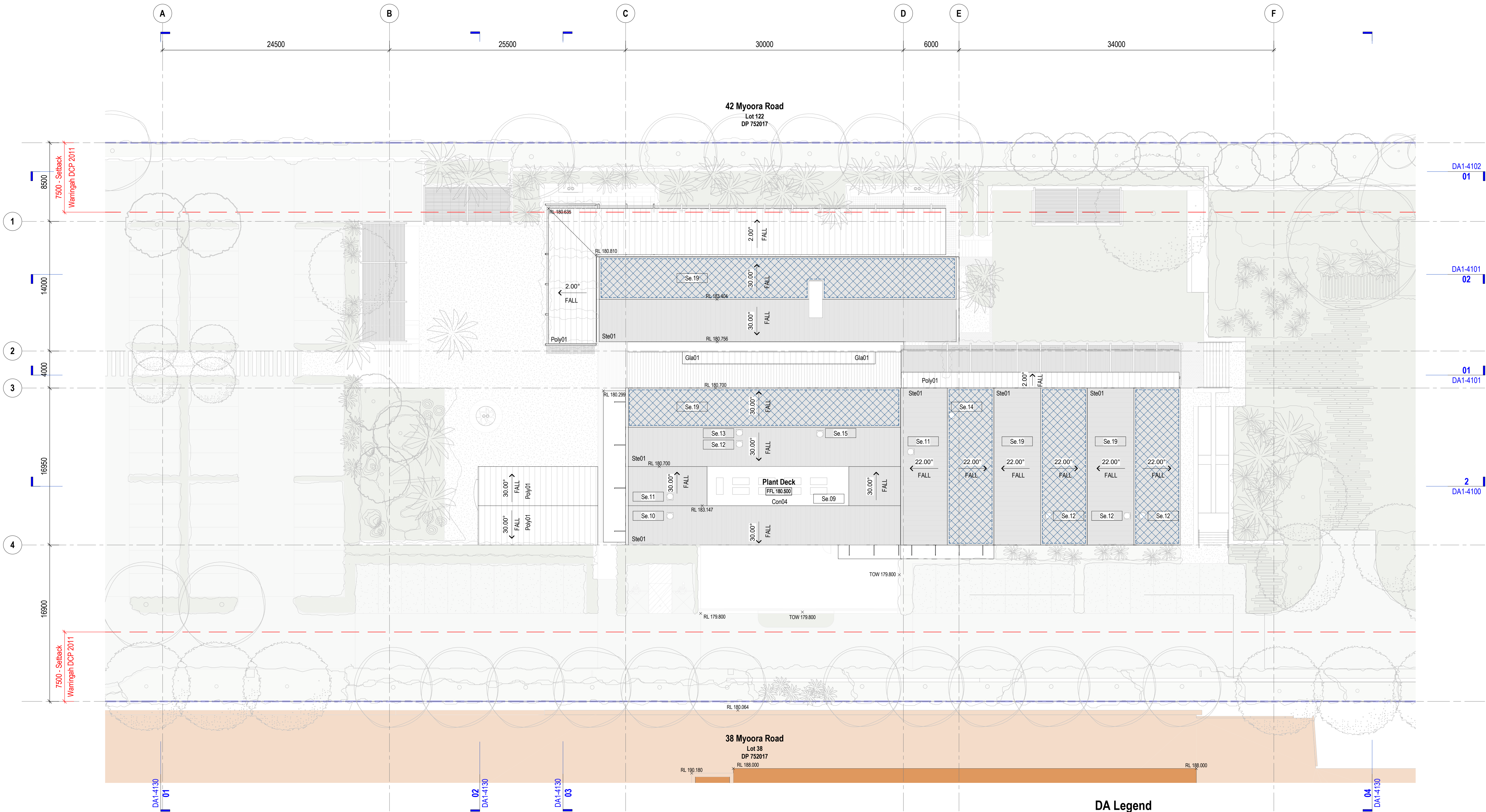
Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
General Arrangement Plan - Restaurant

For Development Approval

Scale @ A1	1:200	Drawn by	Checked by
Scale @ A3	1:400		
Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-1013	Rev	17



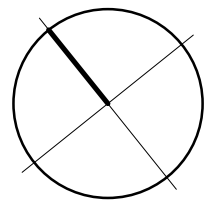
DA Legend

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09	26.07.24	Issue for Information

Rev	Date	Amendments
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Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road

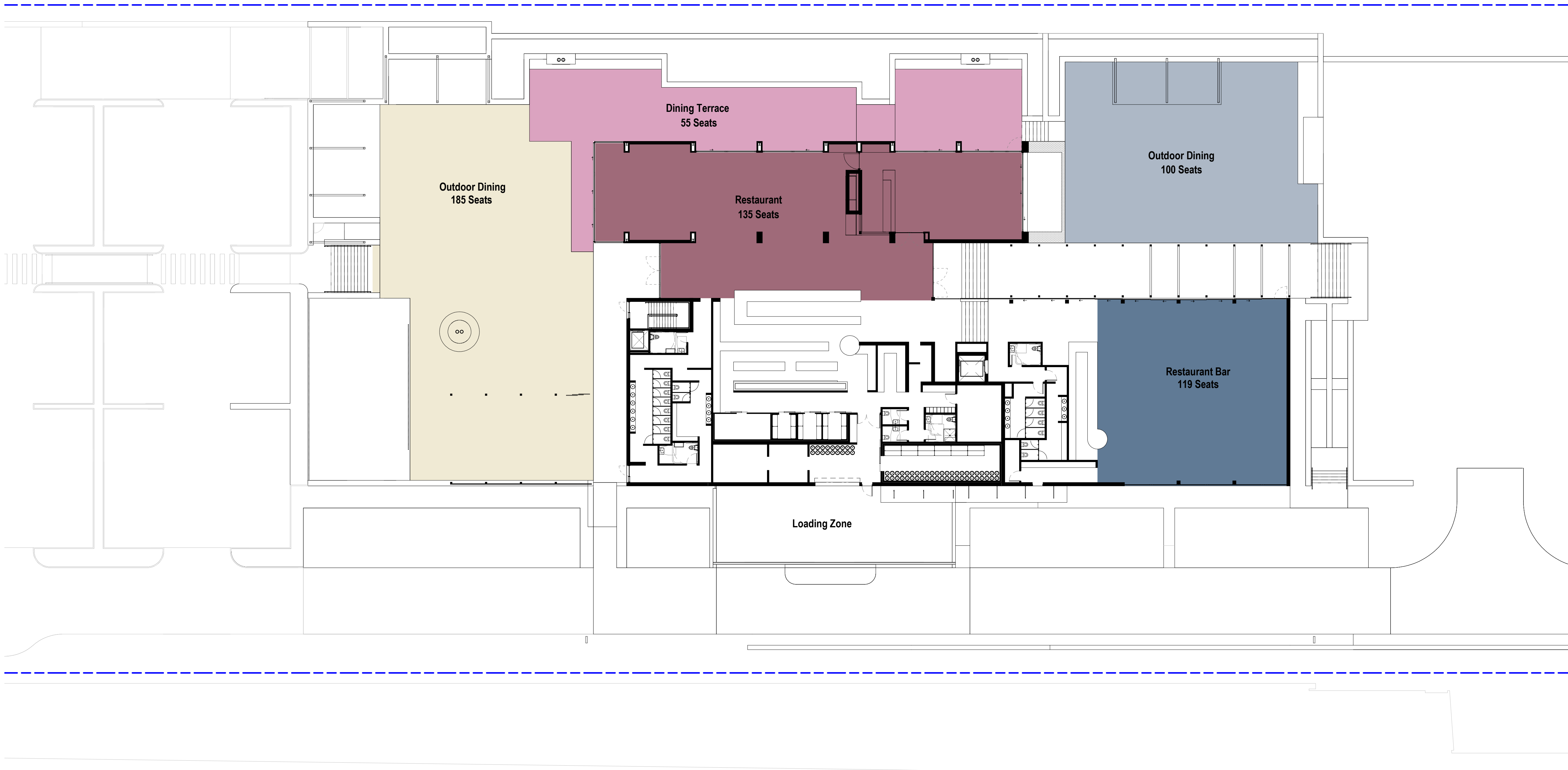
Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
General Arrangement Plan - Roof

For Development Approval

Scale @ A1	1:200	Drawn by	Checked by
Scale @ A3	1:400		
Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-1023	Rev	17



DA Legend

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Rev	Date	Amendments
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05	28.03.25	Issue for Information
06	07.04.25	For Development Approval: Amended Scheme

Rev	Date	Amendments
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Nominated Architect: Glenn Cunningham #6415

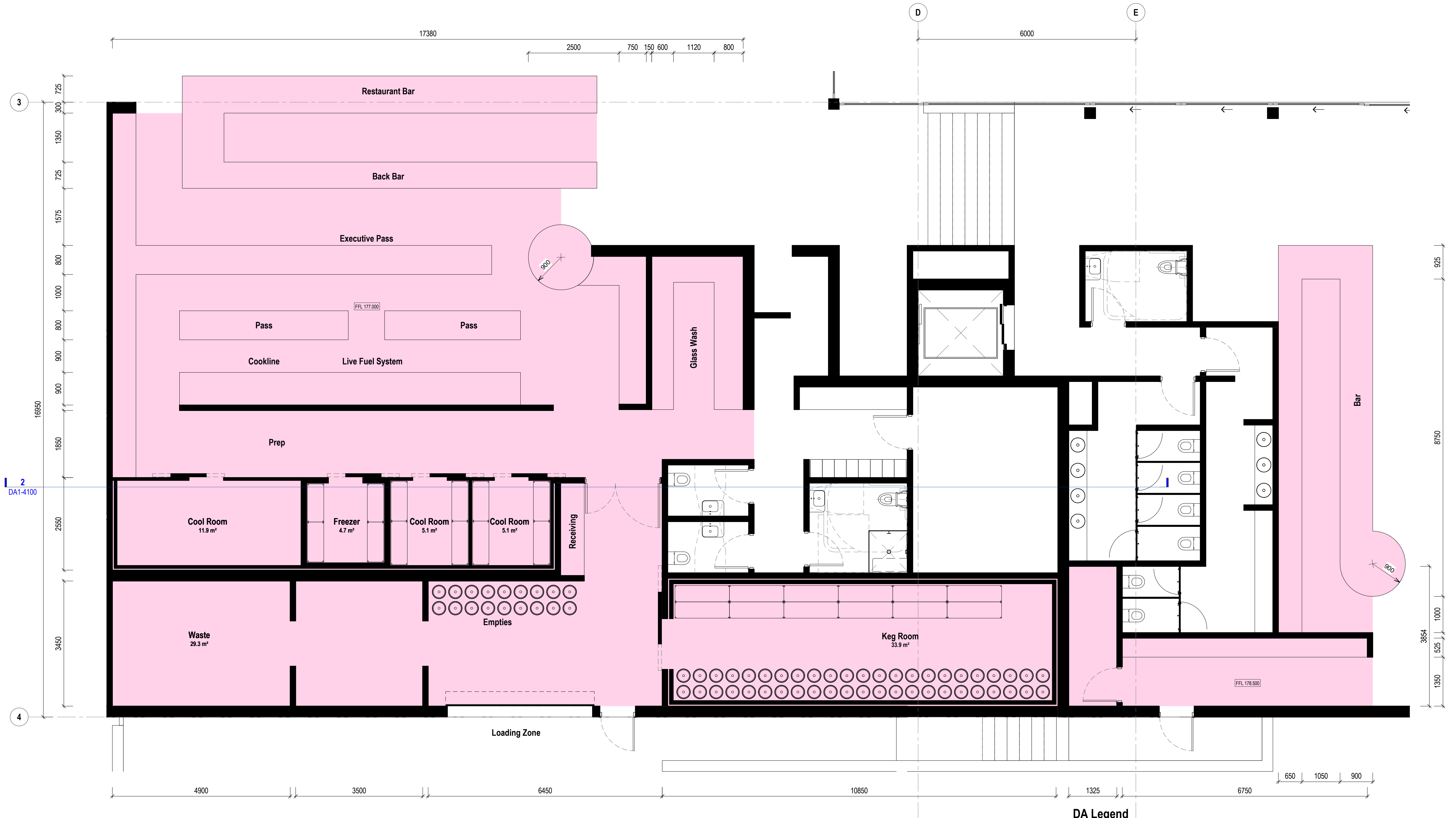
Project
40 Myoora Road

Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
Seating Plan - Restaurant

Scale @ A1	1:200	Drawn by	Checked by
Scale @ A3	1:400		
Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-1100	Rev	06



1 Detail Plan - Restaurant & Bar - Kitchen & Bar
DA1-1013

DA Legend

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Rev	Date	Amendments

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Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road

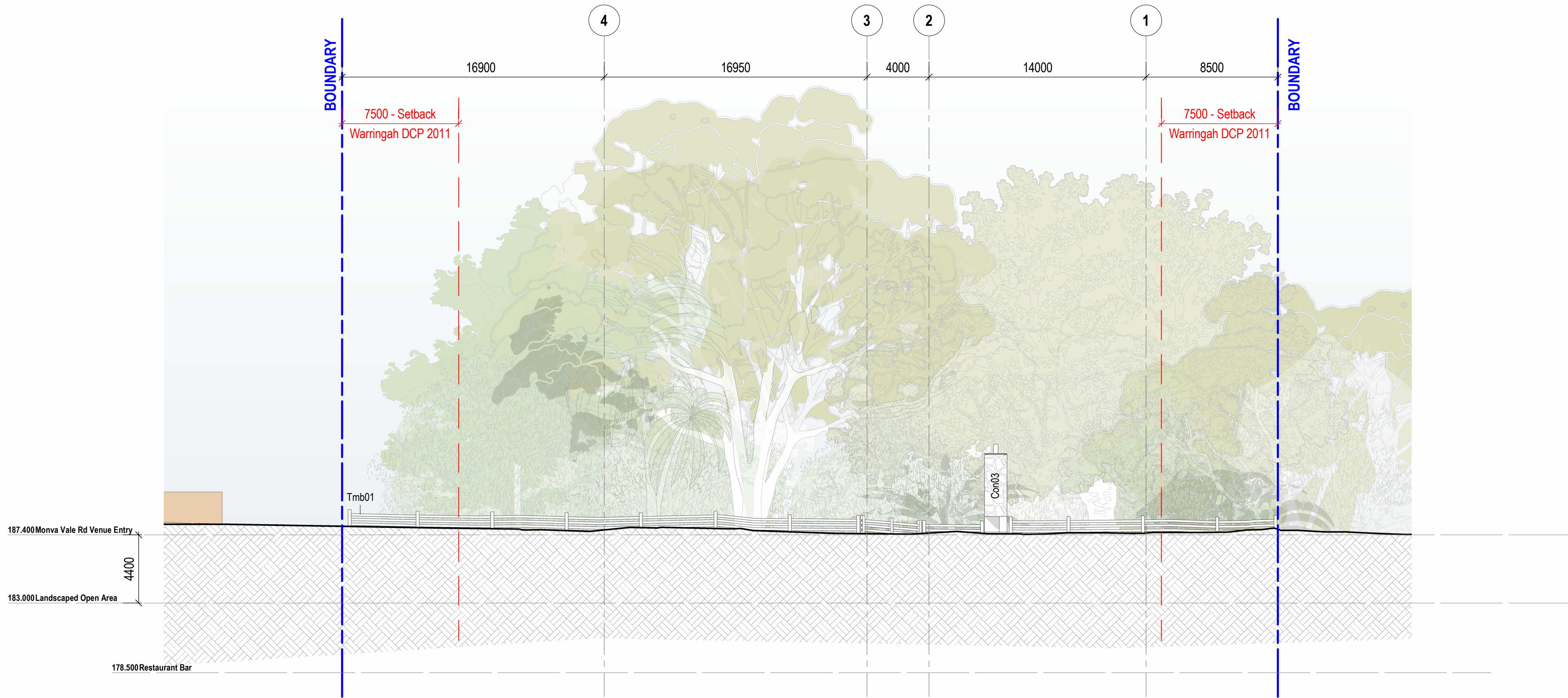
Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

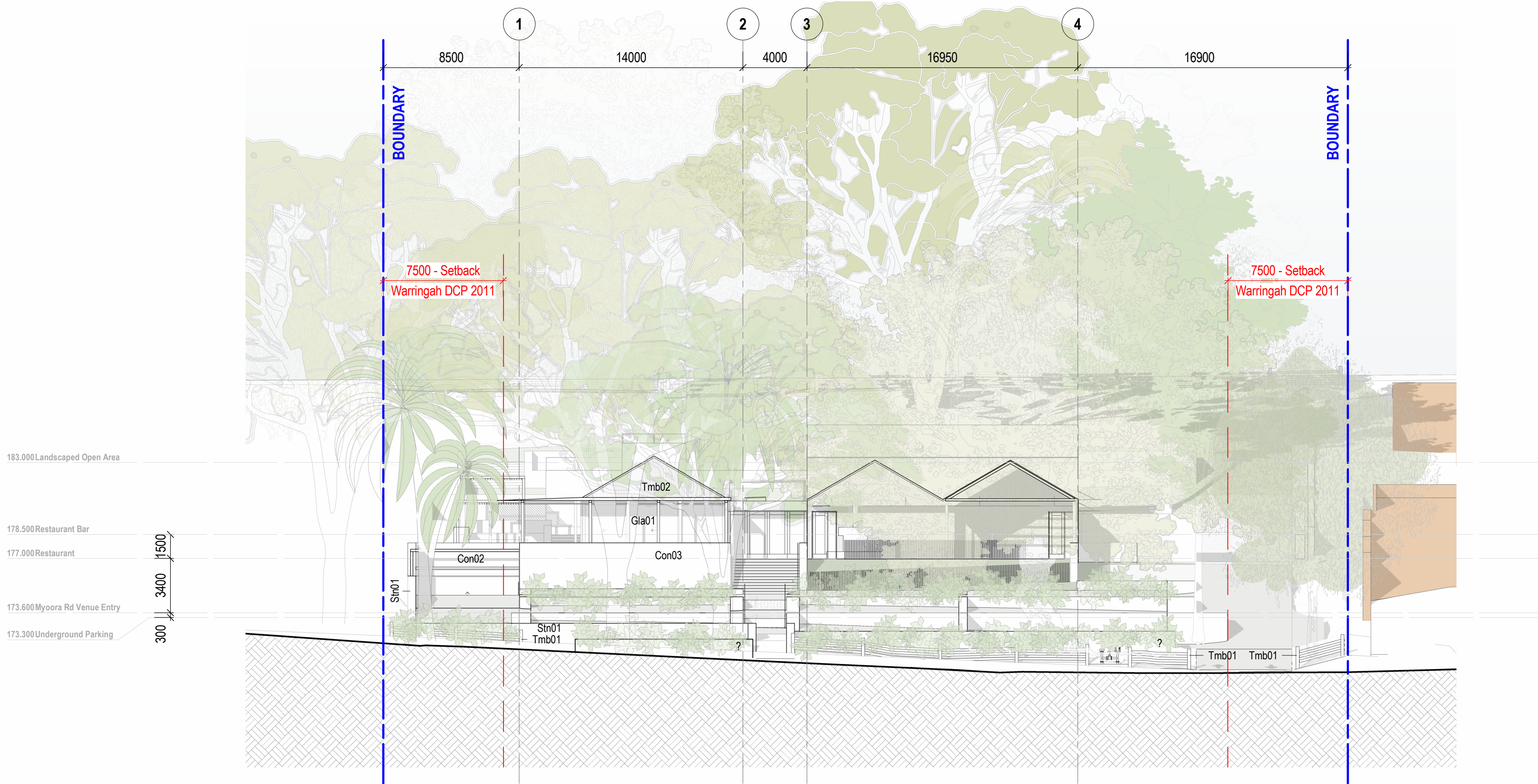
Drawing
Detail Plan - Restaurant

For Development Approval

Scale @ A1	1:50	Drawn by	Checked by
Scale @ A3	1:100		
Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-1201	Rev	08



01 Site Elevation - Mona Vale Rd



02 Site Elevation - Myoora Rd

DA Legend

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	Proposed new building fabric		Neighbouring Light Industrial Buildings		Subject to final layout this area is to comply with Australian Standard 4674-2004; Design, construction and fit out of food premises. Refer to DA1-1200.
	Area of proposed demolition		Neighbouring Residential Buildings		Strahler System 1st Order Watercourse as per Warringah DCP 2011Map Data

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Nominated Architect: Glenn Cunningham #6415

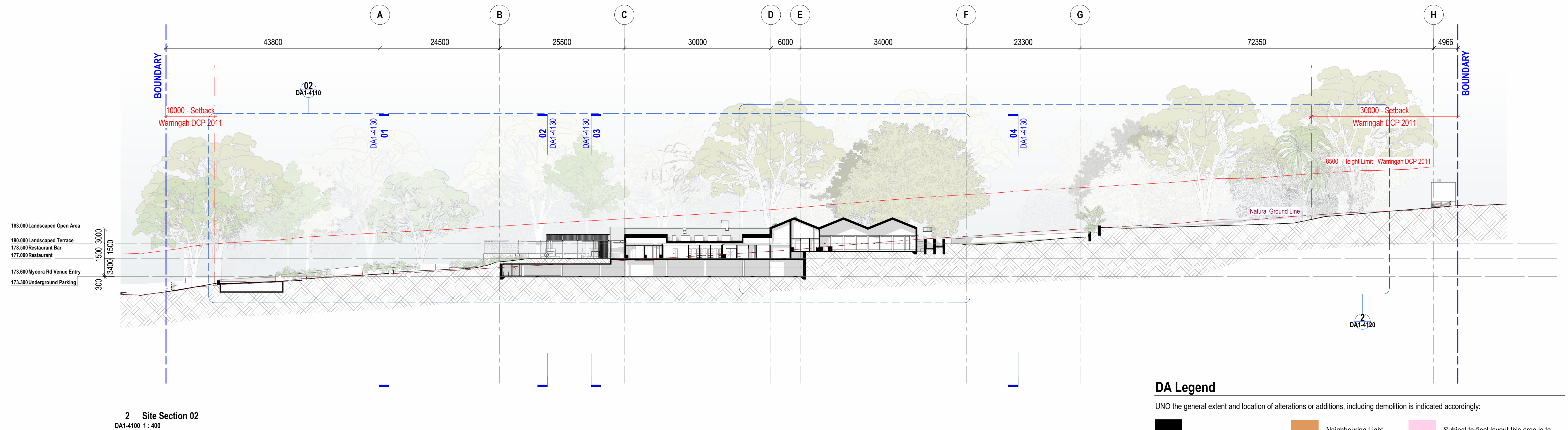
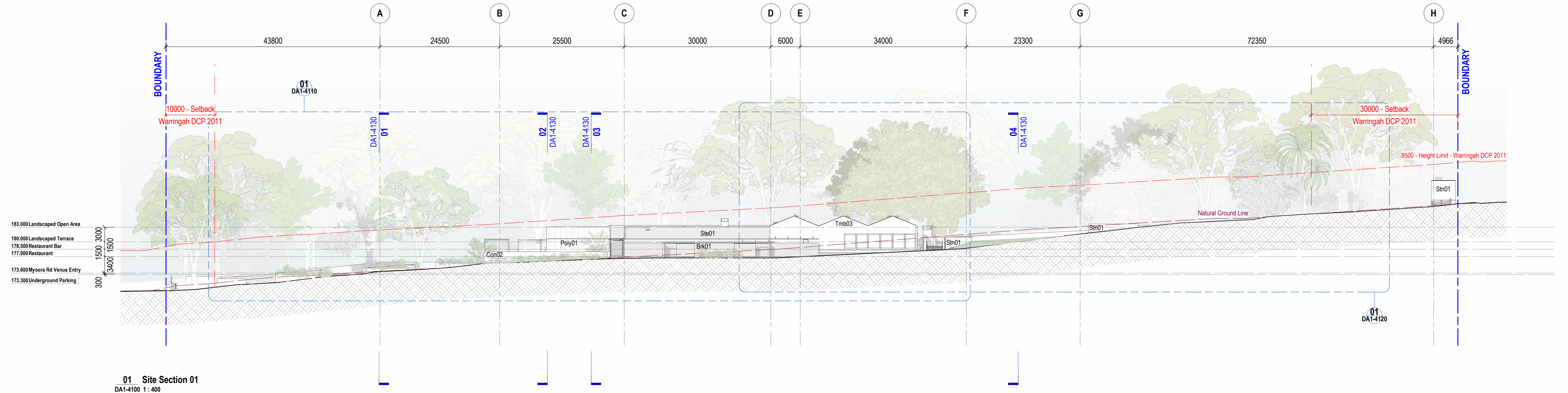
Project
40 Myoora Road

Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
Streetscape Elevations - Proposed

Scale @ A1	1:200	Drawn by	Checked by
Scale @ A3	1:400		
Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-3100	Rev	14



DA Legend

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Nominated Architect: Glenn Cunningham #6415

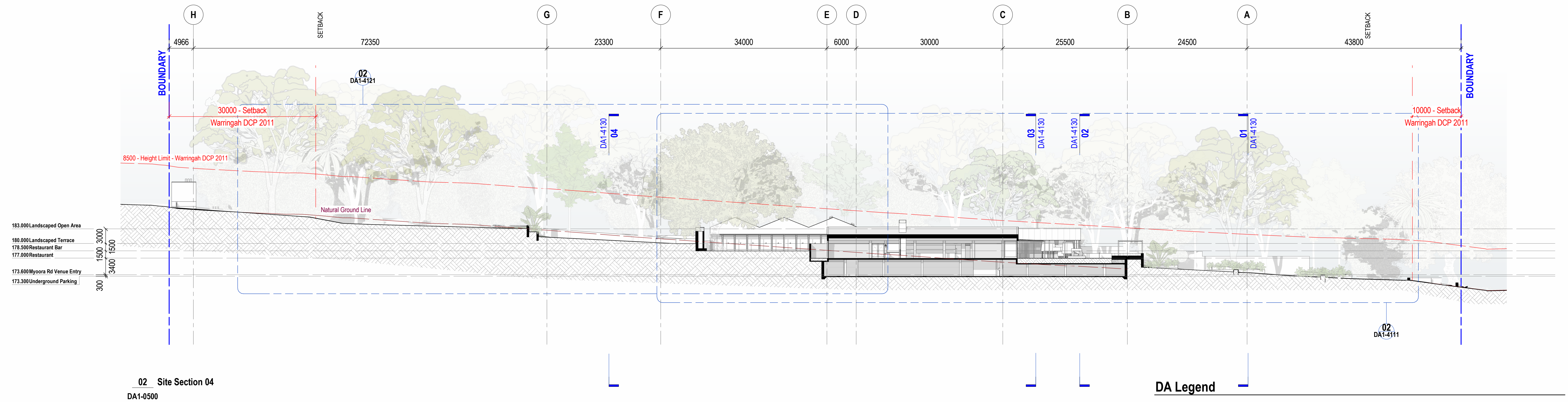
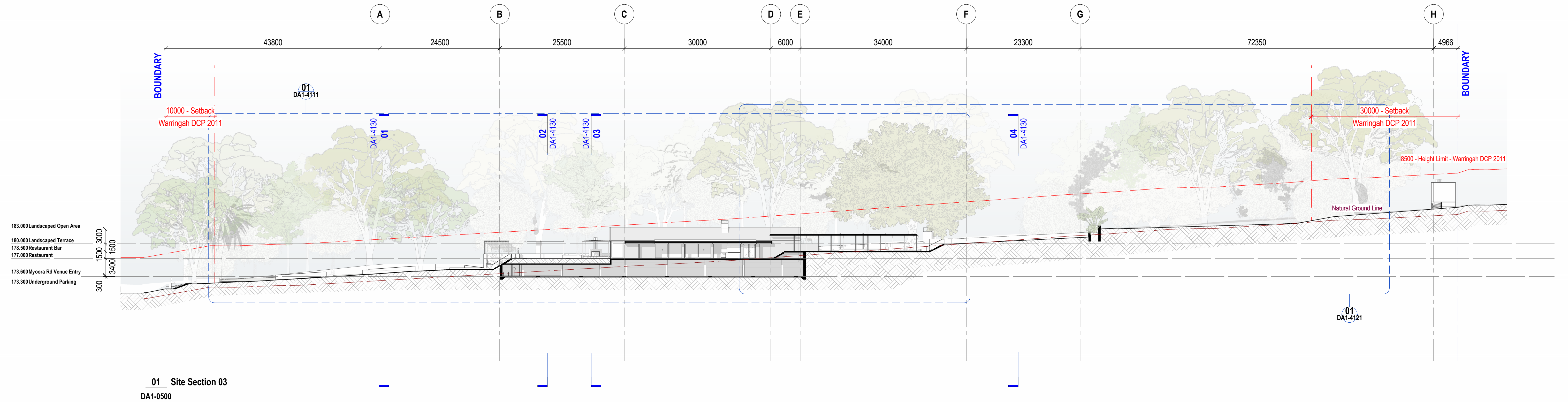
Project
40 Myoora Road

Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
Site Sections - Proposed - Sheet 01

Scale @ A1	1:400	Drawn by	Checked by
Scale @ A3	1:800		
Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-4100	Rev	16



DA Legend

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Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road

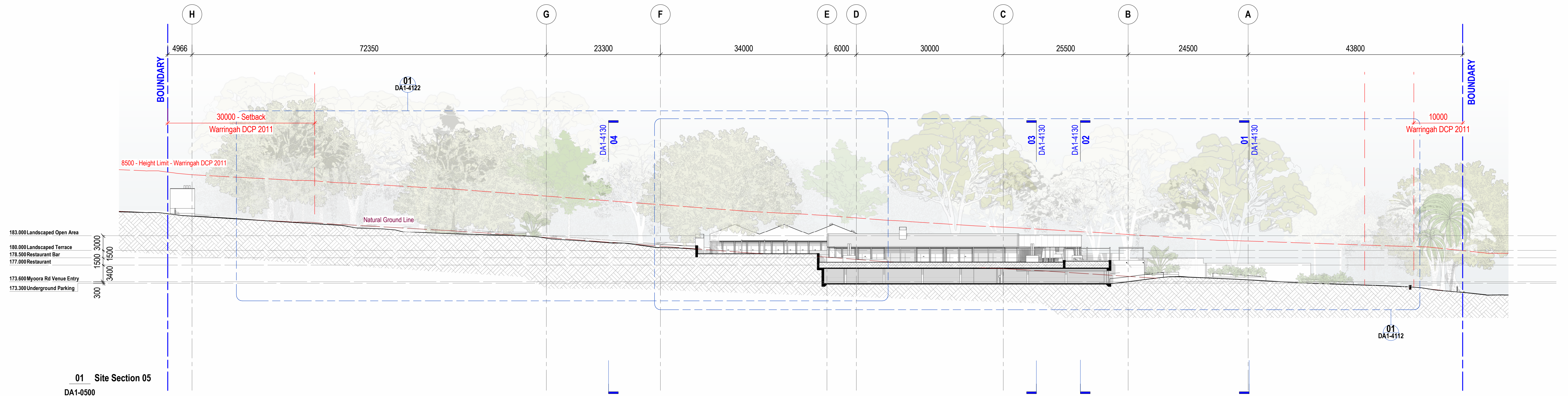
Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
Site Sections - Proposed - Sheet 02

For Development Approval

Scale @ A1	1:400	Drawn by	Checked by
Scale @ A3	1:800		
Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-4101	Rev	16



DA Legend

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15	07.04.25	For Development Approval: Amended Scheme

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Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road

Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
Site Sections - Proposed - Sheet 03

For Development Approval

Scale @ A1	1:400	Drawn by	Checked by
Scale @ A3	1:800		
Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-4102	Rev	15



01 Section 01 - North West
DA1-4110 1 : 200



02 Section 01 - North West
DA1-4110 1 : 200

DA Legend

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16	07.04.25	For Development Approval: Amended Scheme

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Humphrey & Edwards Pty Ltd | ABN 89056538227
Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road

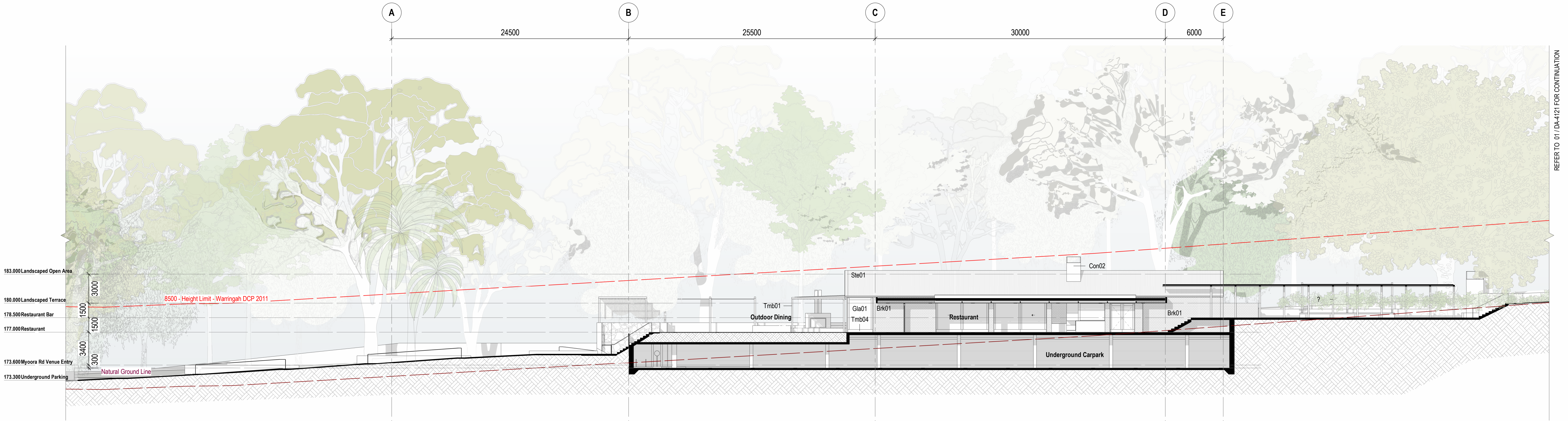
Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

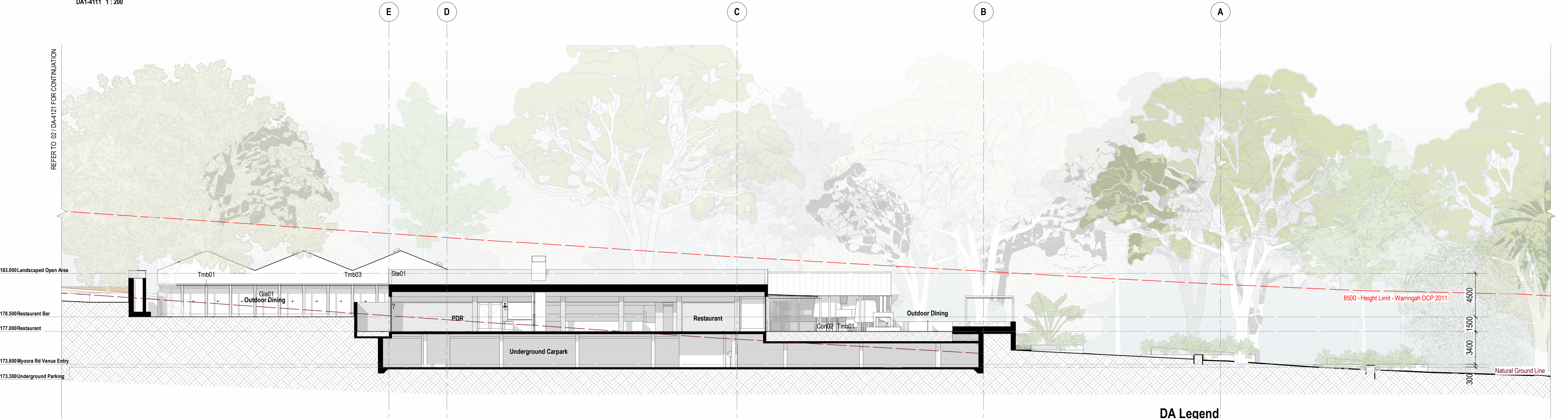
Drawing
North West - Proposed Sections - Sheet 01

For Development Approval

Scale @ A1	1:200	Drawn by	Checked by
Scale @ A3	1:400		
Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-4110	Rev	16



01 Section 03 - North West
DA1-4111 1 : 200



02 Section 04 - North West
DA1-4111 1 : 200

DA Legend

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Humphrey & Edwards Pty Ltd | ABN 89056538227
Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road

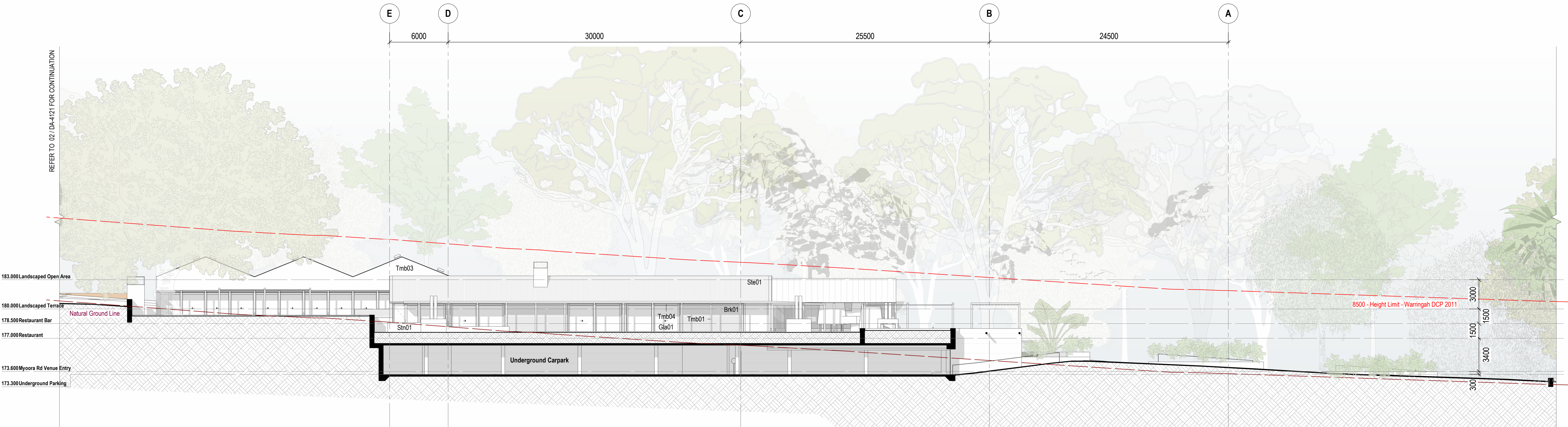
Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
North West - Proposed Sections - Sheet 02

For Development Approval

Scale @ A1	1:200	Drawn by	Checked by
Scale @ A3	1:400		
Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-4111	Rev	16



DA Legend

UNO the general extent and location of alterations or additions, including demolition is indicated accordingly:

	Proposed new building fabric		Neighbouring Light Industrial Buildings		Subject to final layout this area is to comply with Australian Standard 4674-2004; Design, construction and fit out of food premises. Refer to DA1-1200.
	Area of proposed demolition		Neighbouring Residential Buildings		Strahler System 1st Order Watercourse as per Warringah DCP 2011Map Data

For Development Approval

Scale @ A1	1:200	Drawn by	Checked by
Scale @ A3	1:400		
Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-4112	Rev	15

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06	03.05.24	Issued for Landscape Coordination
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08	26.07.24	Issue for Information

Rev	Date	Amendments
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12	28.02.25	Issue for Information
13	28.03.25	Issue for Information
14	28.03.25	Issue for Information
15	07.04.25	For Development Approval: Amended Scheme

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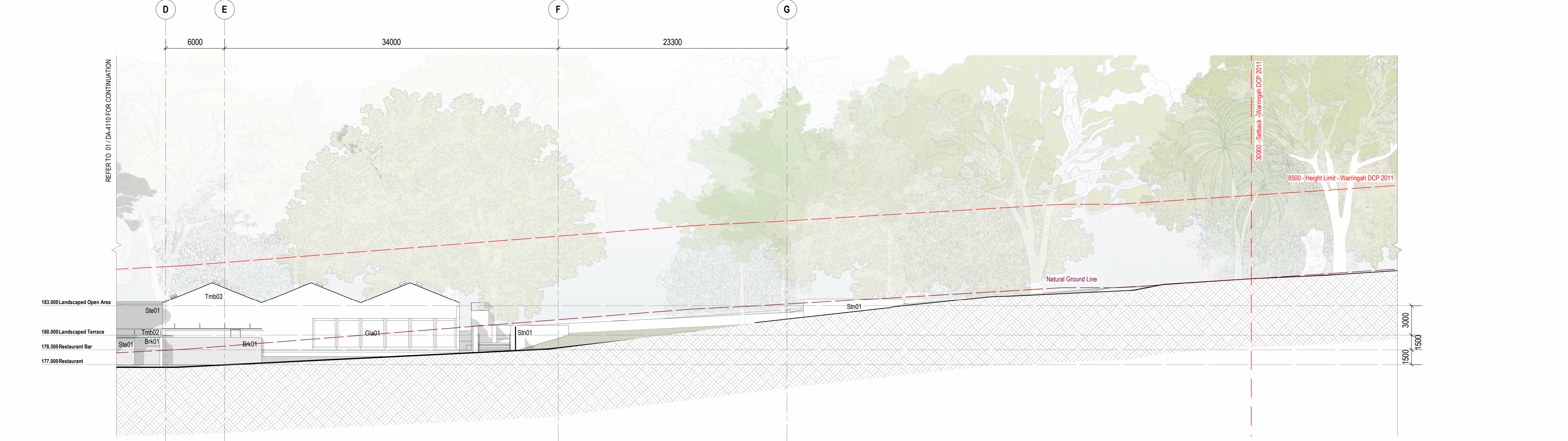
Suite 4.02, 80 Cooper Street
Surry Hills NSW 2010 Australia
+612 9357 2286
hello@h-e.com.au
www.h-e.com.au
PO Box 490 Darlinghurst NSW 1300
Humphrey & Edwards Pty Ltd | ABN 89056538227
Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road

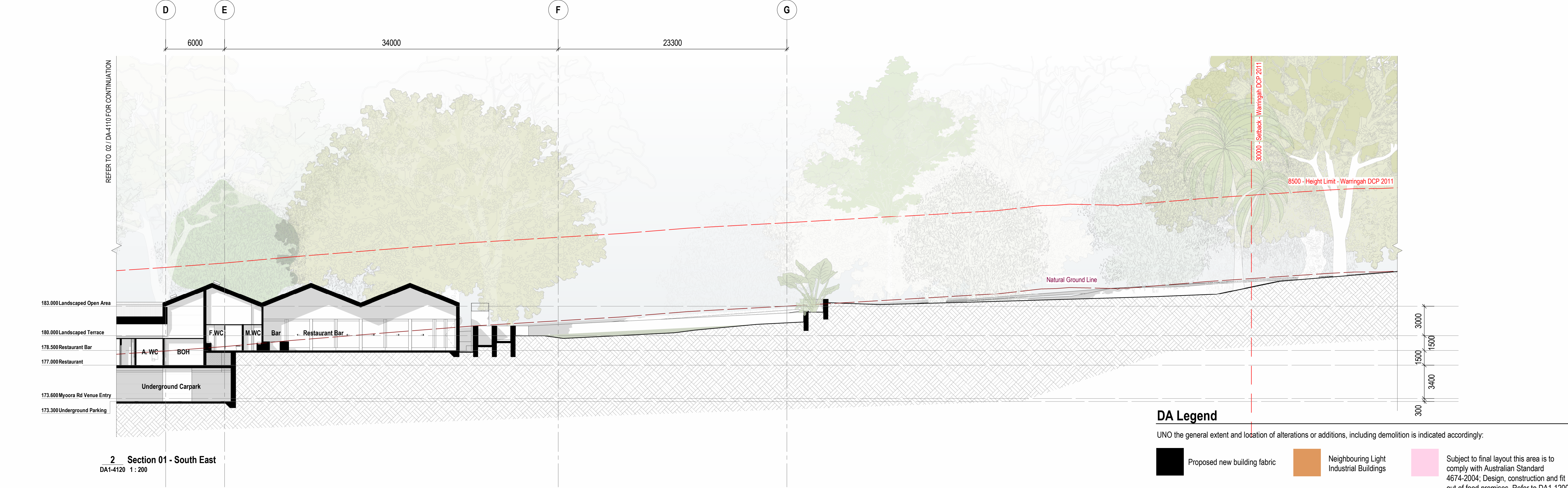
Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
North West - Proposed Sections - Sheet 03



01 Section 01 - South East
DA1-4120 1:200



2 Section 01 - South East
DA1-4120 1:200

DA Legend

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- Neighbouring Light Industrial Buildings
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- Neighbouring Residential Buildings
- Strahler System 1st Order Watercourse as per Warringah DCP 2011Map Data

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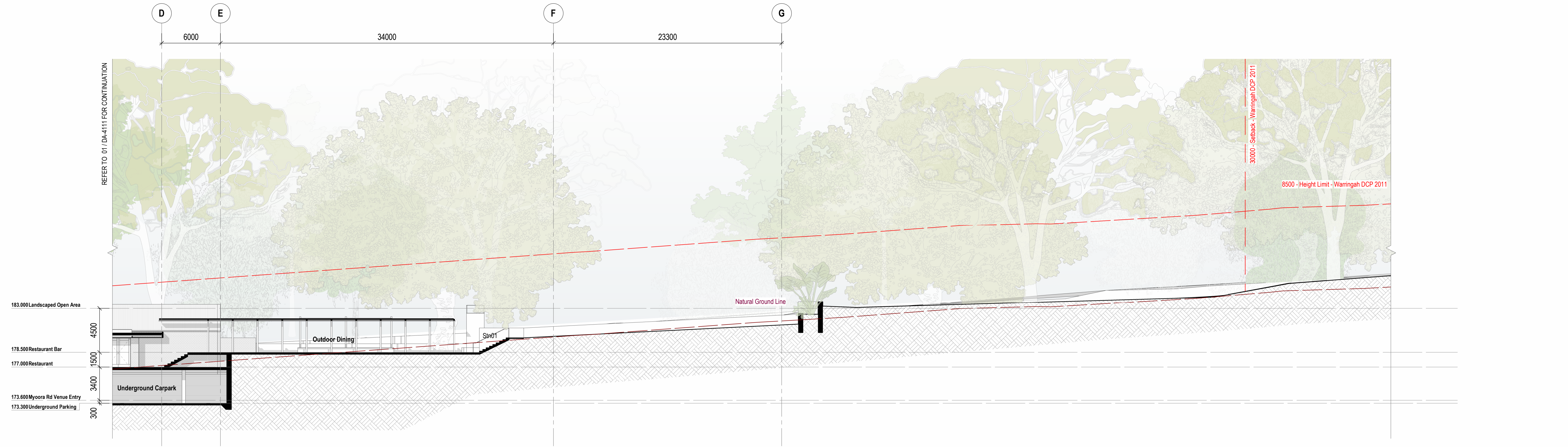
Rev	Date	Amendments
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16	07.04.25	For Development Approval: Amended Scheme

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Humphrey & Edwards Pty Ltd | ABN 89056638227
Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road
Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084
Drawing
South East - Proposed Sections - Sheet 01

For Development Approval			
Scale @ A1	1:200	Drawn by	Checked by
Scale @ A3	1:400		
Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-4120	Rev	16



01 Section 03 - South East
DA1-4121 1 : 200



02 Section 04 - South East
DA1-4121 1 : 200

DA Legend

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	Proposed new building fabric		Neighbouring Light Industrial Buildings		Subject to final layout this area is to comply with Australian Standard 4674-2004; Design, construction and fit out of food premises. Refer to DA1-1200.
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Humphrey & Edwards Pty Ltd | ABN 89056638227
Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road

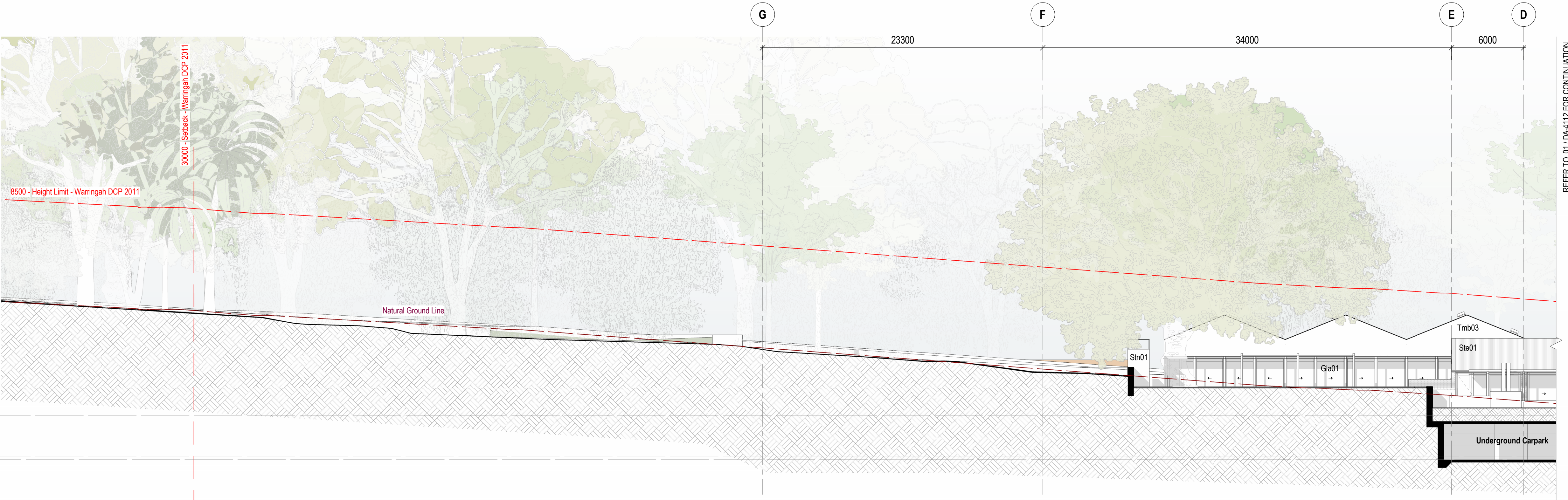
Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
South East - Proposed Sections - Sheet 02

For Development Approval

Scale @ A1	1:200	Drawn by	Checked by
Scale @ A3	1:400		
Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-4121	Rev	16



01 Section 05 - South East
DA1-4122 1 : 200

DA Legend

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For Development Approval

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08	26.07.24	Issue for Information

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Nominated Architect: Glenn Cunningham #6415

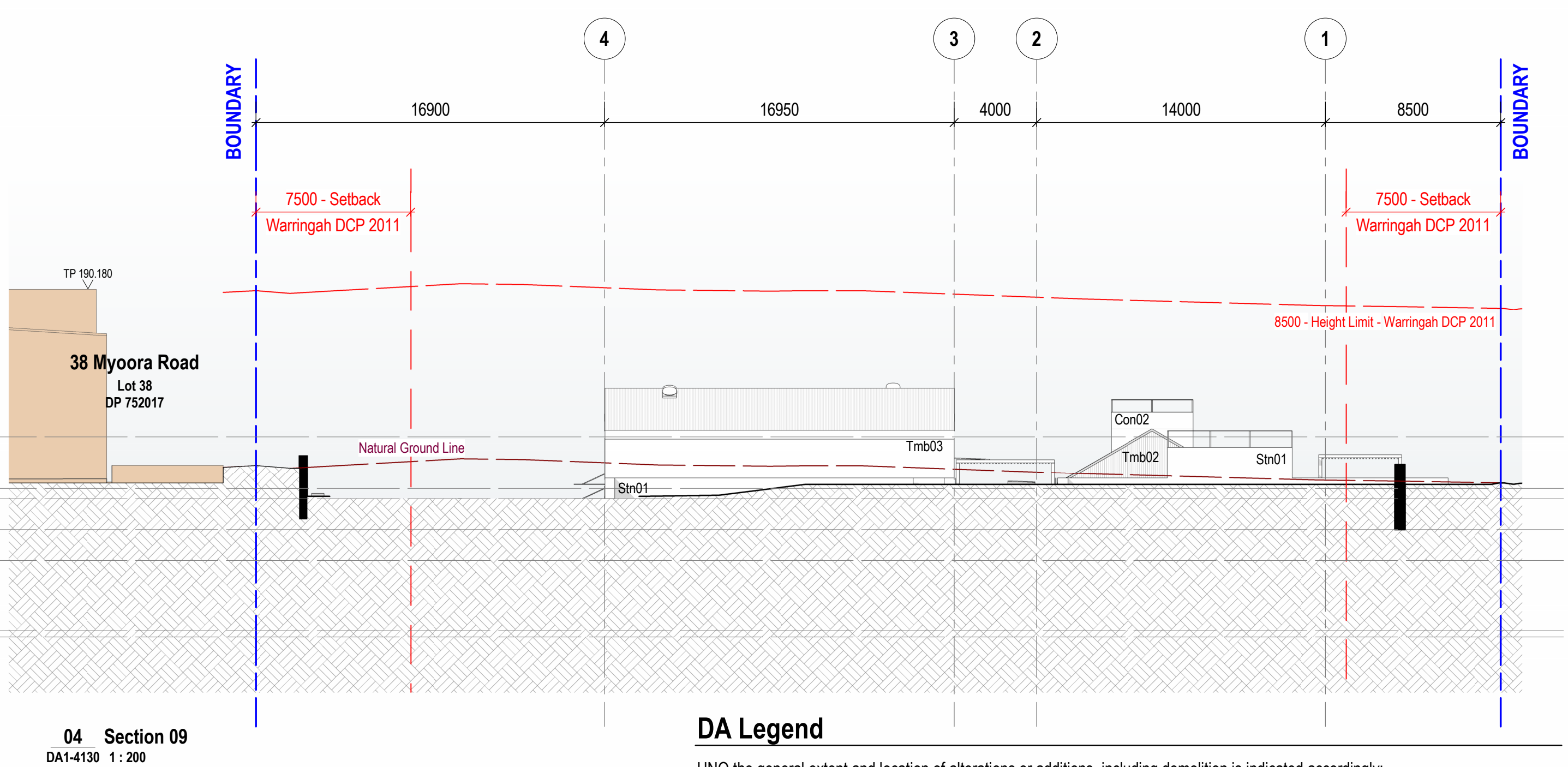
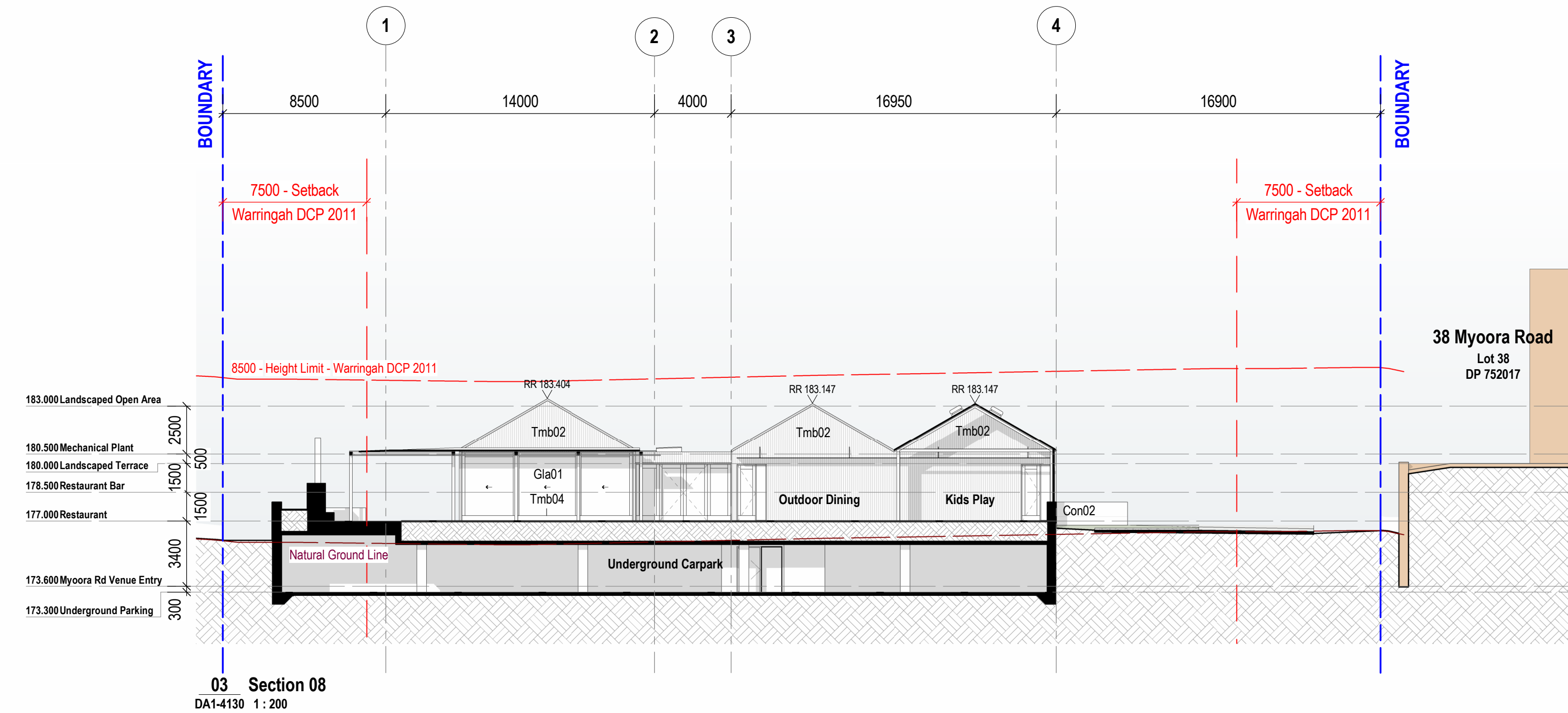
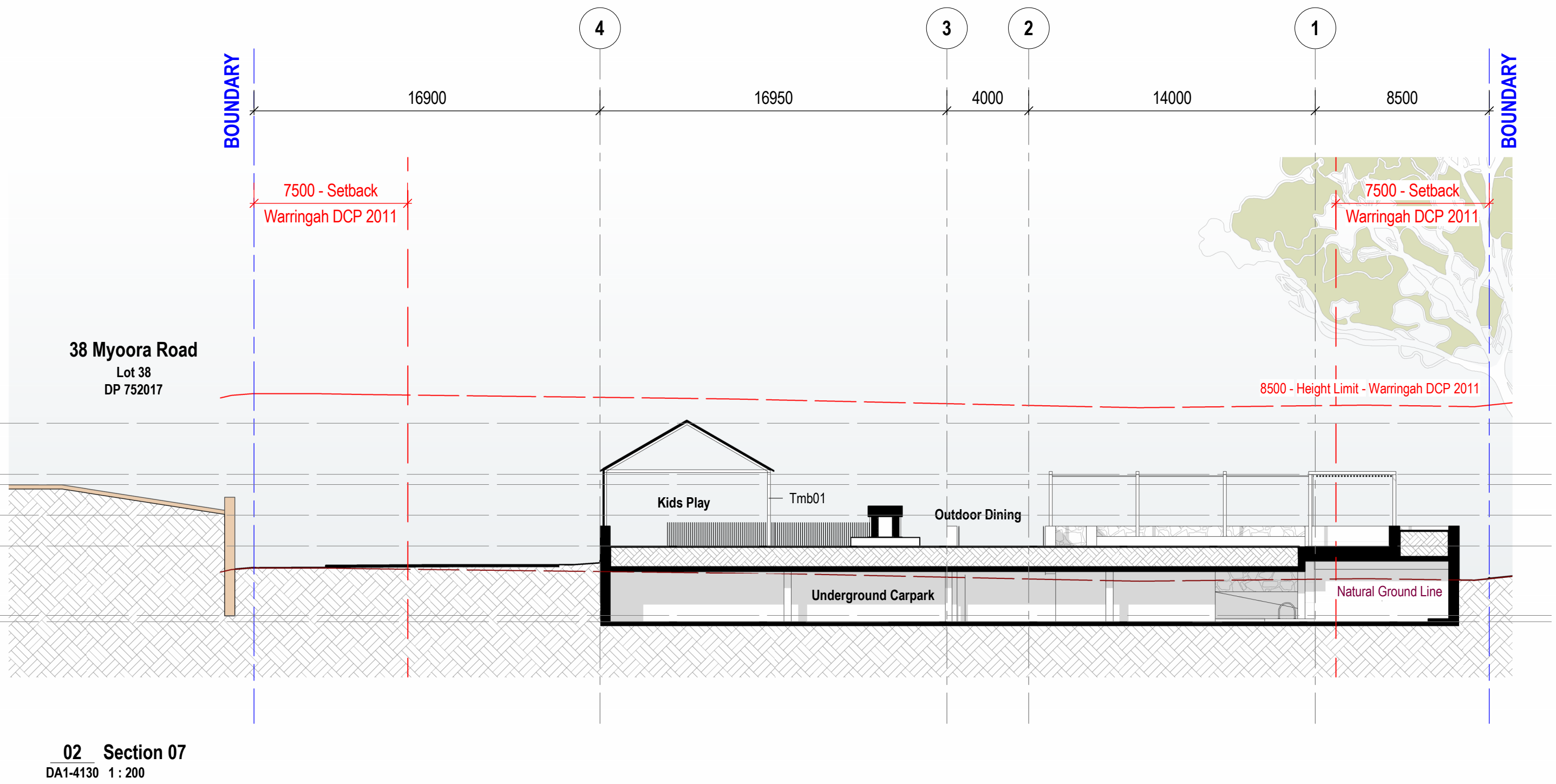
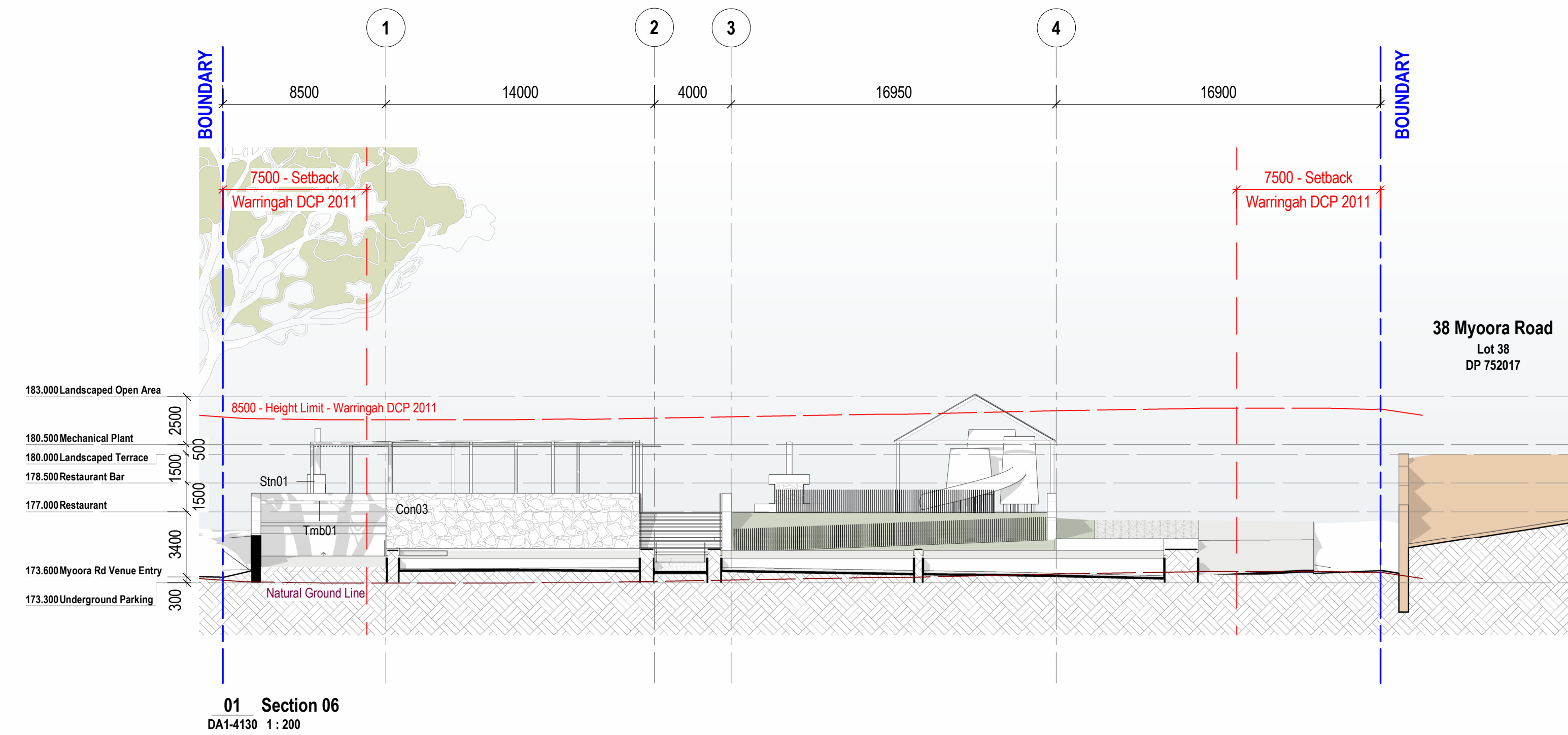
Project
40 Myoora Road

Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
South East - Proposed Sections - Sheet 03

Scale @ A1	1:200	Drawn by	Checked by
Scale @ A3	1:400		
Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-4122	Rev	15



DA Legend

- UNO the general extent and location of alterations or additions, including demolition is indicated accordingly:
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15	07.04.25	For Development Approval: Amended Scheme

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Nominated Architect: Glenn Cunningham #6415

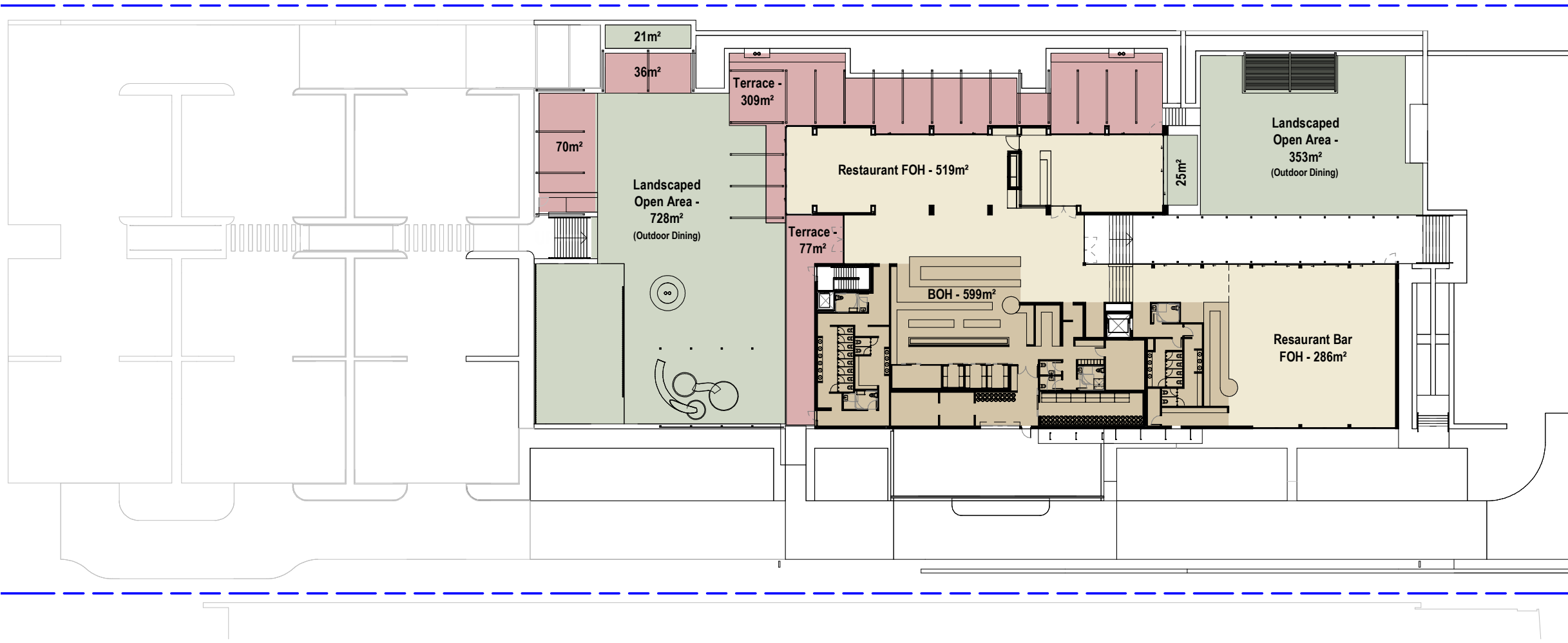
Project
40 Myoora Road

Client
Gardoxi P/L (Norwest)

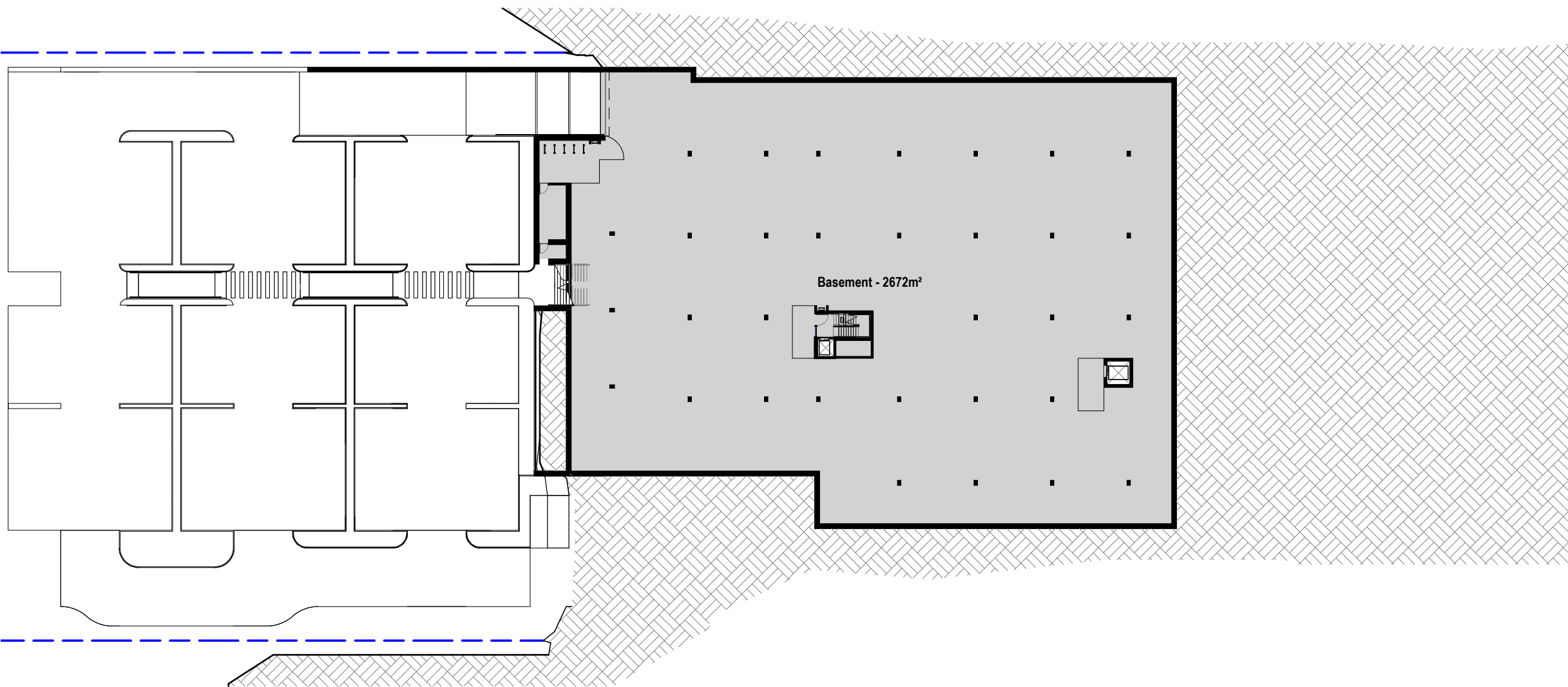
Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
Building Sections - Sheet 01

For Development Approval			
Scale @ A1	1:200	Drawn by	Checked by
Scale @ A3	1:400		
Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-4130	Rev	15



2 Restaurant 01 & 02 - Proposed
DA1-9000 1 : 500



1 Venue Entry & Carparking - Proposed
DA1-9000 1 : 500

Area Legend

- Basement
2672m²
- Landscaped Open Area
1127m²
- Terrace
492m²
- Restaurant FOH
805m²
- Restaurant BOH
599m²

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Project
40 Myoora Road

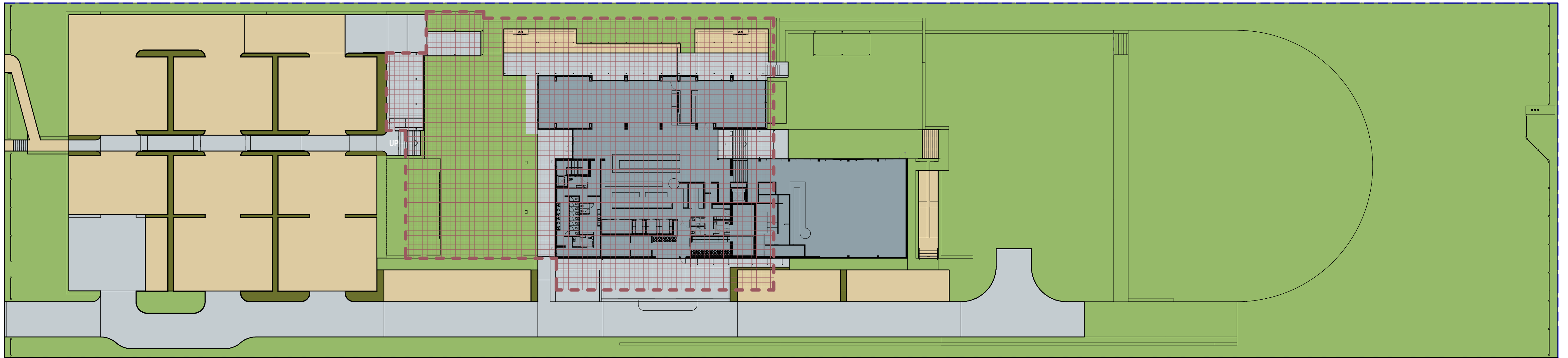
Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

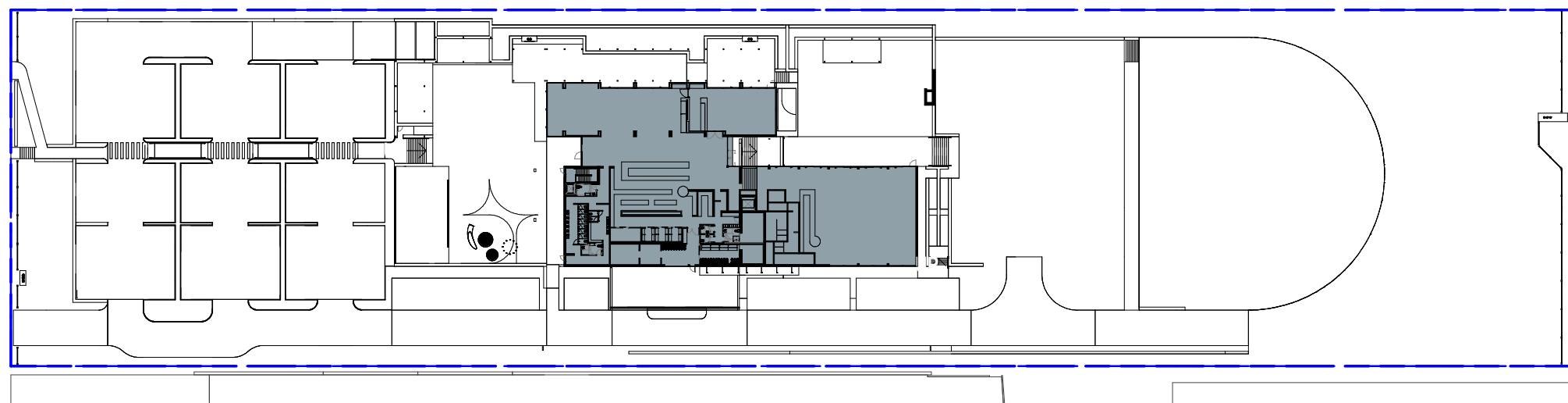
Drawing
Area Plan & Schedule - Proposed

For Development Approval

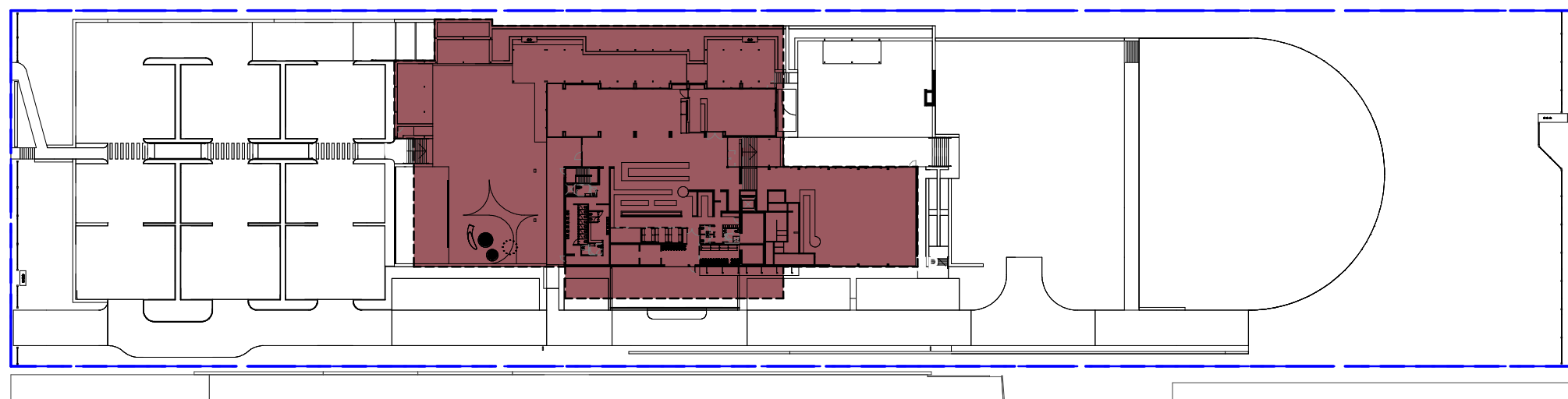
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Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-9000	Rev	15



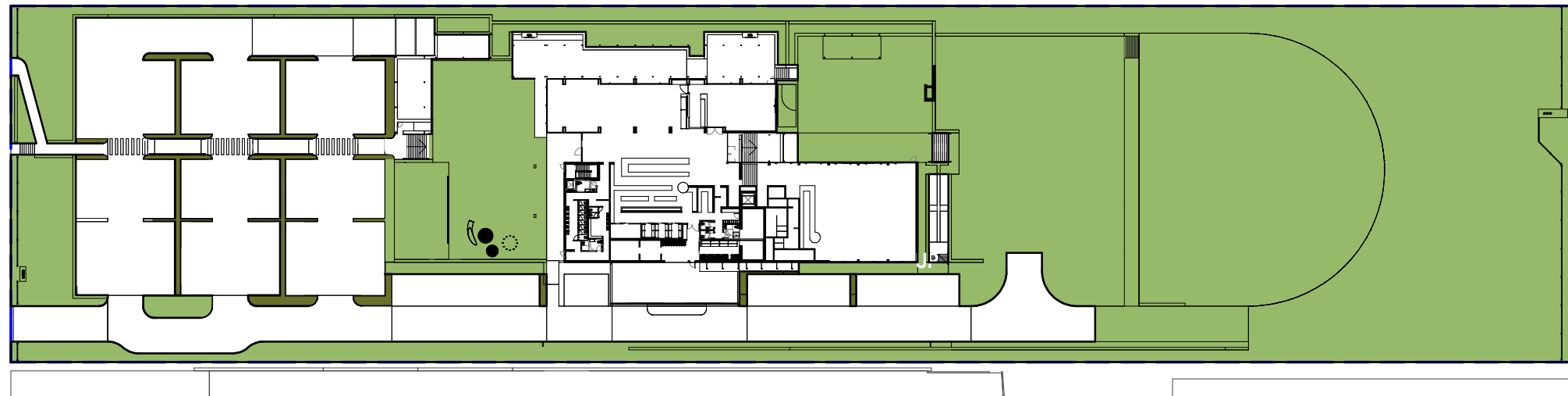
1 Site Cover Plan
1 : 400



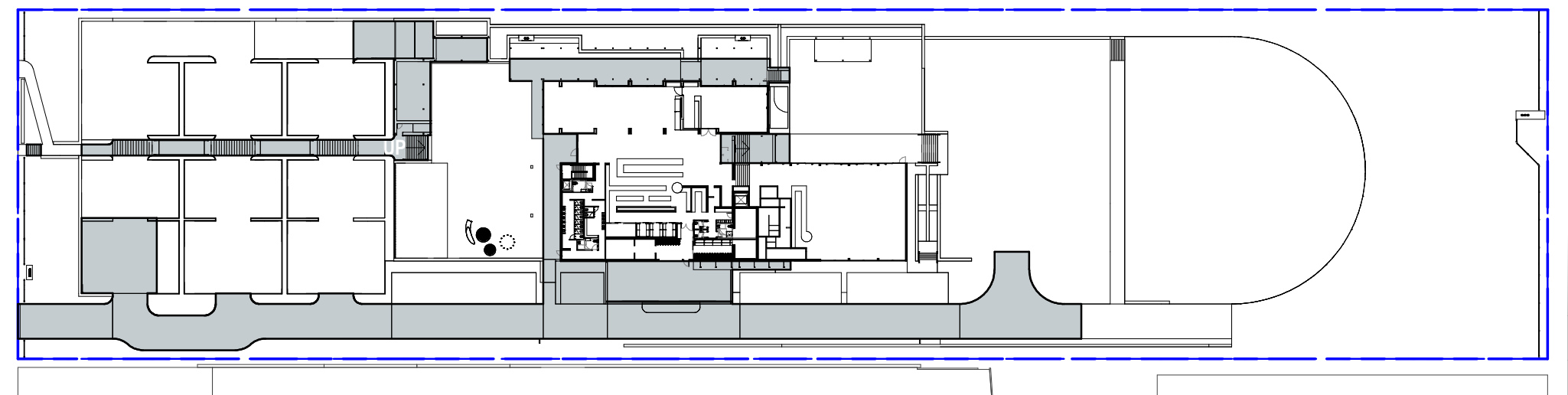
2 Site Cover Plan - Building Footprint at Finished Ground Level
1 : 1000



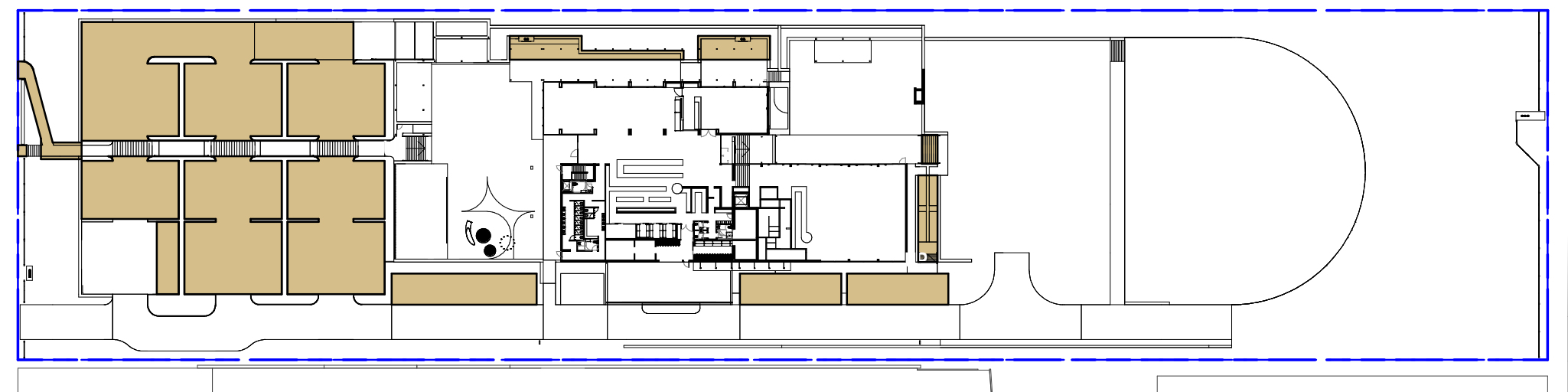
3 Site Cover Plan - Total Building Footprint
1 : 1000



4 Site Cover Plan - Open Landscape Area
1 : 1000



5 Site Cover Plan - Impermeable Area
1 : 1000



6 Site Cover Plan - Permeable Area
DA1-9010 1 : 1000

Area Legend

	Building Footprint at Finished Ground Level 1484m ² (9.2%)		Impermeable Area 2396m ² (15.0%)
	Total Building Footprint 3180m ² (19.9%)		Permeable Area 2527m ² (15.8%)
	Open Landscape Area 9314m ² (58.4%)		Additional Landscaping 247m ² (1.5%)

Total Area: 15960m²

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Rev Date Amendments

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Rev Date Amendments

Rev	Date	Amendments
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Humphrey & Edwards Pty Ltd | ABN 89056538227
Nominated Architect: Glenn Cunningham #6415

Project

40 Myoora Road

Client

Gardoxi P/L (Norwest)

Location

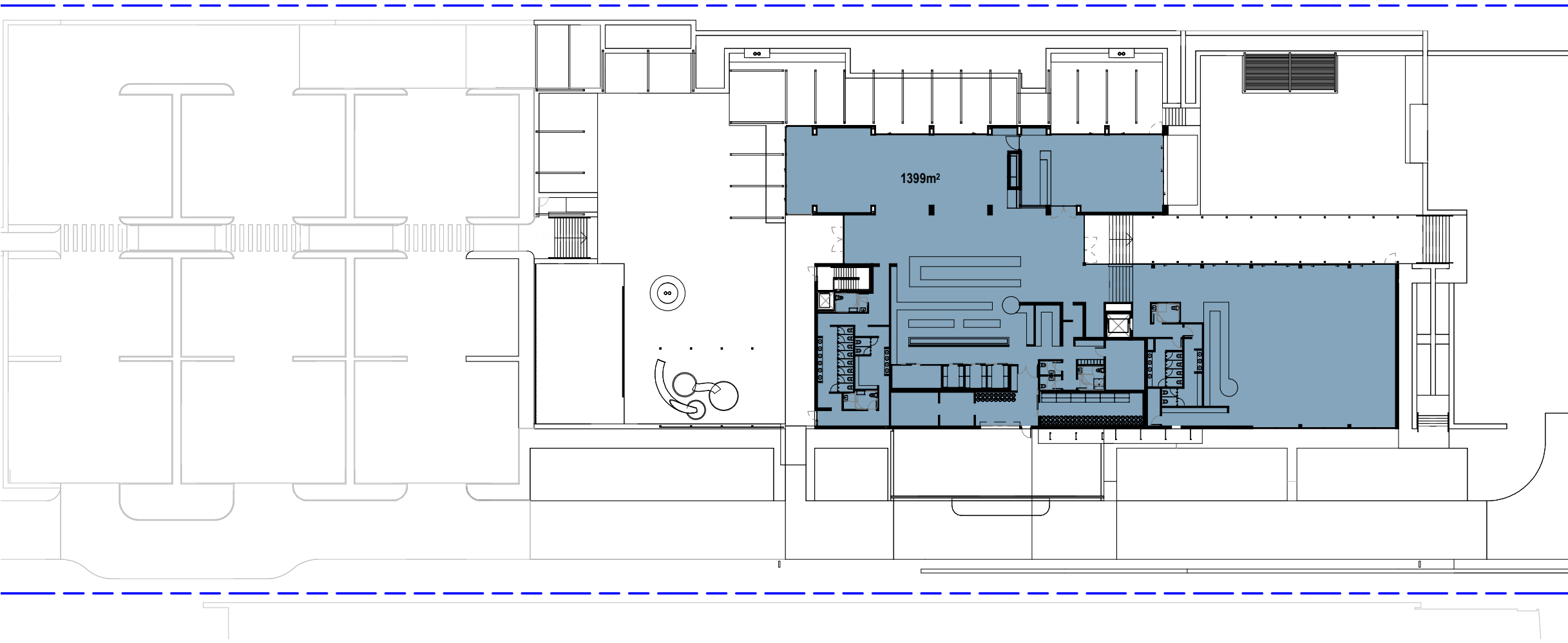
40 Myoora Road, Terrey Hills NSW 2084

Drawing

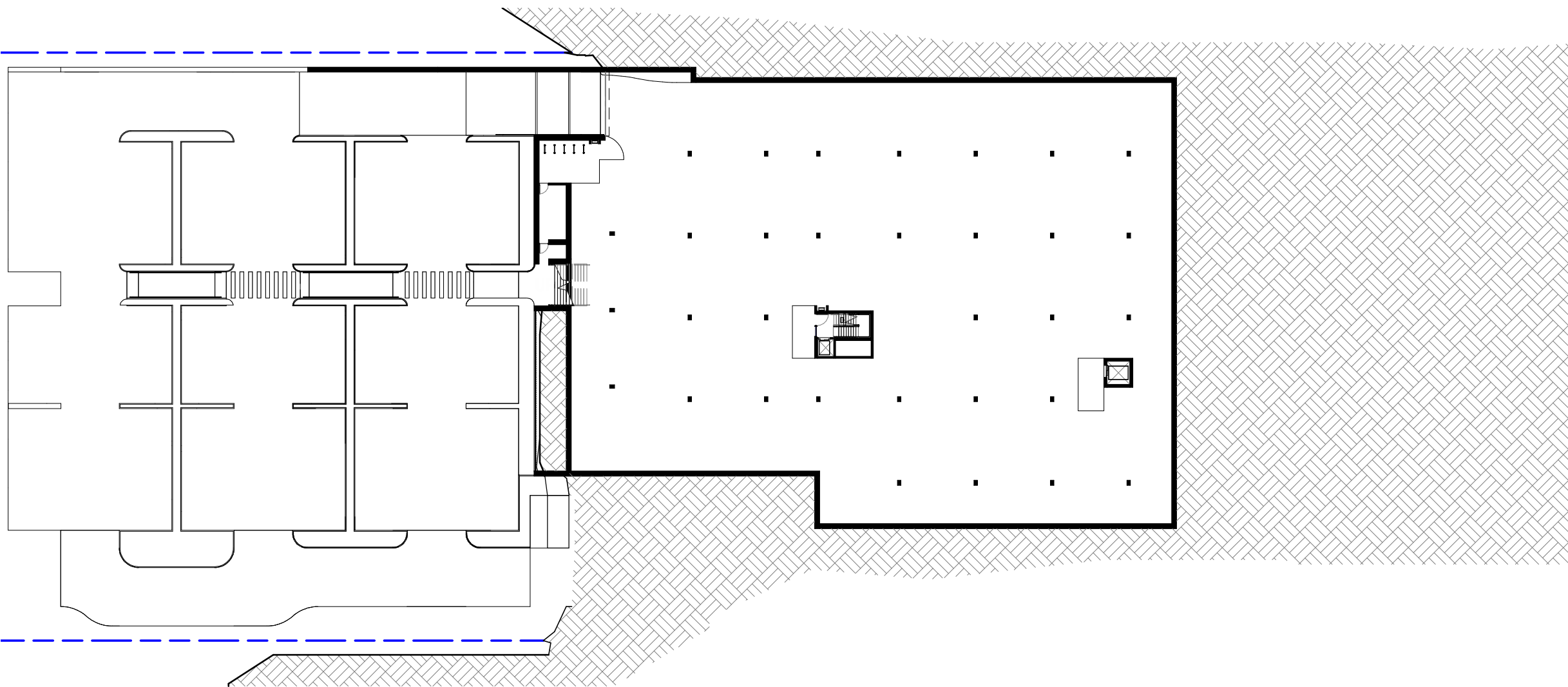
Site Cover Plan & Schedule - Proposed

For Development Approval

Scale @ A1	As indicated	Drawn by	Checked by
Scale @ A3	As indicated		
Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-9010	Rev	15



2 Gross Floor Area - Restaurant 01 & 02 - Proposed
DA1-9020 1 : 500



1 Gross Floor Area - Myoora Rd Venue Entry - Proposed
DA1-9020 1 : 500

Area Legend

GFA - Restaurant & Bar
1399m²

Total Site Area: 15960m²

Total GFA 1399m²
Total FSR 11.4%

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Project
40 Myoora Road

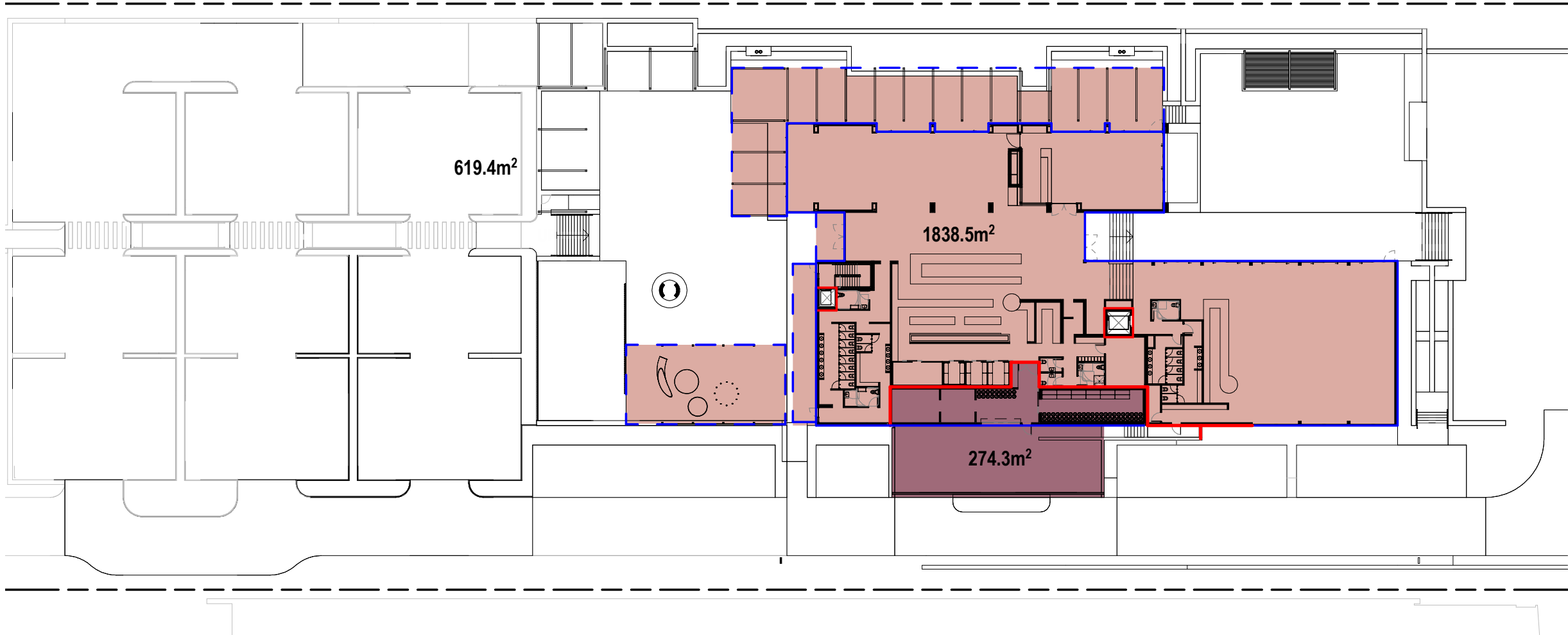
Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

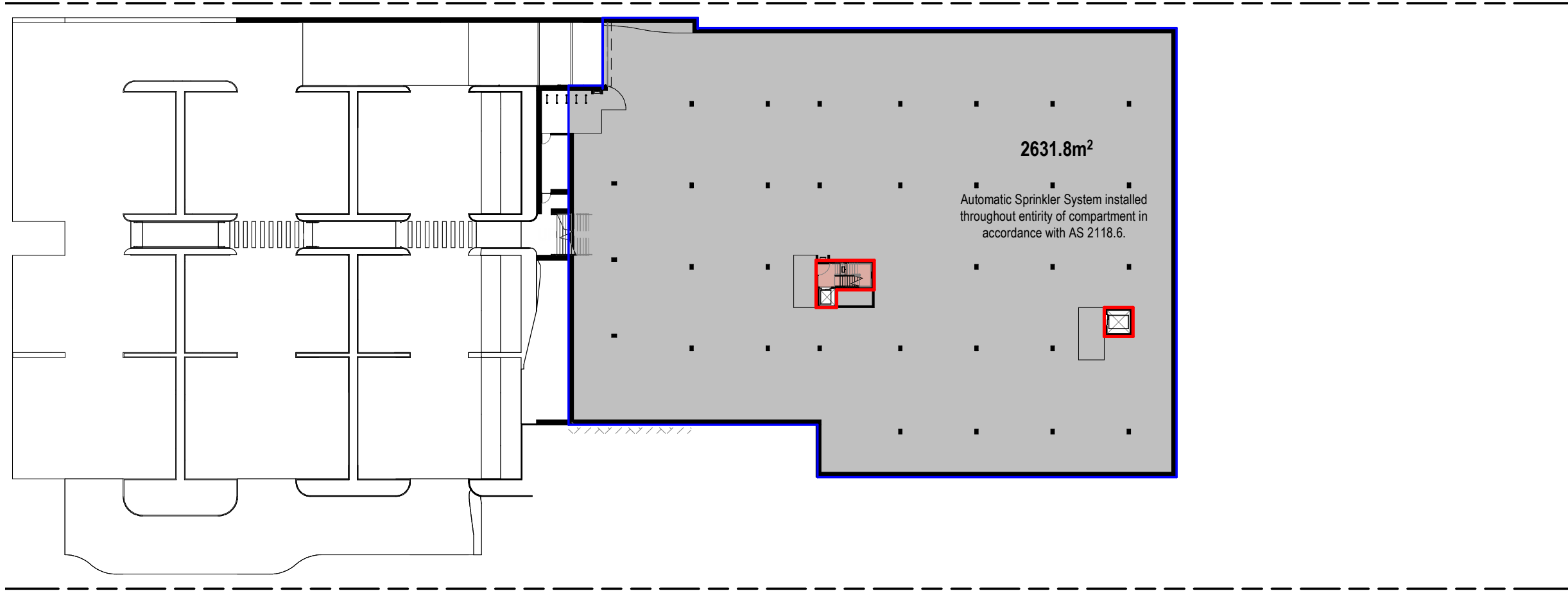
Drawing
Gross Floor Area Plan & Schedule - Proposed

For Development Approval

Scale @ A1	1:500	Drawn by	Checked by
Scale @ A3	1:1000		
Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-9020	Rev	09



2 Fire Compliance Diagram - Restaurant 01 & 02 - Proposed
DA1-9030 1 : 500



1 Fire Compliance Diagram - Myoora Rd Venue Entry - Proposed
DA1-9030 1 : 500

Area Legend

- Compartment 01
2631.8m²
Automatic Sprinkler System installed throughout entirety of compartment in accordance with AS 2118.6.
- Compartment 02
1838.5m²
- Compartment 03
274.3m²
- Line of Building
- Line of Awning Over
- Separation of Fire Compartments
In accordance with BCA Report

General Notes

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Rev	Date	Amendments
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Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road

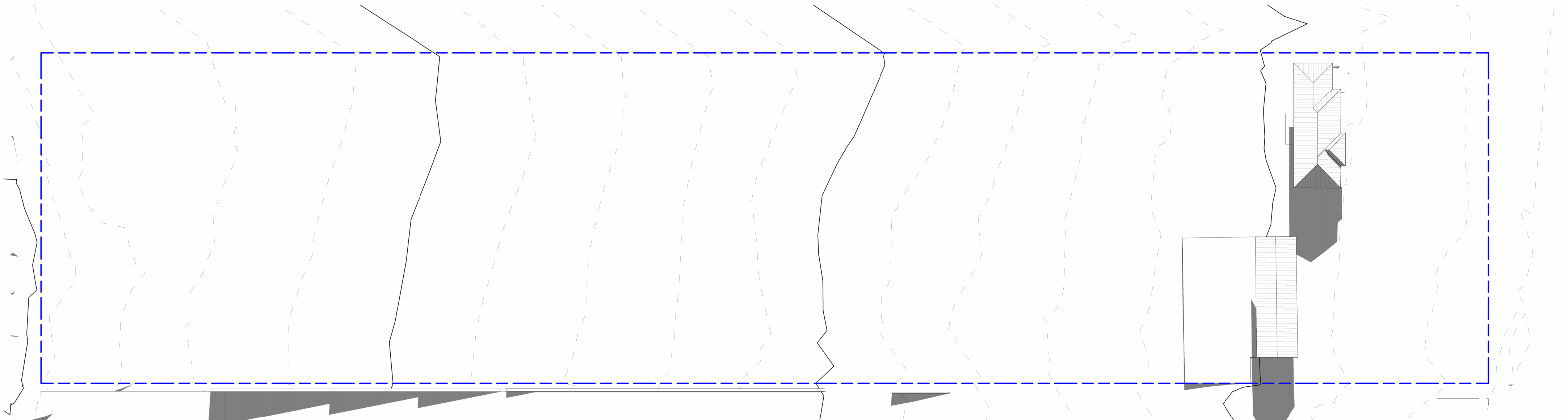
Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

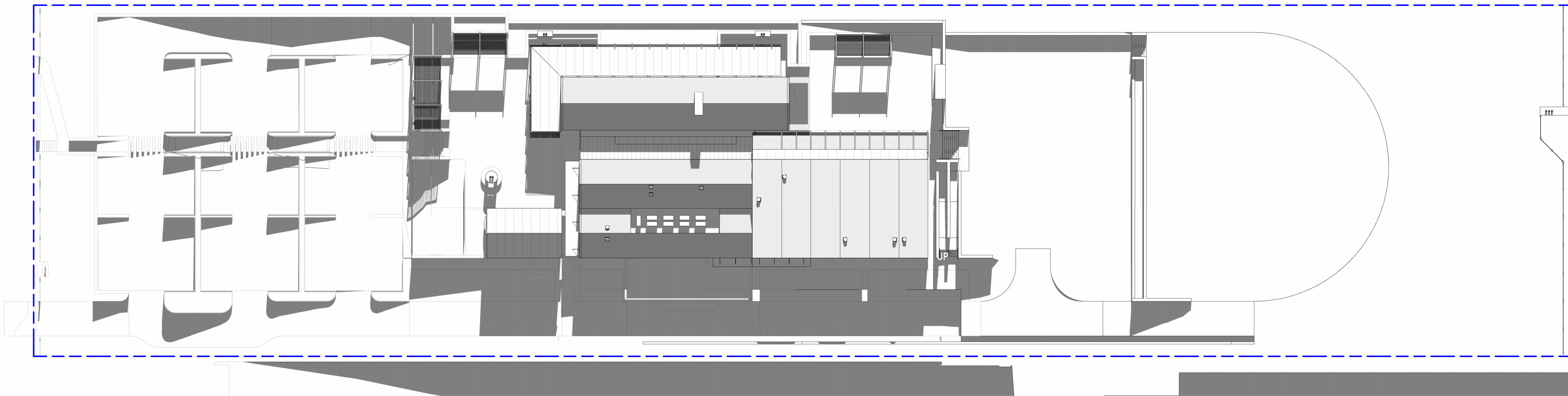
Drawing
Fire Compartmentation - Proposed

For Development Approval

Scale @ A1	1:500	Drawn by	Checked by
Scale @ A3	1:1000		
Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-9030	Rev	08



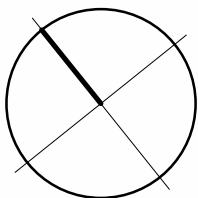
1 Existing Shadow Diagram
DA1-9200 1 : 500



2 Proposed Shadow Diagram
DA1-9200 1 : 500

General Notes

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Rev	Date	Amendments
09	28.03.25	Issue for Information
10	28.03.25	Issue for Information
11	07.04.25	For Development Approval: Amended Scheme

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Humphrey & Edwards Pty Ltd | ABN 89056538227
Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road

Client
Gardoxi P/L (Norwest)

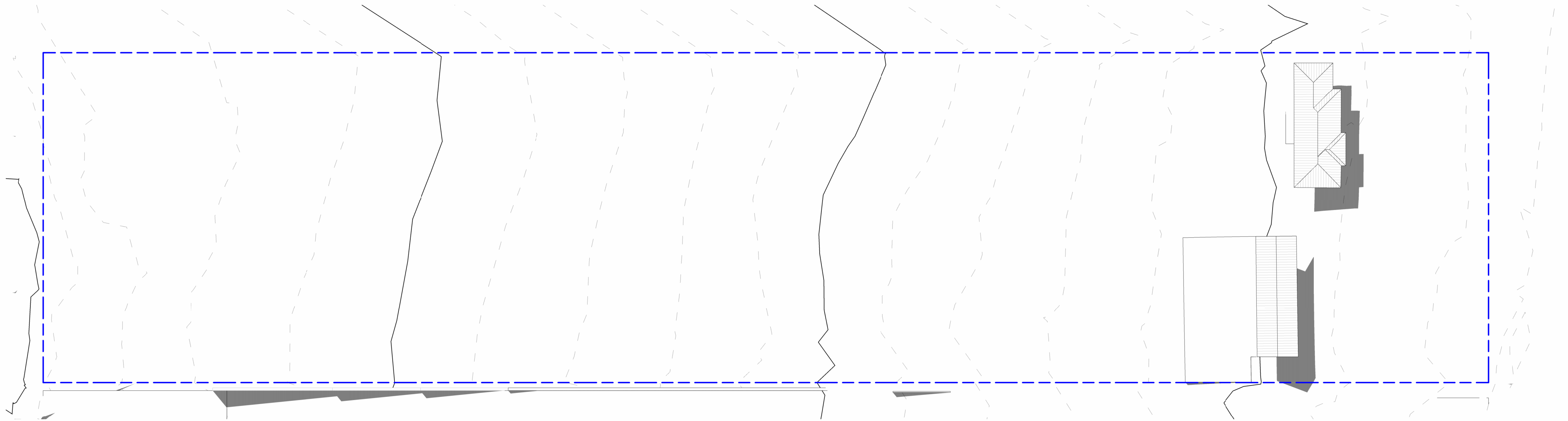
Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
Shadow Diagrams - Winter 21st June 9am

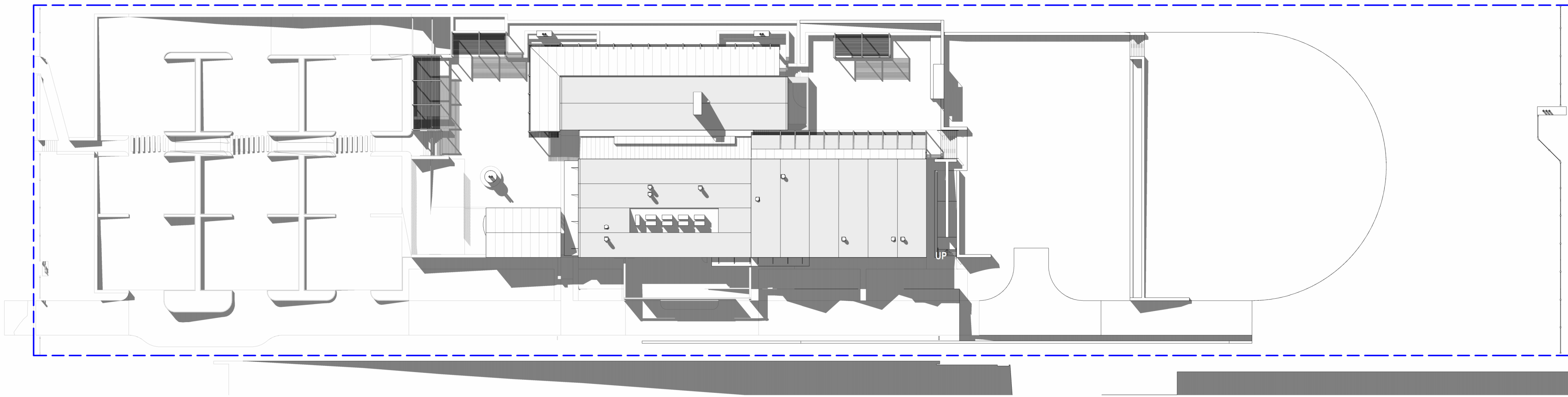
For Development Approval

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Scale @ A3	1:1000		
Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-9200	Rev	11

8/04/2025 5:40:50 PM



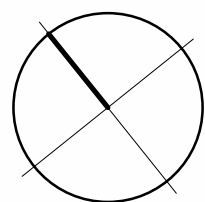
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DA1-9201 1:500



2 Proposed Shadow Diagram
DA1-9201 1:500

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Location

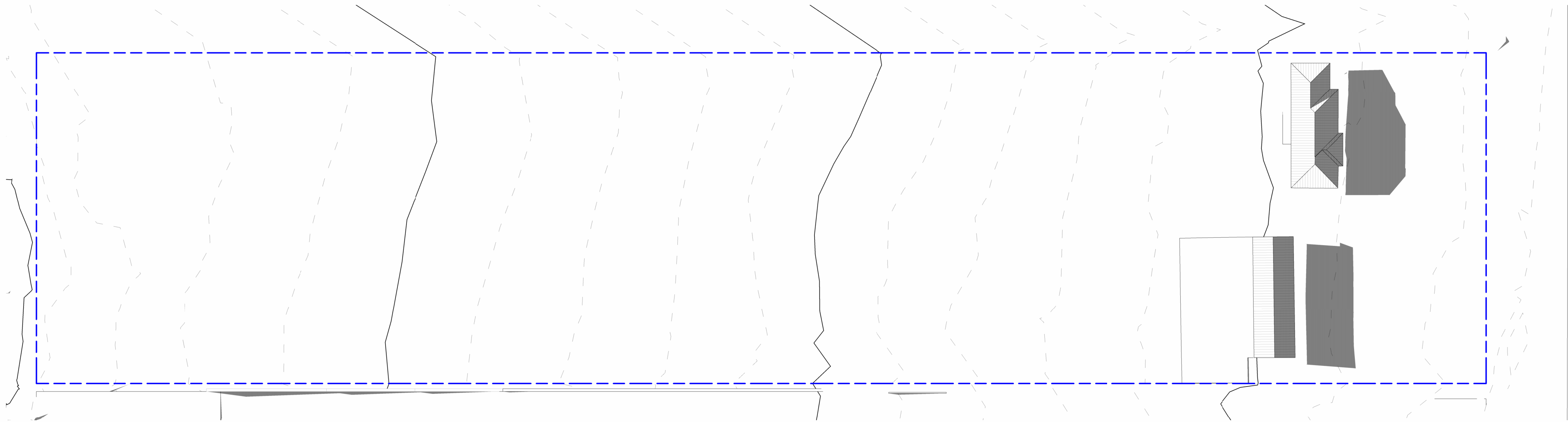
40 Myoora Road, Terrey Hills NSW 2084

Drawing

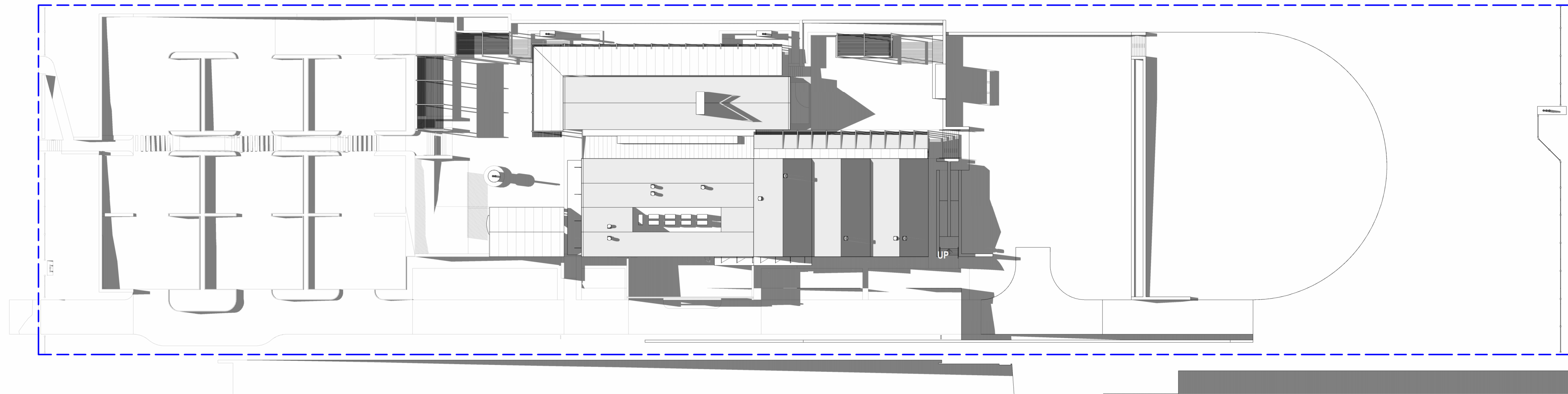
Shadow Diagrams - Winter 21st June 12pm

For Development Approval

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Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-9201	Rev	11



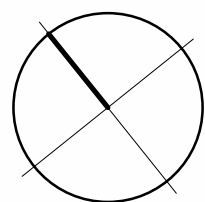
1 Existing Shadow Diagram
DA1-9202 1 : 500



2 Proposed Shadow Diagram
DA1-9202 1 : 500

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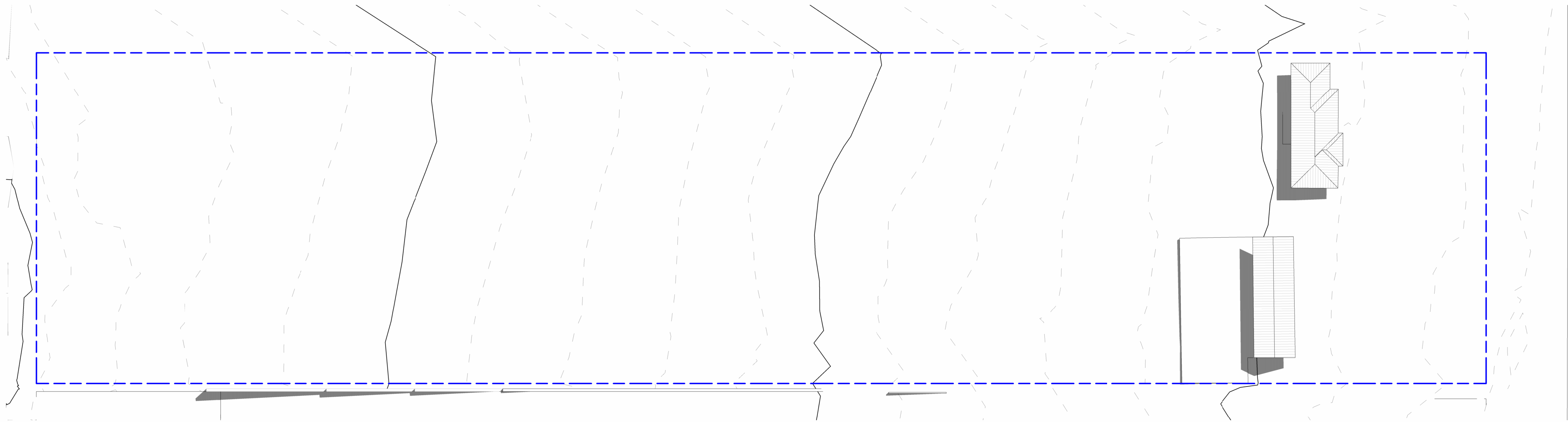
Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

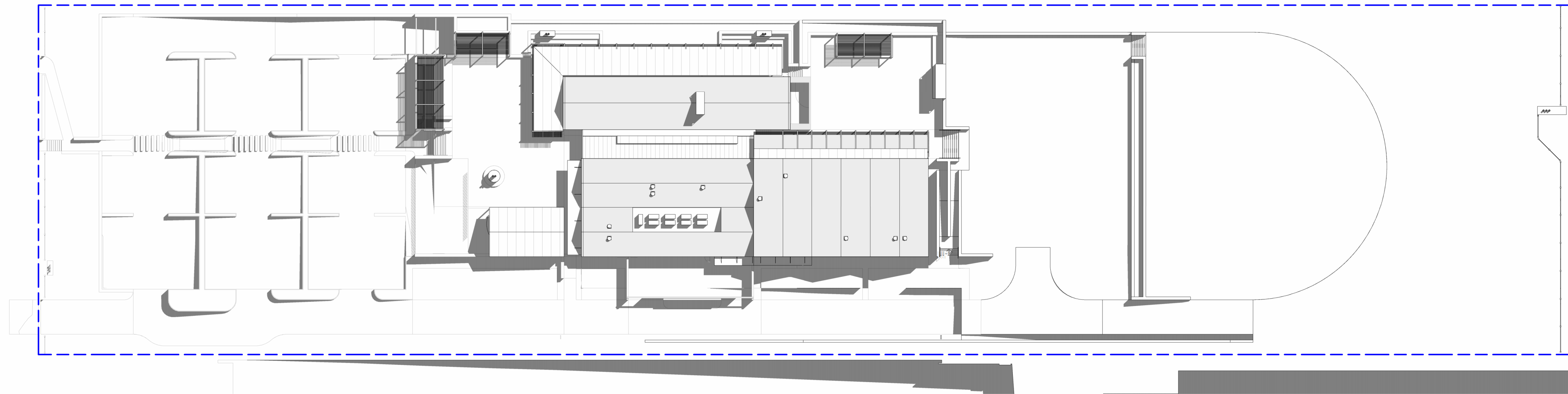
Drawing
Shadow Diagrams - Winter 21st June 3pm

For Development Approval

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Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-9202	Rev	11



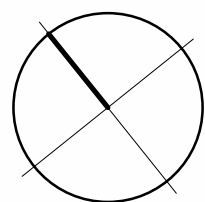
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DA1-9203 1:500



2 Proposed Shadow Diagram
DA1-9203 1:500

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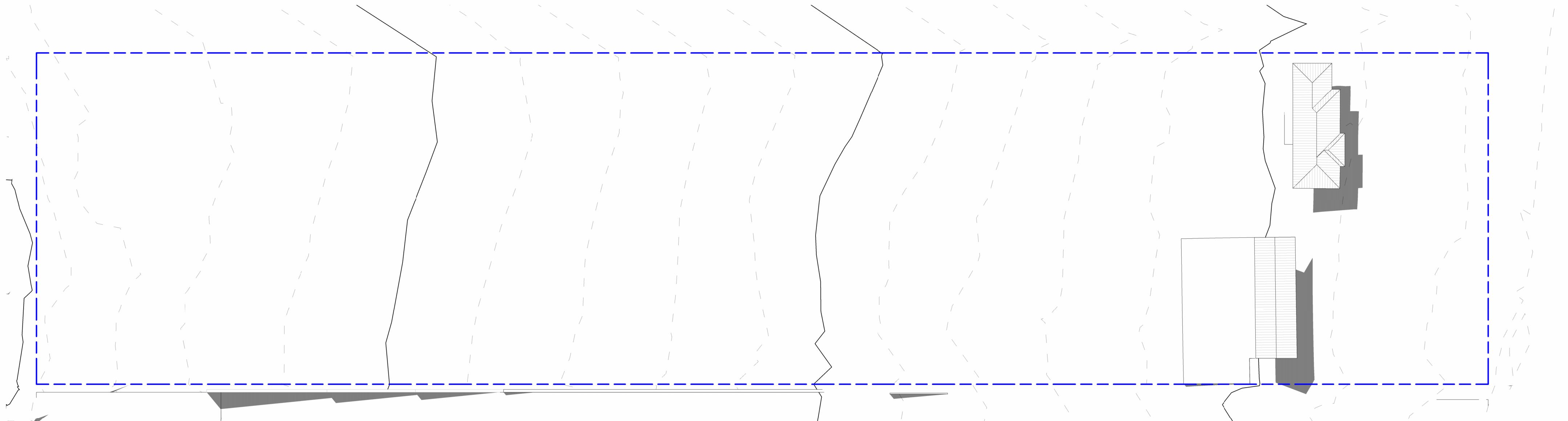
Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
Shadow Diagrams - Summer 21st December 9am

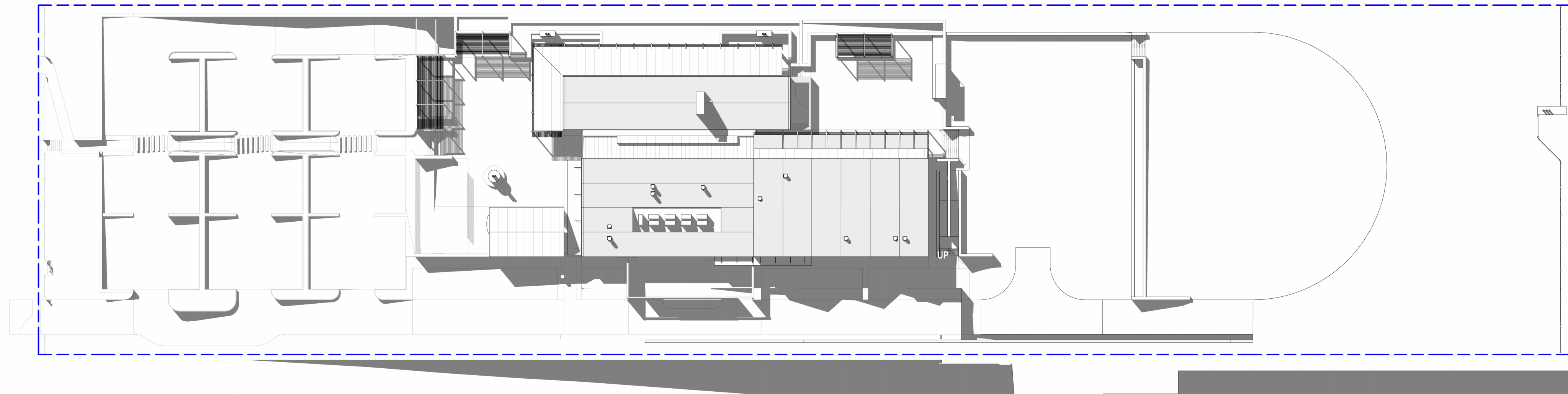
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Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-9203	Rev	11

8/04/2025 5:42:16 PM



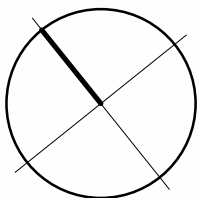
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DA1-9204 1 : 500



2 Proposed Shadow Diagram
DA1-9204 1 : 500

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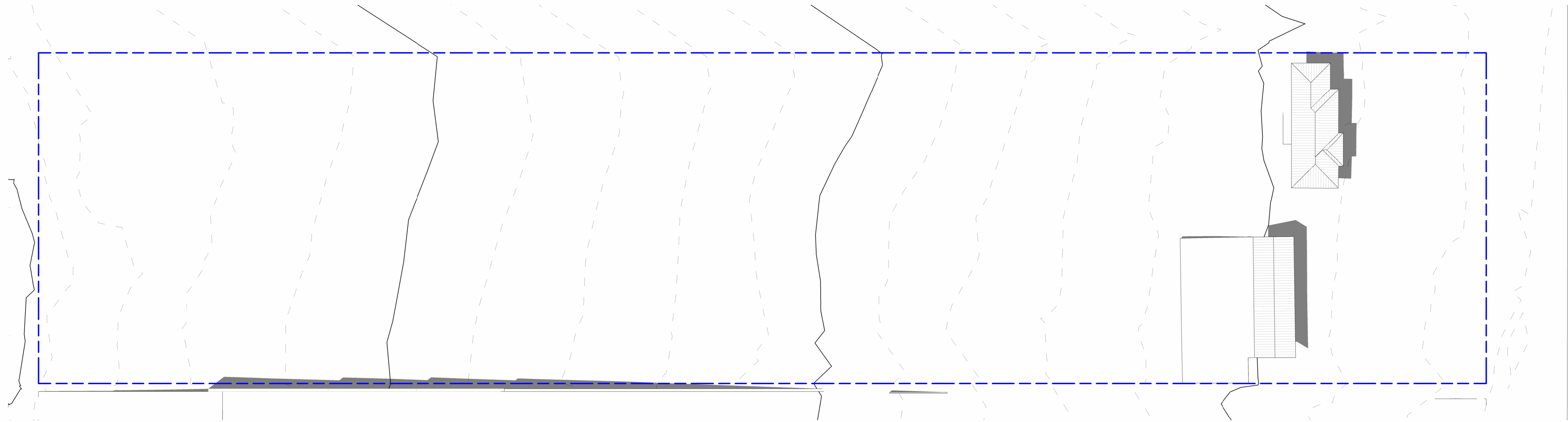
Client
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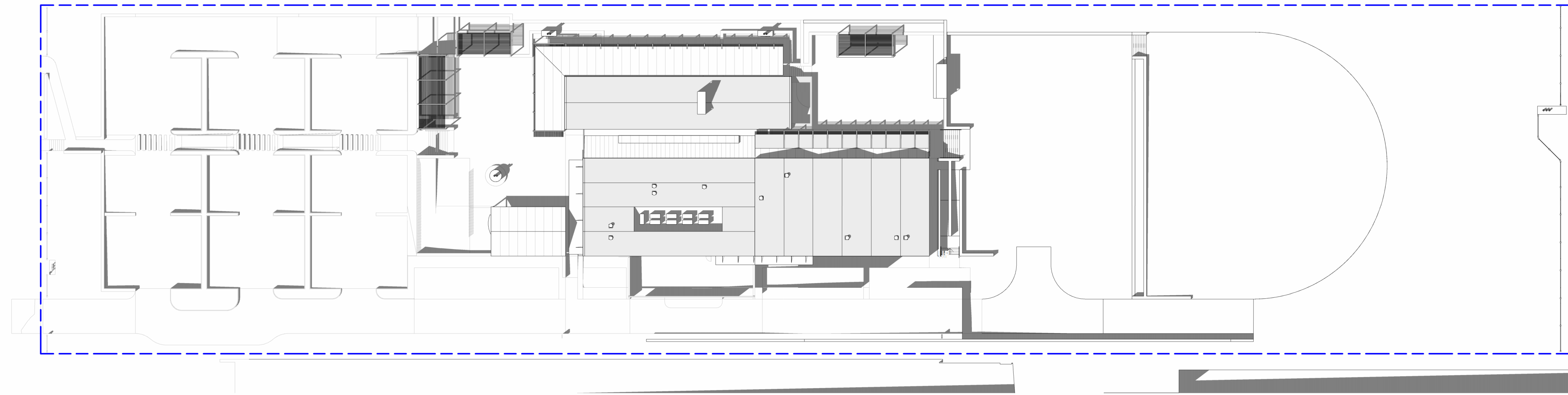
Drawing
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Project Start Date	Issue Date	Sheet Issue Date	07/04/25
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Drawing #	DA1-9204	Rev	11



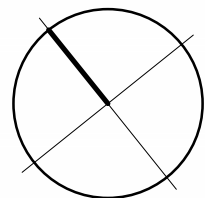
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DA1-9205 1 : 500



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