

STATEMENT OF ENVIRONMENTAL EFFECTS

**SECTION 4.56 APPLICATION TO MODIFY CONSENT GRANTED TO
DEVELOPMENT APPLICATION DA2021/1408 FOR DEMOLITION OF EXISTING
DETACHED DWELLING AND ERECTION OF A PART 2/PART 3-STOREY
DETACHED DWELLING, CARPORT, BOATSHED, SITE WORKS AND
LANDSCAPING**

**16 ADDISON ROAD
MANLY**

**Prepared by
KN Planning Pty Limited**

October 2023

Ref: KN628

TABLE OF CONTENTS

1.	INTRODUCTION	3
2.	SITE AND CONTEXT	4
	2.1 Site Details	4
	2.2 Context	4
	2.3 Development History	4
3.	PLANNING FRAMEWORK	5
4.	PROPOSED MODIFICATION	7
5.	KEY PLANNING CONSIDERATIONS	11
	5.1 Compliance Assessment	11
	5.2 Impact on Adjoining Properties	15
6.	S4.15(1) EVALUATION	16
7.	SUMMARY AND CONCLUSIONS	18
	<i>Appendix 1: Photographs of the site and surrounding development</i>	
	<i>Appendix 2: Plans, elevations and sections prepared by Patterson Associates</i>	
	<i>Appendix 3: BASIX Certificate</i>	

1. INTRODUCTION

This report has been prepared in support of an application under Section 4.56 of the Environmental Planning and Assessment Act 1979 to modify the consent granted by the NSW Land & Environment Court to Development Application DA 2021/1408 for demolition of an existing single storey detached dwelling at 16 Addison Road Manly and the erection of a part 2/part 3 storey detached dwelling, carport, boatshed, site works and landscaping.

The Modification Application seeks consent for minor changes, exterior openings, internal layout of the dwelling and carport. The proposed modification will not change the approved building envelope. Details of the modifications to the approved development are detailed in Section 4 of this report.

Plans, elevations and sections of the proposed modification application have been prepared by Patterson Associates for the Applicant, Watermark Architects, and owners, Sarah Penelope Joyce and Nicholas John Fairfax.

The purpose of this report is to present a Statement of Environmental Effects in support of the modification application under Section 4.56 of the Environmental Planning and Assessment Act 1979 and to that end the report:-

- describes the site, context and development history;
- sets out the planning controls applying to the site;
- sets out the details of the proposed modification;
- assesses the key planning considerations associated with the proposed modification; and
- presents a summary assessment of the modification application in terms of the Matters for Consideration under Section 4.15(1) of the Environmental Planning and Assessment Act, 1979.

2. SITE AND CONTEXT

2.1 Site Details

The site is in Manly, on the south-eastern side of Addison Road, approximately 150 metres south-west of the intersection with Oyama Avenue (*Figure 2.1*)

The site, known as 16 Addison Road is a battle-axe allotment being Lot 2 of DP 235220 and Lot LIC 30003605 is irregular in shape with frontage to Addison Road of 3.05 metres (access handle/right of way, frontage to Little Manly Cove and side boundaries to 18 Addison Road of 9.32 metres and 31.12 metres (access handle), 20 Addison Road of 38.97 metres and 14 Addison Road of 40.54 metres, as detailed on the Plan of Survey at *Figure 2.2*.

The site has an area of 543.8 square metres.

The topography of the site is slopes from the street (north-west) to the waterfront (south-east) with a fall in the order of 12 metres.

2.2 Context

The subject site is part of the Manly residential precinct on the southern end of the peninsula fronting Little Manly Cove.

The existing single storey dwelling on the site has been approved for demolition.

The surrounding development comprises:-

- To the north-west:** - a 2-storey detached dwelling (18 Addison Road);
- To the north-east:** - a 2-storey detached dwelling (20 Addison Road);
- To the south-east:** - Little Manly Cove
- To the south-west:** - a 2-storey detached dwelling (14 Addison Road); and
- a 2-storey detached dwelling (12 Addison Road).

The subject site, 12 and 14 Addison Road share access to their respective properties via the Right of Way off Addison Road.

Photographs of the site and surrounding development are at **Appendix 1**

2.3 Development History

The NSW Land & Environment Court in Proceedings 2022/107881 approved consent orders to Development Application DA2021/1408 on 5 August 2022 for "demolition works and construction of a dwelling house and boatshed" at 16 Addison Road Manly



Figure 2.1 - Aerial Photograph

NO.	DESCRIPTION	DATE	BY	CHECKED
1	PREPARED BY			
2	REVISIONS			
3	DATE			
4	SCALE			
5	PROJECT NO.			
6	CLIENT			
7	DATE			
8	BY			
9	CHECKED			
10	SCALE			
11	PROJECT NO.			
12	CLIENT			
13	DATE			
14	BY			
15	CHECKED			
16	SCALE			
17	PROJECT NO.			
18	CLIENT			
19	DATE			
20	BY			
21	CHECKED			
22	SCALE			
23	PROJECT NO.			
24	CLIENT			
25	DATE			
26	BY			
27	CHECKED			
28	SCALE			
29	PROJECT NO.			
30	CLIENT			
31	DATE			
32	BY			
33	CHECKED			
34	SCALE			
35	PROJECT NO.			
36	CLIENT			
37	DATE			
38	BY			
39	CHECKED			
40	SCALE			
41	PROJECT NO.			
42	CLIENT			
43	DATE			
44	BY			
45	CHECKED			
46	SCALE			
47	PROJECT NO.			
48	CLIENT			
49	DATE			
50	BY			
51	CHECKED			
52	SCALE			
53	PROJECT NO.			
54	CLIENT			
55	DATE			
56	BY			
57	CHECKED			
58	SCALE			
59	PROJECT NO.			
60	CLIENT			
61	DATE			
62	BY			
63	CHECKED			
64	SCALE			
65	PROJECT NO.			
66	CLIENT			
67	DATE			
68	BY			
69	CHECKED			
70	SCALE			
71	PROJECT NO.			
72	CLIENT			
73	DATE			
74	BY			
75	CHECKED			
76	SCALE			
77	PROJECT NO.			
78	CLIENT			
79	DATE			
80	BY			
81	CHECKED			
82	SCALE			
83	PROJECT NO.			
84	CLIENT			
85	DATE			
86	BY			
87	CHECKED			
88	SCALE			
89	PROJECT NO.			
90	CLIENT			
91	DATE			
92	BY			
93	CHECKED			
94	SCALE			
95	PROJECT NO.			
96	CLIENT			
97	DATE			
98	BY			
99	CHECKED			
100	SCALE			

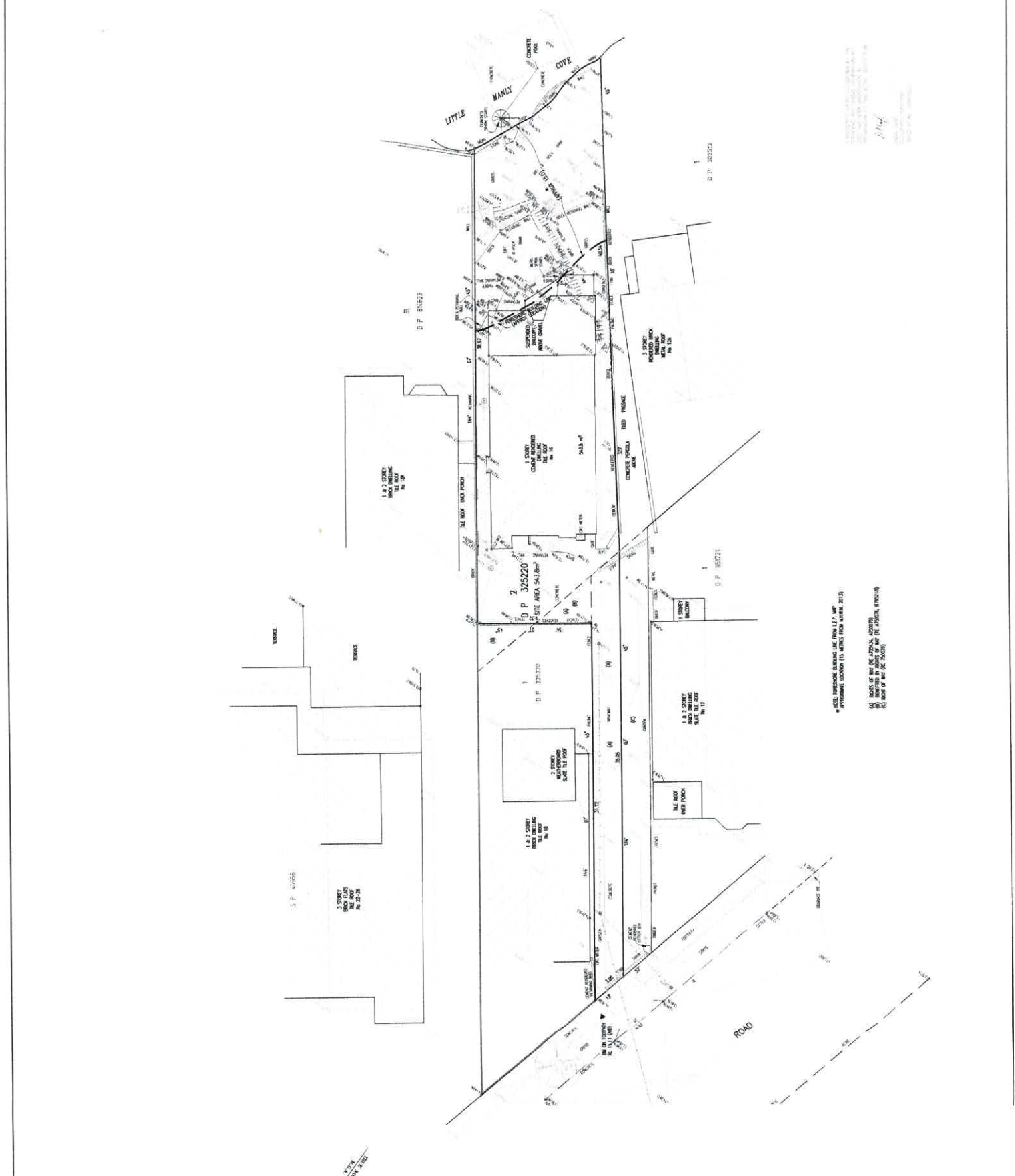


Figure 2.2 - Plan of Survey

3. PLANNING FRAMEWORK

The application to modify DA/2021/1408 is made under s4.56 of the Environmental Planning and Assessment Act 1979 as the consent was granted by the NSW Land and Environment Court.

The site is zoned C4 Environmental Living under the Manly Local Environmental Plan 2013 (MLEP) (Figure 3.1).

The objectives and permissible uses in the C4 zone are:-

Zone C4 Environmental Living

1 Objectives of zone

- To provide for low-impact residential development in areas with special ecological, scientific or aesthetic values.
- To ensure that residential development does not have an adverse effect on those values.
- To protect tree canopies and ensure that new development does not dominate the natural scenic qualities of the foreshore.
- To ensure that development does not negatively impact on nearby foreshores, significant geological features and bushland, including loss of natural vegetation.
- To encourage revegetation and rehabilitation of the immediate foreshore, where appropriate, and minimise the impact of hard surfaces and associated pollutants in stormwater runoff on the ecological characteristics of the locality, including water quality.
- To ensure that the height and bulk of any proposed buildings or structures have regard to existing vegetation, topography and surrounding land uses.

2 Permitted without consent

Home-based child care; Home occupations

3 Permitted with consent

Attached dwellings; Bed and breakfast accommodation; Dual occupancies (attached); **Dwelling houses**; Environmental protection works; Flood mitigation works; Health consulting rooms; Home businesses; Multi dwelling housing; Oyster aquaculture; Pond-based aquaculture; Residential flat buildings; Roads; Secondary dwellings; Semi-detached dwellings; Tank-based aquaculture; Water supply systems

4 Prohibited

Industries; Local distribution premises; Service stations; Warehouse or distribution centres; Any other development not specified in item 2 or 3

Clause 4.3 provides for a maximum building height of 8.5 metres.

Clause 4.4 provides for a maximum floor space ratio of 0.6:1.

Clause 5.10 Heritage Conservation is relevant as the site has frontage to Sydney Harbour foreshores (Item 1).

Clause 6.5 Terrestrial Biodiversity is relevant as the site is mapped on the Terrestrial Biodiversity Map (Figure 3.2).

Clause 6.8 Landslip Risk is relevant as the site is mapped on the Landslip Risk Map.

Clause 6.10 Limited Development on foreshore is relevant to the proposed modification.

SEPP (Conservation and Biodiversity) 2021 is relevant as the SEPP embodies the previous provisions under the SREP (Sydney Harbour Catchment) 2005.

SEPP (Building Sustainability Index: BASIX) 2004 is relevant to the proposed modification.

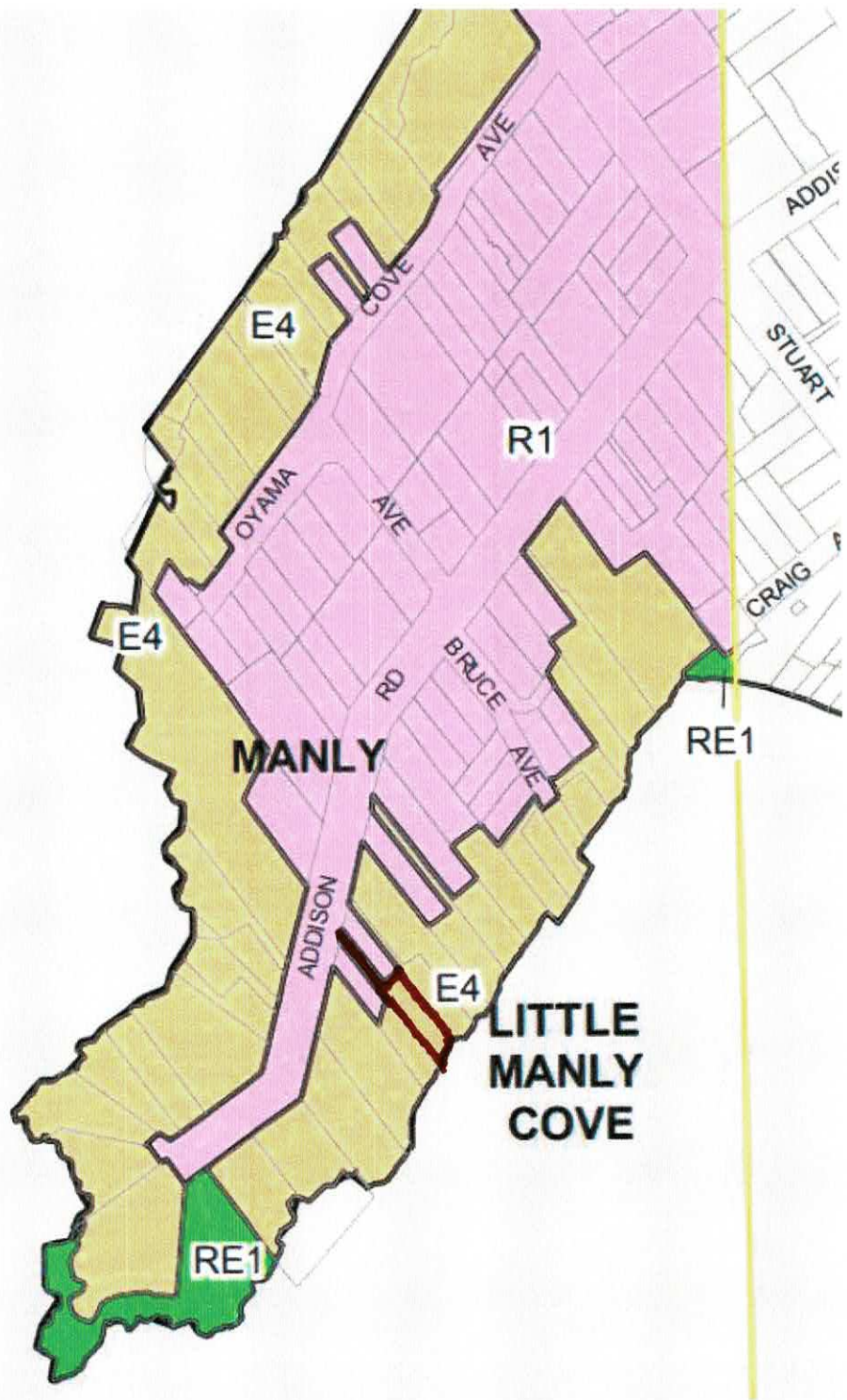


Figure 3.1 - Extract from Zoning Map
MLEP 2013

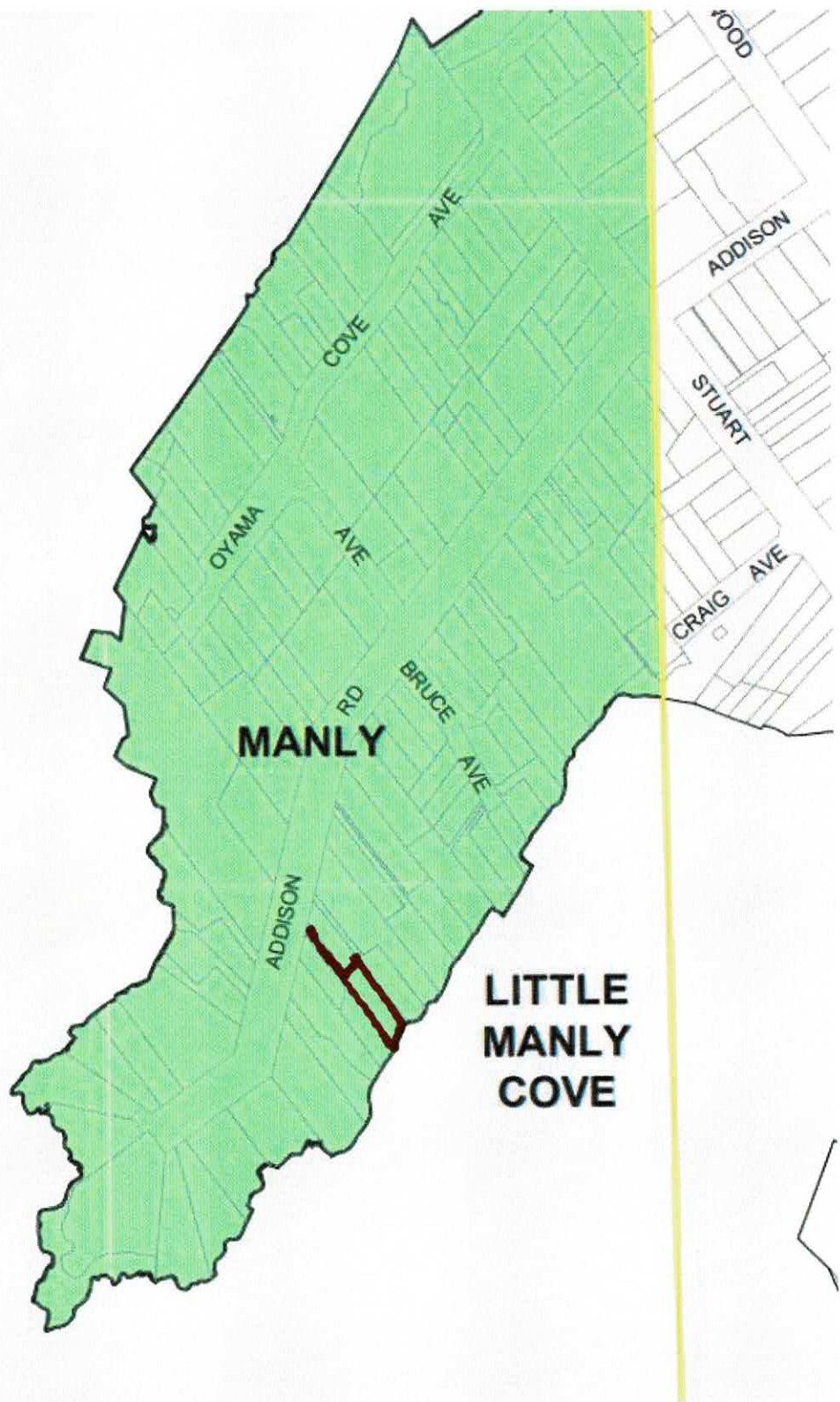


Figure 3.2 - Extract from Terrestrial Biodiversity Map MLEP 2013

The provisions in the Manly DCP also apply to the proposed modification.

An assessment of the proposed modification against the relevant planning controls embodied in the abovementioned planning instruments is addressed in Section 5.1 of this report.

4. PROPOSED MODIFICATION

The s4.56 application seeks consent to modify development application DA/2021/1408 to a new part 2/part 3 storey dwelling, carport, boatshed, site works and landscaping at 16 Addison Road Manly.

The existing dwelling on the site has been demolished in accordance with the consent granted under DA2021/1408 as detailed on *Photograph 9, Appendix 1*.

Plans, elevations and sections of the proposed modification application have been prepared by Patterson Associates Limited and are at *Appendix 2*.

The modification application comprises the following amendments to the approved development with reference to drawing numbers at *Appendix 2*, namely :

1.2 Site Plan

- 06. The sliding glazed doors accessing the north terrace have been moved approx. 1.0m to allow for a WC on the ground floor. The front door was moved to align with the sliding doors.
- 07. The metal clad wall on grid A was extended to the north to provide additional area for the WC. Opaque glass window added.
- 08. Approved internal gas fireplace replaced with solid fuel fireplace in same location
- 16. GFA increased from 313m² to 317.38m².

1.3 Boatshed Plan

- 01. No change to boatshed and landscaped foreshore areas.

1.4 Lower Floor Plan

- 02. Basement excavation extended to 2046 mm to the north to allow for additional plan equipment & store area, ensuite layout altered.
- 03. Window to bedroom 04 in western façade increased in length by 1.0m and 0.5m in height
- 16. GFA increased from 84.3m² to 89.8m²

1.5 Ground Floor Plan

- 06. The sliding glazed doors accessing the north terrace have been moved approx. 1.0m north to allow for a WC on the ground floor. The front door was moved to align with the sliding door.
- 07. The metal clad wall on grid A was extended to the north to provide additional area for the WC. Opaque glass window added.
- 08. Approved internal gas fireplace replaced with solid fuel fireplace in same location.
- 16. GFA increased from 106.4m² to 109.56m²
- 17. Carport slab level raised slightly to allow for existing drainage serviced and boundary fencing

1.6 First Floor Plan

- 09. Alterations to internal planning of bathroom, ensuite & robe.
- 10. East facade skylight widened by approximately 200mm.
- 12. Relocated skylight in roof over master ensuite bathroom 1 and hallway.
- 13. Additional skylight in roof added over master robe.
- 16. GFA reduced from 100.3m² to 96.02 m² accounting for the increased lightwell area and the sloping walls correctly measured at 1.4m above floor level.
- 17. Carport roof level raised slightly to match height of adjoining boundary wall to allow adequate height clearance from slab level.

1.7 Roof Plan

- 05. Direction of roof slope adjusted between grids 7 and 9 to suit gutter design and roof drainage.
- 10. East facade skylight widened by approx. 200mm.
- 11. PV solar panels added to roof.
- 12. Relocated skylight in roof over master ensuite bathroom 1 and hallway.
- 13. Additional skylight in roof added over master robe.
- 14. Relocated skylight to stairwell in west façade. Remains same size.
- 17. Carport roof level raised slightly to allow adequate height clearance from slab level.

2.1 Elevations

- 03. Window to bedroom 04 in western façade increased in length by 1.0m and 0.5m in height.
- 14. Relocated skylight to stairwell in west façade. Remains same size.
- 15. Outline of existing boundary wall / fence added to drawings.

2.2 Elevations

- 04. Increase height of landscape rock wall by 400mm.
- 06. The sliding glazed doors accessing the north terrace have been moved approx. 1.0m north to allow for a WC on the ground floor. The front door was moved to align with the sliding doors.
- 07. The metal clad wall on grid A was extended to the north to provide additional area for the WC. Opaque glass window added.
- 10. East facade skylight widened by approximately 200mm.
- 15. Outline of existing boundary wall / fence added to drawings.

17. Carport roof level raised slightly to allow adequate height clearance from slab level.

3.1 Sections

02. Basement excavation extended by 2046mm to the north to allow for additional plant equipment & store area, ensuite layout altered.

05. Direction of roof slope adjusted between grids 7 and 9 to suit gutter design and roof drainage.

06. The sliding glazed doors accessing the north terrace have been moved approx. 1.0m north to allow for a WC on the ground floor. The front door was moved to align with the sliding doors.

12. Relocated skylight in roof over master ensuite bathroom 1 and hallway.

13. Additional skylight in roof added over master robe.

17. Carport roof level raised slightly to allow adequate height clearance from slab level.

3.2 Sections

02. Basement excavation extended by 2046mm to the north to allow for additional plant equipment & store area, ensuite layout altered.

03. Window to bedroom 04 in western façade increased in length by 1.0m and 0.5m in height.

04. Increase height of interior rock wall by 400mm.

05. Direction of roof slope adjusted between grids 7 and 9 to suit gutter design and roof drainage.

07. The metal clad wall on grid A was extended to the north to provide additional area for the WC.

09. Alterations to internal planning of bathroom, ensuite & robe.

12. Relocated skylight in roof over master ensuite and bathroom 1.

13. Additional skylight in roof added over master robe.

17. Carport roof level raised slightly to allow adequate height clearance from slab level.

*Note: The numbers references above relate to the numbered changes on the architectural drawings at **Appendix 2**.*

The changes to the gross floor area of the approved dwelling are as follows:

	Approved m ²	Proposed m ²	Change m ²
Boatshed	22.00	22.00	-
Lower ground floor	84.30	89.8	+5.50
Ground floor	106.40	109.56	+3.16
First floor	100.30	96.02	-4.28
Total GFA	313.00	317.38	+4.38

The development, as modified, will achieve a floorspace ratio of 0.58:1.

The proposed modification does not seek to amend the approved Landscape Plan.

A BASIX Certificate is at **Appendix 3**.

5. KEY PLANNING CONSIDERATIONS

5.1 Compliance Assessment

Section 4.56 of the Environmental Planning and Assessment Act 1979

Section 4.56 of the Environmental Planning & Assessment Act 1979 (EP&A Act) states:

4.56 Modification by consent authorities of consents granted by the Court

(cf previous s 96AA)

1. A consent authority may, on application being made by the applicant or any other person entitled to act on a consent granted by the Court and subject to and in accordance with the regulations, modify the development consent if—
 - a. **it is satisfied that the development to which the consent as modified relates is substantially the same development as the development for which the consent was originally granted and before that consent as originally granted was modified (if at all), and**
 - b. it has notified the application in accordance with—
 - i. the regulations, if the regulations so require, and
 - ii. a development control plan, if the consent authority is a council that has made a development control plan that requires the notification or advertising of applications for modification of a development consent, and
 - c. it has notified, or made reasonable attempts to notify, each person who made a submission in respect of the relevant development application of the proposed modification by sending written notice to the last address known to the consent authority of the objector or other person, and
 - d. it has considered any submissions made concerning the proposed modification within any period prescribed by the regulations or provided by the development control plan, as the case may be.
 - e. (1A) In determining an application for modification of a consent under this section, the consent authority must take into consideration such of the matters referred to in section 4.15(1) as are of relevance to the development the subject of the application. The consent authority must also take into consideration the reasons given by the consent authority for the grant of the consent that is sought to be modified.
 - f. (1B) (Repealed)
 - g. (1C) The modification of a development consent in accordance with this section is taken not to be the granting of development consent under this Part, but a reference in this or any other Act to a development consent includes a reference to a development consent as so modified.
2. After determining an application for modification of a consent under this section, the consent authority must send a notice of its determination to each person who made a submission in respect of the application for modification.
3. The regulations may make provision for or with respect to the following—
 - a. the period after which a consent authority, that has not determined an application under this section, is taken to have determined the application by refusing consent,
 - b. the effect of any such deemed determination on the power of a consent authority to determine any such application,
 - c. the effect of a subsequent determination on the power of a consent authority on any appeal sought under this Act.
4. (4) (Repealed)

In respect to s4.56(a) the question of what constitutes “*substantially the same development*” is set out in *Moto Projects (No 2) Pty Limited v. North Sydney Council [1999] NSWLEC 280* where at paragraphs 55 and 56, Bignold, J. describes the process for consideration of a proposed modification of development as follows:-

“55. The requisite factual finding obviously requires a comparison between the development, as currently approved, and the development as proposed to be modified. The result of the comparison must be a finding that the modified development is “*essentially or materially*” the same as the approved development.

56. The comparative task does not merely involve a comparison of the physical features or components of the development as approved and modified where that comparative exercise is undertaken in some type of sterile vacuum. Rather, the comparison involves an appreciation, qualitative, as well as quantitative, of the developments being compared in their proper contexts (including the circumstances in which the development consent was granted.”

Development Application DA2021/1408 was approved by the NSW Land and Environment Court on 5 August 2022 for “*demolition works and construction of a dwelling house including a boatshed*”.

The existing dwelling has been demolished.

The proposed modifications to the approved dwelling are largely minor in scope and internal to the dwelling as the layout of the part 2/ part 3-storey dwelling has evolved.

The proposal does not result in any change to the approved building envelope and footprint. There are no changes proposed to the boatshed and landscaped foreshore area.

The modification application will include a net minor increase in gross floor area (4.38m²) achieved through a minor extension of the living room on the ground floor level into the undercroft (terrace area) at the rear and new powder room and other minor variations on each level are detailed in the table in Section 4 of this report.

The development, as modified, complies with the floor space ratio standard under the Manly LEP 2013 of 0.6:1.

In this context the development as modified remains “*essentially and materially*” the same as the approved development.

In *qualitative* terms, the proposed modification to the approved DA/2021/1408 is consistent with that approved with the scope of changes largely internal and within the approved building envelope and footprint of the dwelling.

The increase in excavation at the lower ground level and minor extension of the living room within the undercroft area on the ground floor level will not add to the visual bulk of the approved building.

The development, as modified, will continue to comply with the building height and wall heights controls under the Manly LEP/DCP reflected in the approved development. Similarly, the changes to windows and skylights will not introduce any new amenity impacts on adjoining residences.

Thus, it is considered that the proposed modification satisfies the “*substantially the same*” test in qualitative terms.

In *quantitative* terms the proposed modification will result in a minor increase in approved floor area amounting to 4.38m² whilst remaining compliant in respect to the floor space ratio standard.

In the circumstances, it is considered that the proposed modification satisfies the “*substantially the same development*” test in quantitative terms.

The proposed modification satisfies s4.56(a) of the EP&A Act 1979.

Manly LEP 2013

The subject site is zoned C4 Environmental Living under the Manly LEP 2013. ‘*Dwelling houses*’ are permissible with consent.

Clause 4.3 provides for a maximum building height of 8.5 metres. The modification does not change the approved height of the dwelling - complies.

Clause 4.4 provides for a maximum floor space ratio on the site of 0.6:1. The approved development achieved a gross floor area of 313m² and a floor space ratio of 0.576:1. The proposed modification increases the gross floor area by 4.38m² to a total of 317.38m² and an FSR of 0.583:1, thereby complying with the FSR standard.

Clause 5.10 Heritage Conservation is relevant as the site has frontage to Little Manly Cove/Sydney Harbour foreshores, a listed heritage item (Item 1) under Schedule 5. The proposed modification includes no change to the boatshed and landscaped foreshore area as approved under DA2021/1408 thus the objectives of clause 5.10 are satisfied.

Clause 6.5 Terrestrial Biodiversity is relevant as the site is mapped on the Terrestrial Biodiversity Map. As the modification proposed no changes to the boatshed and landscaped foreshore areas as approved under DA2021/1408 then the objectives and provisions under clause 6.5 are satisfied.

The site is mapped on the Landslip Risk Map under Clause 6.8 of the Manly LEP 2013. The proposed modification includes an increase in excavation at the rear of the lower ground floor area by 2.046 metres to accommodate a plant room, storage and a revised ensuite layout. The approved development was supported by a geotechnical report by JK Geotechnics which stipulated that the development will not have an unreasonable impact on existing ground and surface water flows. As such the proposed modification will comply with clause 6.8.

The proposed modification does not involve changes to the approved boatshed and landscaped foreshore area, thus clause 6.10 is satisfied.

The proposed modification satisfied the relevant provisions in the Manly LEP 2013.

SEPP (Biodiversity and Conservation) 2021

The proposed modification leaves the approved building envelope and footprint unchanged. No change to approved boatshed and landscaped foreshore areas will ensure that the matters for consideration embodied in the SEPP through the former SREP (Sydney Harbour Catchment) 2005 found acceptable under the approved development remain in the proposed modification.

The proposed modification satisfied the relevant provisions under the SEPP.

SEPP (Building Sustainability Index: BASIX) 2004

A BASIX certificate is at ***Appendix 3***

Manly DCP

The proposed amendments for the approved dwelling and carport satisfy the following relevant provisions in the Manly DCP 2013, namely:

Streetscapes and Townscapes (3.1) - satisfied as located on battle-axe lot and no change to approved building envelope and materials.

Heritage Considerations (3.2) - satisfied as no change to approved boatshed and landscaped foreshore area.

Landscape Design (3.3.1) - satisfied as no change to approved Landscape Plan.

Sunlight Access and Overshadowing (3.4.1) - satisfied as no change to approved building envelope.

Privacy and Security (3.4.2) - modification includes new window openings to powder room (obscure glazing) on ground floor level - no privacy impacts on 20 Addison Road; the increase in the size of the skylight over the void on first floor level by 200mm will not introduce any adverse privacy impacts on 20 Addison Road; increase in size of window to bedroom 4 on lower ground level will have no privacy impacts on 14 Addison Road as it is well below the height of boundary fence; and high level skylight on western elevation is 1600mm above first floor level thus no potential overlooking impacts on 14 Addison Road.

The proposed modification will not introduce any adverse amenity impacts on adjoining residential properties, thereby satisfying 4.3.2 of DCP.

Maintenance of Views (3.4.3) - modification involves no change to approved building envelope (compliant building height, compliant wall heights and setbacks) and floor space ratio thus the view impact analysis undertaken for the Land & Environment Court proceedings remains valid, that is, the totality of views currently enjoyed from adjoining and nearby residences (prior to demolition) was satisfactory in the context of the planning principle in *“Tenacity Consulting”*. The changes to roof of the carport remain at the height of the existing brick wall on the rear boundary with 18 Addison Road, thereby no change to views from No.18. There will be no adverse view impacts arising from the proposed modification, thereby 3.4.3 of DCP satisfied.

Sustainability (3.5) - BASIX Certificate at **Appendix 3**

No change to approved development in respect to accessibility (3.6), stormwater management (3.7), waste management (3.8), mechanical plant equipment (3.9) and safety and security (3.10).

The proposed modification does not change the building envelope of the dwelling approved by the Land & Environment Court, thus the building form controls relating to Wall Height (4.1.2.1), number of storeys (4.1.2.2), roof height (4.1.2.3), side setbacks (4.1.4.2) and rear setback (4.1.4.4) in the Manly DCP are satisfied.

The modification makes no change to the boatshed and landscaped foreshore areas approved under DA2021/1408, thus residential open space area (4.1.5.1), landscaped area (4.1.5.2) and private open space (4.1.5.3) are satisfied.

The modification includes a minor increase in gross floor area of 4.38m² to 317.38m² and a floor space ratio of 0.583:1 compliant with development under clause 4.4.

Foreshore Scenic Protection Area (5.4.1) - modification does not include any changes to the approved boatshed and landscaped foreshore areas, thus 5.4.1 satisfied.

Threatened Species and Critical Habitat Lands (5.4.2) - no change to approved development in respect to foreshore areas and boatshed, thus 5.4.2 satisfied.

The proposed modification satisfies the relevant controls in the Manly DCP 2013.

5.2 Impact on adjoining properties

The subject site is adjoined by the following dwellings:

18 Addison Road - rear boundary adjoins subject site. Located to the north-west the modification does not change the approved building envelope – building height, wall height and setbacks so no change to view impacts agreed at the L & E Court. The minor changes to carport roof consistent with height of existing brick wall currently forming the rear boundary of No.18. The modification do not introduce any new overlooking impacts. The modification will not impact adversely on the amenity of 18 Addison Street.

20 Addison Road – side boundary adjoins subject site to north-east. The changes to the to the ground floor level opening to powder room with obscure glazing will be below the existing fence on the common boundary therefore no overlooking potential; increase in length of skylight opening above the first-floor level by 200mm will have no impacts on amenity of No.20 as no potential for overlooking. The modification will not introduce any adverse amenity impacts on 20 Addison Road.

14 Addison Road - side boundary adjoins subject site to the south-west. The changes to the window to bedroom 4 at the lower ground floor level will have no potential for overlooking as it will be well below the height of the fence on the common boundary; the high-level skylight on the western elevation (Drawing 2.1 at **Appendix 2**) is above eye height level on the first-floor level thereby preventing any potential for overlooking of No.14. The privacy measures incorporated in the approved development for No.14 remain. The modification will not introduce any adverse amenity impacts on 14 Addison Road.

12 Addison Road – proposed modification will have no impacts on the dwelling at 12 Addison Road.

6. SECTION 4.15(1) EVALUATION

Section 4.15(1) of the Environmental Planning & Assessment Act 1979 specifies the matters which a consent authority must consider when determining an application to modify a Development Application under Section 4.56 of the Act. The following is a summary assessment of the proposed modification against the Matters for Consideration in Section 4.15(1) of the Act.

(a)(i) The provisions of any environmental planning instrument.

The site is zoned C4 Environmental Living under the Manly LEP 2013. The proposed modification to DA2021/1408 satisfies the “*substantially the same development*” test under Section 4.56(a), as detailed in Section 5.1 of this report. The proposal, as modified, satisfies the relevant provisions under the SEPP (Biodiversity and Conservation) 2021, SEPP (Building Sustainability Index: BASIX) 2004 and Manly LEP 2013, as detailed in Section 5.1 of this report.

(ii) The provisions of any draft environmental planning instrument that has been subject to public consultation.

There are none.

(iii) Any development control plan.

The modification application satisfies the relevant provisions in the Manly DCP 2013, as detailed in Section 5.1 of this report.

(iiia) Any Planning Agreement or Draft Planning Agreement.

There are none.

(iv) Any matters prescribed by regulations.

There are none relevant to the Modification Application.

(v) Any Coastal Zone Management Plan.

Not applicable.

(b) Likely impacts of that development.

The proposed modifications to DA2021/1408 will not introduce any adverse amenity impacts on adjoining properties, as detailed in Section 5.2 of this Report.

(c) The suitability of the site for development.

The site is zoned C4 Environmental Living and the approval by the Land and Environment Court for demolition of the existing dwelling and erection of a part 2/part 3 storey detached dwelling, carport, boatshed and landscaped foreshore areas indicates that the site is suitable for the form of the building. The modification does not change the approved building envelope and footprint. The Modification does not propose any changes to the boatshed and foreshore areas and the amendments to the approved dwelling are largely internal to the building.

The site is eminently suitable for the development, as modified.

(d) Submissions.

None at this stage.

(e) Public interest.

The existing dwelling on the site has been demolished, in accordance with the consent granted to DA2021/1408

The application to modify DA2021/1408 arises from minor design changes, largely internal to the dwelling, as part of the Construction Certificate documentation process.

Given that the building envelope of the approved dwelling is not changed and the minor increase of gross floor area of 4.38m² maintains compliance with the 0.6:1 FSR standard under clause 4.4 and the minor scope of the proposed changes to the approved dwelling it is considered that the application to modify Development Application DA2021/1408 is in the public interest and worthy of approval by Council.

7. SUMMARY AND CONCLUSIONS

The s4.56 application seeks to modify the consent granted by the Land and Environment Court to Development Application DA2021/1408 to address largely internal layout and amenity considerations for the erection of a part2/part 3 storey detached dwelling, carport, boatshed and landscaped foreshore areas at 16 Addison Road Manly.

The proposed modification maintains the approved building envelope and footprint of the dwelling and does not proposed changes to the boatshed and foreshore areas. The changes are largely internal to the dwelling and will continue to comply with the building height and floor space ratio standards applying to the site under the Manly LEP 2013 and the relevant DCP controls.

The modification application satisfies the provisions in s4.56(a) of the EP&A Act 1979 and the relevant provisions in the SEPP (Biodiversity and Conservation) 2021.

The approved dwelling, as modified, will not adversely impact on the amenity of the adjoining residential properties.

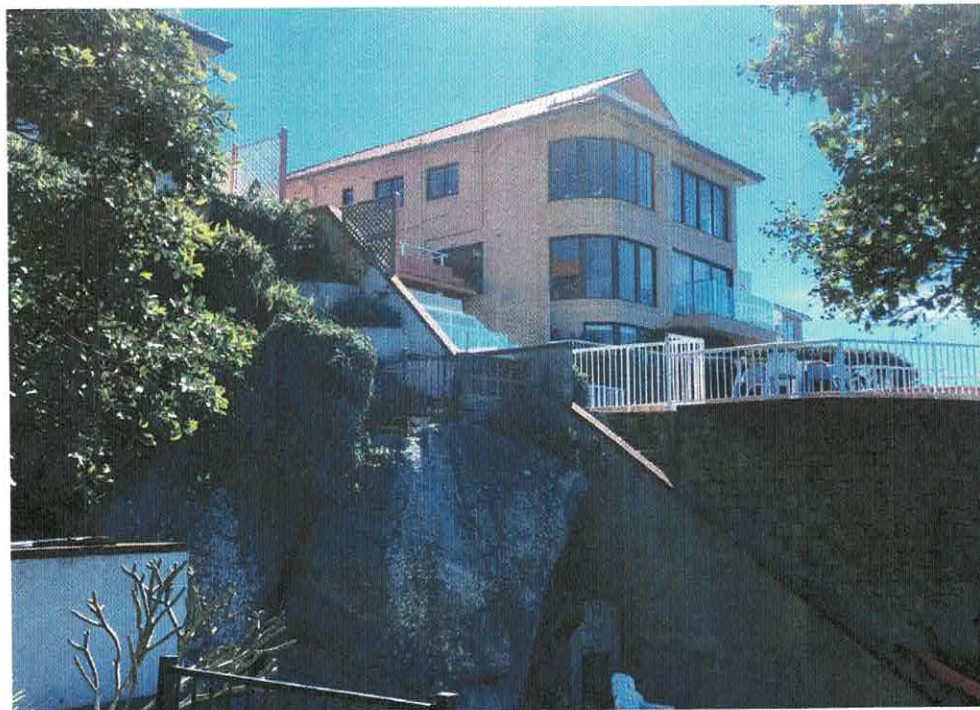
For these reasons and for the reasons detailed in this report it is considered that the application to modify Development Application DA2021/1408 is worthy of Council support and approval.

Kerry Nash
Director
KN Planning Pty Limited
20 October 2023

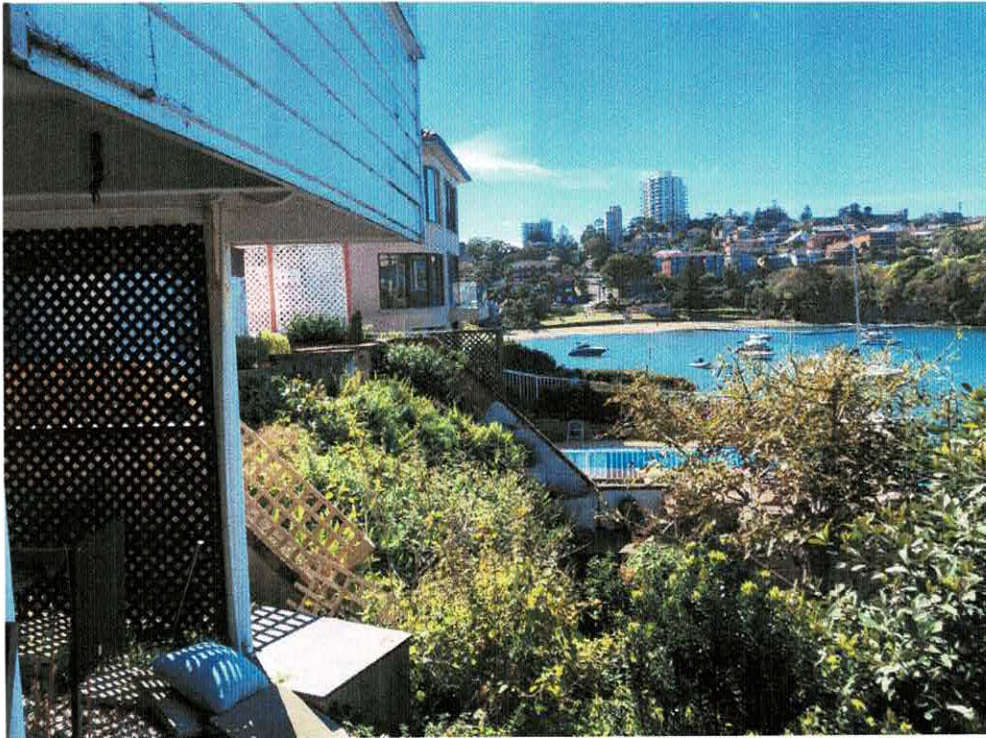
Appendix 1



Photograph 1: Subject site, 16 Addison Road Manly, as viewed from foreshore



Photograph 2: Looking east from rear yard of subject site



Photograph 3: Looking east from rear yard of subject site



Photograph 3: 14A Addison Road, viewed looking south-west from rear yard of subject site



Photograph 5: Front of the subject site



Photograph 6: Front of subject site



Photograph 7: View of subject site and 14 Addison Road from right of carriageway



Photograph 8: Right of carriageway



Photograph 9: Existing dwelling demolished cleared site

Appendix 2

Town Planning

Site Area: 543.8m²
 Floor space Ratio: 0.6
 543.8x0.6= 326.3m²
 Zone: C4 Environmental Living
 Max. Wall Height: 7.2m and 8m
 calculated for gradient
 Max. Building Height: 8.5m
 Max. Roof Slope: 35°
 Lot size C: Min. 250m²
 Setback: 1/3 Wall Height
 Foreshore Scenic Protection Area
 Bandicoot and Penguin Significant Area
 Biodiversity Overlay

Dwelling Gross Floor Area
 Boat shed 22.0m²
 Lower Floor 88.8m²
 Ground Floor 106.56m²
 First Floor 96.02m²
TOTAL: 317.38m²
 (includes plant, vertical circulation & basement storage)
 Storage Shed 5m²

NOTE: Drawings subject to be checked, Designed and Issued Design
 Version, Not for Construction, To be used in conjunction with
 Specification and Consultant Drawings

PATTERSON

PATTERSON ASSOCIATES LTD
 REGISTERED ARCHITECTS NUMBER 1898
 P.O. BOX 6778 SYDNEY ST. AUSTRALIA NEW ZEALAND
 TELEPHONE (609) 303-0004 FACSIMILE (609) 303-6001
16 Addison Rd, Sydney

Consultants	
Quantity Surveyors	Dunn, Henry & Partners Ltd.
Structural Engineers	Lane New Zealand Ltd.
Team Designer	Baldock Layton Ltd.
Coastal Engineer	Chubbros Consultants Ltd.
Designed	peer review **
Drawn	checked **
Scale	1:100 @ A1 date 20th 02/2023

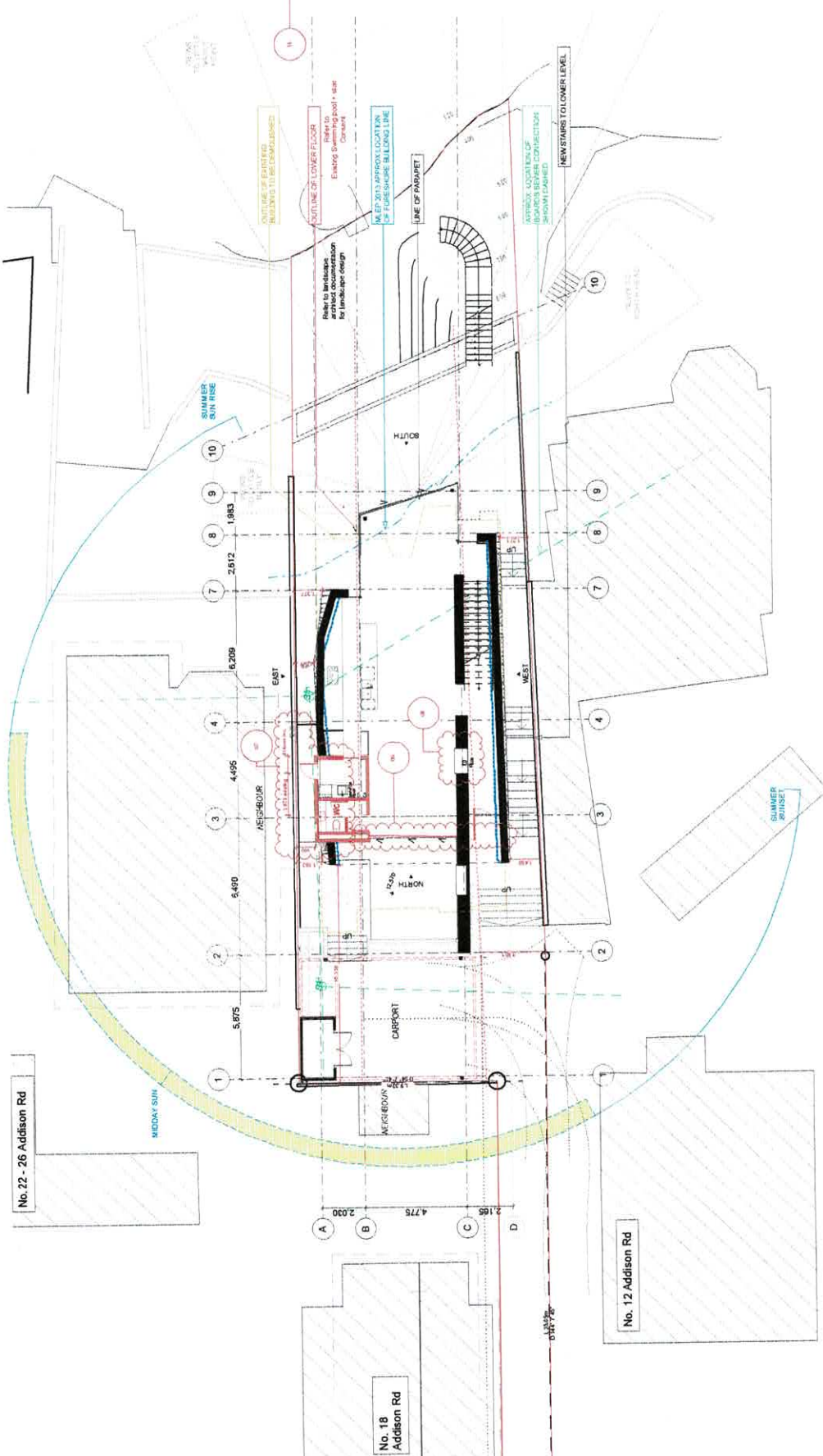
With
 Site Plan 1:200 @ A3

Drawing set

New Development Application
 Not For Construction

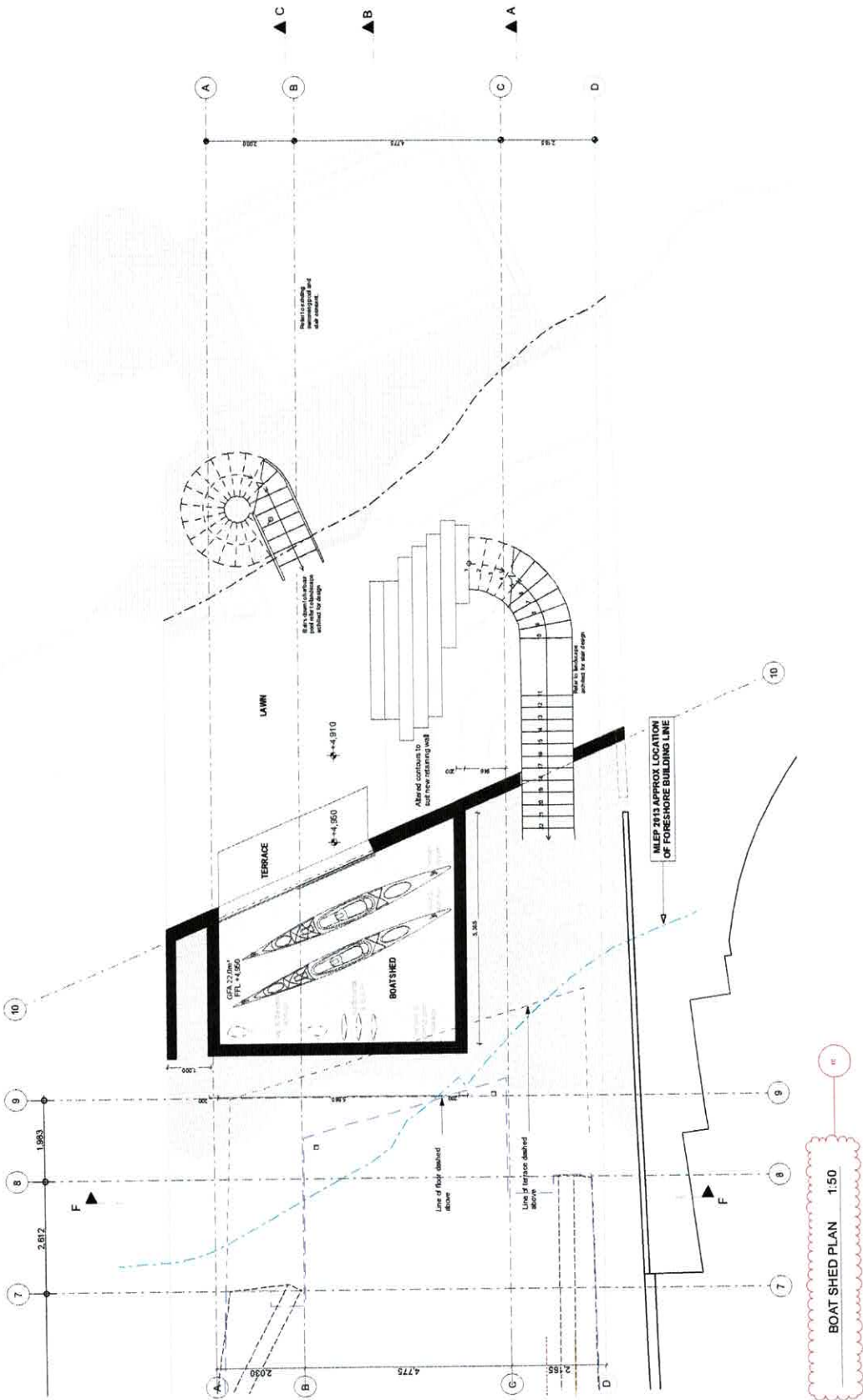
Sheet No.	18010	REV:	
Scale	1:2	REV:	A

The contractor must check and verify all drawings, details,
 dimensions and levels on site prior to commencing any
 work. The contractor is responsible for any modifications
 reported to the architect, or suggestions for modifications
 to the drawings. The contractor must ensure that all work is
 done in accordance with the drawings and all parts thereof
 are the property of Patterson Associates Limited.
 Patterson Associates Limited, 16 Addison Rd, Sydney
 N.Z. Copyright © 2023 Patterson Associates Ltd.



SITE PLAN 1:100

Rev	Date	Reason for Change	Issue	no.	Description of change
1					



BOAT SHED PLAN 1:50

NOTE: Drawing subject to technical Development and Design Review. Not for Construction. To be used in conjunction with Qualification and Construction Drawings.

PATTERSON

PATTERSON ASSOCIATES LTD
 REGISTERED ARCHITECTS NUMBER 1988
 P.O. BOX 8774 SPANBROOK ST. AUCKLAND, NEW ZEALAND
 TELEPHONE (09) 333-8084 FACSIMILE (09) 333-4071
16 Addison Rd, Sydney

Consultants
 Quantity Surveyors: Hunt, Murray & Partners Ltd.
 Structural Engineers: Law Site Development Ltd.
 Theme Designer: Biddisale Logistics Ltd.
 Geotechnical Engineer: Chambers Consultants Ltd.

Designed: ** per review **
 drawn: ** checked **
 scale: 1:50 @ A1 date: 20/10/2025

file: Boat Shed Plan - 1:100 @ A3

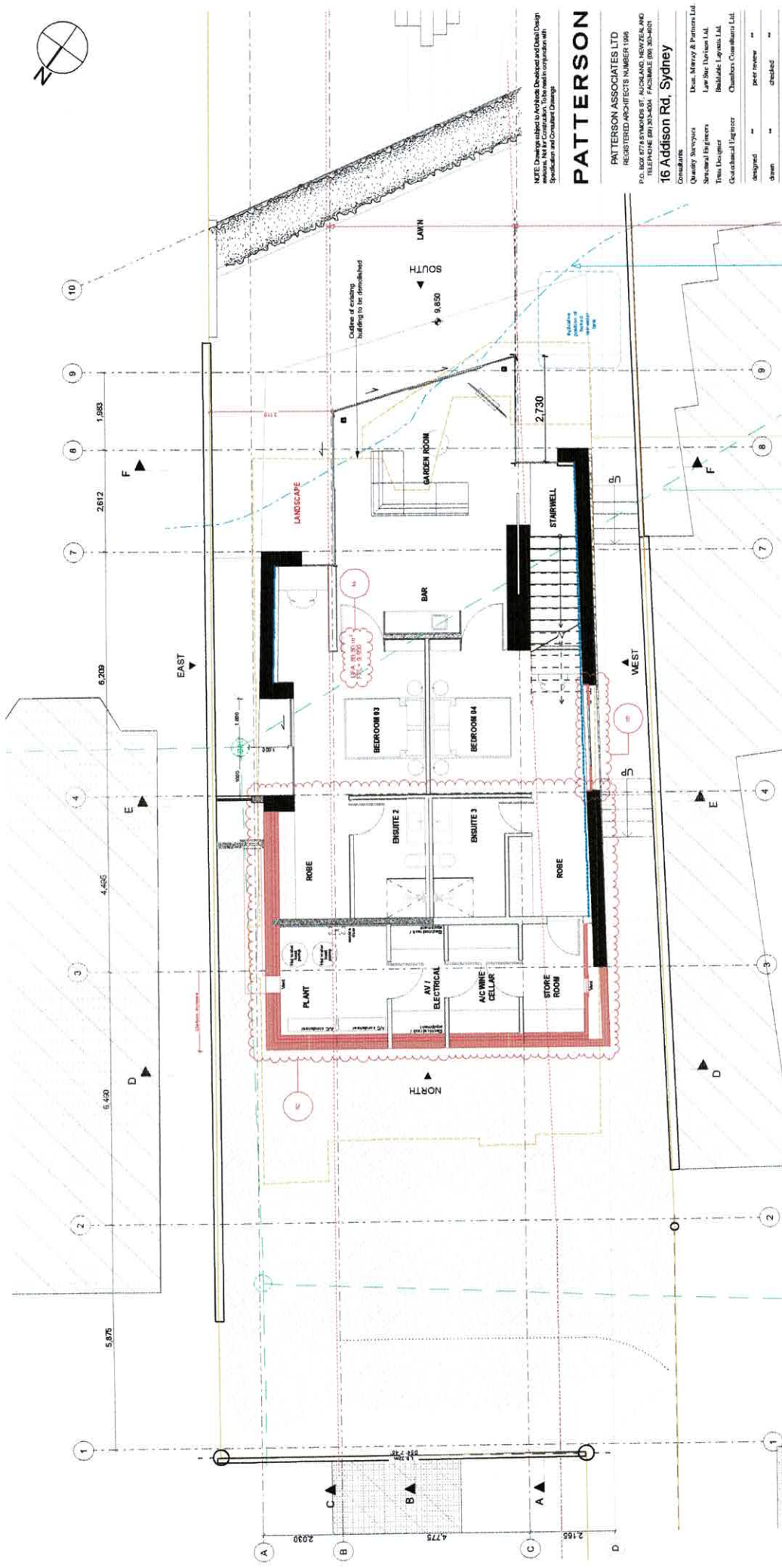
drawing set:

New Development Application
 Not For Construction

ref no:	18010
sheet no:	1.3
rev:	A

The contractor must check and verify all drawings, details, dimensions and levels on site prior to commencing any work. Any discrepancies or omissions must be reported to the architect or design professional immediately. The contractor is responsible for ensuring that all parts to be used are of the quality of the materials specified. The contractor is responsible for ensuring that all parts to be used are of the quality of the materials specified. The contractor is responsible for ensuring that all parts to be used are of the quality of the materials specified.

Rev	Date	Reason for Change/Issue	Rev. no.	NO CHANGE	Description of change
A	18/09/2022	NO CHANGE			



LOWER FLOOR PLAN 1:50

1400mm Wall Height

- APPROX LOCATION OF EXISTING SERVICES CONNECTION SHOWN DASHED
- OUTLINE OF EXISTING BUILDING TO BE DEMOLISHED
- IN EP 2013 APPROX LOCATION OF FORESHORE BUILDING LINE
- SEE EP 01 FOR DETAILS OF NEW WINDOW FROM HABITABLE DWELLING 3000 FROM BOUNDARY

NOTE: Designer relies on Architects, Developer and Client Design Specification and Consultant Drawings

PATTERSON

PATTERSON ASSOCIATES LTD
 REGISTERED ARCHITECTS NUMBER 1986
 P.O. BOX 4728 MONMOUTH AUCKLAND NEW ZEALAND
 TELEPHONE (91) 203-2000 FACSIMILE (91) 302-8021
16 Addison Rd, Sydney

Quantity Surveyors	Dean, Murray & Partners Ltd
Structural Engineers	Lane Site Services Ltd
Team Designer	Bankable Layouts Ltd
Geotechnical Engineer	Chambers Consultants Ltd
designed	peer review
drawn	checked
scale	1:50 @ A1
date	2010/02/23

Site: Lower Floor Plan - 1:100 @ A3

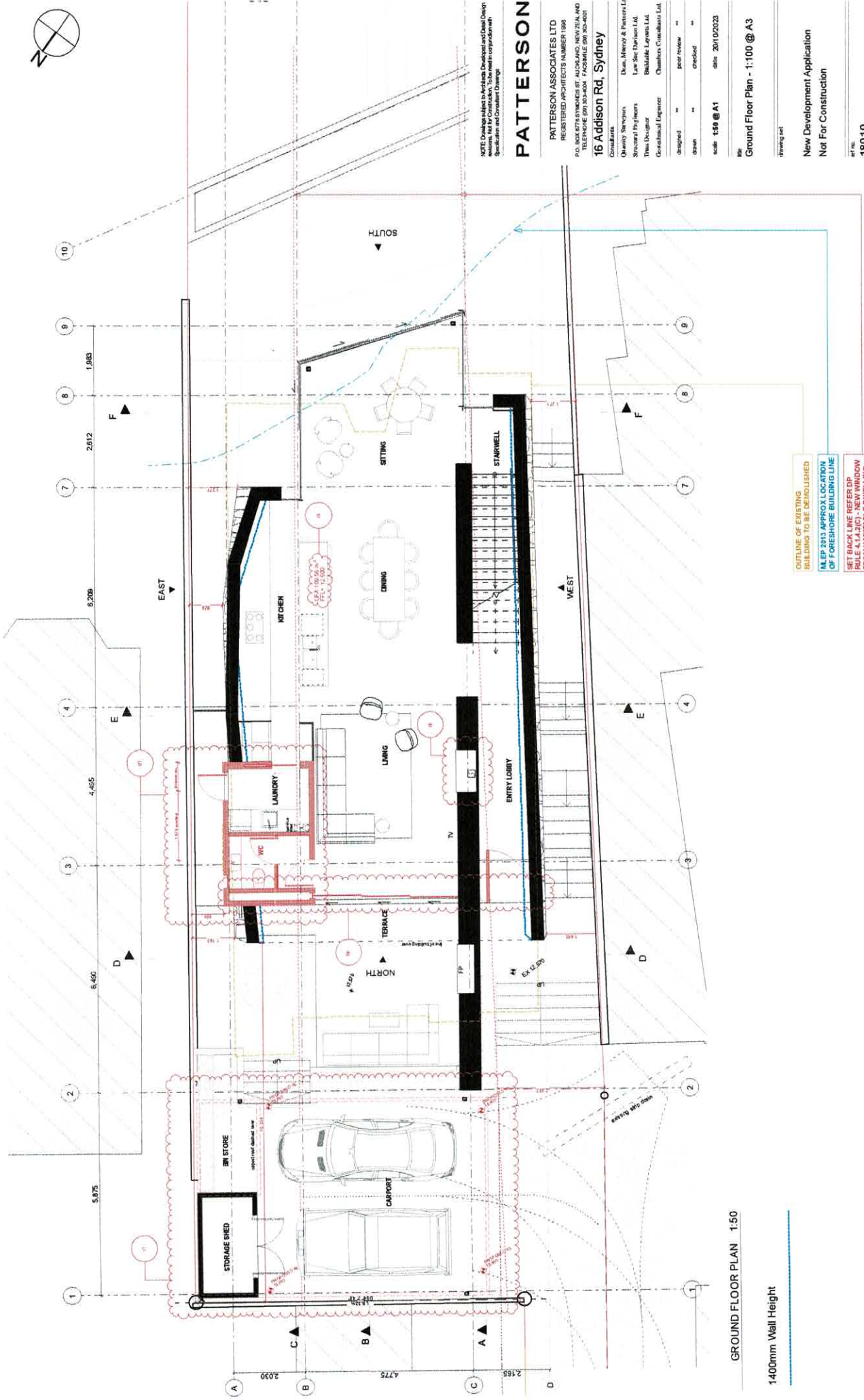
drawing set

New Development Application
 Not For Construction

sheet no.	18010
sheet no.	1.4
rev	A

The client may need to verify all drawings, details, dimensions and levels on site prior to commencing any work. The client is responsible for ensuring that all necessary consents and approvals are obtained prior to work starting. Copyright in these drawings is the property of Patterson Associates Limited. All rights reserved.
 Client: [redacted]
 K:\Drawings\18010\18010.dwg

Rev	Date	Reason for Change Issue	Drawn	Description of change
1	18/02/2010	DK Modification		Increased window in kitchen fronts
2				Revised enclosure around by plant equipment, structural layout detail



GROUND FLOOR PLAN 1:100

1400mm Wall Height

NOTE: Drawings subject to the latest Design and Detailing Specifications, AS/NZS 4455, AS/NZS 4455.1, AS/NZS 4455.2, AS/NZS 4455.3, AS/NZS 4455.4, AS/NZS 4455.5, AS/NZS 4455.6, AS/NZS 4455.7, AS/NZS 4455.8, AS/NZS 4455.9, AS/NZS 4455.10, AS/NZS 4455.11, AS/NZS 4455.12, AS/NZS 4455.13, AS/NZS 4455.14, AS/NZS 4455.15, AS/NZS 4455.16, AS/NZS 4455.17, AS/NZS 4455.18, AS/NZS 4455.19, AS/NZS 4455.20, AS/NZS 4455.21, AS/NZS 4455.22, AS/NZS 4455.23, AS/NZS 4455.24, AS/NZS 4455.25, AS/NZS 4455.26, AS/NZS 4455.27, AS/NZS 4455.28, AS/NZS 4455.29, AS/NZS 4455.30, AS/NZS 4455.31, AS/NZS 4455.32, AS/NZS 4455.33, AS/NZS 4455.34, AS/NZS 4455.35, AS/NZS 4455.36, AS/NZS 4455.37, AS/NZS 4455.38, AS/NZS 4455.39, AS/NZS 4455.40, AS/NZS 4455.41, AS/NZS 4455.42, AS/NZS 4455.43, AS/NZS 4455.44, AS/NZS 4455.45, AS/NZS 4455.46, AS/NZS 4455.47, AS/NZS 4455.48, AS/NZS 4455.49, AS/NZS 4455.50, AS/NZS 4455.51, AS/NZS 4455.52, AS/NZS 4455.53, AS/NZS 4455.54, AS/NZS 4455.55, AS/NZS 4455.56, AS/NZS 4455.57, AS/NZS 4455.58, AS/NZS 4455.59, AS/NZS 4455.60, AS/NZS 4455.61, AS/NZS 4455.62, AS/NZS 4455.63, AS/NZS 4455.64, AS/NZS 4455.65, AS/NZS 4455.66, AS/NZS 4455.67, AS/NZS 4455.68, AS/NZS 4455.69, AS/NZS 4455.70, AS/NZS 4455.71, AS/NZS 4455.72, AS/NZS 4455.73, AS/NZS 4455.74, AS/NZS 4455.75, AS/NZS 4455.76, AS/NZS 4455.77, AS/NZS 4455.78, AS/NZS 4455.79, AS/NZS 4455.80, AS/NZS 4455.81, AS/NZS 4455.82, AS/NZS 4455.83, AS/NZS 4455.84, AS/NZS 4455.85, AS/NZS 4455.86, AS/NZS 4455.87, AS/NZS 4455.88, AS/NZS 4455.89, AS/NZS 4455.90, AS/NZS 4455.91, AS/NZS 4455.92, AS/NZS 4455.93, AS/NZS 4455.94, AS/NZS 4455.95, AS/NZS 4455.96, AS/NZS 4455.97, AS/NZS 4455.98, AS/NZS 4455.99, AS/NZS 4455.100

PATTERSON

PATTERSON ASSOCIATES LTD
 REGISTERED ARCHITECTS NUMBER 1989
 P.O. BOX 8778 BRUNNICK ST. AUCKLAND, NEW ZEALAND
 TELEPHONE (09) 293-0044 FACSIMILE (09) 293-4021
 16 Addison Rd, Sydney

Consultants:
 Quantity Surveyors: Dean, Murray & Partners Ltd.
 Structural Engineers: Lee, She, O'Brien Ltd.
 Thermal Designers: Babalola Layanu Ltd.
 Geotechnical Engineer: Chatterjee Consultants Ltd.

Designed: ** peer review: **
 Drawn: ** checked: **

scale: 1:50 @ A1 date: 20/10/2023
 title: Ground Floor Plan - 1:100 @ A3

Drawing set:
 New Development Application
 Not For Construction

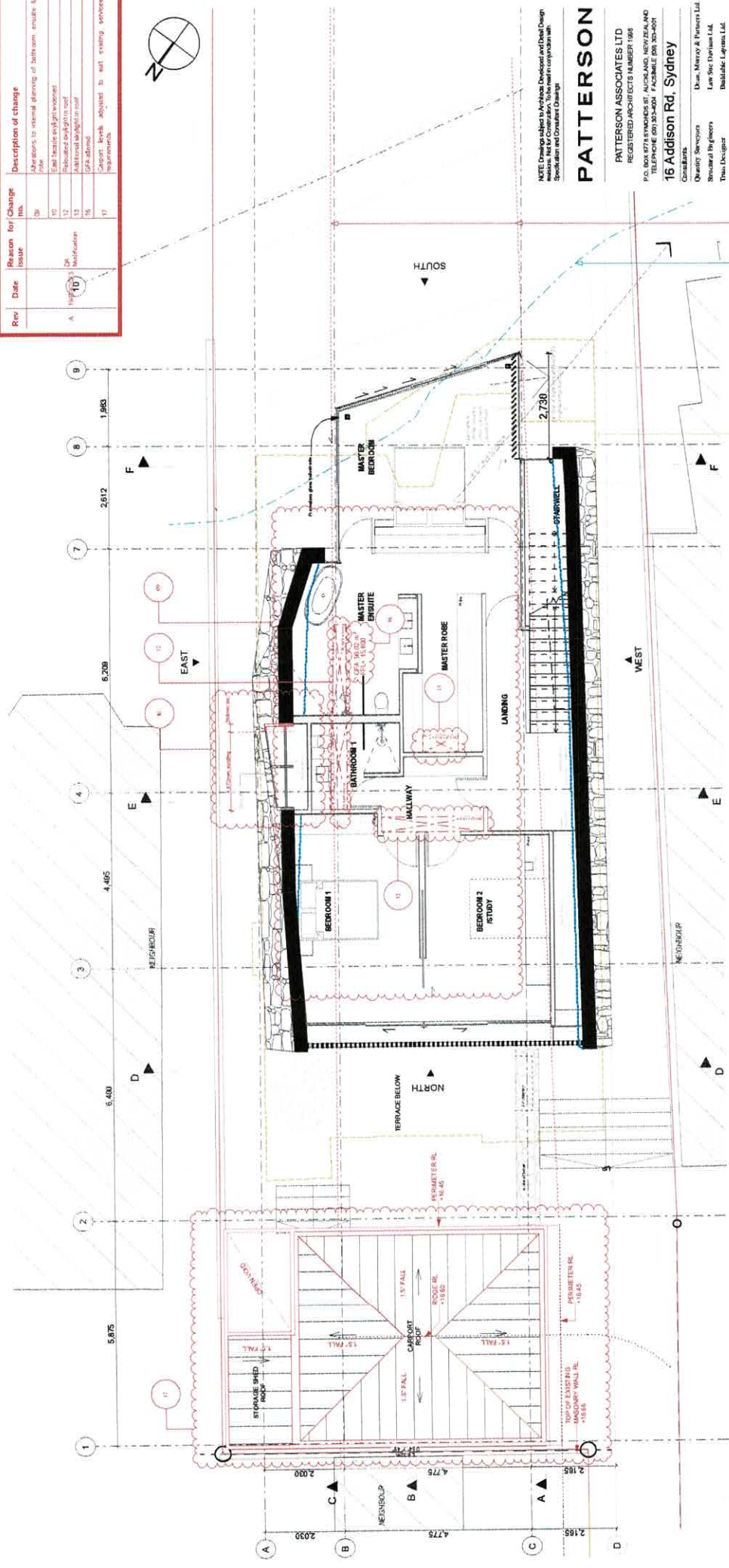
Sheet no.: 18010
 Project no.: 1.5
 Rev: A

The contractor must check and verify all drawings, details, dimensions and levels on site prior to commencing any work. Any discrepancies or errors must be reported to the architect or surveyors for modifications. The contractor is responsible for ensuring that all work is carried out in accordance with the specifications and standards of the relevant authorities. The architect and surveyors accept no liability for any errors or omissions in these drawings. Patterson Associates Limited, Auckland, New Zealand.

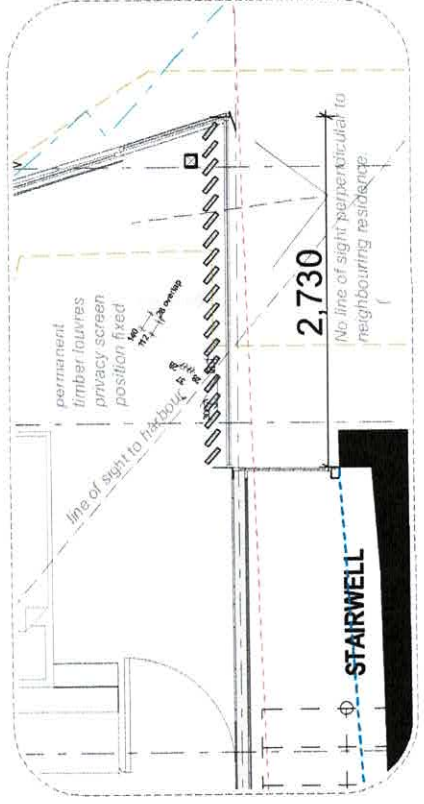
- GUIDELINE OF EXISTING BUILDINGS TO BE DEMOLISHED
- MLEP 2011 APPROX LOCATION OF FORESHORE BUILDING LINE
- SET BACK LINE REFER DP RULE 4.1.4.2(C) - NEW WINDOW FROM HABITABLE DWELLING JOIN FROM BOUNDARY

Rev	Date	Reason for Change Issue	Description of change
01			Carport built adjacent to site existing services.
02			Site services relocated, 15mm gap between wall and roof frame in each location.
03			Small extension of external wall to new garage roof space glass to window.
04			External ground level raising & form door relocated.

Rev	Date	Reason for Change Issue	Description of Change
10	10/10/2023	DA Modification	<ul style="list-style-type: none"> Adjustments to internal planning of bathroom ensuite & robe Small facade window widened Revised external roof Additional window in roof GA altered Support levels adjusted to suit existing services requirements



FIRST FLOOR PLAN 1:50



TIMBER PRIVACY SCREEN 1:20

NOTE: This building is to be built in accordance with the Building Code of New Zealand. The design is subject to the approval of the Council of Resource Management and Environmental Control.

PATTERSON

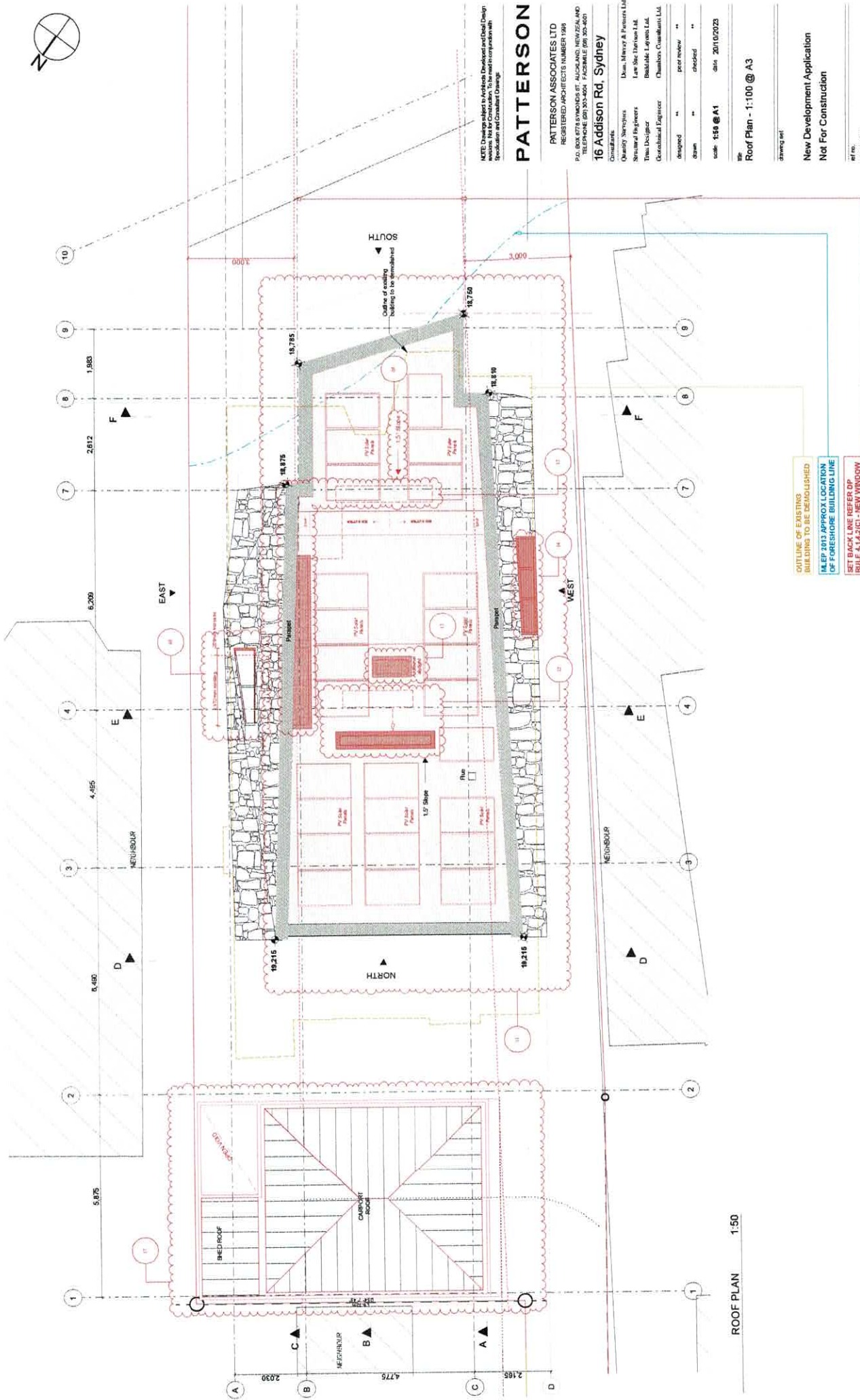
PATTERSON ASSOCIATES LTD
 REGISTERED ARCHITECTS NUMBER 1388
 P.O. BOX 675 STAMFORD ST. AUCKLAND, NEW ZEALAND
 TELEPHONE (09) 303-3400 FACSIMILE (09) 303-3071
16 Addison Rd, Sydney

Quantity Surveyors	Dunn, Murray & Partners Ltd
Structural Engineers	Law & Dickenson Ltd
Town Designer	Industrie Lorraine Ltd
Geotechnical Engineer	Chambers Consultants Ltd
designed	**
checked	**
drawn	**
scale	1:50 @ A1
date	20/10/2023

sheet no. **18010**
 sheet no. **1.5**
 rev. **A**

New Development Application
 Not For Construction

The contractor must check and verify all drawings, details and levels on site prior to commencing any work. Any discrepancies or omissions must be reported to the architect or draftsman for modification prior to work starting. Copyright in these drawings is reserved by Patterson Associates Limited. All rights reserved. Patterson Associates Limited, 16 Addison Road, Auckland.
 K. Chaney 09 303 3400



ROOF PLAN 1:50

NBS Consulting Architects Limited, Christchurch (Client Design Review) Ltd for Construction. To be used in conjunction with Specification and Consultant's Drawings.

PATTERSON

PATTERSON ASSOCIATES LTD
 REGISTERED ARCHITECTS NUMBER 1998
 P.O. BOX 4778 STAVROPOULOS ST. AUCKLAND, NEW ZEALAND
 TELEPHONE (09) 303-8604 FACSIMILE (09) 303-8603

16 Addison Rd, Sydney

Quantity Surveyors	Dean, Murray & Partners Ltd
Structural Engineers	Law & Dorman Ltd
Team Designer	Redcliffe Logistics Ltd
Geotechnical Engineer	Chambers, Coombes & Ltd
Designed	** peer review **
Drawn	** checked **
Scale	1:50 @ A1
Date	20/10/2023

Site: **Roof Plan - 1:100 @ A3**

Drawing set:

New Development Application
Not For Construction

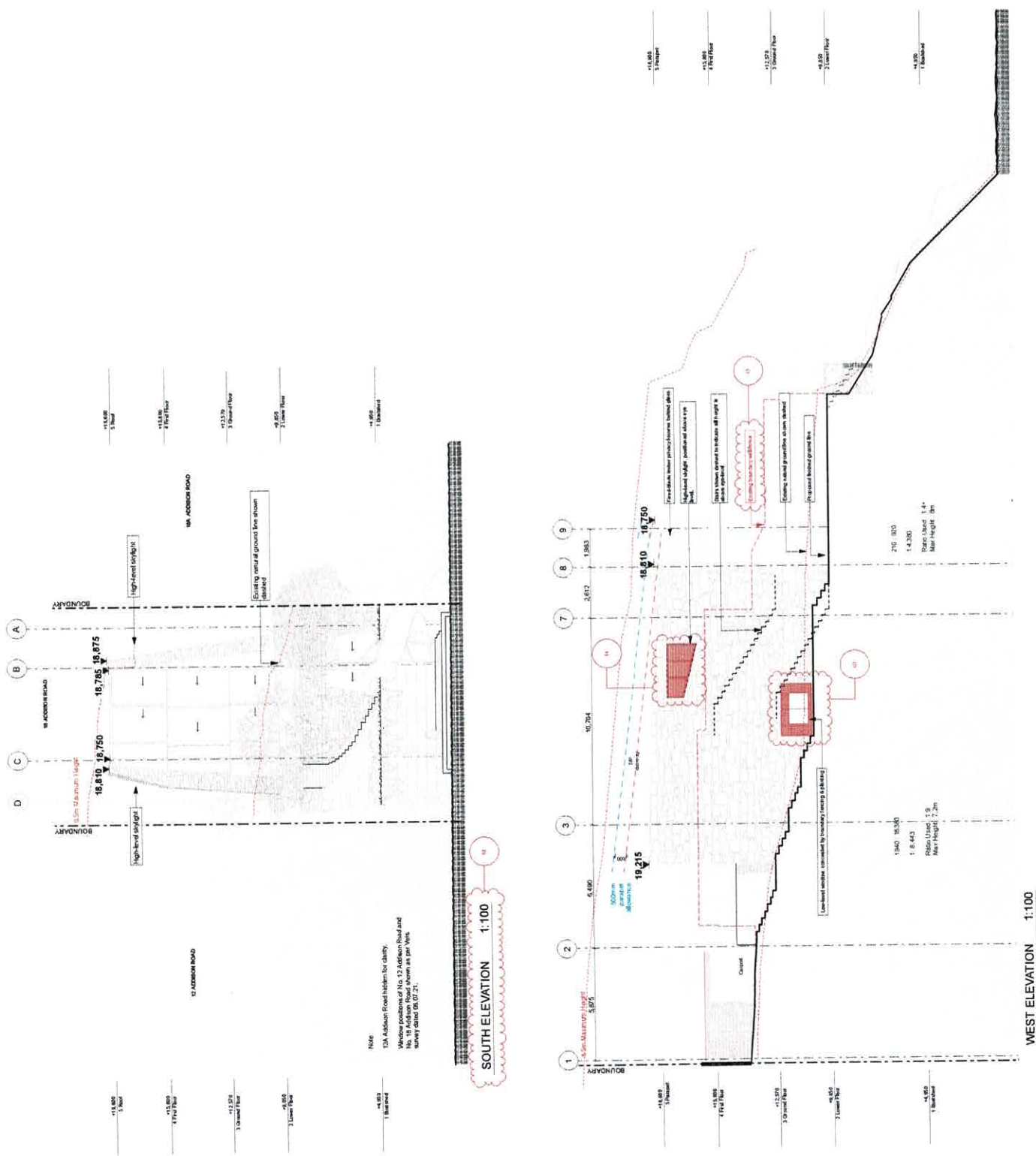
of no.	18010
Sheet no.	
Rev.	1.7
	A

The contractor must check and verify all drawings, details, dimensions and levels are prior to commencing any work. The contractor is responsible for any modifications required to the subject, or suggestions for modifications made prior to construction. Changes to these drawings shall be made in accordance with the approval of the Property of Patterson Associates Limited.
 1. Check for compliance with all applicable codes.
 2. Check for compliance with all applicable codes.
 3. Check for compliance with all applicable codes.

- OUTLINE OF EXISTING BUILDING TO BE DEMOLISHED
- M.E.P 2013 APPROX. LOCATION OF FORESHORE BUILDING LINE
- SET BACK LINE REFER DP (RULE 4.1.4.2(C)) - NEW WINDOW FROM HABITABLE DWELLING 3.0M FROM BOUNDARY

Rev	Date	Reason for Change Issue	Change No.	Description of change
1.7		Contract levels adjusted to suit existing services		
1.6		Revised levels adjusted to suit existing services		
1.5		Revised levels adjusted to suit existing services		
1.4		Revised levels adjusted to suit existing services		
1.3		Revised levels adjusted to suit existing services		
1.2		Revised levels adjusted to suit existing services		
1.1		Revised levels adjusted to suit existing services		
1.0		Revised levels adjusted to suit existing services		
0.9		Revised levels adjusted to suit existing services		
0.8		Revised levels adjusted to suit existing services		
0.7		Revised levels adjusted to suit existing services		
0.6		Revised levels adjusted to suit existing services		
0.5		Revised levels adjusted to suit existing services		
0.4		Revised levels adjusted to suit existing services		
0.3		Revised levels adjusted to suit existing services		
0.2		Revised levels adjusted to suit existing services		
0.1		Revised levels adjusted to suit existing services		

Rev	Date	Reason for Change	Description of change
A	15/05/2023	1st Modification	1st Modification
B			1st Modification
C			1st Modification
D			1st Modification
E			1st Modification
F			1st Modification
G			1st Modification
H			1st Modification
I			1st Modification
J			1st Modification
K			1st Modification
L			1st Modification
M			1st Modification
N			1st Modification
O			1st Modification
P			1st Modification
Q			1st Modification
R			1st Modification
S			1st Modification
T			1st Modification
U			1st Modification
V			1st Modification
W			1st Modification
X			1st Modification
Y			1st Modification
Z			1st Modification



NOTE: Drawings subject to variations, Developments and Design Specifications and Consultant Drawings

PATTERSON

PATTERSON ASSOCIATES LTD
 REGISTERED ARCHITECTS NUMBER 1998
 P.O. BOX 8774 SYDNEY ST. AUCKLAND, NEW ZEALAND
 TELEPHONE (09) 300-8001 FACSIMILE (09) 300-6001

16 Addison Rd, Sydney

Quantity Surveyors: Dem. Mistry & Partners Ltd
 Structural Engineers: Lee Site Design Ltd
 Town Planner: Bekdale Jaynes Ltd
 Geotechnical Engineer: Chubbuck Consultants Ltd
 designed: peer review
 drawn: checked
 scale: 1:100 @ A1 date: 2010/02/23

Mr Elevations - 1:200 @ A3

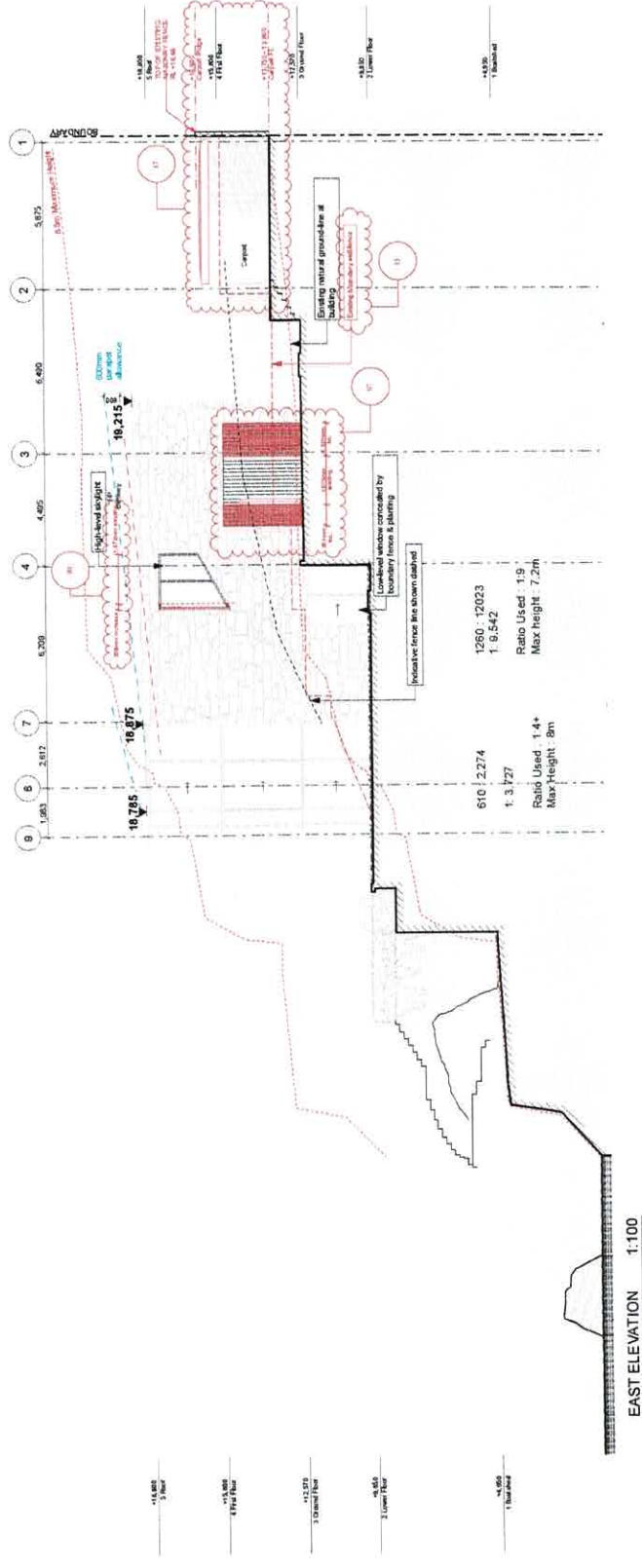
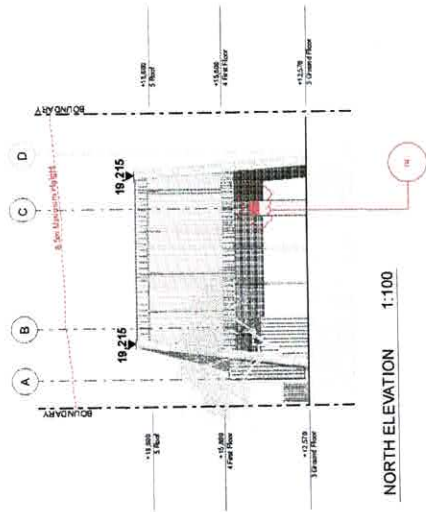
Drawing set

New Development Application
 Not For Construction

sheet no. 18010
 rev. A

The contents must check and verify all drawings, details, dimensions and levels on site prior to commencing any construction. The contractor is responsible for any modifications made prior to works starting. Copyright in these drawings is the property of Patterson Associates Limited. All rights reserved.
 Do not scale dimensions. Use of 0.1mm.

Rev	Date	Reason for Change Issue	Description of change
A	18/03/23	CA Modification	<ul style="list-style-type: none"> Increase height of balconies wall sections Increase amount of handrails & hand grip installed Install handrails of different width to new powder room Change glass to window Use balconies with handrails Use of existing boundary wall fence added to drawings Carport levels adjusted to suit existing services requirements



NOTE: Drawings subject to review, Developer and Local Council approval and consent.

PATTERSON

PATTERSON ASSOCIATES LTD
 REGISTERED ARCHITECTS NUMBER 1989
 P.O. BOX 8718 POMEROY ST. AUCKLAND NEW ZEALAND
 TELEPHONE (09) 303-4034 FACSIMILE (09) 303-4051

16 Addison Rd, Sydney

Quantity Surveyors	Dean, Mistry & Partners Ltd
Structural Engineers	Law Sze Tze (Law) Ltd
Truss Designer	Baldwin Layton Ltd
Geotechnical Engineer	Chumley Consultants Ltd
Designed	peer review **
Drawn	checked **

scale: 1:100 @ A1 date: 20/10/2023

WB Elevations - 1:200 @ A3

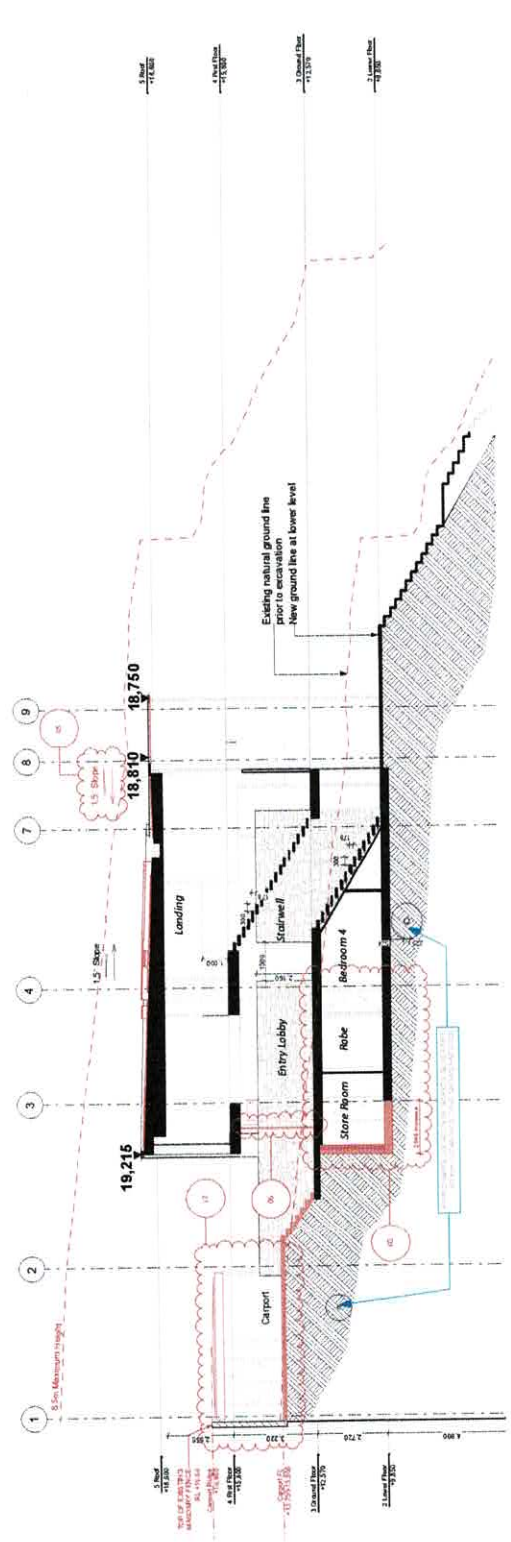
Drawing set

New Development Application
 Not For Construction

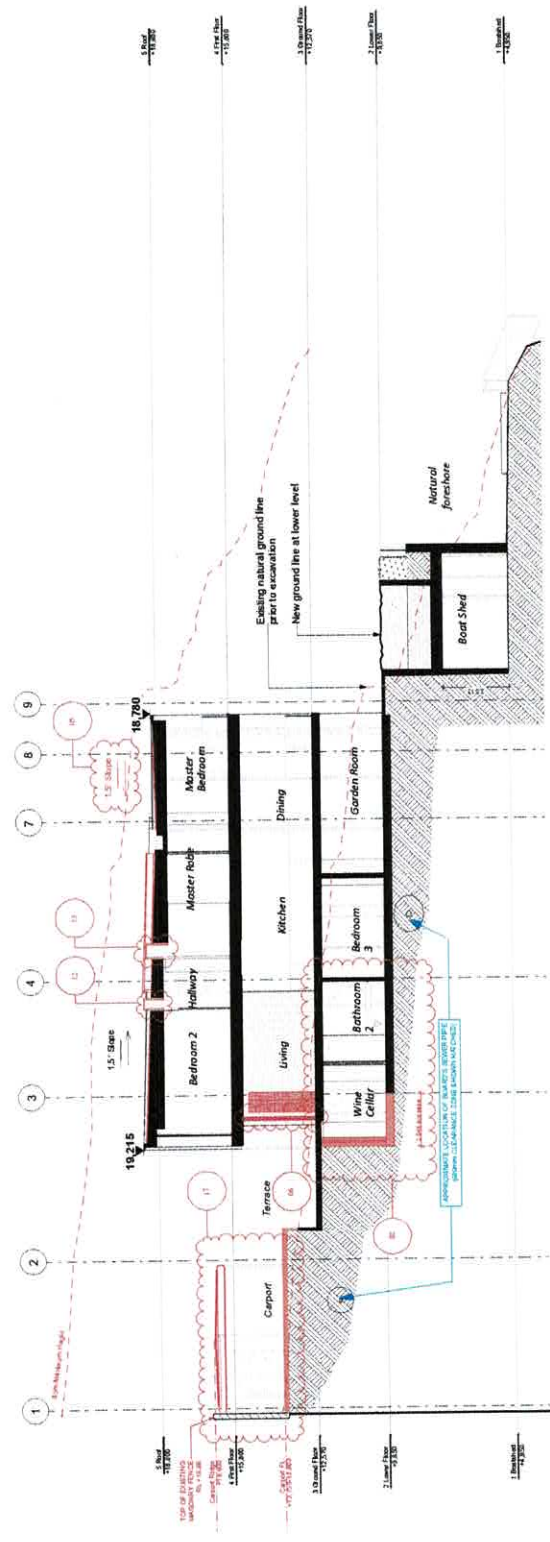
sheet no.	18010
rev.	2.2
rev.	A

The client may check and verify all drawings, details, dimensions and levels on site prior to commencing any construction. The client is responsible for any modifications made prior to work starting. Copyright in these drawings is the property of Patterson Associates Limited. All rights reserved. Do not scale dimensions. Contact us at: 16 Addison Rd, Sydney, Auckland

Rev	Date	Reason for Change	Description of change
		02	Structural engineer advised for plant equipment removal to be retained
		05	Direction of roof slope indicated
		06	Northern ground level picking & vent door relocated
		12	Additional height in roof
		13	Additional height in roof
		14	Carport levels adjusted to suit existing services requirements
A	18/05/2023	DK Modification	



SECTION A 1:100



SECTION B 1:100

NOTE: Drawings which have been prepared and issued (being without limitation) by Patterson Associates Pty Ltd are the property of Patterson Associates Pty Ltd and shall remain the property of Patterson Associates Pty Ltd.

PATTERSON

PATTERSON ASSOCIATES LTD
 REGISTERED ARCHITECTS NUMBER 1998
 P.O. BOX 8778 STANHOPE ST. AUCLAND, NEW ZEALAND
 TELEPHONE (09) 303-4004 FACSIMILE (09) 303-4001
16 Addison Rd, Sydney

Quantity Surveyors Dean, Murray & Partners Ltd
 Structural Engineers Lane Mac Dorman Ltd
 Title Designer Bekdale Layouts Ltd
 Geotechnical Engineer Chalmers Consultants Ltd
 Designed ** peer review **
 Drawn ** checked **

scale: 1:100 @ A1 date: 20/10/2023
 Mr Sections - 1:200 @ A3

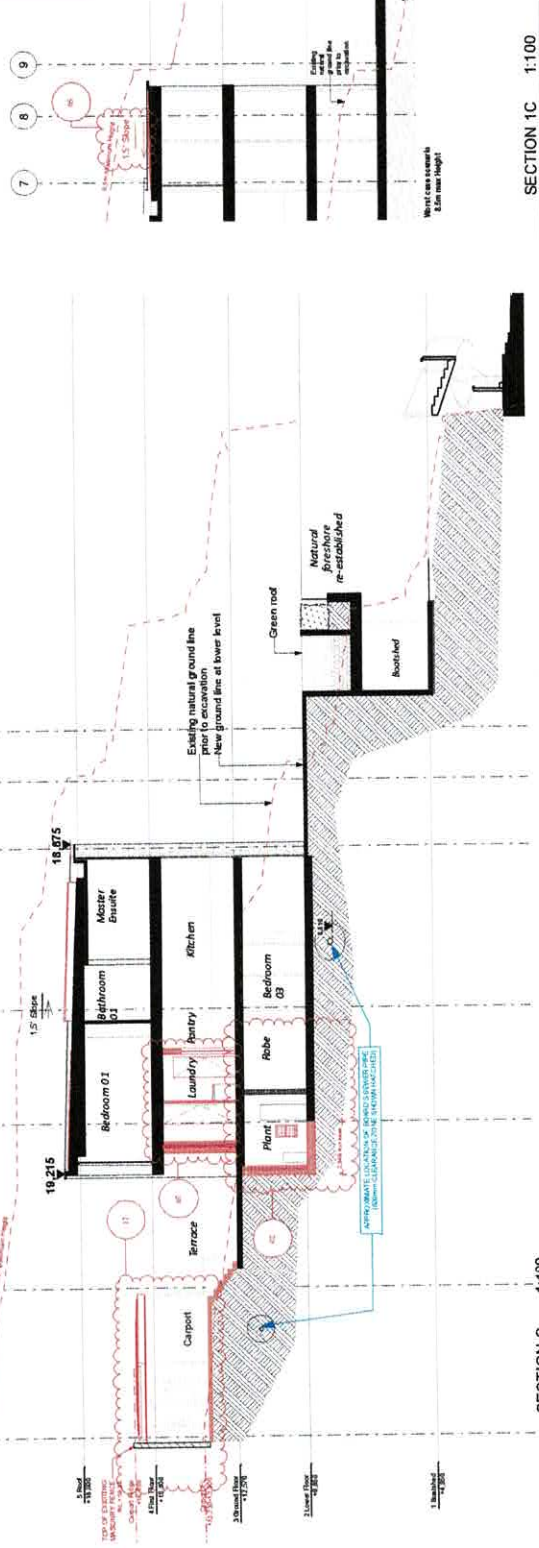
drawing set

New Development Application
 Not For Construction

sheet no. 18010
 rev. A
 3.1

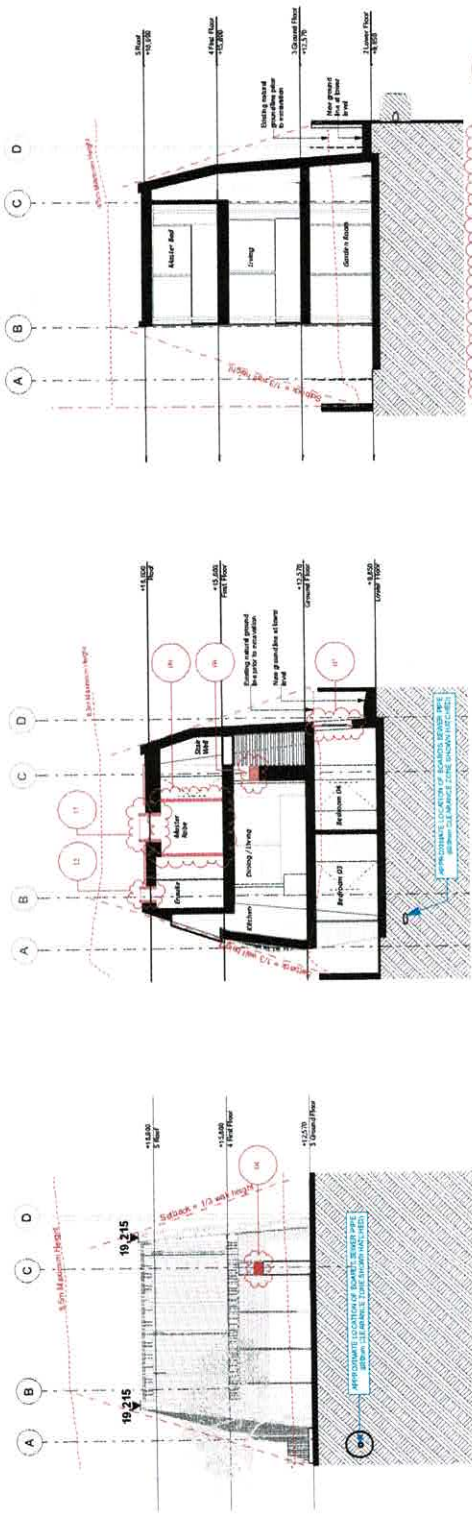
The contractor must check and verify all drawings, details, dimensions and levels on site prior to commencing any work. Any discrepancies or errors must be reported to the architect or supervisors for modifications and approved in writing. Copyright in these drawings is reserved by Patterson Associates Pty Ltd. Patterson Associates Limited, 16 Addison Road, Sydney, New Zealand. All rights reserved. Do not reproduce or distribute without written permission.

Rev	Date	Reason for Change Issue	Description of change
01			NO CHANGE
02			Revised window schedule for plant equipment internal hydraulic frame
03			Increased window to window frame
04			Increase height of window with 400mm
05			Extension of roof slope equated
06			Small extension of external wall to new powder room, replace glass to window
07	19/07/2023	DA Modification	Alteration to internal framing of bathroom ensuite & table
08			Rebalance skylight roof
09			Additional skylight roof
10			Support levels adjusted to suit existing services requirements



SECTION C 1:100

SECTION 1C 1:100



SECTION D 1:100

SECTION E 1:100

SECTION F 1:100

NOTE: Drawings created by Architect Development and Design Specialist in accordance with the Building Code of Australia and Consultant Drawings

PATTERSON

PATTERSON ASSOCIATES LTD
 REGISTERED ARCHITECTS NUMBER 1988
 P.O. BOX 8774 ENVOYERS ST. AUCKLAND, NEW ZEALAND
 TELEPHONE (09) 301-4004 FACSIMILE (09) 302-4001
16 Addison Rd, Sydney

Consultants
 Quantity Surveyors: Dean, Murray & Partners Ltd
 Structural Engineers: Lee Site Services Ltd
 Tins, Designer: Binkside Layouts Ltd
 Geotechnical Engineer: Chubbins Consultants Ltd
 Designed: ** peer review: **
 Drawn: ** checked: **

Scale: 1:100 @ A1 Date: 20/10/2023
 Title: Sections - 1:200 @ A3

Drawing Set:
 New Development Application
 Not For Construction

Sheet No: 180/10
 Rev: A
 3.2

The contractor must check and verify all drawings, details, dimensions and levels on site prior to commencing any work. The contractor is responsible for any variations or modifications made prior to work starting. Copyright in these drawings is the property of Patterson Associates Limited. Do not scale, duplicate, copy, or amend.
 If Drawing(s) is/are for a single page

Appendix 3