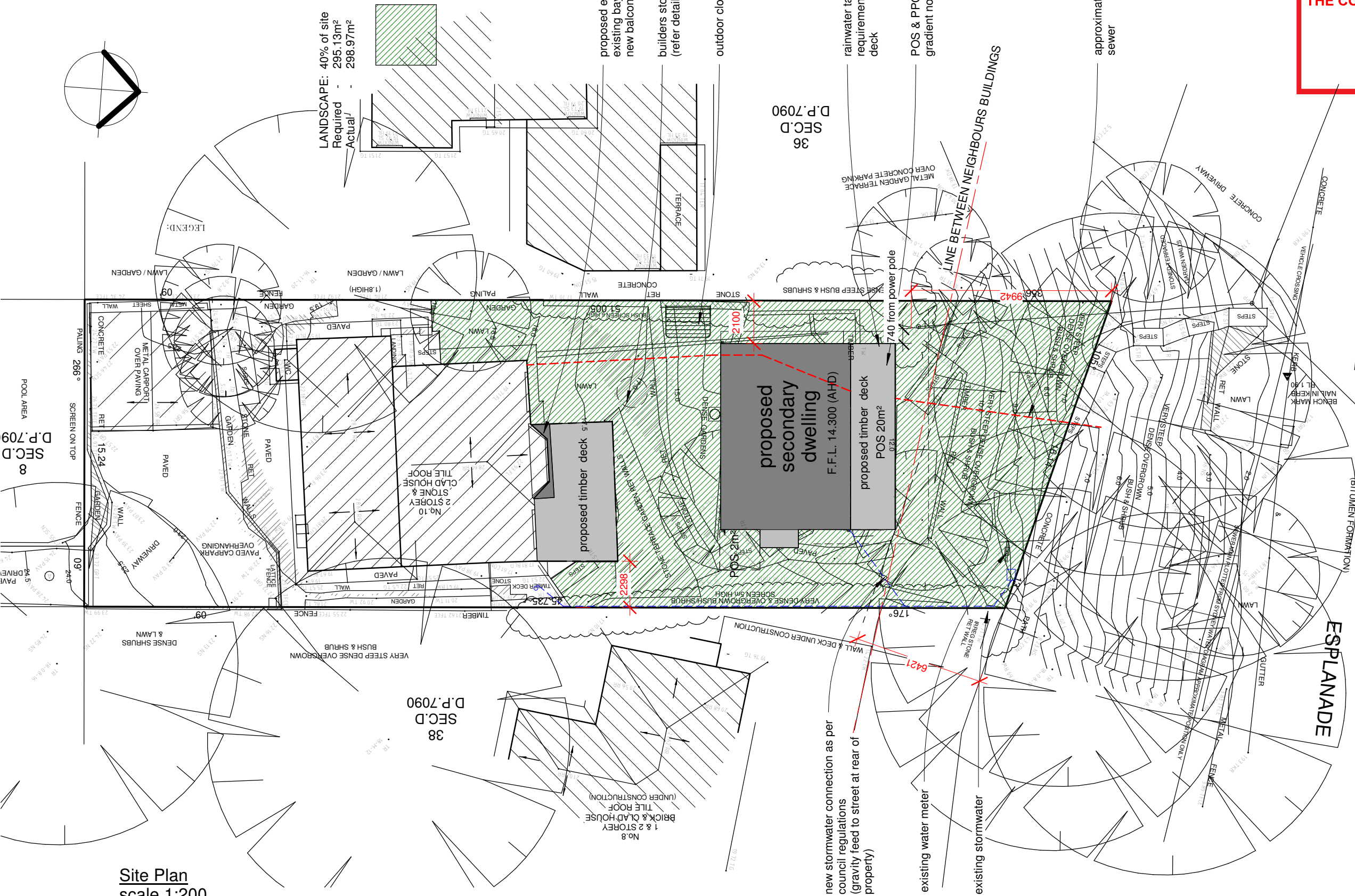


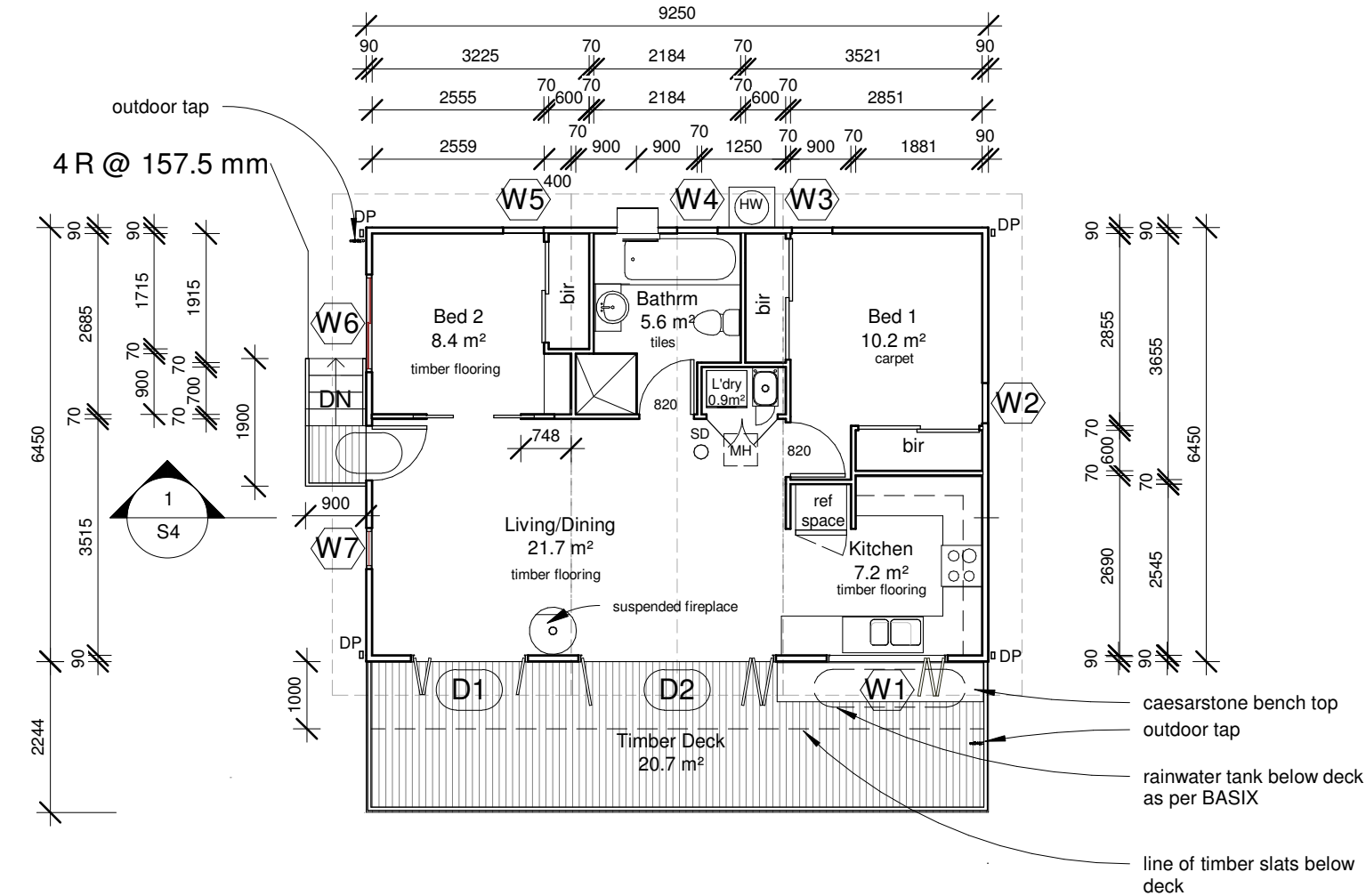
FFL to be confirmed onsite



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Floor Plan

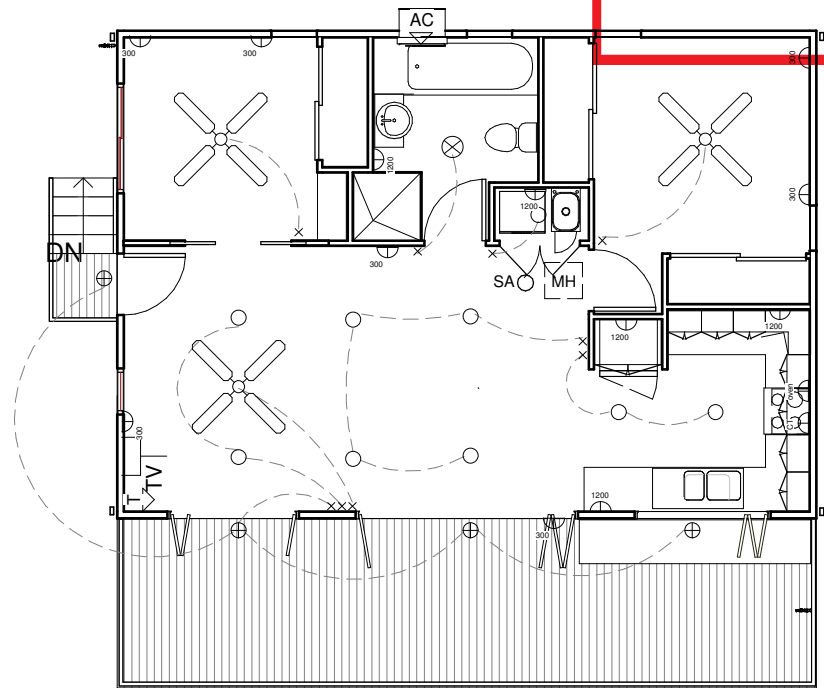
1 : 100

Area Schedule	
Name	Area
Proposed Granny Flat	59.6625 m²

- Legend**
- SA Smoke alarm. Installed as per AS3786  
Smoke alarm must be connected to mains power where consumer power is supplied to the building.
- DP 100 x 50 downpipe
- MH Roof access panel in ceiling.

Table of finishes	
External wall	James Hardie weatherboard - Dune
Roof	Corrugated steel sheeting - Woodland Grey
Roof barge	Timber
Fascia	Timber
Bifold doors	Timber - White
Windows	Timber - White

Areas	
Roof area	86.29m²
Conditioned area	53.5m²
Unconditioned area	6.5m²



Electrical Layout

1 : 100

Window Schedule					
Mark	Window Style	Height	Width	Material	Area
W1	Bifold	1430	1800	Painted timber	2.57 m²
W2	Louvre	1800	600	Painted timber	1.08 m²
W3	Louvre	1800	600	Painted timber	1.08 m²
W4	Louvre	1800	600	Painted timber	1.08 m²
W5	Louvre	1800	600	Painted timber	1.08 m²
W6	Sliding	1200	1450	Painted timber	1.74 m²
W7	Sliding	1800	610	Painted timber	1.10 m²
Total Area					9.73 m²

Glazed Door Schedule					
Mark	Door Style	Height	Width	Material	Area
D1	Bifold	2350	1740	Painted timber	4.09 m²
D2	Bifold	2350	2940	Painted timber	6.91 m²
D3	External Door	2350	813	Painted timber	1.91 m²
Total Area					12.91 m²

TOTAL GLAZED AREA: 20.73m²

ELECTRICAL LEGEND

- TV TV outlet
- Double general purpose outlet  
numerical figures denotes height AFFL
- Double general purpose outlet  
numerical figures denotes height AFFL
- Cooktop circuit
- Cooktop circuit
- Light switch outlet
- Ceiling light outlet
- External light
- SA Smoke alarm
- Telephone outlet
- AC Airconditioning connection point
- IXL 3 in 1
- Ceiling fan with light



SEACHANGE  
DESIGN + BUILD

E: james@seachange.build  
M: 0447 667 312

SEACHANGE DESIGN & BUILD  
Unless expressly stated otherwise in writing, these drawings have not been design checked or certified and are not approved for construction. Seachange Design & Build is not responsible for the accuracy, completeness or any contamination of electronically transmitted data and is not responsible for the accuracy of dimensions or scale to size. All levels and dimensions are to be checked on site before building work commences. All structural work is to Engineers details.

Client sign off signature:

Date: \_\_\_\_ / \_\_\_\_ / \_\_\_\_

16.05.19	For Approval		
16.10.18	Window amends		
10.09.18	Site location amended		
10.09.18	Minor amends	21.08.19	New door
30.08.18	Floor level & minor amends	20.08.19	Amends to decks
22.08.18	Client Sign Off	07.08.19	Amends to decks
DATE	ISSUED	DATE	ISSUED

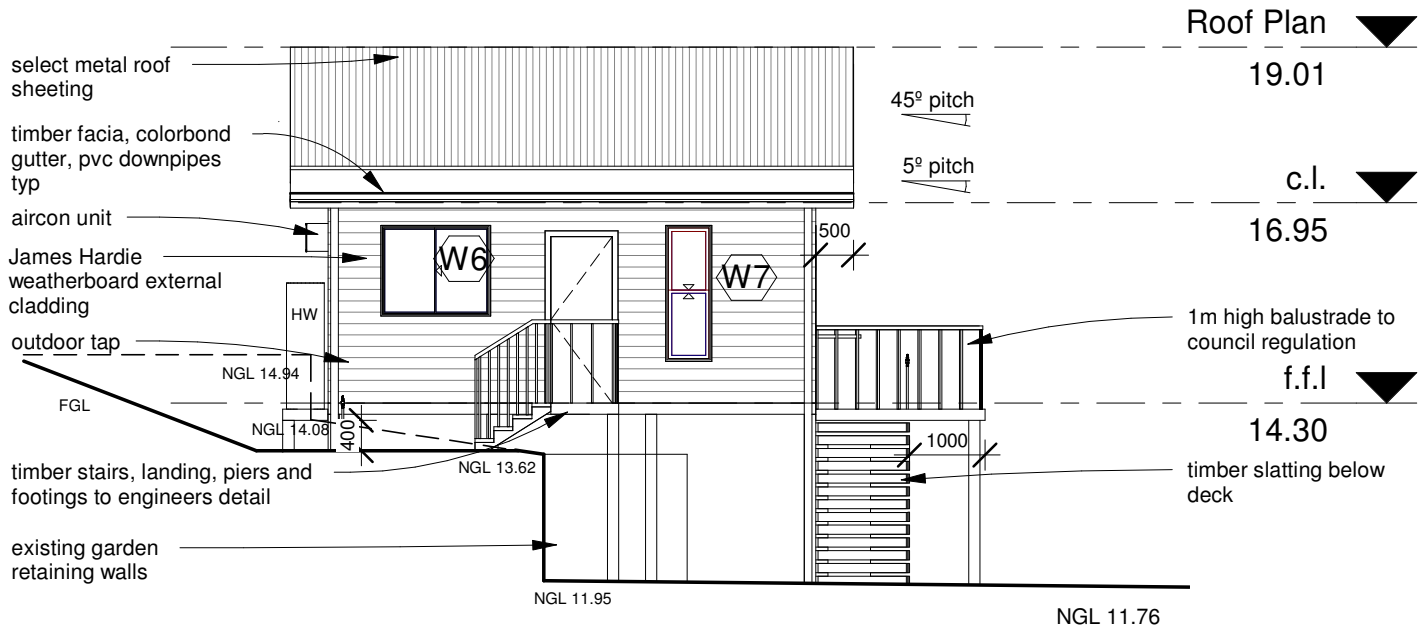
Proposed Granny Flat

PROJECT: LOT 37 SEC. D,  
DP 7090, 10 THE ESPLANADE,  
NARRABEEN, NSW, 2101

Floor Plan

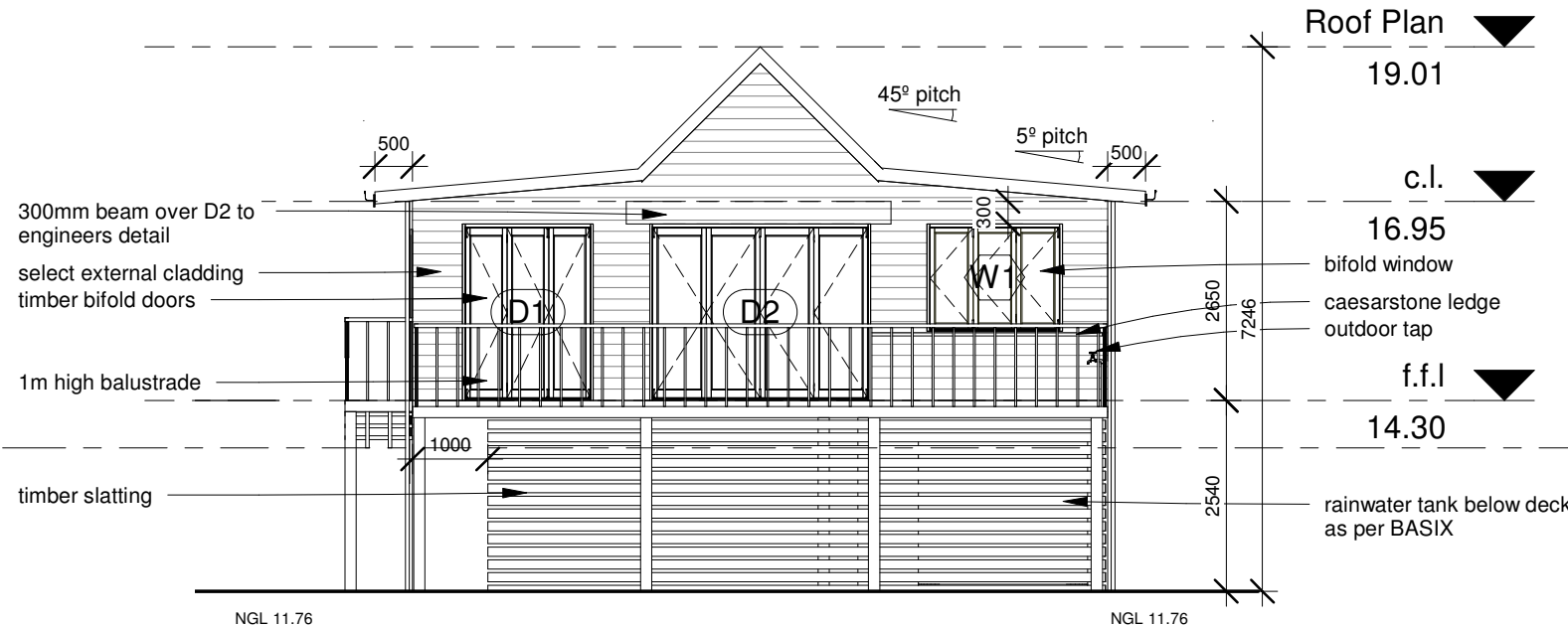
Scale	As Shown (A3)
Date	MAY 2019
Drawn by	DO

S2



East Elevation

1 : 100



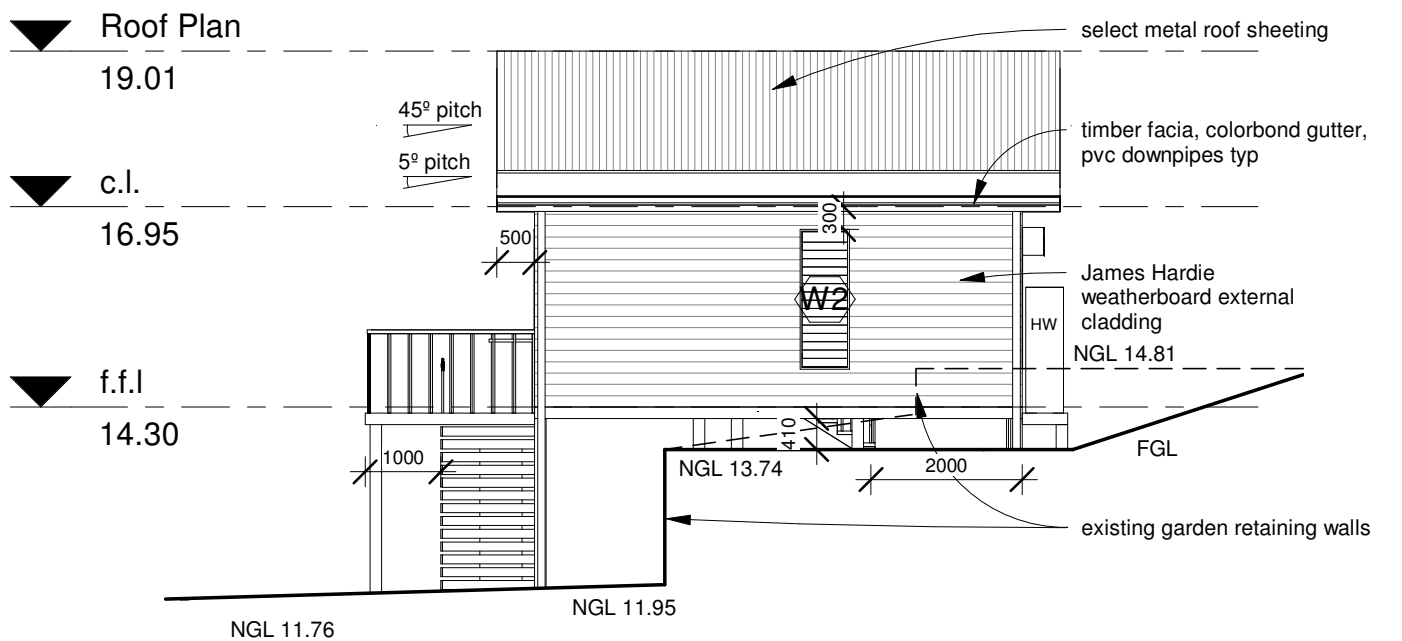
North Elevation

1 : 100



South Elevation

1 : 100



West Elevation

1 : 100

 northern beaches council

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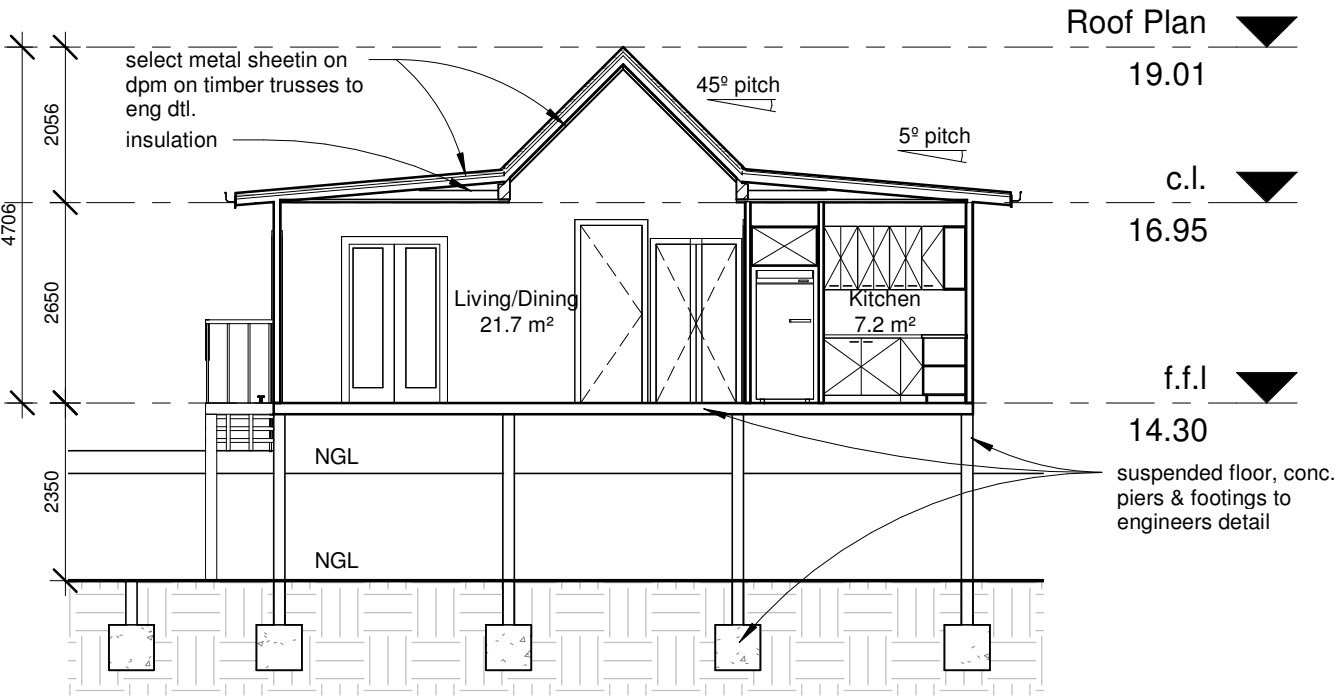




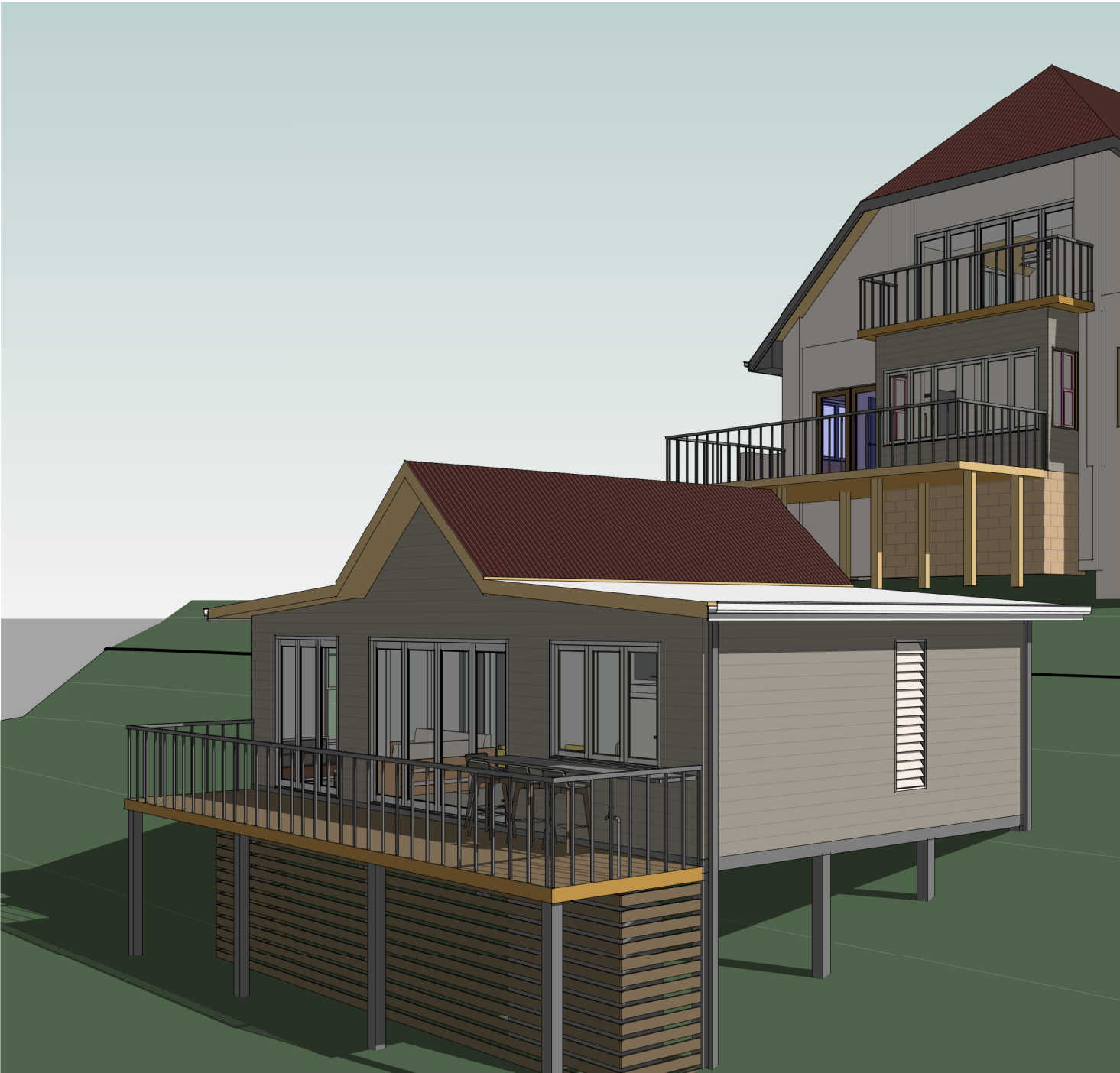
northern  
beaches  
council

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**Section 1**  
1 : 100



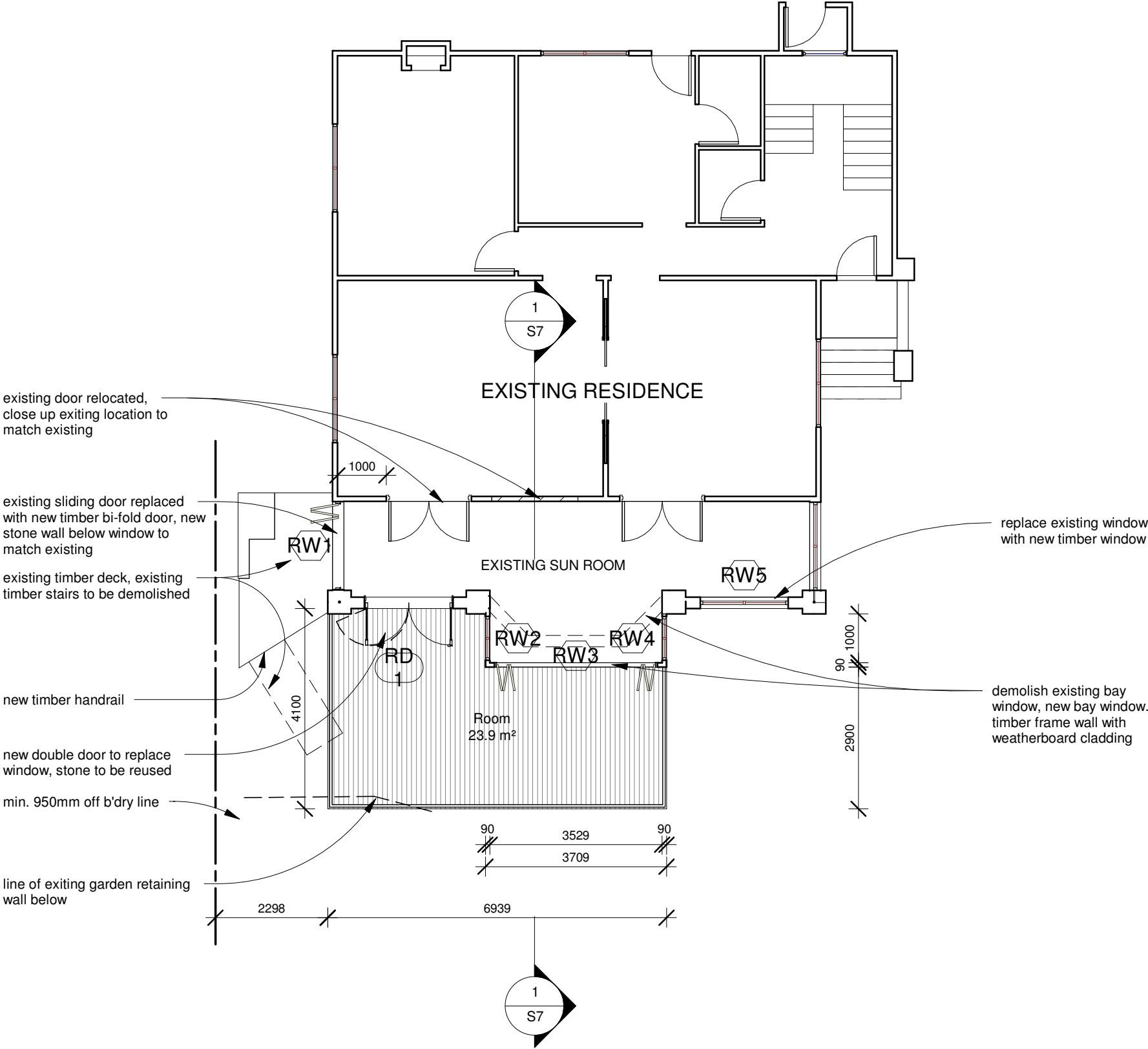
**North West Elevation**



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CONSENT

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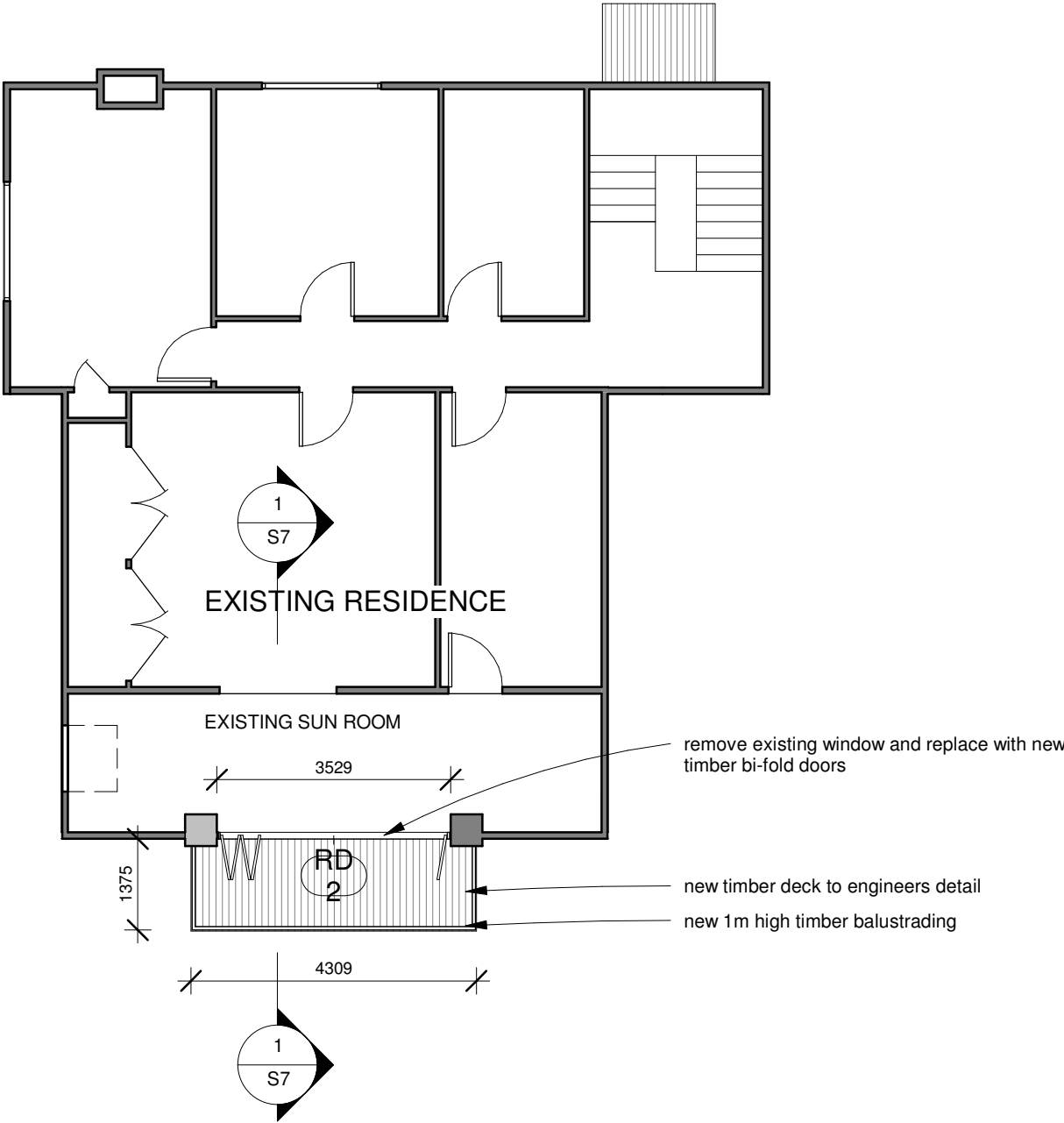
**Ex Res. Ground Floor**  
1 : 100



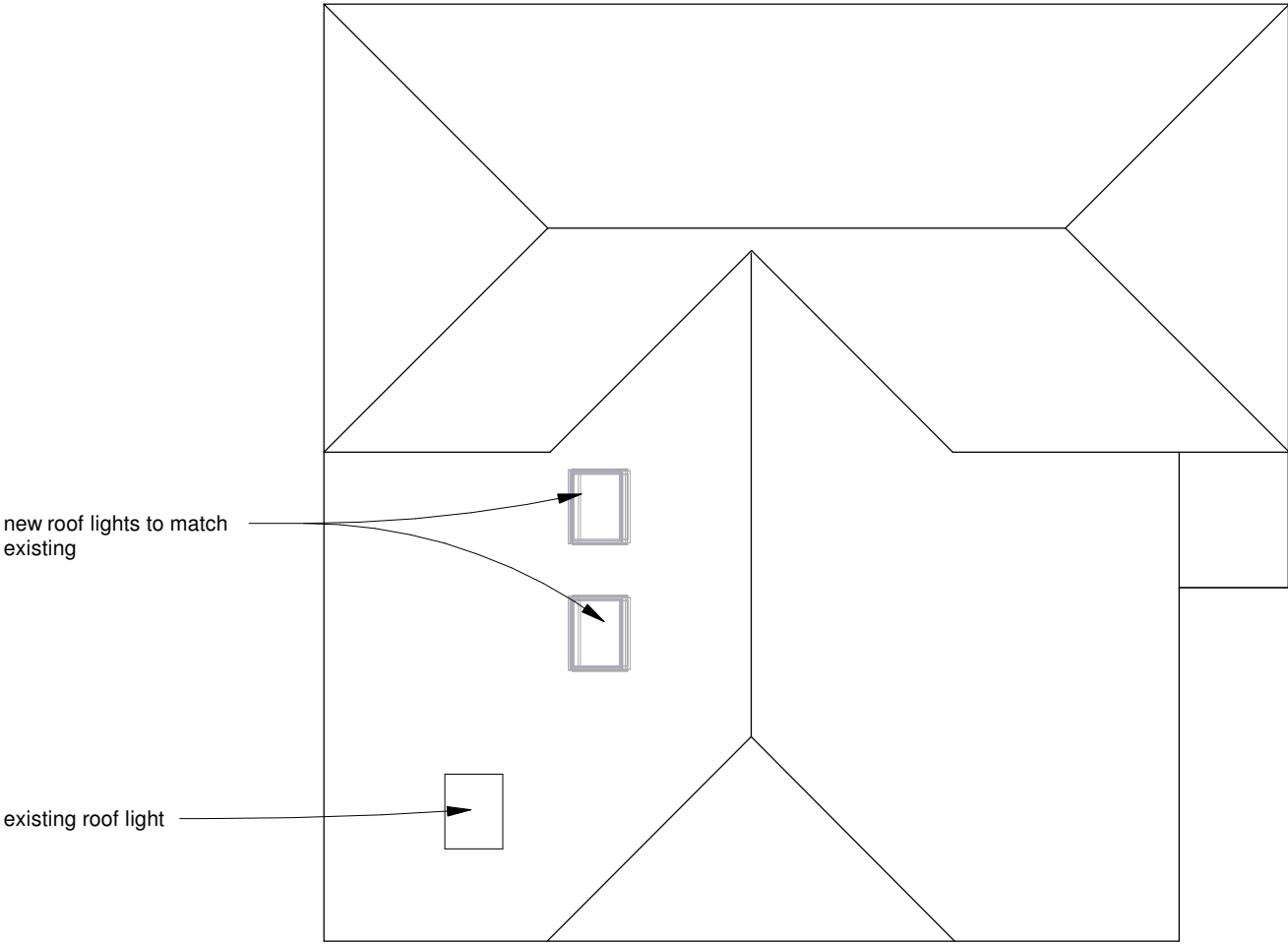
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council

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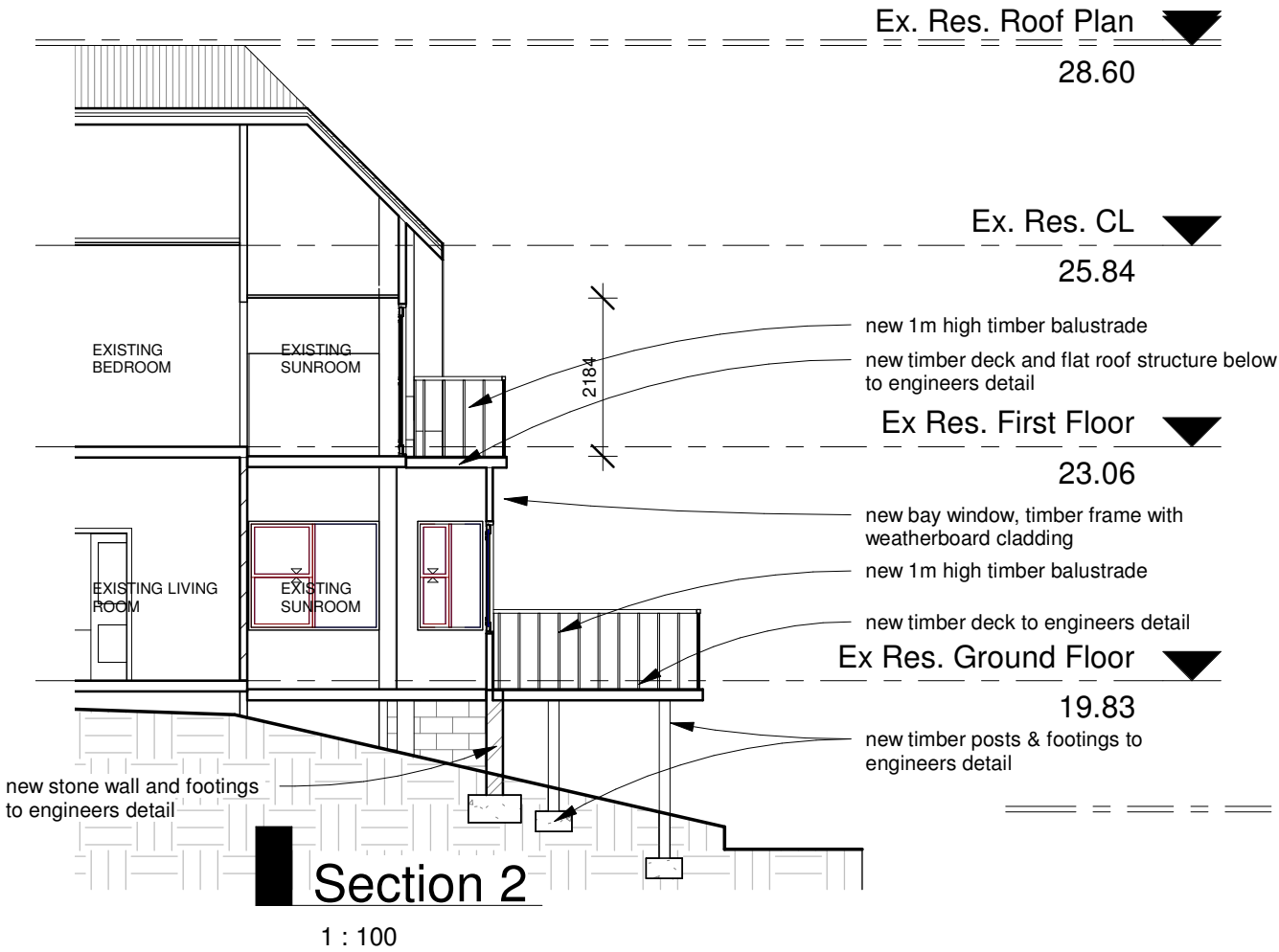
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**Ex Res. First Floor**  
1 : 100



**Ex. Res. Roof Plan**  
1 : 100

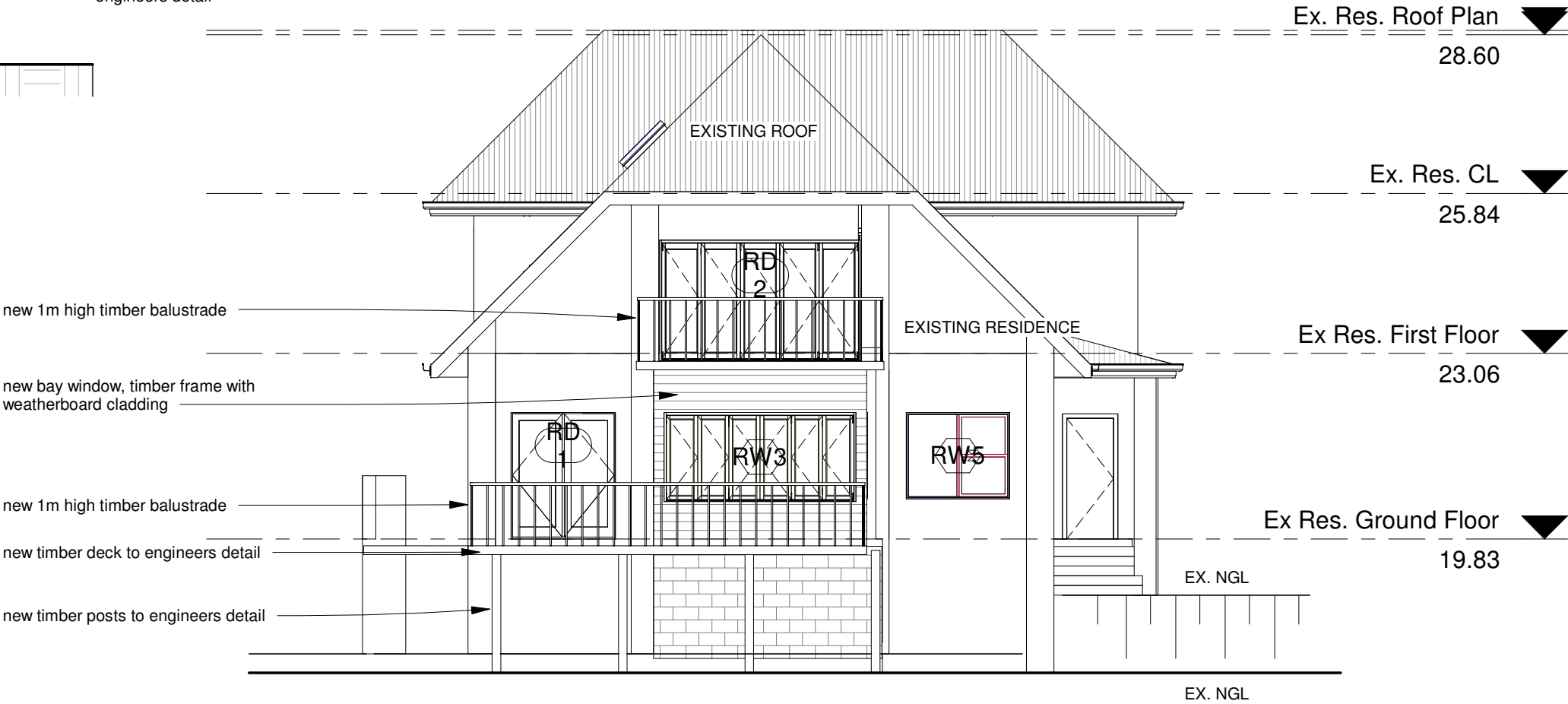


Glazed Door Schedule - Ex. Residence					
Mark	Door Style	Height	Width	Material	Area
RD 1	French Door	2156	1800	Painted timber	3.88 m <sup>2</sup>
RD 2	Bifold Door	2100	3500	Painted timber	7.35 m <sup>2</sup>
Total Area					11.23 m <sup>2</sup>

Window Schedule - Ex. Residence					
Mark	Window Style	Height	Width	Material	Area
RW1	Bifold	1430	1800	Painted timber	2.57 m <sup>2</sup>
RW2	Sliding	1500	900	Painted timber	1.35 m <sup>2</sup>
RW3	Bifold	1550	3340	Painted timber	5.18 m <sup>2</sup>
RW4	Sliding	1500	900	Painted timber	1.35 m <sup>2</sup>
RW5	Sliding	1500	1800	Painted timber	2.70 m <sup>2</sup>
Total Area					13.15 m <sup>2</sup>

Skylight Schedule - Ex. Residence					
Mark	Window Style	Height	Width	Material	Area
SL1	Skylight	990	967	Painted timber	0.96 m <sup>2</sup>
SL2	Skylight	990	967	Painted timber	0.96 m <sup>2</sup>
Total Area					1.91 m <sup>2</sup>

TOTAL GLAZED AREA: 27.27m<sup>2</sup>



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Client sign off signature:

Date: \_\_\_\_ / \_\_\_\_ / \_\_\_\_

20.08.19	Amends to decks		
07.08.19	Amends to decks		
08.05.19	For Approval		
08.02.19	Bay window cladded		
20.12.18	Bay window amended		
17.11.18	Client Sign Off		
DATE	ISSUED	DATE	ISSUED

Proposed Granny Flat

PROJECT: LOT 37 SEC. D,  
DP 7090, 10 THE ESPLANADE,  
NARRABEEN, NSW, 2101

Section & Schedules

Scale	As Shown (A3)
Date	MAY 2019
Drawn by	DO

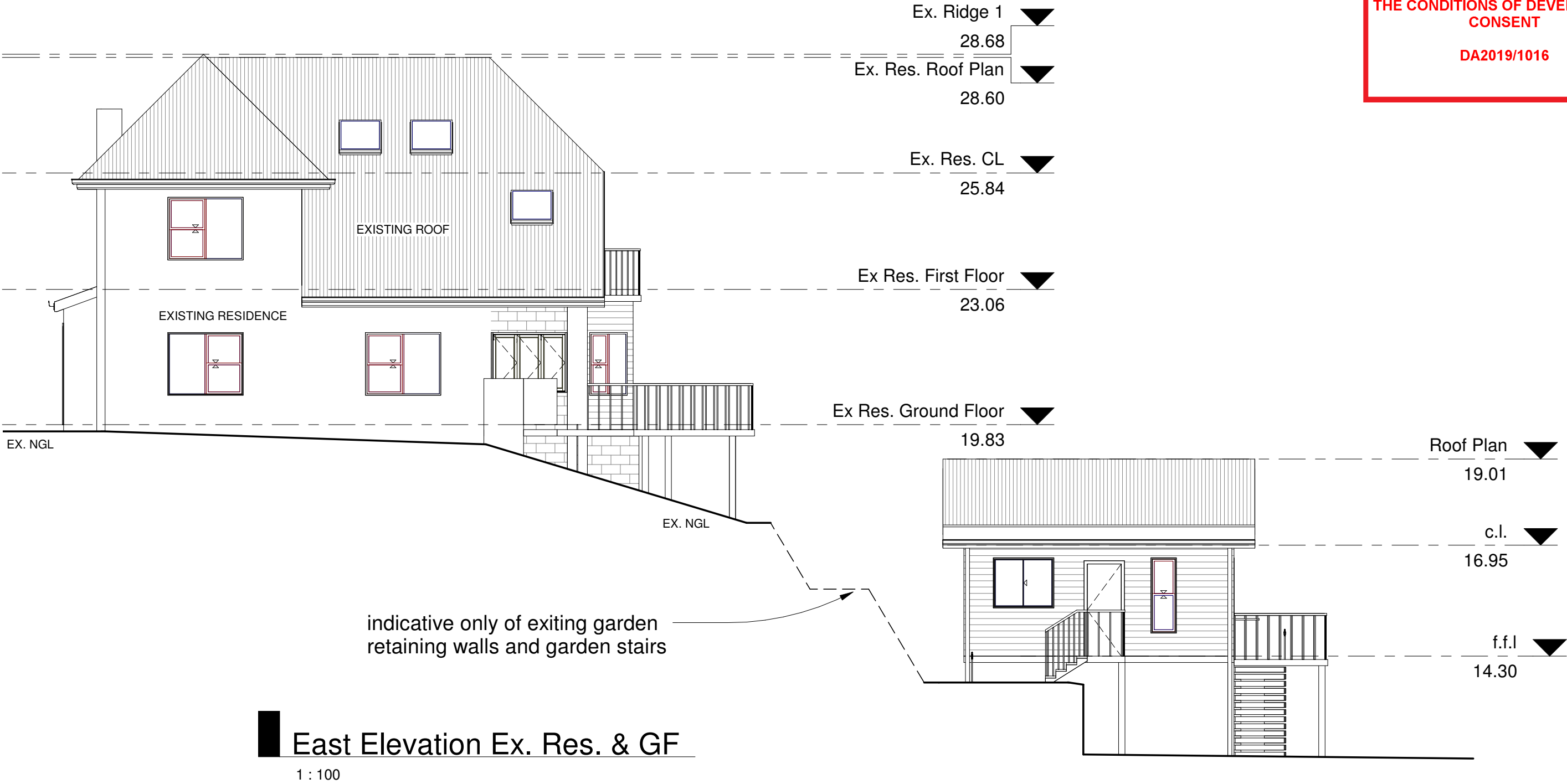
S7



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20.08.19	Amends to decks		
07.08.19	Amends to decks		
08.05.19	For Approval		
08.02.19	Bay window cladded		
20.12.18	Bay window amended		
17.11.18	Client Sign Off	21.08.19	New door
DATE	ISSUED	DATE	ISSUED





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