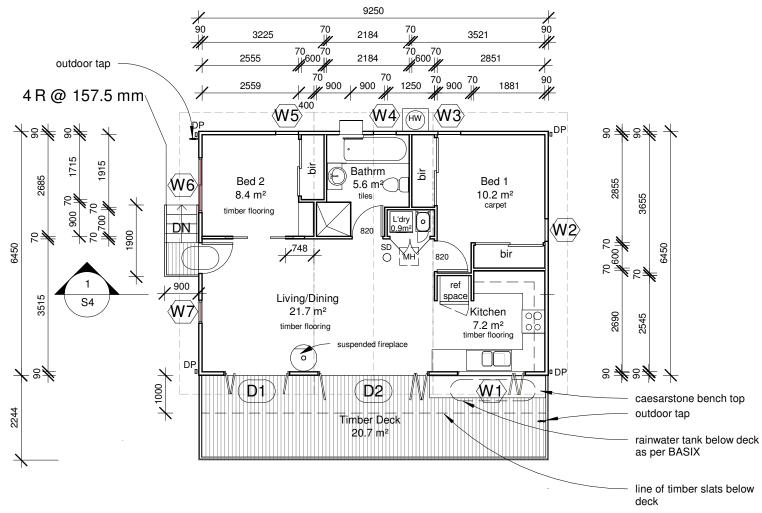
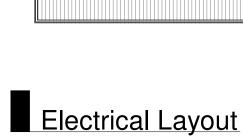


DATE ISSUED



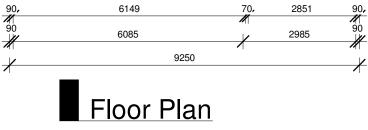




(

1:100

ΦN



1:100

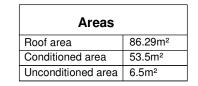
Area Sch	edule
Name	Area
Proposed Granny Flat	59.6625 m²

Legend

- SA Smoke alarm. Installed as per AS3786 Smoke alarm must be connected to mains power where consumer power is supplied to the building.
- DP 100 x 50 downpipe

MH Roof access panel in ceiling.

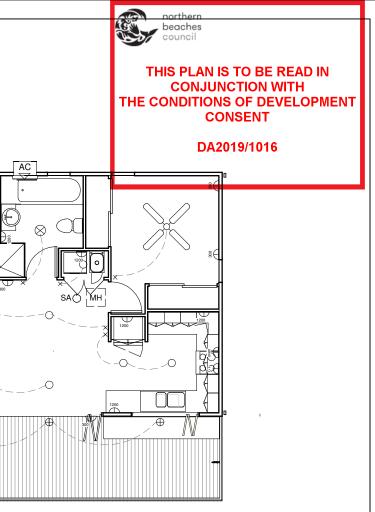
Table of finishes			
External wall	James Hardie weatherboard - Dune		
Roof	Corrugated steel sheeting - Woodland Grey		
Roof barge	Timber		
Fascia	Timber		
Bifold doors	Timber - White		
Windows	Timber - White		



							ELECT	RICAL LEGEND
		W	indow	Schedule				TV outlet
Mark	Window Style	Height	Width	Mate	rial	Area	300	Double general purpose outlet
W1	Bifold	1430	1800	Painted timber		2.57 m ²	1200	Double general purpose outlet numerical figures denotes height AFFL
W2	Louvre	1800	600	Painted timber		1.08 m ²		Double general purpose outlet numerical figures denotes height AFFL
W3	Louvre	1800	600	Painted timber		1.08 m ²	CT (6 6
W4	Louvre	1800	600	Painted timber		1.08 m ²		Cooktop circuit
W5	Louvre	1800	600	Painted timber		1.08 m ²		Cooktop circuit
W6	Sliding	1200	1450	Painted timber		1.74 m ²	×	Light switch outlet
W7	Sliding	1800	610	Painted timber		1.10 m ²		Ceiling light outlet
otal Area	a			·	·	9.73 m ²	0	0.0
							\oplus	External light
]	SA 🔿	Smoke alarm
		Glaz	zed Do	oor Schedule			Ţ	Telephone outlet
	D 0:1						AC	Airconditioning connection point
Mark	Door Style	Heigh			aterial	Area	\bigtriangledown	
D1	Bifold	2350			-	4.09 m ²	\otimes	IXL 3 in 1
D2	Bifold	2350	-					>
D3	External Door	2350	81	3 Painted timbe	r	1.91 m ²		Ceiling fan with light
otal Area	a					12.91 m ²		
OTAL	GLAZED AREA: 20	.73m²						>
	16.05.19 For Approval				Duanaaad			
	16.10.18 Window amend	Proposed (srann)		Granny Flat		Floor Plan		
	10.09.18 Site location an	nended			1			
	10.09.18 Minor amends	2	1.08.19	New door	PROJECT	: LOT 37 SE		
	30.08.18 Floor level & mind	or amends 2	0.08.19	Amends to decks		10 THE ESPL	•	Scale As Shown (A3)
	22.08.18 Client Sign Off			Amends to decks	· · ·		•	Date MAY 2019 S2
				001150				Durana hua DO

							ı [ELEC	TRICAL LEGEND
		١	Vindow	v Schedule					TV outlet
Mark	Window Style	Height	Width	n Mate	erial	Area		300	Double general purpose outlet
W1	Bifold	1430	1800	Painted timber		2.57 m ²		1200	numerical figures denotes height AFFL
W2	Louvre	1800	600	Painted timber		1.08 m ²	1	Ē	Double general purpose outlet numerical figures denotes height AFFL
W3	Louvre	1800	600	Painted timber		1.08 m ²	1	ст	
W4	Louvre	1800	600	Painted timber		1.08 m ²			Cooktop circuit
W5	Louvre	1800	600	Painted timber		1.08 m ²]		Cooktop circuit
W6	Sliding	1200	1450	Painted timber		1.74 m²		×	Light switch outlet
W7	Sliding	1800	610	Painted timber		1.10 m ²		\cap	Ceiling light outlet
otal Area	a					9.73 m ²		0	0.0
							_	\oplus	External light
							- I	SAO	Smoke alarm
		Gla	azed D	oor Schedule				,⊤ √	Telephone outlet
Mark	Door Style	Heiç	ht Wi	dth M	aterial	Area	-		Airconditioning connection point
D1	Bifold	235	0 17	40 Painted timbe	r	4.09 m ²	1	\otimes	IXL 3 in 1
D2	Bifold	235	0 29	40 Painted timbe	Painted timber 6.91 m ²		1		γ
D3	External Door	235	0 8	13 Painted timbe	r 1.91 m ²				
otal Area	a					12.91 m ²	1		Ceiling fan with light
OTAL	GLAZED AREA	: 20.73m²							5
	16.05.19 For App	oval			Broposed	Grappy Elet			
	16.10.18 Window	amends			Proposed Granny Flat			Floor Plan	
	10.09.18 Site loca	tion amended]				
	10.09.18 Minor an		21.08.19	New door] PROJECT	: LOT 37 S	EC. D,		Scale As Shown (A3)
	30.08.18 Floor leve		20.08.19	Amends to decks	DP 7090	10 THE ESP			
	22 08 18 Client S	an Off	07 08 19	Amonds to docks	 ,			-,	Date MAY 2019 S2

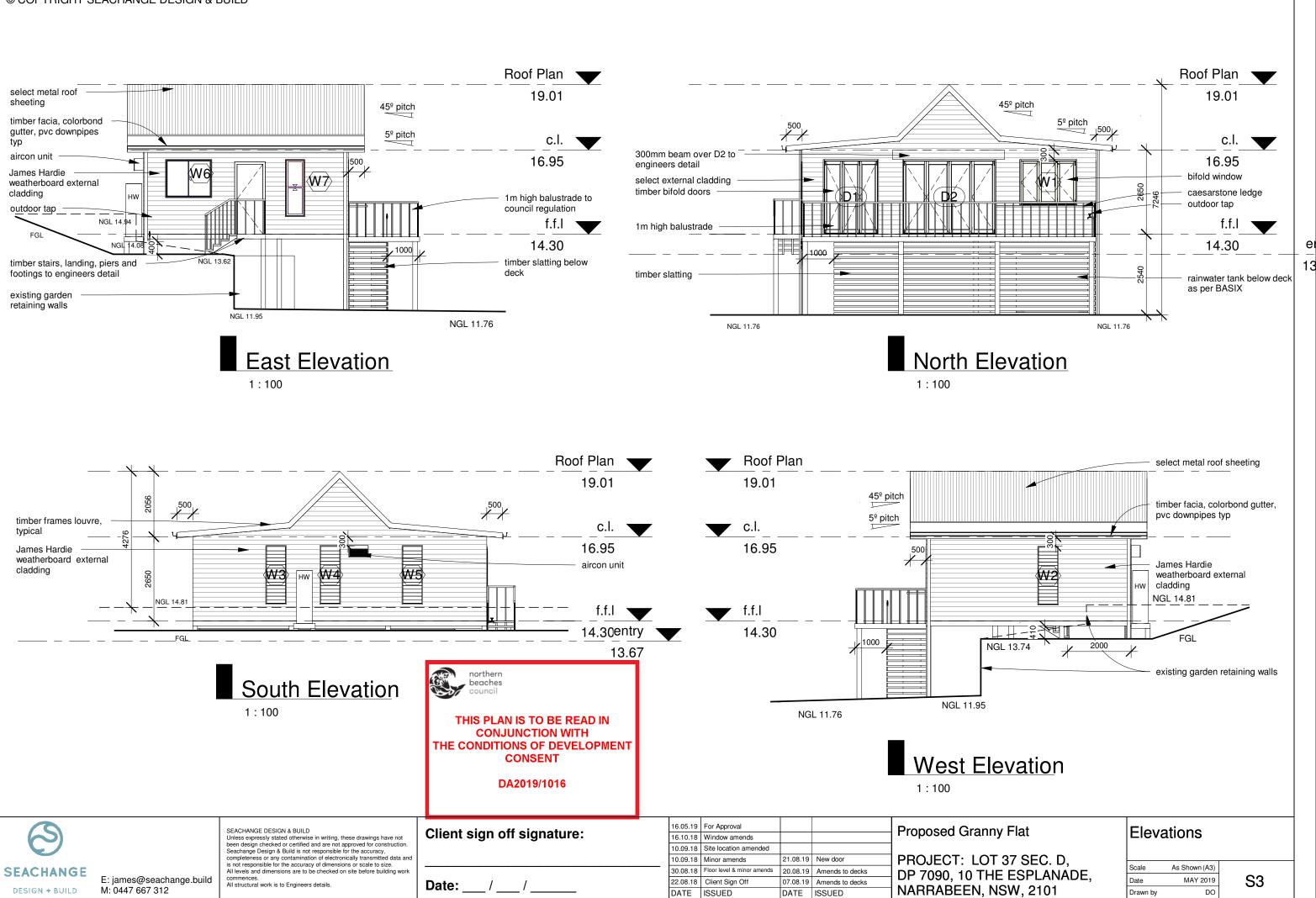
	0		SEACHANGE DESIGN & BUILD	Client sign off signatures	16.05.19	For Approval			Proposed Granny Flat
	\sim		Unless expressly stated otherwise in writing, these drawings have not been design checked or certified and are not approved for construction.	0 0		Window amends			
			Seachange Design & Build is not responsible for the accuracy,		10.09.18	Site location amended			
			completeness or any contamination of electronically transmitted data and is not responsible for the accuracy of dimensions or scale to size.		10.09.18	Minor amends	21.08.19	New door	PROJECT: LOT 37 SEC. D.
	SEACHANGE		All levels and dimensions are to be checked on site before building work		30.08.18	Floor level & minor amends	20.08.19	Amends to decks	DP 7090, 10 THE ESPLANA
		E: james@seachange.build	commences. All structural work is to Engineers details.	Date: / /	22.08.18	Client Sign Off	07.08.19	Amends to decks	, ,
DESIGN + BUILD M: 0447 667 312	M: 0447 667 312	Ĵ		DATE	ISSUED	DATE	ISSUED	NARRABEEN, NSW, 2101	



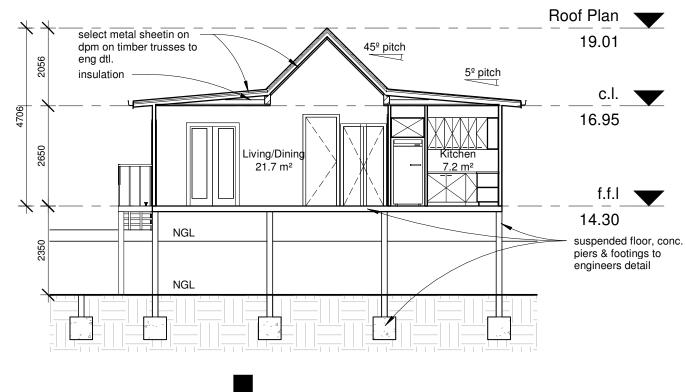
Drawn by

DO





		SEACHANGE DESIGN & BUILD	Oliont sinn off sinnstrums	16.05.19	For Approval		
\sim		Unless expressly stated otherwise in writing, these drawings have not	Client sign off signature:	16.10.18	Window amends		
		been design checked or certified and are not approved for construction. Seachange Design & Build is not responsible for the accuracy,		10.09.18	Site location amended		
		completeness or any contamination of electronically transmitted data and is not responsible for the accuracy of dimensions or scale to size.		10.09.18	Minor amends	21.08.19	New doo
SEACHANGE		All levels and dimensions are to be checked on site before building work		30.08.18	Floor level & minor amends	20.08.19	Amends
	E: james@seachange.build	commences. All structural work is to Engineers details.	Date: / /	22.08.18	Client Sign Off	07.08.19	Amends
DESIGN + BUILD	M: 0447 667 312	3		DATE	ISSUED	DATE	ISSUE



Section 1 1:100



North West Elevation



SEACHANGE DESIGN & BUILD Unless expressly stated otherwise in writing, these drawings have not been design checked or certified and are not approved for construction. Seachange Design & Build is not responsible for the accuracy, completeness or any contamination of electronically transmitted data and is not responsible for the accuracy of dimensions or scale to size. All levels and dimensions are to be checked on site before building work commences. commences. All structural work is to Engineers details.

Client sign off signature:

Date:

Propose			For Approval	16.05.19
Tropose			Window amends	16.10.18
			Site location amended	10.09.18
PROJEC	New door	21.08.19	Minor amends	10.09.18
DP 7090	Amends to decks	20.08.19	Floor level & minor amends	30.08.18
	Amends to decks	07.08.19	Client Sign Off	22.08.18
NARRA	ISSUED	DATE	ISSUED	DATE
-				

CT: LOT 37 SEC. D, 0, 10 THE ESPLANADE, BEEN, NSW, 2101

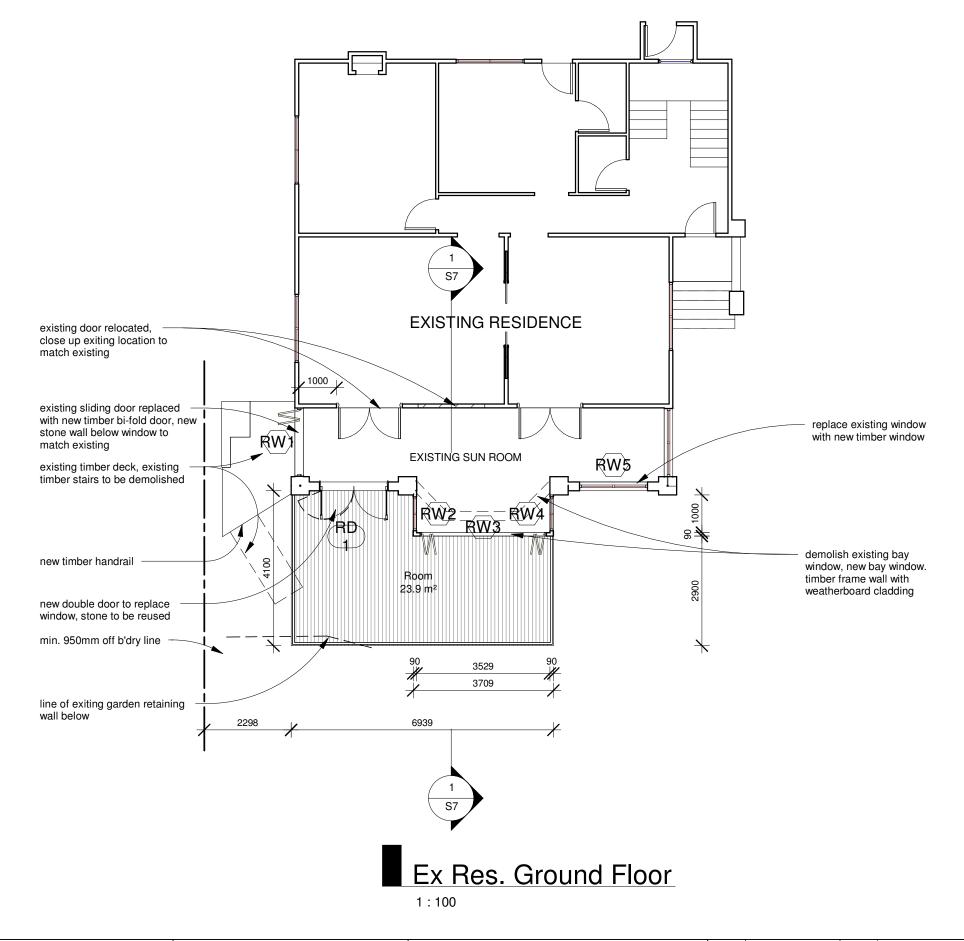


ed Granny Flat

Sect	ion
Scale	As Shown (A3)
Date	MAY 2019

Drawn by

DO



		SEACHANGE DESIGN & BUILD Unless expressly stated otherwise in writing, these drawings have not	Client sign off signature:		Amends to decks Amends to decks			Proposed Granny
		been design checked or certified and are not approved for construction. Seachange Design & Build is not responsible for the accuracy, completeness or any contamination of electronically transmitted data and		L	For Approval Bay window cladded			PROJECT: LOT:
SEACHANGE	E: james@seachange.build	All Structural Work is to Engineers details.			Bay window amended Client Sign Off			DP 7090, 10 THE
DESIGN + BUILD	M: 0447 667 312			DATE	ISSUED	DATE	ISSUED	



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/1016

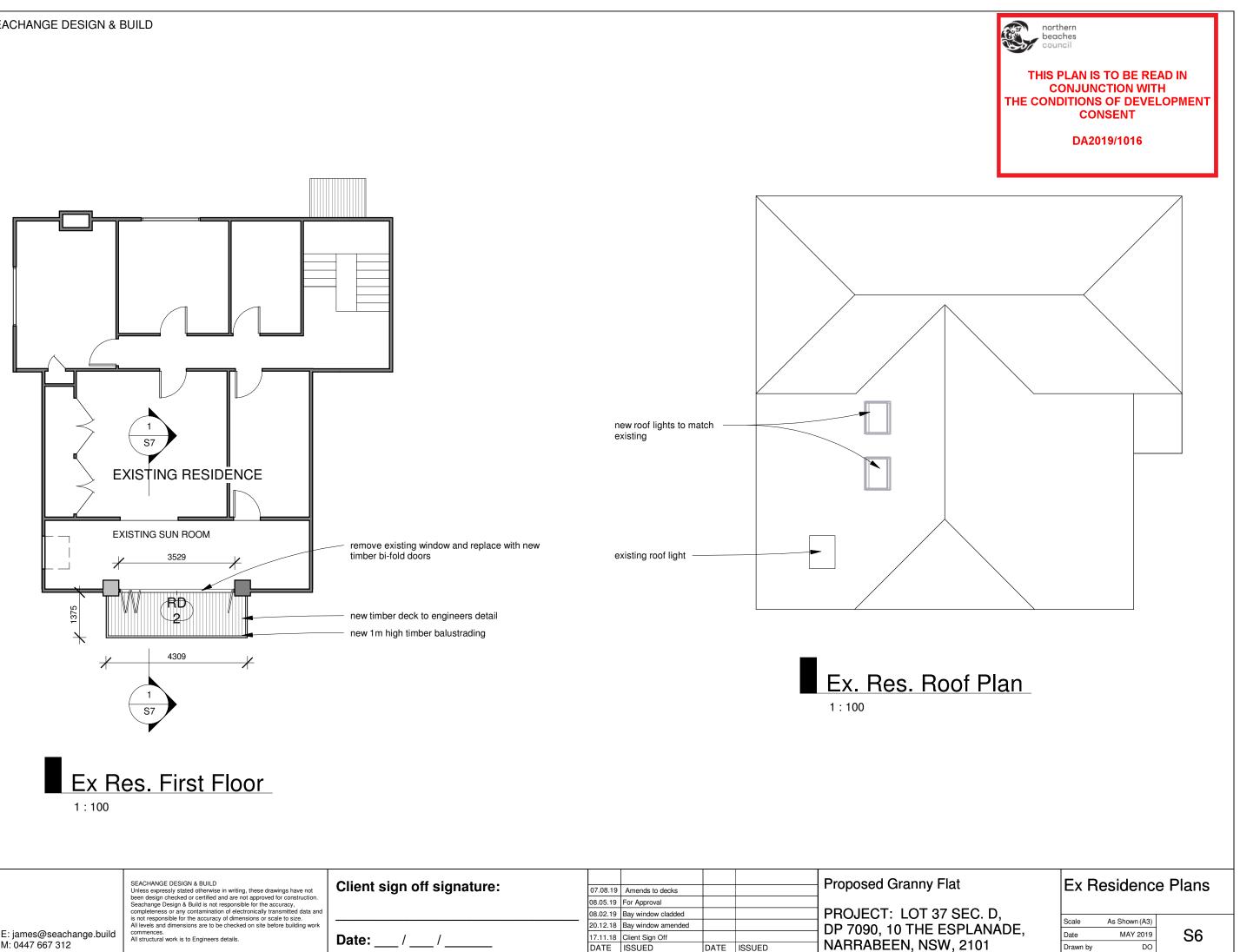
ny Flat

T 37 SEC. D, HE ESPLANADE, NSW, 2101

Ex. Residence Plans

Scale	As Shown (A3)	
Date	MAY 2019	
Drawn by	DO	

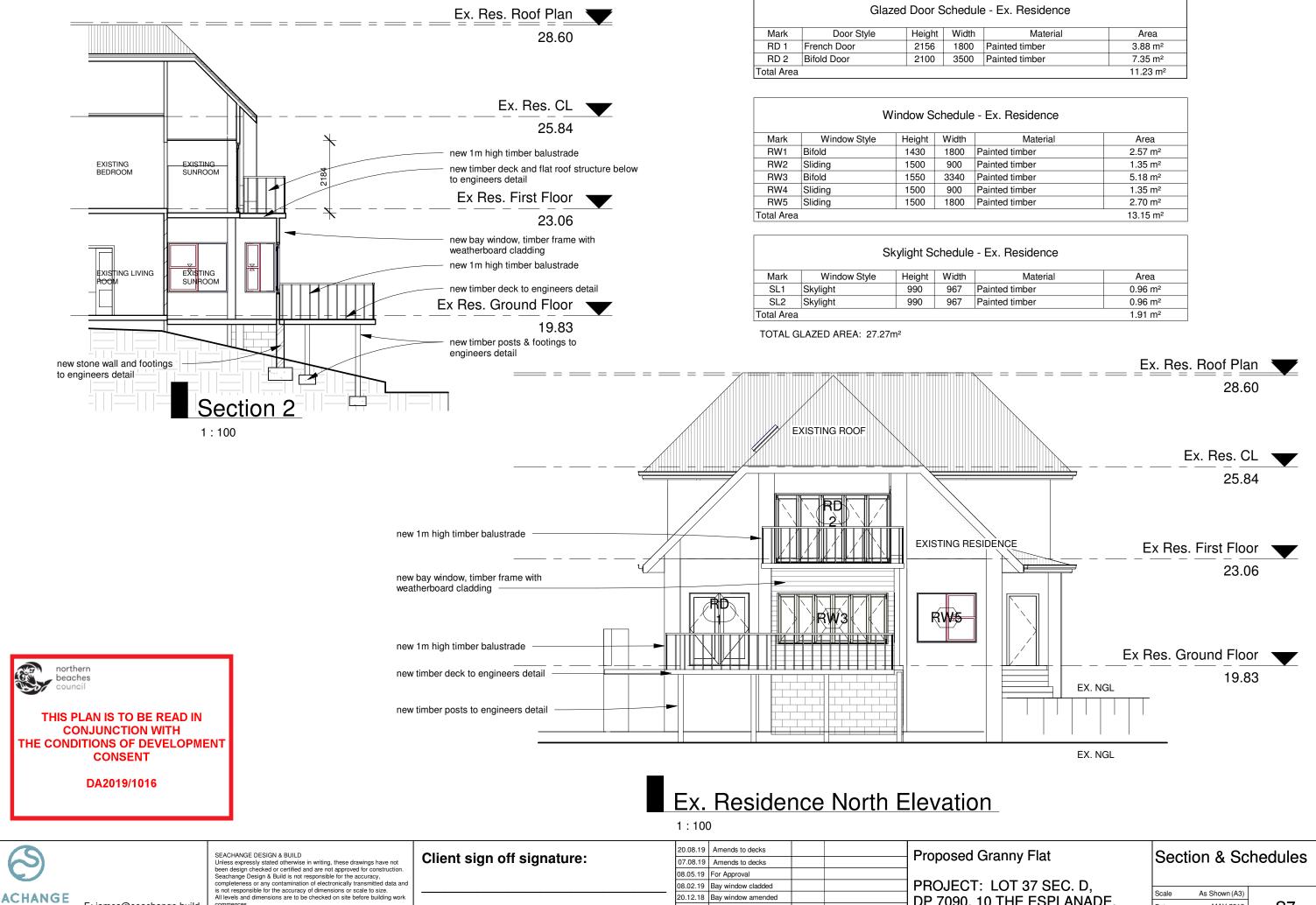




\odot		SEACHANGE DESIGN & BUILD Unless expressly stated otherwise in writing, these drawings have not been design checked or certified and are not approved for construction. Seachange Design & Build is not responsible for the accuracy, completeness or any contamination of electronically transmitted data and is not responsible for the accuracy of dimensions or scale to size.	08.05.19	Amends to decks For Approval Bay window cladded			Proposed Granny I PROJECT: LOT 3
SEACHANGE	E: james@seachange.build	All levels and dimensions are to be checked on site before building work commences.		Bay window amended			DP 7090, 10 THE
DESIGN + BUILD	M: 0447 667 312	All structural work is to Engineers details.		Client Sign Off ISSUED	DATE I	SSUED	NARRABEEN, NS

Drawn by

© COPYRIGHT SEACHANGE DESIGN & BUILD



SEACHANGE E: james@seachange.build DESIGN + BUILD M: 0447 667 312

commences. All structural work is to Engineers details.

Date:

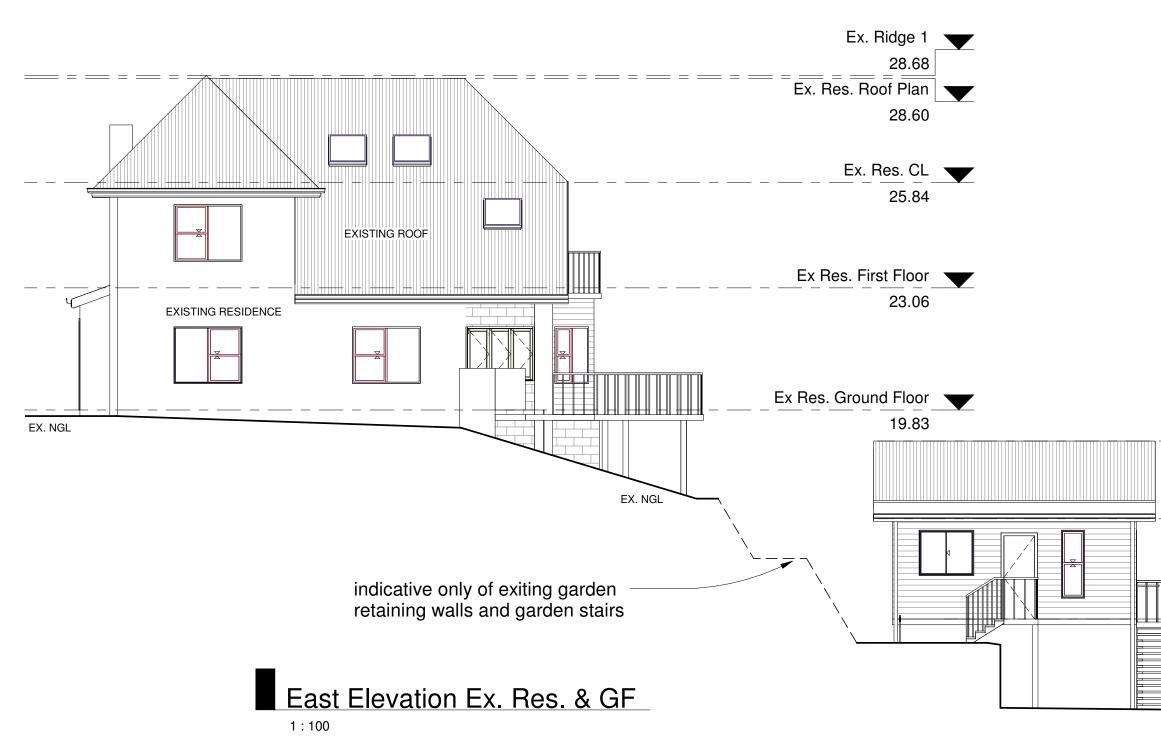
PROJECT: LOT 08.02.19 Bay window cladded 20.12.18 Bay window amended DP 7090, 10 TH 17.11.18 Client Sign Off NARRABEEN, N DATE ISSUED DATE ISSUED

. Residence			
Material	Area		
ed timber	3.88 m ²		
ed timber	7.35 m ²		
	11.23 m ²		

Residence					
Material	Area				
timber	2.57 m ²				
timber	1.35 m ²				
timber	5.18 m ²				
timber	1.35 m ²				
timber	2.70 m ²				
	13.15 m ²				

Material	Area
timber	0.96 m ²
timber	0.96 m ²
	1.91 m ²

ny Flat	Section & Schedules						
T 37 SEC. D,	Scale	As Shown (A3)					
IE ESPLANADE,	Date	MAY 2019	S7				
NSW, 2101	Drawn by	DO					



0		SEACHANGE DESIGN & BUILD		20.08.19	Amends to decks			Proposed Granny	
\sim		Unless expressly stated otherwise in writing, these drawings have not	Client sign off signature:	07.08.19	Amends to decks			Filliposed Granny	
		been design checked or certified and are not approved for construction. Seachange Design & Build is not responsible for the accuracy,		08.05.19	For Approval			1	
		completeness or any contamination of electronically transmitted data and is not responsible for the accuracy of dimensions or scale to size.		08.02.19	Bay window cladded			PROJECT: LOT :	
SEACHANGE		All levels and dimensions are to be checked on site before building work		20.12.18	Bay window amended			DP 7090, 10 THE	
	E: james@seachange.build	commences. All structural work is to Engineers details.	Date: / /	17.11.18	Client Sign Off	21.08.19	New door		
DESIGN + BUILD	M: 0447 667 312	, , , , , , , , , , , , , , , , , , ,	Dute: / /		DATE	ISSUED	DATE	ISSUED	NARRABEEN, NS

