



## RFI Response

Revisions	P8	12.02.2020	s4.55 Submission review
	P9	24.02.2020	s4.55 Submission
	A	25.06.2020	s4.55 Submission RFI Response
	B	04.08.2020	s4.55 Submission RFI Response
	C	07.08.2020	s4.55 Submission RFI Response

10/08/2020 11:31:07 AM

Project / **2 DELMAR PARADE**

Drawing / **BASEMENT LEVEL 2**

Project No / **219132**

Date / **07.08.2020** Author / **RIC**

Scale: @ A1 / **1 : 100**

Drawing No. / **TP01.08 C**

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## RFI Response

Revisions			
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B	16.07.2020	s4.55 Submission RFI Response	
C	04.08.2020	s4.55 Submission RFI Response	
D	07.08.2020	s4.55 Submission RFI Response	

10/08/2020 11:31:11 AM

Project / **2 DELMAR PARADE**

Drawing / **BASEMENT LEVEL 1**

Project No / **219132**

Date / **07.08.2020** Author / **BR**

Scale: @ A1 / **1 : 100**

Drawing No. / **TP01.09 D**

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DELMAR PARADE



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	D	07.08.2020	s4.55 Submission RFI Response

7/08/2020 4:28:12 PM

Project / **2 DELMAR PARADE**

Drawing / **GROUND LEVEL**

Project No / **219132**

Date / **07.08.2020**

Author / **BR**

Scale: @ A1 / **1 : 100**

Drawing No. / **TP01.10 D**

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DELMAR PARADE



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	B	04.08.2020	s4.55 Submission RFI Response

4/08/2020 5:35:05 PM

Project / 2 DELMAR PARADE

Drawing / LEVEL 1

Project No / 219132

Date / 04.08.2020

Author / RIC

Scale: @ A1 / 1 : 100

Drawing No. / TP01.11 B

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	B	04.08.2020	s4.55 Submission RFI Response

Project / 2 DELMAR PARADE

Drawing / LEVEL 3

Project No / 219132

Date / 04.08.2020

Author / SJ

Scale: @ A1 / 1 : 100

Drawing No. / TP01.13 B

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	B	04.08.2020	s4.55 Submission RFI Response

Project / 2 DELMAR PARADE

Drawing / LEVEL 5

Project No / 219132

Date / 04.08.2020

Author / SJ

Scale: @ A1 / 1 : 100

Drawing No. / TP01.15 B

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Project / **2 DELMAR PARADE**

Drawing / **LEVEL 6**

Project No / **219132**

Date / **04.08.2020**

Author / **SJ**

Scale: @ A1 / **1 : 100**

Drawing No. / **TP01.16 B**

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DELMAR PARADE

SITE  
BOUNDARY

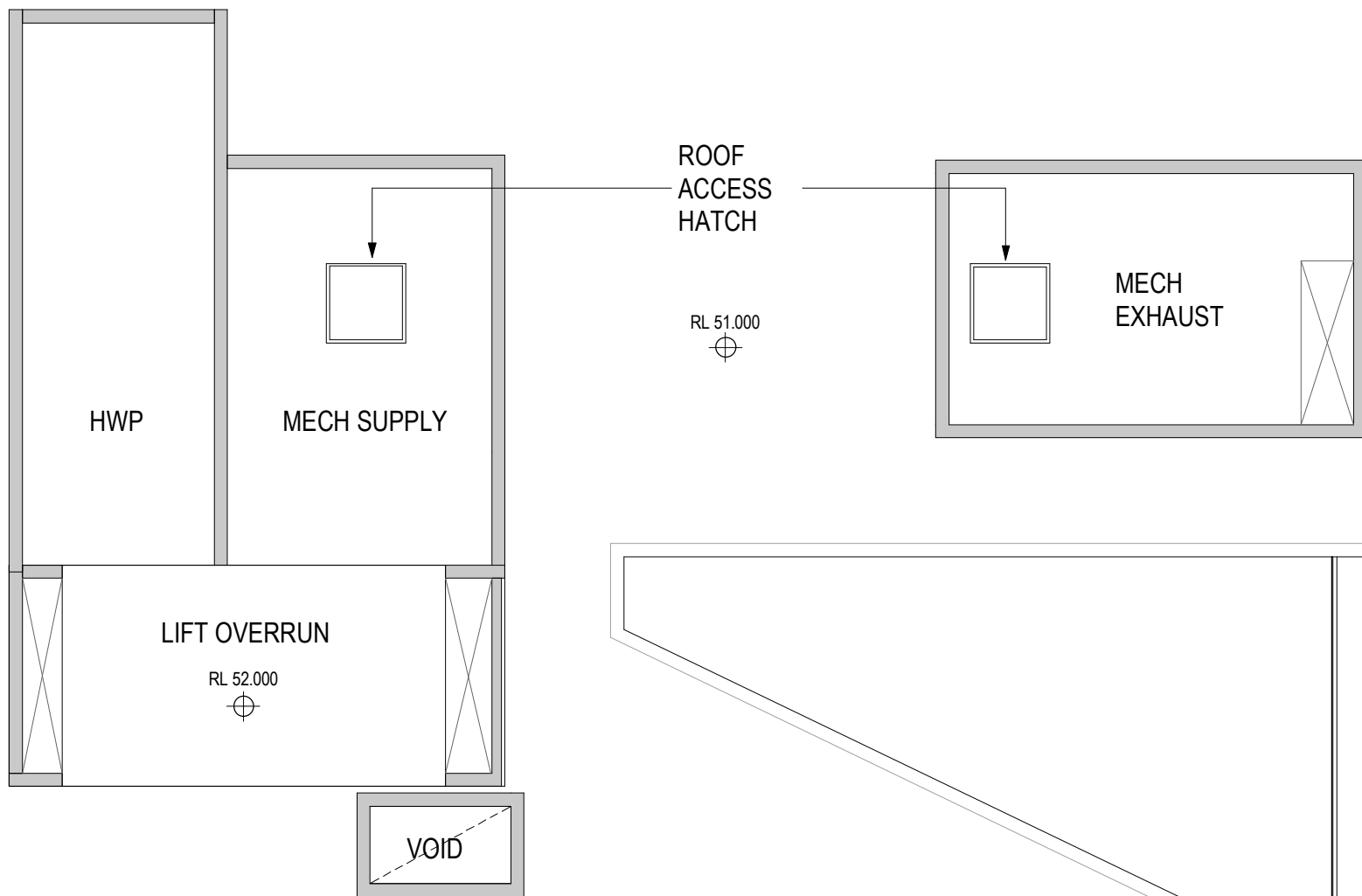
KERB

BOUNDARY 29.01m

BOUNDARY 6.91m

BOUNDARY 40.98m

PITTWATER ROAD



KERB  
SITE BOUNDARY

## RFI Response

Revisions	P6	24.01.2020	FOR REVIEW
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	A	25.06.2020	s4.55 Submission RFI Response

25/06/2020 4:36:32 PM

Project **2 DELMAR PARADE**

Drawing **ROOF LEVEL**

Project No **219132**

Date **25.06.2020**

Author **BR**

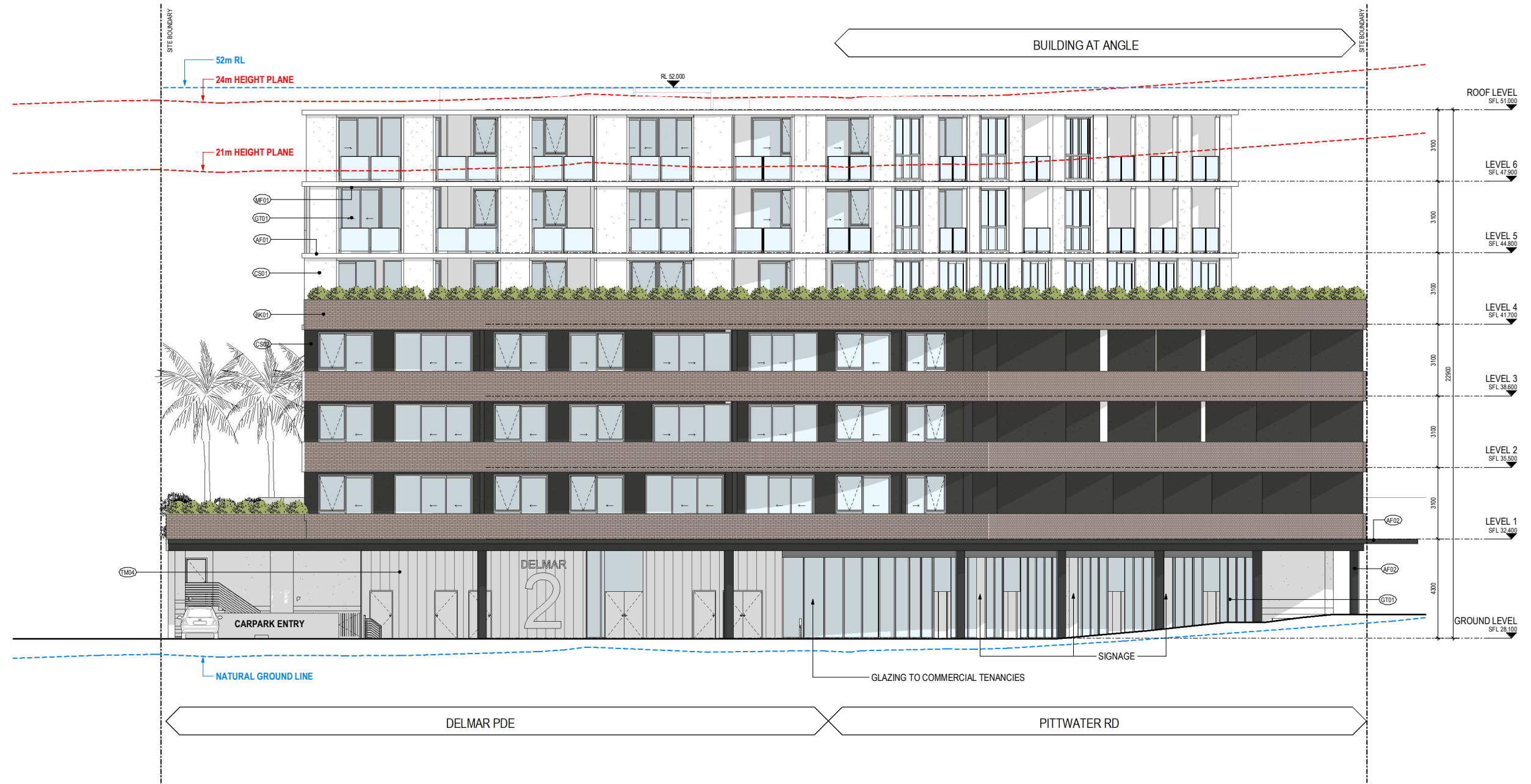
Scale: @ A1 **1 : 100**

Drawing No. **TP01.17 A**

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### SYMBOL LEGEND:

GENERAL	DOOR TAG:
(W01)	WINDOW NUMBER
(F01)	FINISHED FLOOR LEVEL
(RL)	RELATIVE LEVEL
(SFL)	STRUCTURAL FLOOR LEVEL

### FINISHES

REFER TO MATERIAL SELECTIONS FOR DESCRIPTION AND COLOUR
(AF01) APPLIED FINISH TYPE 01
(AF02) APPLIED FINISH TYPE 02
(SP01) SPANDREL FINISH 01
(BR01) BRICK FINISH TYPE 01
(CS01) CEMENT FINISH 01
(CS02) CEMENT FINISH 02

(GT01) GLAZING TYPE 01
(ME01) METAL FINISH 01
(TMD) TIMBER-LOOK COMPOSITE PANEL

Project **2 DELMAR PARADE**

Drawing **SITE ELEVATIONS - NORTH**

Project No **219132** Date **16.07.2020** Author **BR**

Scale: @ A1 **1 : 100**

Drawing No **TP02.05 B**

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26/06/2020 11:51:26 AM

### SYMBOL LEGEND:

GENERAL	DOOR TAG:
(W01)	WINDOW NUMBER
⊕ FFL 0.000	FINISHED FLOOR LEVEL
⊕ RL 0.000	RELATIVE LEVEL
⊕ SFL 0.000	STRUCTURAL FLOOR LEVEL

### FINISHES

REFER TO MATERIAL SELECTIONS FOR DESCRIPTION AND COLOUR

(AF01)	APPLIED FINISH TYPE 01	(GT01)	GLAZING TYPE 01
(AF02)	APPLIED FINISH TYPE 02	(MF01)	METAL FINISH 01
(AF03)	SPANDREL FINISH 01	(TMB4)	TIMBER-LOOK COMPOSITE PANEL
(BK01)	BRICK FINISH TYPE 01		
(CS01)	CEMENT FINISH 01		
(CS02)	CEMENT FINISH 02		

Project **2 DELMAR PARADE**

Drawing **SITE ELEVATIONS - SOUTH**

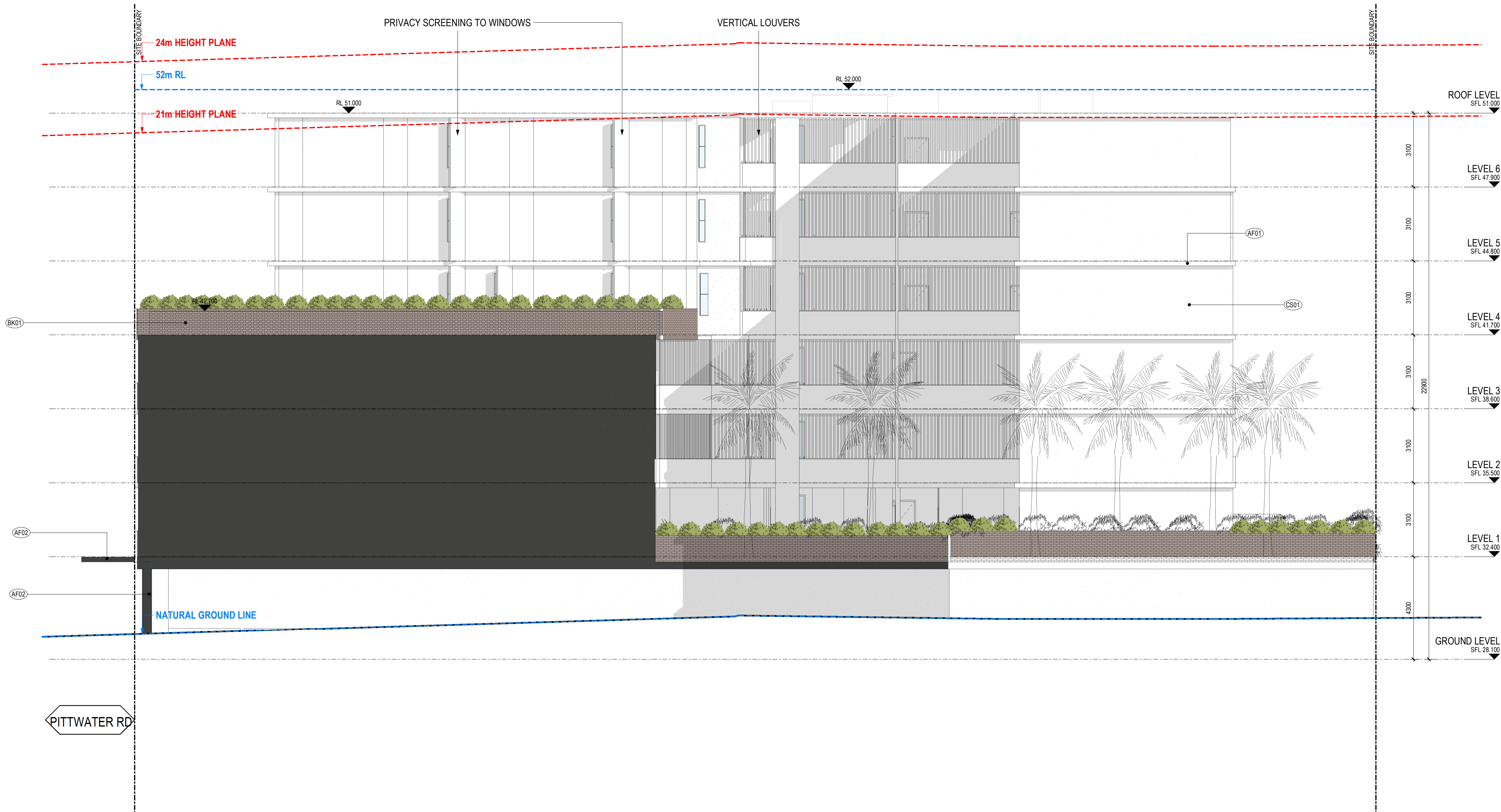
Project No **219132** Date **25.06.2020** Author **BR**

Scale: @ A1 **1 : 100**

Drawing No. **TP02.06 A**

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Project **2 DELMAR PARADE**

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Drawing **NOTIFICATION - EAST  
ELEVATION**

Project No **219132**

Date **24.02.2020**

Author **BR**

Scale: @ A3 **1 : 200**

Scale: @ A4 **1 : 400**

Drawing No. **TP12.04 B**

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### SYMBOL LEGEND:

GENERAL	DOOR TAG:
(W01)	WINDOW NUMBER
⊕ FFL 0.000	FINISHED FLOOR LEVEL
⊕ RL 0.000	RELATIVE LEVEL
⊕ SFL 0.000	STRUCTURAL FLOOR LEVEL

### FINISHES

REFER TO MATERIAL SELECTIONS FOR DESCRIPTION AND COLOUR

(AF01)	APPLIED FINISH TYPE 01	(GT01)	GLAZING TYPE 01
(AF02)	APPLIED FINISH TYPE 02	(MF01)	METAL FINISH 01
(AF03)	SPANDREL FINISH 01	(TMB4)	TIMBER-LOOK COMPOSITE PANEL
(BK01)	BRICK FINISH TYPE 01		
(CS01)	CEMENT FINISH 01		
(CS02)	CEMENT FINISH 02		

Project **2 DELMAR PARADE**

Drawing **SITE ELEVATIONS - WEST**

Project No **219132** Date **25.06.2020** Author **BR**

Scale: @ A1 **1 : 100**

Drawing No. **TP02.08 A**

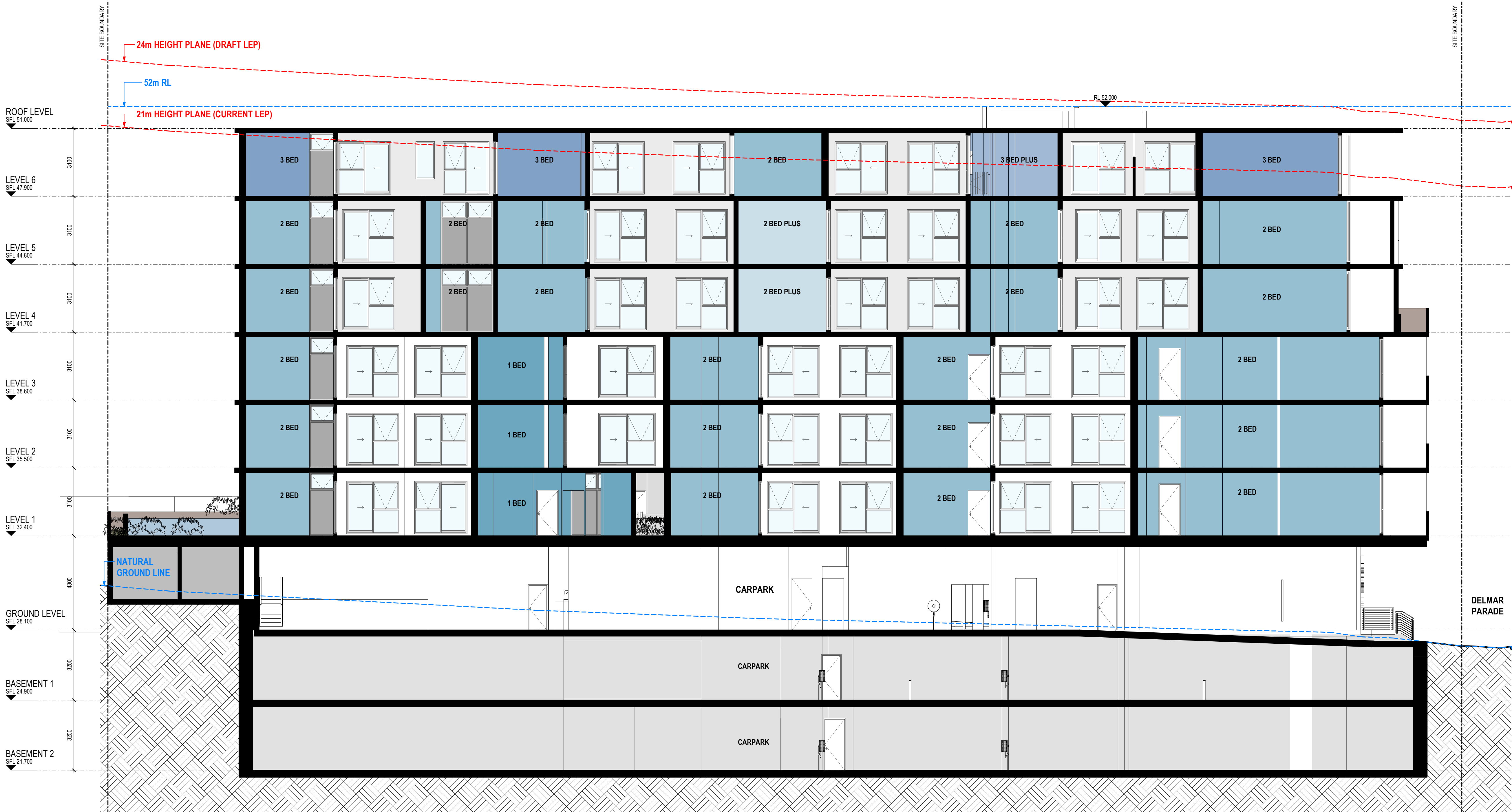
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25/06/2020 5:30:24 PM

Project 2 DELMAR PARADE

Drawing SITE SECTION 1

Project No 219132

Date 25.06.2020

Author BR

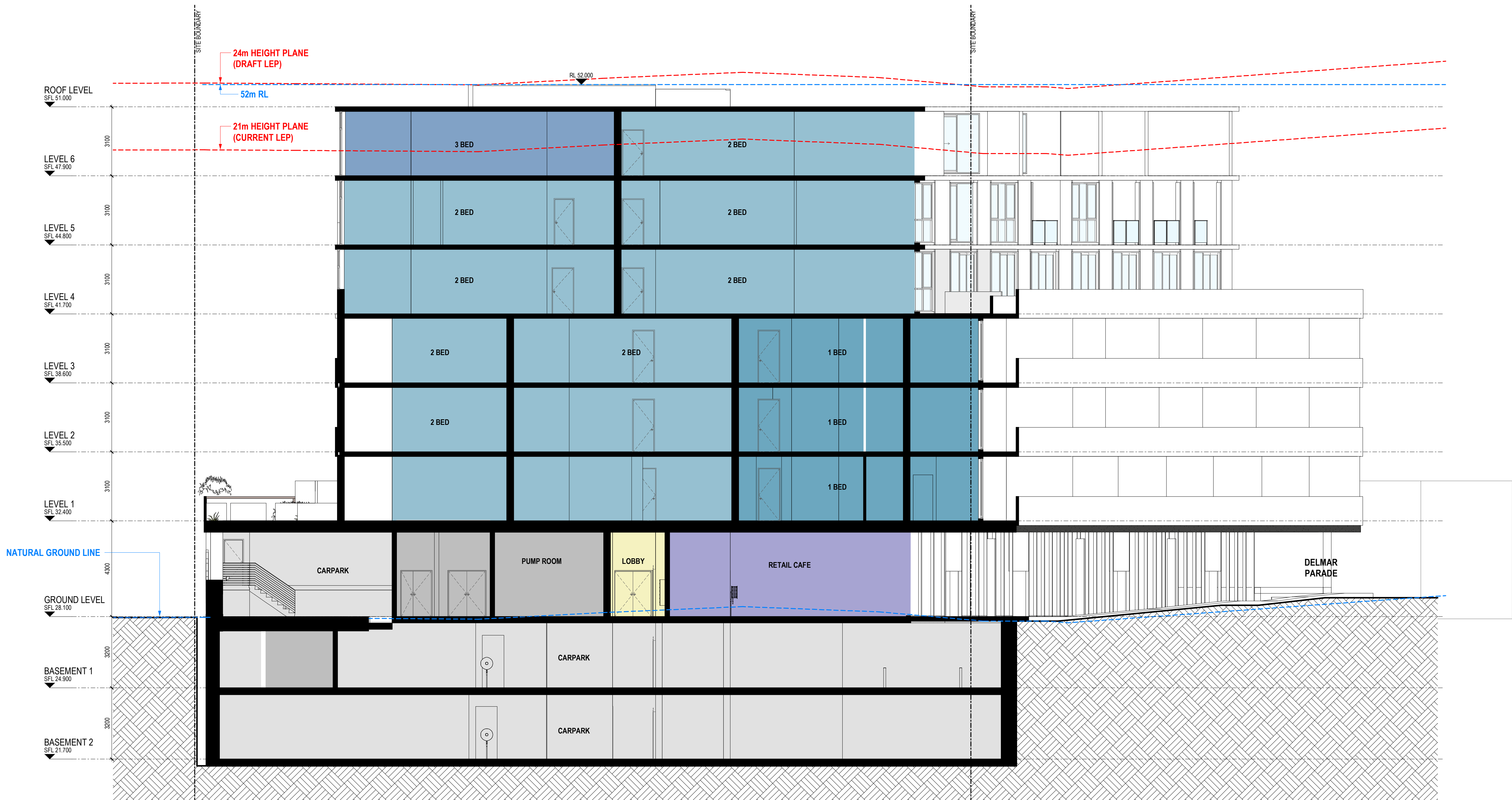
Scale: @ A1 1 : 100

Drawing No. TP03.01 A

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Project / 2 DELMAR PARADE

Drawing / SITE SECTION 2

Project No / 219132

Date / 25.06.2020

Author / BR

Scale: @ A1 / 1 : 100

Drawing No. / TP03.02 A

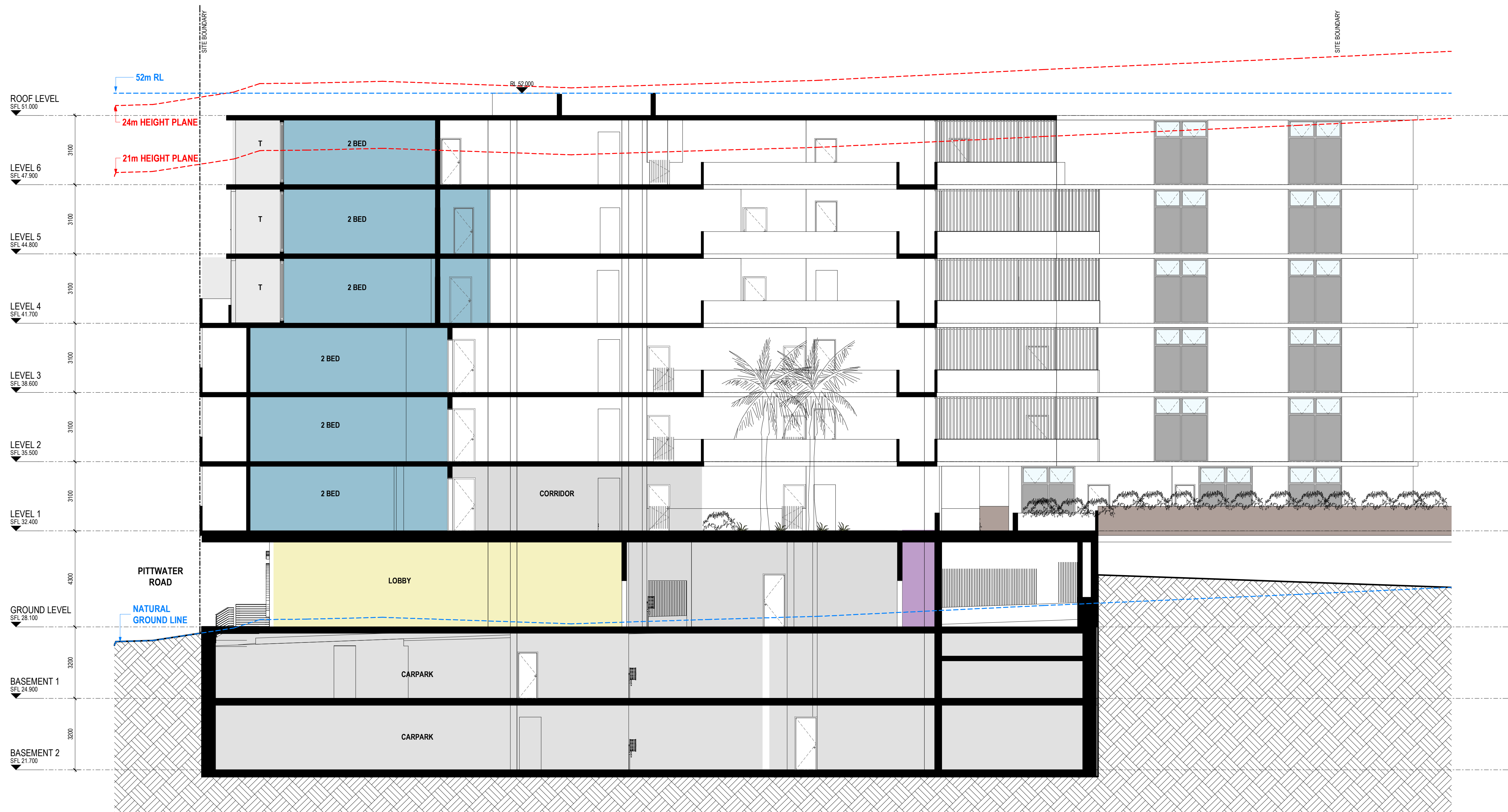
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Project / **2 DELMAR PARADE**

Drawing / **SITE SECTION 4**

Project No / **219132**

Date / **25.06.2020**

Author / **BR**

Scale: @ A1 / **1 : 100**

Drawing No. / **TP03.04 A**

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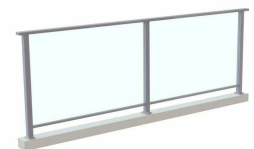
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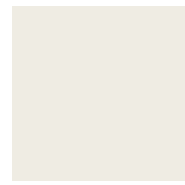
MID-DARK BRICK BALUSTRADE



ALUMINIUM FRAMED  
GLASS BALUSTRADE



DARK RENDER FINISH



WARM WHITE FINISH CLADDING SYSTEM,  
HEBEL POWERPANEL OR SIMILAR



GREY ANODIZED ALUMINIUM  
GLAZING FRAMES

## RFI Response

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Project **2 DELMAR PARADE**

Drawing **EXTERIOR FINISHES**

Project No **219132**

Date **04.09.2020**

Author **SJ**

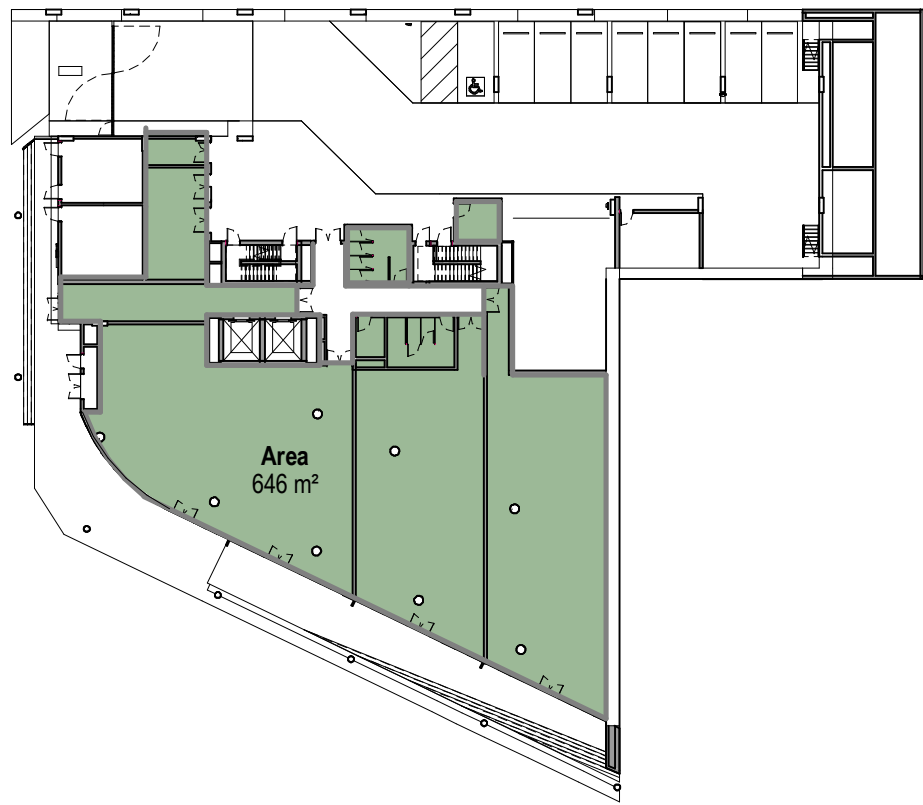
Scale: @ A1 **1 : 100**

Drawing No. **TP09.01 B**

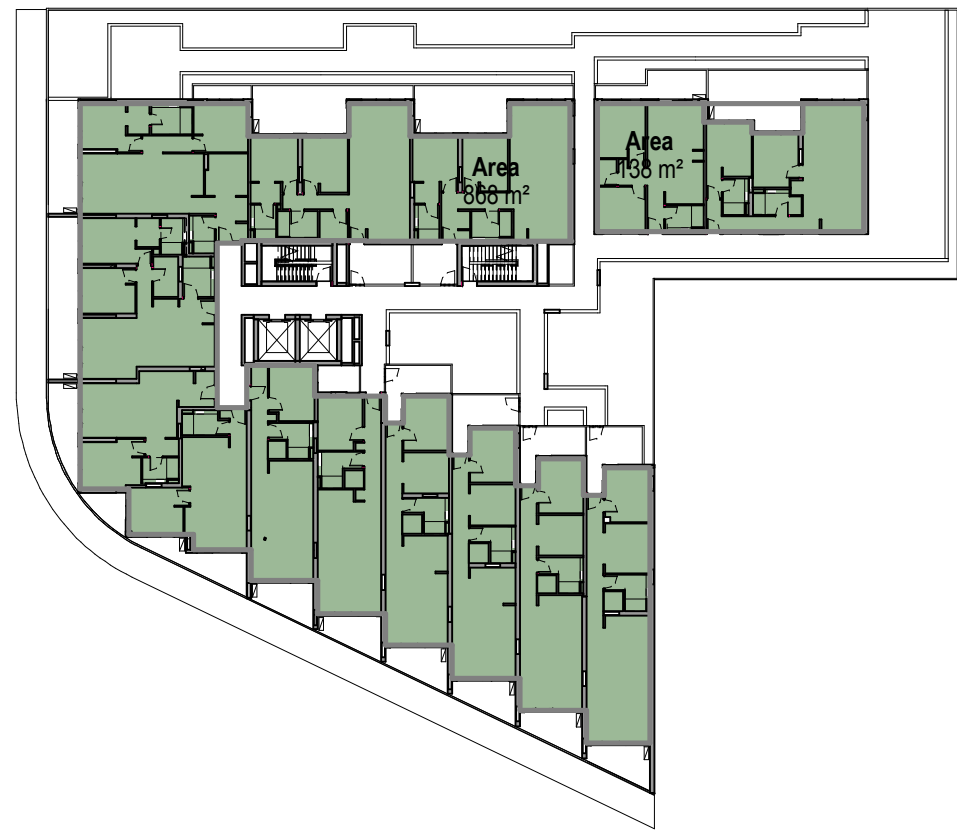
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GROUND LEVEL



LEVEL 1



LEVEL 2



LEVEL 3



LEVEL 4



LEVEL 5



LEVEL 6

Site Area	Permissible FSR	Permissible GFA
2060 m²	3.2	6591 m²

Gross Floor Area	
Level	Area
GROUND LEVEL	646 m²
GROUND LEVEL	15 m²
GROUND LEVEL	7 m²
LEVEL 1	868 m²
LEVEL 1	138 m²
LEVEL 2	1007 m²
LEVEL 3	1007 m²
LEVEL 4	860 m²
LEVEL 5	807 m²
LEVEL 6	798 m²
6152 m²	

FSR = 2.99 :1

PRE-DA = 3 : 1

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Project **2 DELMAR PARADE**

Drawing **GFA PLANS**

Project No **219132** Date **25.06.2020** Author **RIC**

Scale: @ A1 **1 : 500**

Drawing No. **TP08.15 A**

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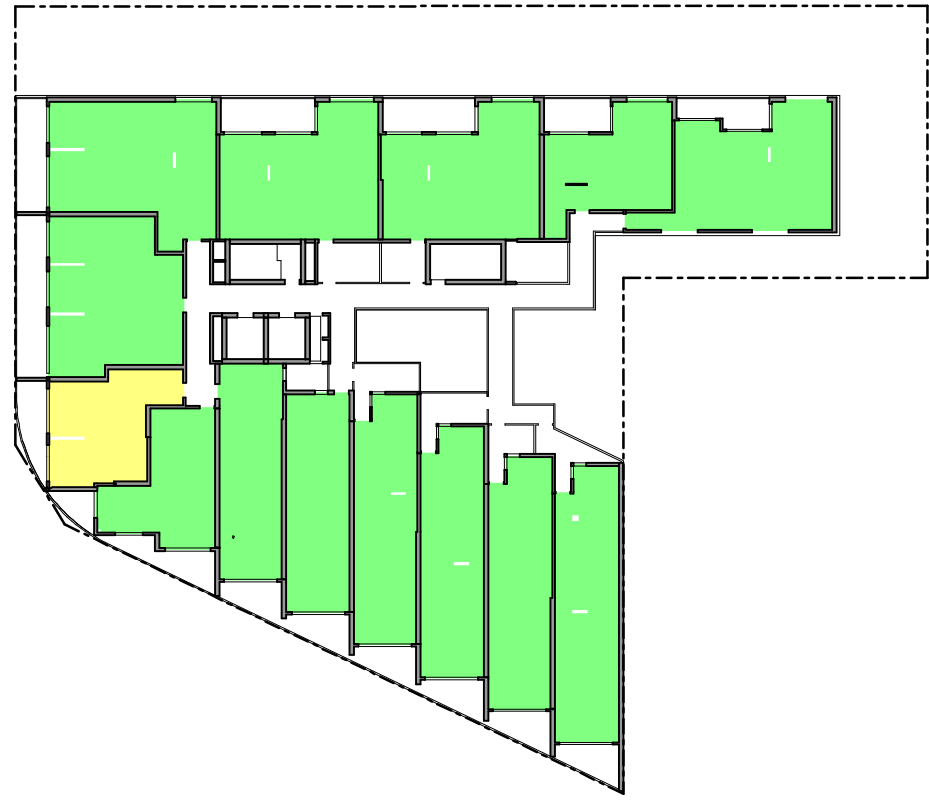
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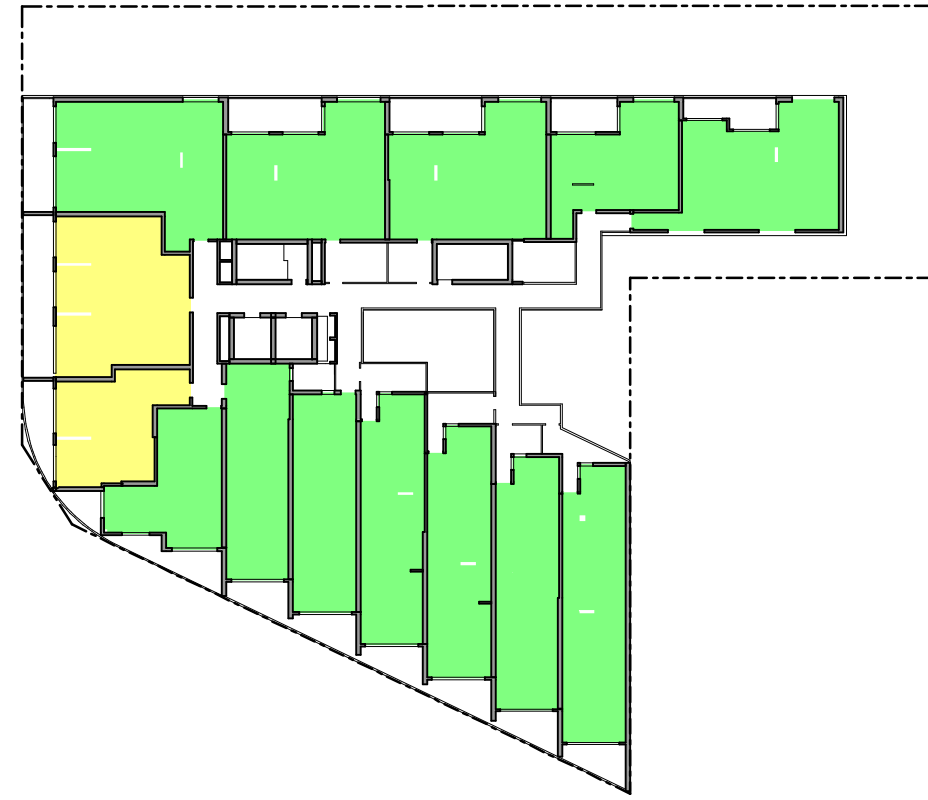




LEVEL 1



LEVEL 2



LEVEL 3

**SEPP65 SOLAR & CROSS VENTILATION COMPLIANCE LEGEND**

SOLAR COMPLIANT

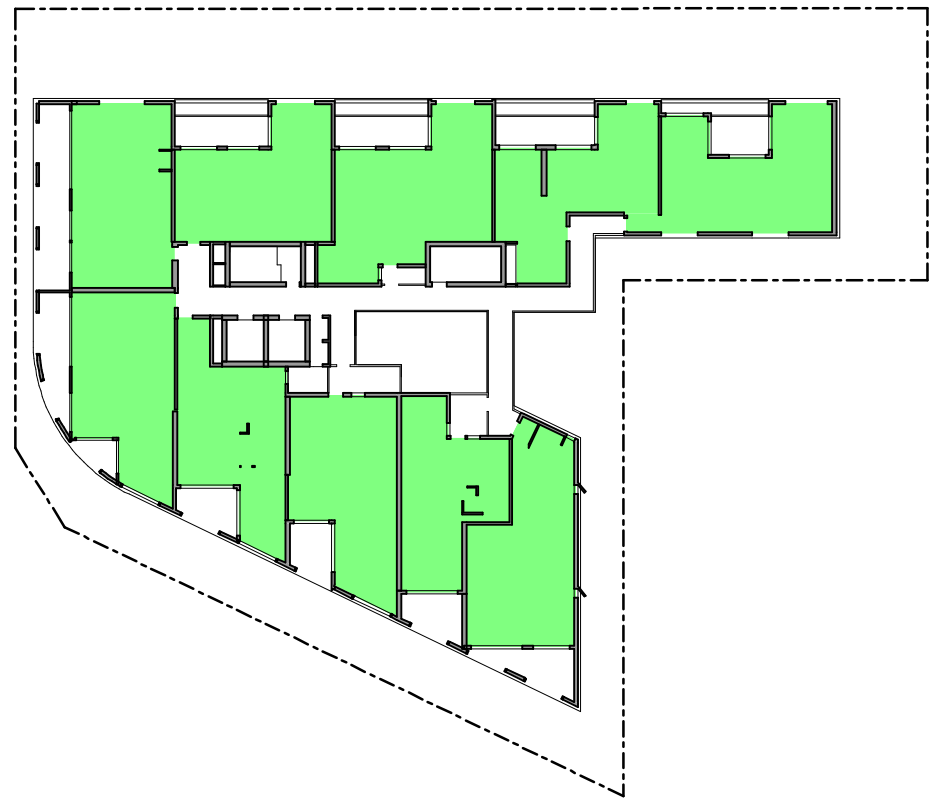
CROSS VENTILATION COMPLIANT

SOLAR & CROSS VENTILATION COMPLIANT

LEVEL	No. SOLAR
BASEMENT 2	0
BASEMENT 1	0
GROUND LEVEL	0
LEVEL 1	14
LEVEL 2	14
LEVEL 3	14
LEVEL 4	10
LEVEL 5	10
LEVEL 6	9
ROOF LEVEL	0
	71
SOLAR COMPLIANT	
100.0%	



LEVEL 4



LEVEL 5



LEVEL 6

LEVEL	No. VENTILATION
BASEMENT 2	0
BASEMENT 1	0
GROUND LEVEL	0
LEVEL 1	12
LEVEL 2	13
LEVEL 3	12
LEVEL 4	10
LEVEL 5	10
LEVEL 6	9
ROOF LEVEL	0
	66
CROSS VENT COMPLIANT	
93.0%	

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Project 2 DELMAR PARADE

Drawing SEPP65 Solar & Cross Ventilation Compliance

Project No 219132

Date 25.06.2020

Author BR

Scale: @ A1 1 : 500

Drawing No. TP08.16 A

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LEVEL	APARTMENTS							TOTAL UNITS
	No. STUDIO	No. 1 BEDS	No. 1 BEDS PLUS	No. 2 BEDS	No. 2 BEDS PLUS	No. 3 BEDS	No. 3 BEDS PLUS	
BASEMENT 2	0	0	0	0	0	0	0	0
BASEMENT 1	0	0	0	0	0	0	0	0
GROUND LEVEL	0	0	0	0	0	0	0	0
LEVEL 1	0	5	4	5	0	0	0	14
LEVEL 2	0	5	4	5	0	0	0	14
LEVEL 3	0	5	4	5	0	0	0	14
LEVEL 4	0	0	0	7	1	2	0	10
LEVEL 5	0	0	1	8	1	0	0	10
LEVEL 6	0	0	1	5	0	2	1	9
ROOF LEVEL	0	0	0	0	0	0	0	0
	0	15	14	35	2	4	1	71

DEVELOPMENT SUMMARY MIX							TOTAL
STUDIOS	1 BED	1 BED PLUS	2 BED	2 BED PLUS	3 BED	3 BED PLUS	
0.0%	15.5%	15.5%	49.1%	6.4%	9.1%	4.5%	100%

LEVEL	CARPARKS				Carwash	Motorbike/ Scooter Park	Bicycle Parks	Stores
	Residential	Visitor	Retail	Total				
BASEMENT 2	53	0	0	53	0	0	68	35
BASEMENT 1	25	14	9	48	0	0	16	38
GROUND LEVEL	1	0	9	10	0	0	0	0
	79	14	18	111	0	0	84	73

DCP:	57	15	17	89
------	----	----	----	----

APPROVED DA:	79	16	14	109
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AMENDED WARRINGAH DCP 2011

Parking rates within the Dee Why Town Centre

Multi-dwelling housing, Residential flat buildings, Serviced apartments, Shop-top housing:

- 0.6 spaces per 1 bedroom dwelling
- 0.9 spaces per 2 bedroom dwelling
- 1.4 spaces per 3 bedroom dwelling
- 1 visitor space per 5 units or part of dwellings
- 1 car share space per 25 dwellings (for properties with more than 25 dwellings) each with car share space replacing (1) regular car parking space.

Business Premises:

- 1 space per 40m² GFA excluding customer service/access areas
- for customer service/access areas 1 space per 16.4m² GFA

Office Premises:

- 1 space per 40m² GFA

Shop (includes retail/ business component of shop top housing, retail premises and neighbourhood shop):

- 1 space per 23.8m² GLFA (.2 spaces per 100m² GLFA)

RFI Response

Revisions	P4	23.01.2020	FOR REVIEW
	P5	24.01.2020	FOR REVIEW
	P6	12.02.2020	s4.55 Submission review
	P7	24.02.2020	s4.55 Submission
	A	25.06.2020	s4.55 Submission RFI Response

Project2 DELMAR PARADE

DrawingDEVELOPMENT SUMMARY

Project No219132Date25.06.2020AuthorRIC

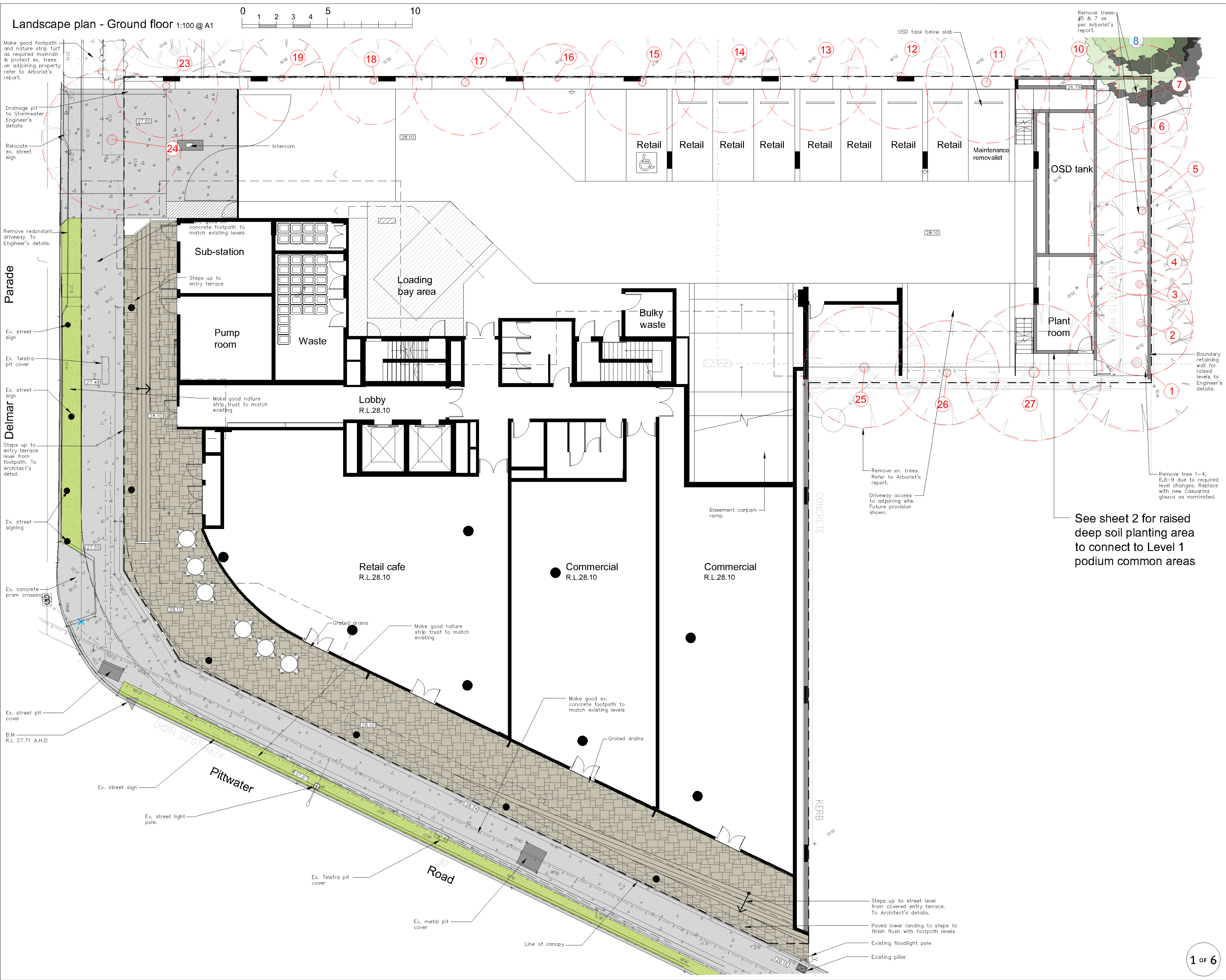
Scale: @ A1

Drawing No.TP10.01 A

rothelowman

2 Delmar Pde  
Dee Why, NSW  
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Legend

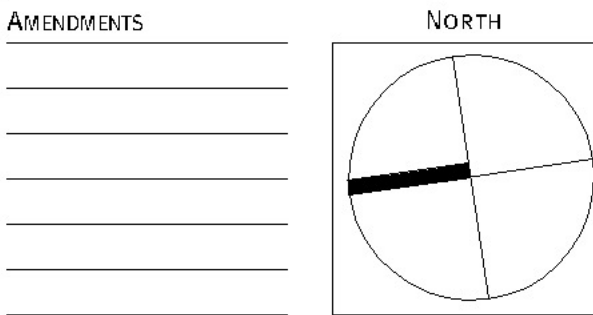
- Existing trees to be removed
- Existing trees as per Arborist Report
- Proposed evergreen trees
- Strappy leaved understorey plants
- Tree Ferns
- Private open space paving
- Concrete
- Lawn areas
- Groundcovers
- Walls
- Proposed levels
- Survey layer under
- Planting symbol (see schedule & details sheet 6)

See sheet 6 for planting schedule & details



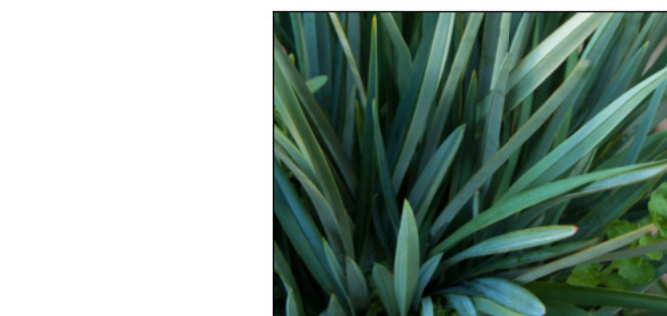
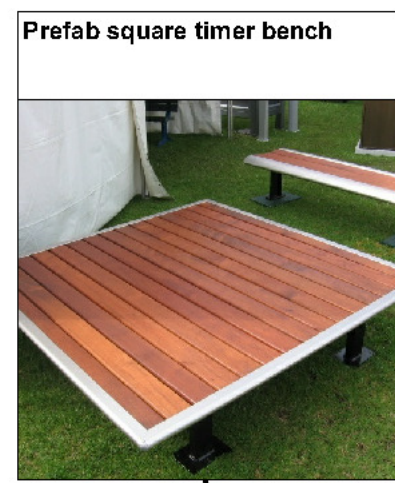
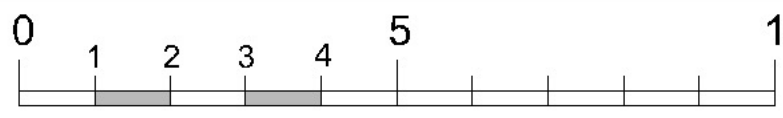
PO Box 813 Newport NSW 2106  
ABN: 627 121 448  
PHONE: 02 9907 8011  
WWW.SCRIVENER-DESIGN.COM  
EMAIL: PAUL@SCRIVENER-DESIGN.COM  
PROJECT: COMMERCIAL & RESIDENTIAL DEVELOPMENT AT 2 DELMAR PARADE, DEE WHY, NSW

DWG: LANDSCAPE PLAN - GROUND FLOOR  
DATE: 25.6.20 SCALE: 1:100 @A1  
JOB REF: 20/2138 SHEET NO: 1 OF 6  
ISSUE: E





Landscape plan - Level 1 1:100 @ A1



Legend

- Cascading Groundcovers
- Cascading Groundcovers
- Low screen plants
- Ornamental grasses
- Private open space paving
- Common area paving
- Climbing plants over pergola

Banksia serrata small tree

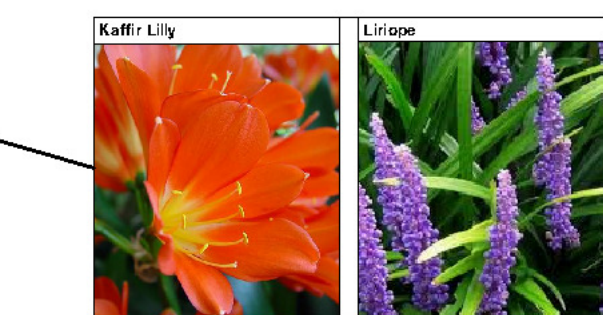
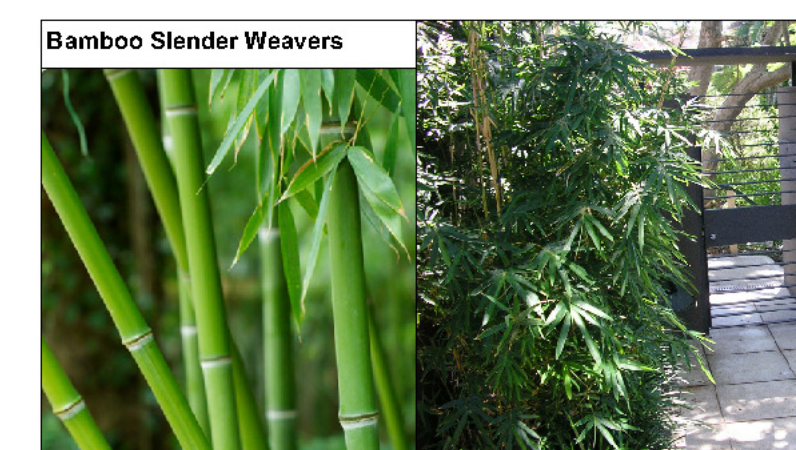
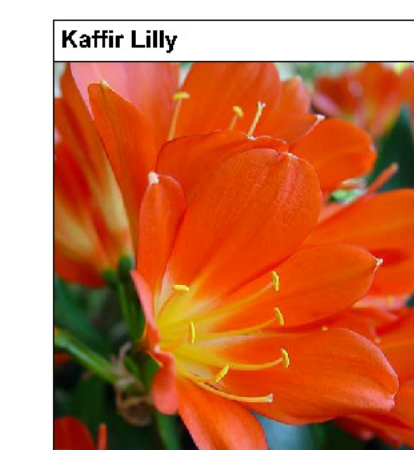
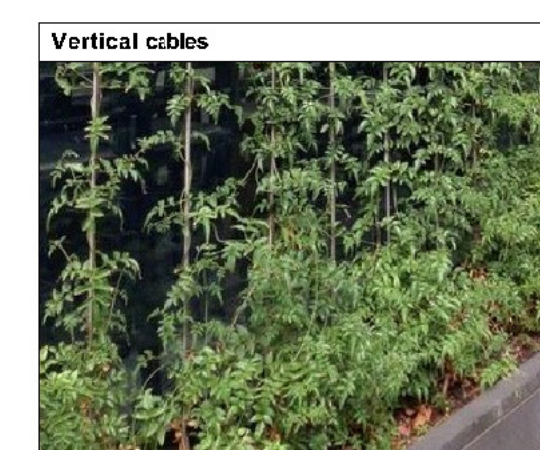
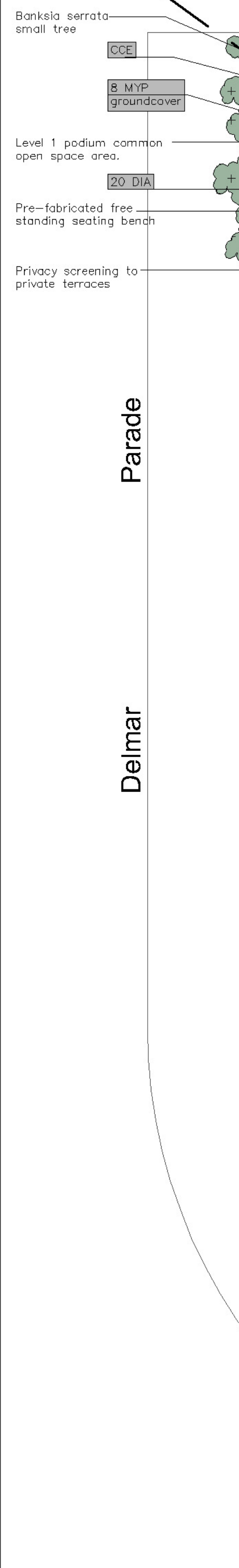
Level 1 podium common open space area.

Pre-fabricated free standing seating bench

Privacy screening to private terraces

Parade

Delmar



Planting symbol (see schedule & details sheet 6)

See sheet 6 for planting schedule & details



PAUL SCRIVENER LANDSCAPE

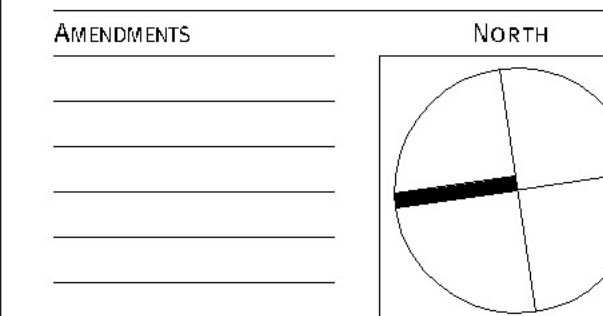
PO Box 813 NEWPORT NSW 2106  
ABN: 627 121 448  
PHONE: 02 9907 8011  
WWW.SCRIVENER-DESIGN.COM  
EMAIL: PAUL@SCRIVENER-DESIGN.COM

PROJECT: COMMERCIAL & RESIDENTIAL DEVELOPMENT AT 2 DELMAR PARADE, DEE WHY, NSW

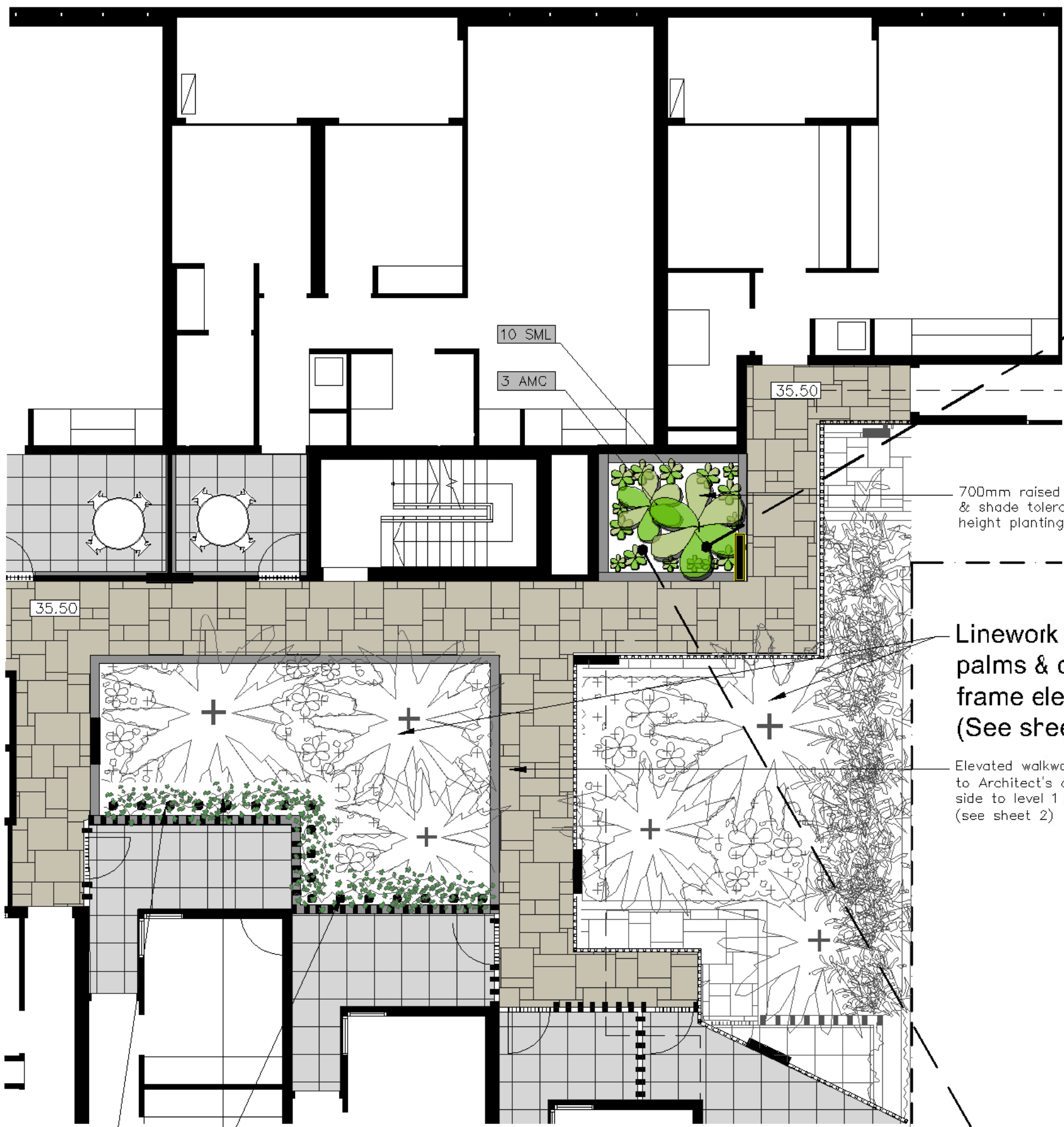
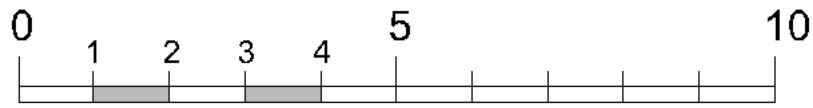
DWG: LANDSCAPE PLAN - LEVEL 1

DATE: 17.8.20 SCALE: 1:100 @A1  
JOB REF: 20/2138 SHEET NO: 2 OF 6  
ISSUE: F

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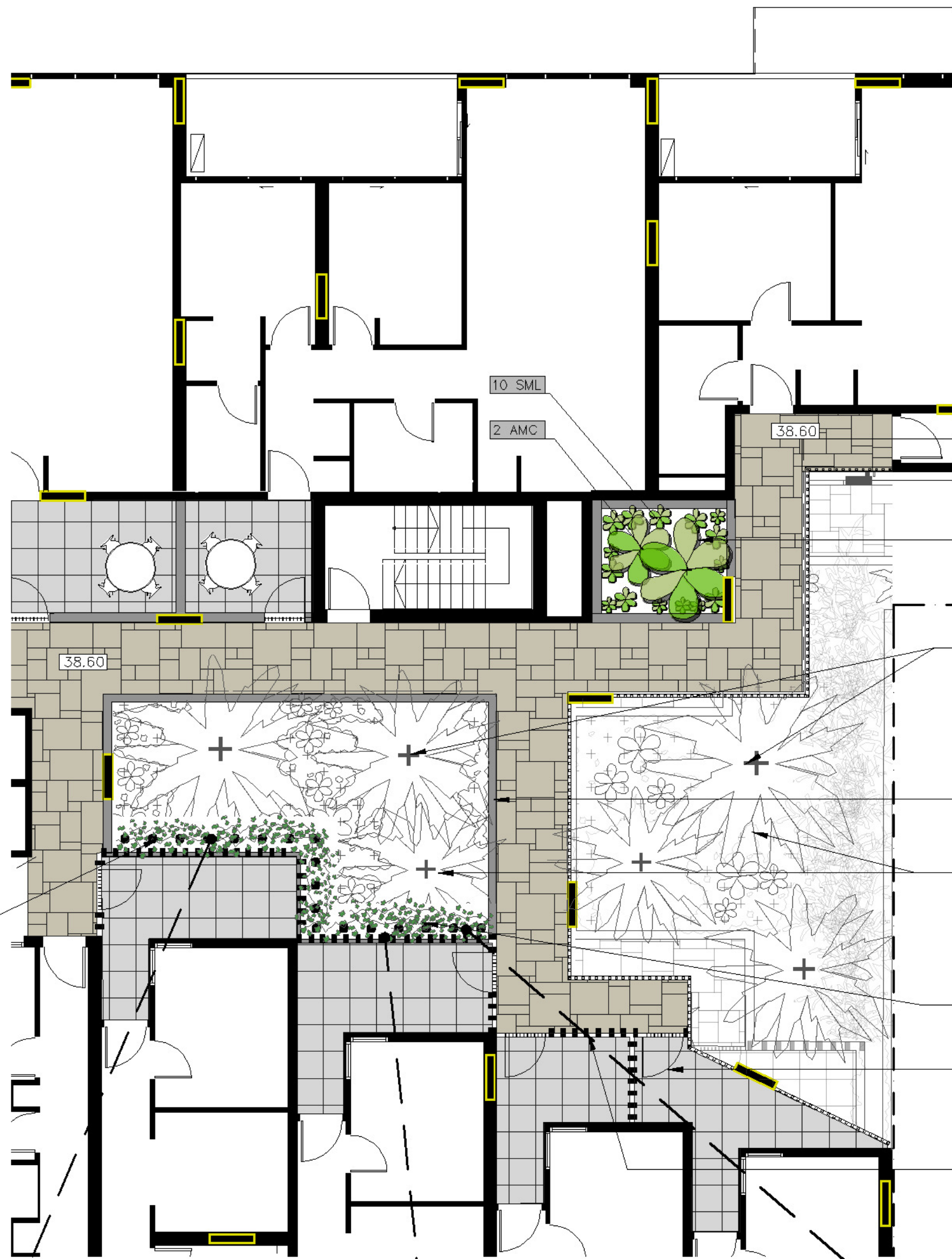
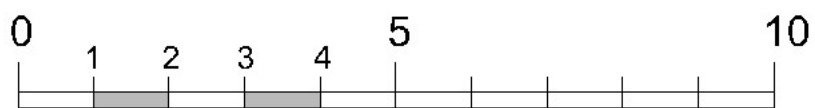
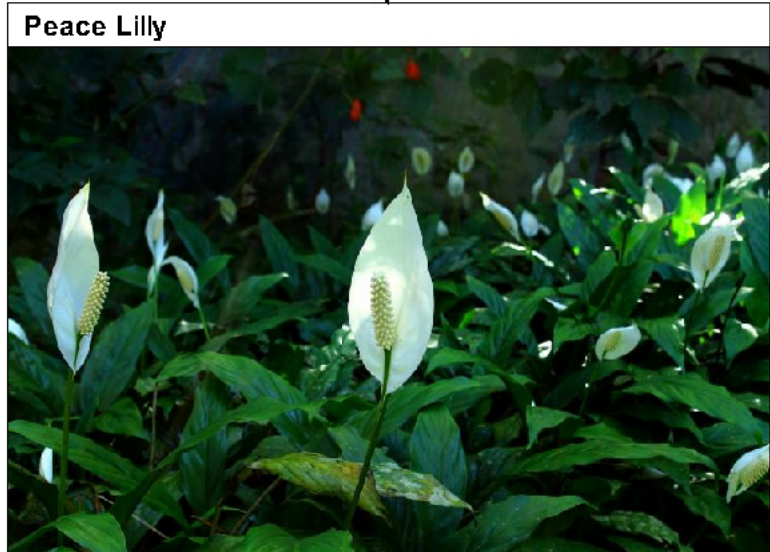


Linework shows lower level tall palms & other plants below to frame elevated walkway (See sheet 2)

Elevated walkway & balustrading to Architect's detail voids both side to level 1 planter below (see sheet 2)

Alternating shade tolerant climbing plants of Pandorea pandorana & Kangaroo vine (See level 1 plan sheet2 for plant nominations)

Climbing plants on vertical cables from plants located in Level 1 podium planter below. Stainless steel vertical wires on tensioning turnbuckles to underside of Level 4 planterbox



Linework shows lower level tall palms & other plants below to frame elevated walkway (See sheet 2)

Elevated walkway & balustrading to Architect's detail voids both side to level 1 planter below (see sheet 2)

Palms at Level 1 extend up through void to be visible from upper level common area

Climbing plants on vertical cables from plants located in Level 1 podium planter below to extend to underside of Level 4 suspended planter

Gates to private terraces

Privacy screens

Alternating shade tolerant climbing plants of Pandorea pandorana & Kangaroo vine (See level 1 plan sheet2 for plant nominations)



Legend

- Cascading Groundcovers
- Cascading Groundcovers
- Low screen plants
- Ornamental grasses
- Private open space paving
- Common area paving
- Climbing plants

Planting symbol (see schedule & details sheet 6)

See sheet 6 for planting schedule & details



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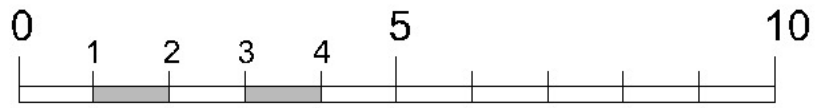
PROJECT: COMMERCIAL & RESIDENTIAL DEVELOPMENT AT 2 DELMAR PARADE, DEE WHY, NSW

DWG: LANDSCAPE PLAN - LEVEL 2 AND LEVEL 3

DATE: 25.6.2020 SCALE: 1:100 @A1  
JOB REF: 20/2138 SHEET NO: 3 OF 6  
ISSUE: E

REVISIONS: 1. Voids out of the building footprint. 2. Gate to void on right side. 3. Revised to show gate. 4. 5. 6. 7. 8. 9. 10. 11. 12. 13. 14. 15. 16. 17. 18. 19. 20. 21. 22. 23. 24. 25. 26. 27. 28. 29. 30. 31. 32. 33. 34. 35. 36. 37. 38. 39. 40. 41. 42. 43. 44. 45. 46. 47. 48. 49. 50. 51. 52. 53. 54. 55. 56. 57. 58. 59. 60. 61. 62. 63. 64. 65. 66. 67. 68. 69. 70. 71. 72. 73. 74. 75. 76. 77. 78. 79. 80. 81. 82. 83. 84. 85. 86. 87. 88. 89. 90. 91. 92. 93. 94. 95. 96. 97. 98. 99. 100. 101. 102. 103. 104. 105. 106. 107. 108. 109. 110. 111. 112. 113. 114. 115. 116. 117. 118. 119. 120. 121. 122. 123. 124. 125. 126. 127. 128. 129. 130. 131. 132. 133. 134. 135. 136. 137. 138. 139. 140. 141. 142. 143. 144. 145. 146. 147. 148. 149. 150. 151. 152. 153. 154. 155. 156. 157. 158. 159. 160. 161. 162. 163. 164. 165. 166. 167. 168. 169. 170. 171. 172. 173. 174. 175. 176. 177. 178. 179. 180. 181. 182. 183. 184. 185. 186. 187. 188. 189. 190. 191. 192. 193. 194. 195. 196. 197. 198. 199. 200. 201. 202. 203. 204. 205. 206. 207. 208. 209. 210. 211. 212. 213. 214. 215. 216. 217. 218. 219. 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Linework of Level 1 podium landscape shown below

Cascading groundcover in raised planters to maintain angled views to the north

Low height screen plants in raised planters to portion of terrace for wind protection & partial visual privacy.

Raised planter integrated as balustrading. To architect's details



Legend

- Cascading Groundcovers
- Cascading Groundcovers
- Low screen plants
- Ornamental grasses
- Private open space paving
- Common area paving
- Climbing plants

Planting symbol (see schedule & details sheet 6)

See sheet 6 for planting schedule & details



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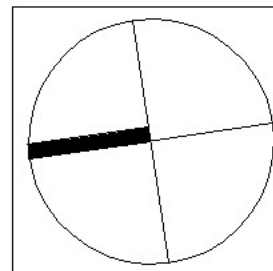
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DWG: LANDSCAPE PLAN - LEVEL 4

DATE: 25.6.2020 SCALE: 1:100 @A1  
JOB REF: 20/2138 SHEET NO: 4 OF 6  
ISSUE: E

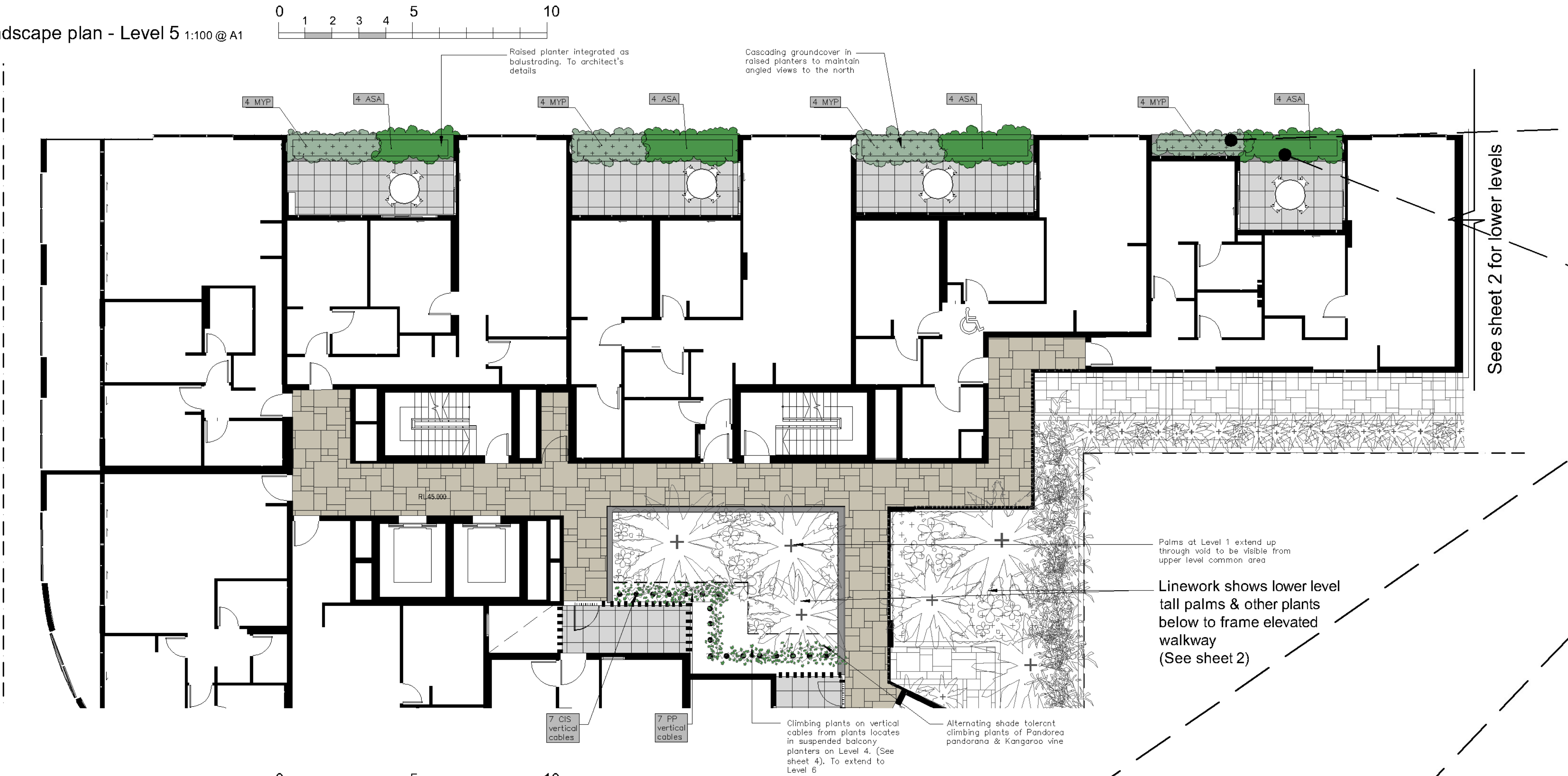
AMENDMENTS

NORTH

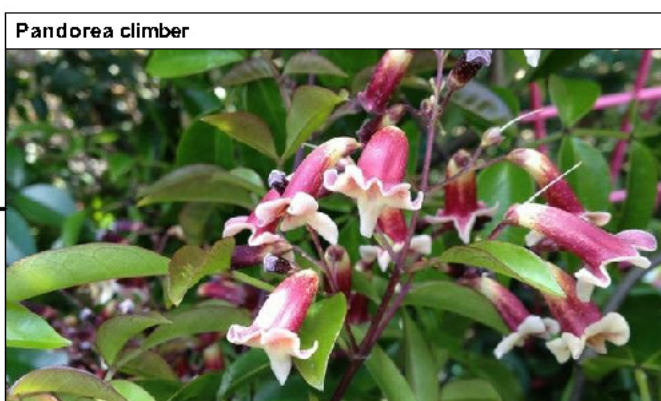
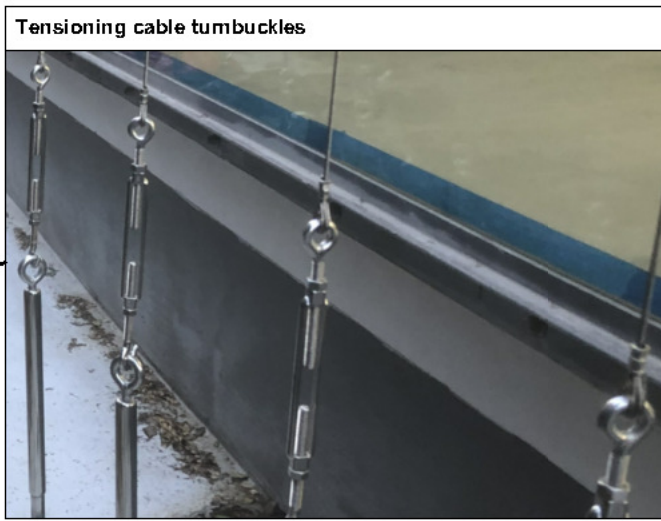
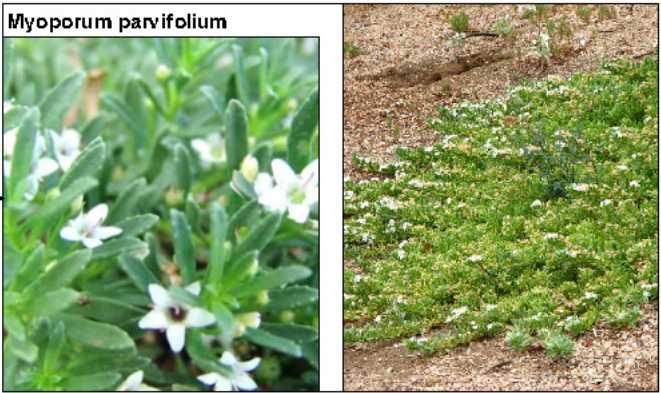
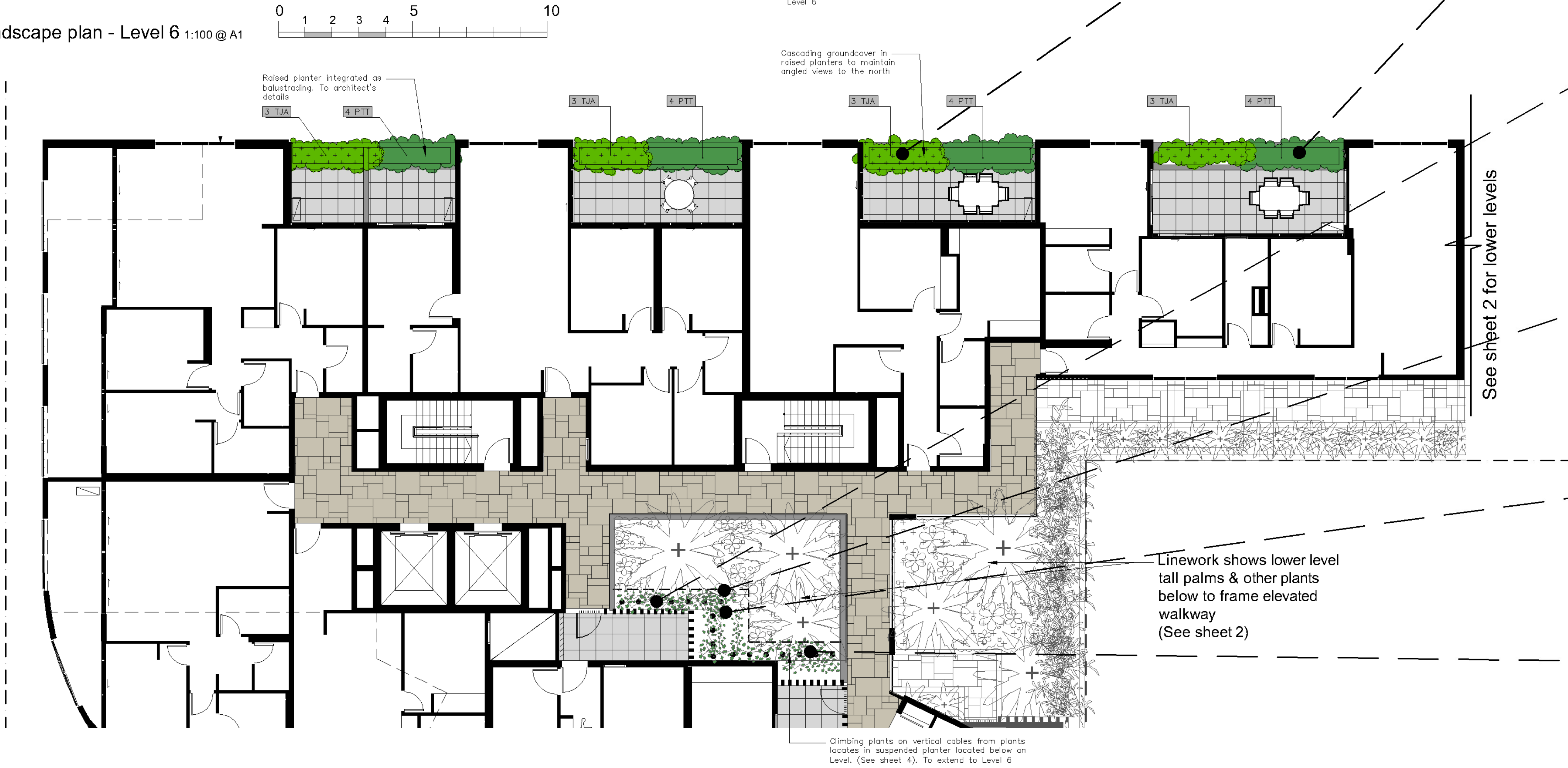




Landscape plan - Level 5 1:100 @ A1



Landscape plan - Level 6 1:100 @ A1



Legend

- Cascading Groundcovers
- Cascading Groundcovers
- Low screen plants
- Ornamental grasses
- Private open space paving
- Common area paving

Planting symbol (see schedule & details sheet 6)

See sheet 6 for planting schedule & details



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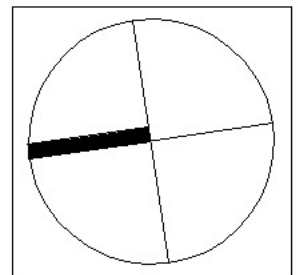
PROJECT: COMMERCIAL & RESIDENTIAL  
DEVELOPMENT AT 2 DELMAR  
PARADE, DEE WHY, NSW

DWG: LANDSCAPE PLAN - LEVEL 5 & LEVEL 6

DATE: 25.6.2020 SCALE: 1:100 @A1  
JOB REF: 20/2138 SHEET NO: 5 OF 6  
ISSUE: E

AMENDMENTS

NORTH





General consruction notes

**1. Site preparation**  
Any existing trees and vegetation to be retained shall be preserved and protected from damage of any sort during the execution of landscape work. In particular, root systems of existing plants must not be disturbed if possible. Any nearby site works should be carried carefully using hand tools. To ensure the survival and growth of existing trees during landscaping works, protect by fencing or armoring where necessary. Trees shall not be removed or lopped unless specific written approval is given or is indicated on plan. Storage of materials, mixing of materials, vehicle parking, disposal of liquids, machinery repairs and refueling, site office and sheds, and the lighting of fires shall not occur within three (3) metres of any existing trees. Do not stockpile soil, rubble or other debris cleared from the site, or building materials, within the dripline of existing trees. Vehicular access shall not be permitted within three (3) metres of any tree.

**2. Soil preparation**  
All proposed planting areas to be deep ripped to 200mm (where possible) and clay soils to be treated with clay breaker. Apply at least 200mm depth good quality garden soil mix to all garden planting areas. To comply with AS 4419. Turfed areas as noted to be laid over 100mm min. good quality turf underlay over existing soil which is to be deep ripped to 200mm depth prior to installation. To be worked in with rotary hoe except where tree root damage would otherwise occur. In such situations care to be taken to hand cultivate in any area where existing tree roots exist to preserve health of trees and to comply with the requirements of the Arborist's report. Where planting is to occur in existing soil profiles ensure soil conditioners and compots worked into the top 20mm profile. To comply with AS 4454:1999.

**3. New plantings**  
Newly planted trees and large shrubs should be secured to stakes with hessian ties to prevent rocking by wind. Planting holes for plant material should be large enough in size to take root ball with additional space to take back filling of good quality planting mix. (Please note mature heights of planting as shown on planting schedule can vary due to site conditions, locations in constricted deep soil or over slab planters and so forth) Also shallow soils in certain locations may affect planting heights. Nominated heights for plantings in raised planters over slabs are nominated as less than their normal expected heights in acknowledgement of the contained soil environment. For other deep soil trees heights are subject to particular site conditions, and intended hedging or pruning for functional requirements such as available planting width, intended access under branches and solar access.

**4. Planter boxes & waterproofing.**  
All slab areas to be waterproofed and 'Atlantis' drainage cell installed with geotextile fabric or similar approved. (see planter drainage detail this drawing package) Refer Engineer's details for ALL structural, drainage and installation details whatsoever for planter box construction. All internal planter slab levels to have mortar screed to fall to drainage outlets as nominated by the Stormwater Engineering details. All planting containers to have the following soils:  
• Benedicts Smart Mix no. 4 Lightweight Planter Mix (or approved equivalent) to min. 300mm depth. To be installed over Benedicts light weight No.5 light weight sub-soil mix (or approved equivalent). To comply with AS 4419 and AS 3743  
• All planter boxes are to have automatic dripline irrigation system. Connecting pipes/conduit to be cast into slab structures prior to slab pour to be coordinated with the Structural Engineer's plans.  
• Landscape contractor to install all planter box fill material and plant material after other site works are completed to ensure no deterioration of waterproof membrane. To be confirmed by Engineers and project manager to confirm the integrity of the engineer's specified waterproofing of the planter boxes at time of soil and plant installation.

**5. Mulching**  
All planting areas to be mulched with a minimum 75mm thick cover of recycled hard wood chip mulch and then all plant areas to be thoroughly soaked with water. To comply with AS 4454

**6. Fertiliser**  
All planting areas to be fertilised with 9 month 'NPK' slow release fertiliser.

**7. Staking**  
To these plants indicated on the planting schedules provide: hardwood stakes as nominated and driven into ground to a depth able to achieve rigid support. No staking in raised planters to avoid damaging waterproofing installation

**8. Lawn edging**  
All ground level garden beds adjacent to site boundary or paved areas to have edging as noted on the details plan.

**9. Turfing**  
Turfed areas to be to be laid over 100mm good quality turf underlay over existing soil which is to be deep ripped to 200mm depth prior to installation. See details sheet

**10. Structural**  
All structural details whatsoever to Engineer's details.

Maintenance schedule

The Landscape Contractor shall maintain the contract areas by accepted horticultural practices as well as rectifying any defects that become apparent in the works under normal use. The Landscape Contractor shall maintain the works and make good all defects for a period of twenty six (26) weeks after the date of practical completion. Practical completion of the landscape works shall include but not be limited to the replacement of plants which have failed or been damaged or stolen during work under the contract. Landscape maintenance shall include but not be limited to the following: watering, rubbish removal, spraying and wiping leaf surfaces, replacing failed plants, maintaining mulch, pruning, insect and disease control, cleaning of surrounding areas. Mow the turf when it is established at regular intervals to maintain an average height of 50mm.

The owners of the residence are responsible for the ongoing maintenance and viability of the gardens and ongoing maintenance shall include the following:

- Regular hand watering of gardens if installed drip line irrigation system is turned off. Irrigation to be installed and maintained as per manufacturers specifications including regular checks for function of system, to check for leaks and to ensure general good working operation.
- Mulch is to be regularly topped up every 6 months to ensure an even 75mm coverage in all garden beds
- Regular pruning of plants is to be undertaken to ensure continued uniform growth of canopy and foliage of trees and shrubs.
- Regular assessment of plants for evidence of insect attack or disease. Appropriate pest oil, white oil of Yates pest spray or equivalent is to be employed if required
- Garden/lawn edging to be inspected regularly after practical completion to ensure it is maintained in good order. Replace where required if defective sections are discovered
- All garden refuse, rubbish and associated items that arise from the regular garden maintenance procedures are to be collected and stored in appropriate general waste or green waste containers as is appropriate. Excess waste unable to be stored in Council waste containers is to be removed from the site is a timely manner.

Irrigation notes

Automatic drip line watering system to be selected. To extend to ALL garden areas nominated on the deep soil and planter box areas and is to include all raised planter boxes over slab. (all lawn areas to be excluded) Water supply tap hosecocks as indicated on CC stage drawings.(To be coordinated with Hydraulic and Structural Engineer's details ). Dripline supply system only to be incorporated.

Prior to approval by the project manager and prior to installation the Contractor responsible for the irrigation installation is to provide an irrigation design to meet the following requirements.

Generally: Supply an automatic drip line irrigation system. To include all piping to solenoids either PVC lines and/or class 12 pressure pipe or low density, rubber modified polypropylene reticulation as required to provide water supply to the nominated areas. To be coordinated with Hydraulic engineers plans. To include all bends, junctions, ends, ball valves, solenoids and all other ancillary equipment. Backwash valve: An approved backwash prevention valve is to be located at the primary water source for top up valves to rainwater tanks (where applicable).

Ensure rain sensor is installed for common area garden zones connected to timers

Root inhibiting system, Driplines to be 'Netafim Techline AS XR' drip tubing or approved equivalent

Automatic Controller: Provide automatic 2 week timer with hourly multi-cycle operation for each zone as noted on the irrigation areas plan on sheet ..... . Battery timers to isolated planter boxes is acceptable and to maintained by the owners corporation as part of the ongoing property maintenance.

Performance: It shall be the Landscape Contractor's responsibility to ensure and guarantee satisfactory operation of the irrigation system. The system is to be fit for the purpose and should utilize sufficient solenoids to provide for the varying watering requirements of landscape areas to allow all plants and lawn areas to thrive and attain long term viability.

Testing: After the system has been installed to the satisfaction of the project manager, the installation shall be tested under working conditions. Acceptance of the installed plant and equipment shall be subject to these being satisfactory.

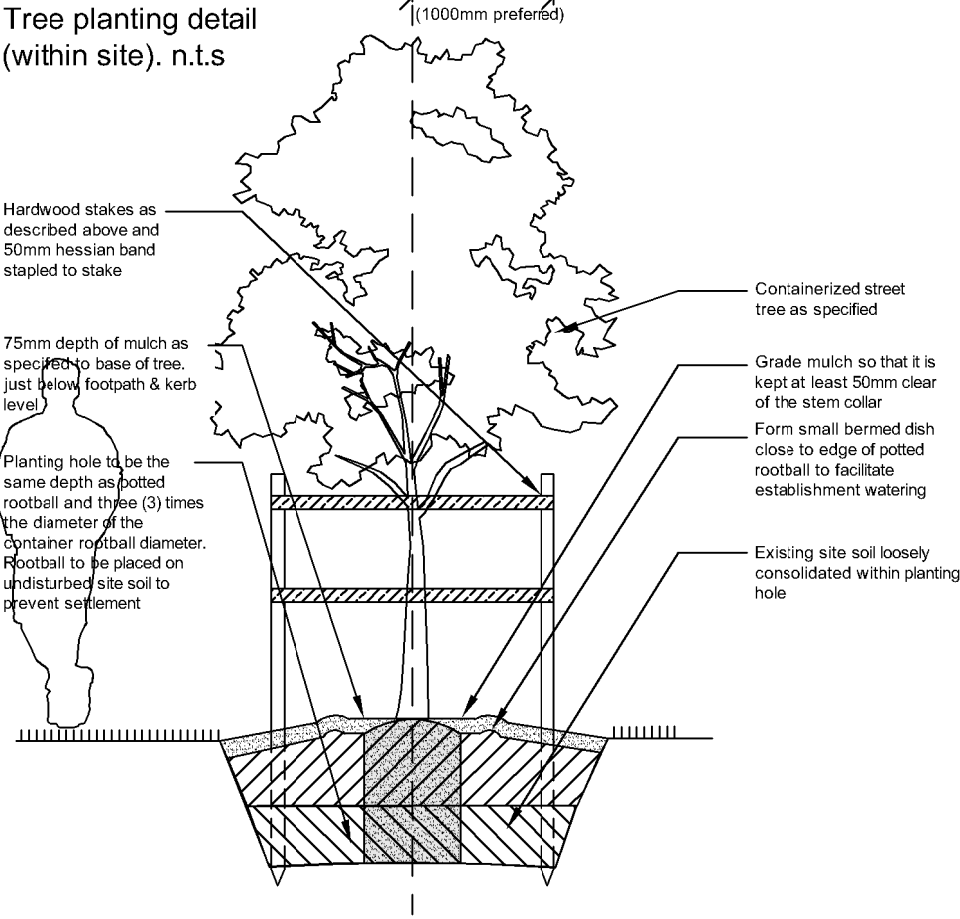
Warranty: A twelve month warranty is to be provided in writing by the Landscape Contractor, which shall commit the Landscape Contractor to rectify the system (the items they have installed) to the satisfaction of the project manager or nominated representative. This will apply should any fault develop, or the capacity or efficiency fall below that guaranteed, or should the discharge or pressure be inadequate, or should defects develop in the filter unit or control heads, or any blockages that may develop in the system.

Approvals: The Landscape Contractor is to liaise as necessary, to ensure that the irrigation system conforms with all Water Board, Council and Australian standards (AS)

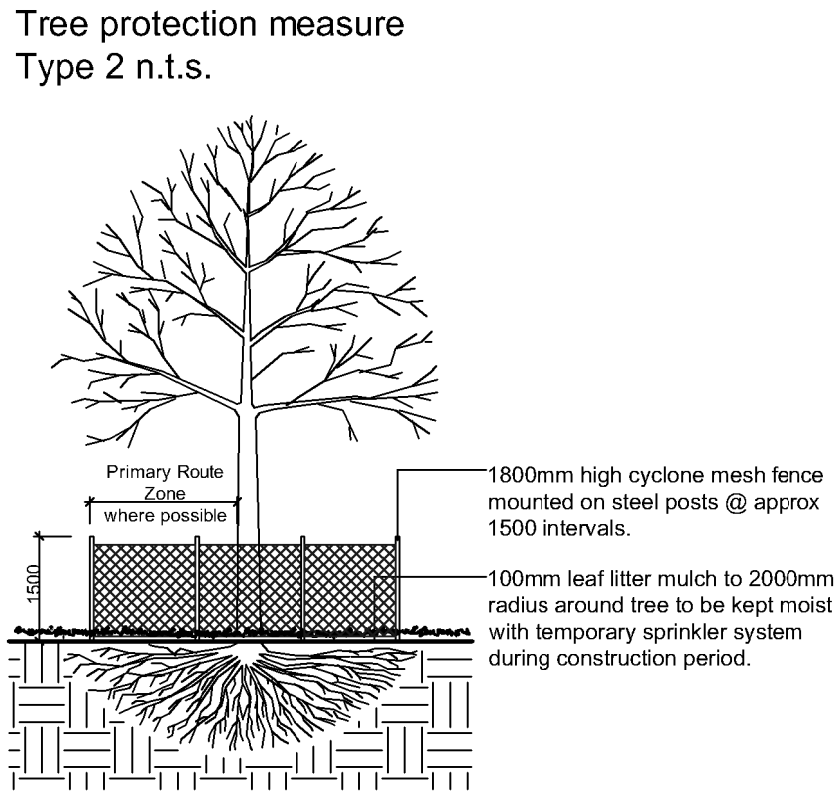
Planting schedule

Symbol	Botanical name	Common name	Cont. size	Staking	Mature height	No req.
<b>Shrubs / small feature trees</b>						
ASA	Acmena smithii 'Allyn Magic	Dwarf hedging Lilly Pilly (Native screen plant. Can be hedged)	250mm	nil	0.6-0.8M	46
CCE	Banksia integrifolia fastigiata 'sentinel	Dwarf Banksia integrifolia (Dwarf yellow flower. Very hardy)	300mm	2x50x50x1800	2.2.5M	1
CCS	Callistemon citrinus 'Splendens'	Dwarf Crimson Bottlebrush (Crimson flowering native shrub)	300mm	nil	2-2.5M	8
ESB	Corymbia ficifolia 'Mini Red'	Mini Red Dwarf Gum (Pink flowering Dwarf Gum)	45Lt	2x50x50x1800	2-3.0M	2
PTT	Pittosporum tobira 'Miss Muffet'	Miss Muffet Pittosporum (bright green foliage hedge)	200mm	hedged	0.8-1.0M	10
SYB	Syzygium 'Baby Boomer'	Dwarf Lilly Pilly (flowering informal plant)	300mm	hedged to req.height	1.2-1.5M	25
SYR	Syzygium 'Resilience'	Resilience Lilly Pilly (native screen plant. Can be hedged)	45Lt	hedged	2.8-3.5M	8
WFG	Westringia fruticosa 'Grey Box'	Ozbreed Grey Box® (hardy low screen can be hedged)	250mm	hedged	0.4-0.7M	12
<b>Ferns / Palms / Succulents / ornamental bamboos</b>						
AMC	Alocasia macrorrhizos	Giant Taro	300mm	nil	2-3.0M	13
ARC	Archontophoenix cunninghamiana	Bangalow Palm (Tropical style tall palm)	Semi adv.	wire guys	8-12M	6
AGV	Agave attenuata	Century plant (striking spiky leaved succulent)	200mm	nil	0.5M	4
BGU	Bambusa guangxiensis	Dwarf Chinese Bamboo (ornamental bamboo can be hedged)	300mm	nil	2-3.5M	1
BSW	Textilus gracilis	Slender Weavers (non-invasive ornamental Bamboo)	300mm	nil	6-8.0M	5
CAA	Cyathea australe	Tree Fern (Native tree ferns)	300mm	nil	2-4.0M	3
COR(M)	Cordylina spp. Mini	Selected Dwarf Cordylina (Shade tolerant bright foliage)	200mm	nil	0.6M	40
DRD	Draceana draco	Dragon Tree (striking feature plant)	100Lt	nil	2.5-3.5M	1
RHA	Raphis excelsor	Lady Finger Palm	300mm	nil	2-2.5M	1
STR	Streitizia reginea	Bird of Paradise (Strappy leaved flowering accent plant)	250mm	nil	1-1.2M	8
YUC	Yucca elaphantipes	Giant Yucca (multi trunked spiky feature plant)	300mm	nil	1.5M	6
<b>Groundcovers/Climbers</b>						
MYP	Myoprum parvifolium	Creeping Boobiala (native cascading groundcover)	150mm	nil	0.2M	38
CIS	Cissus Antarctica	Kangaroo Vine (native groundcover)	300mm	vertical cables	6-8.0M	19
HIS	Hibbertia scandens	Guinea Flower (flowering climber / groundcover)	200mm	nil	0.3M	8
PP	Pandorea pandorana	Wonga Wonga Vine (native climbing plant / groundcover)	300mm	Vertical cables	6-8.0M	8
SCA	Scaveola aemula 'Aussie Crawl'	Fan Flower (Flowering cascading groundcover)	150mm	nil	0.3M	12
TJA	Trachelospermum asiaticum	Flatmat Star Jasmine (FT01 Ozbreed hyrid groundcover)	200mm	nil	0.2M	43
TJT	Trachelospermum tricolor	Variegated Star Jasmine (variegated colour groundcover)	200mm	nil	0.5M	26
VH	Viola hederacea	Native Violets (native low groundcover)	tubes	nil	0.1M	140
WIS	Wisteria sinensis	Chinese Wisteria (deciduous climber over pergola)	300mm	over pergola	5.0M	2
<b>Ornamental grasses/strappy leaved plants</b>						
CM	Clivea miniata	Kaffir Lily (shade tolerant groundcover)	200mm	nil	0.5M	39
DCR	Dianella caerulea 'Tasred'	Tasred Flax Lily (native grass like plant)	100mm	nil	0.4M	8
DIA	Dianella 'Cassa Blue'	Hybrid Flax Lily (native grass like plant)	100mm	nil	0.4M	20
LIM	Liriope Evergreen Giant	Turf Lily (shade tolerant groundcover)	150mm	nil	0.4M	126
LTT	Lomandra Lime Tuff	Dwarf Lomandra (ornamental grass)	150mm	nil	0.4M	62
PHX	Philodendron 'Xanadu'	Xanadu (shade tolerant understory / border plant)	300mm	nil	0.5M	14
SML	Spathiphyllum 'Alo Moana'	Peace Lilly (shade tolerant flowering. Glossy leaves)	200mm	nil	0.4M	32
Planting schedule species to be sourced from local nurseries supplying plants of local provenance wherever possible. Landscape contractor is to check plant numbers on plan against the schedule prior to submitting tender price. Contact landscape architect if any number discrepancies are found. Council compliance controls require that any substitution of species variety or container size MUST be confirmed with landscape architect to ensure a compliance certificate can be issued that's meets the specific development consent conditions of the project.						

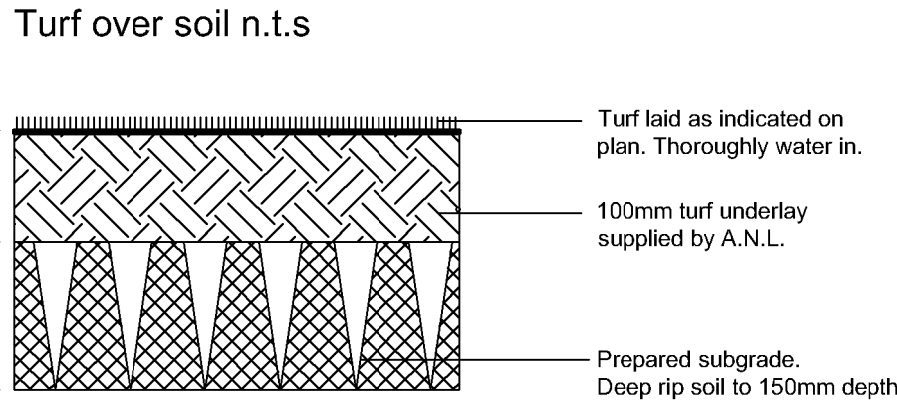
Detail 1.



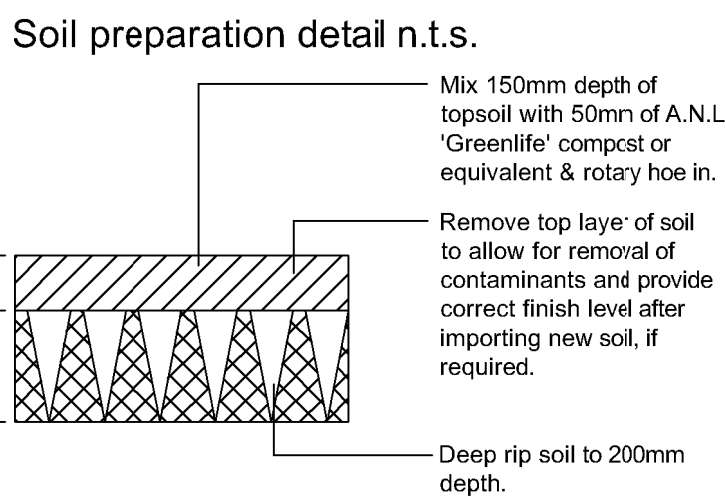
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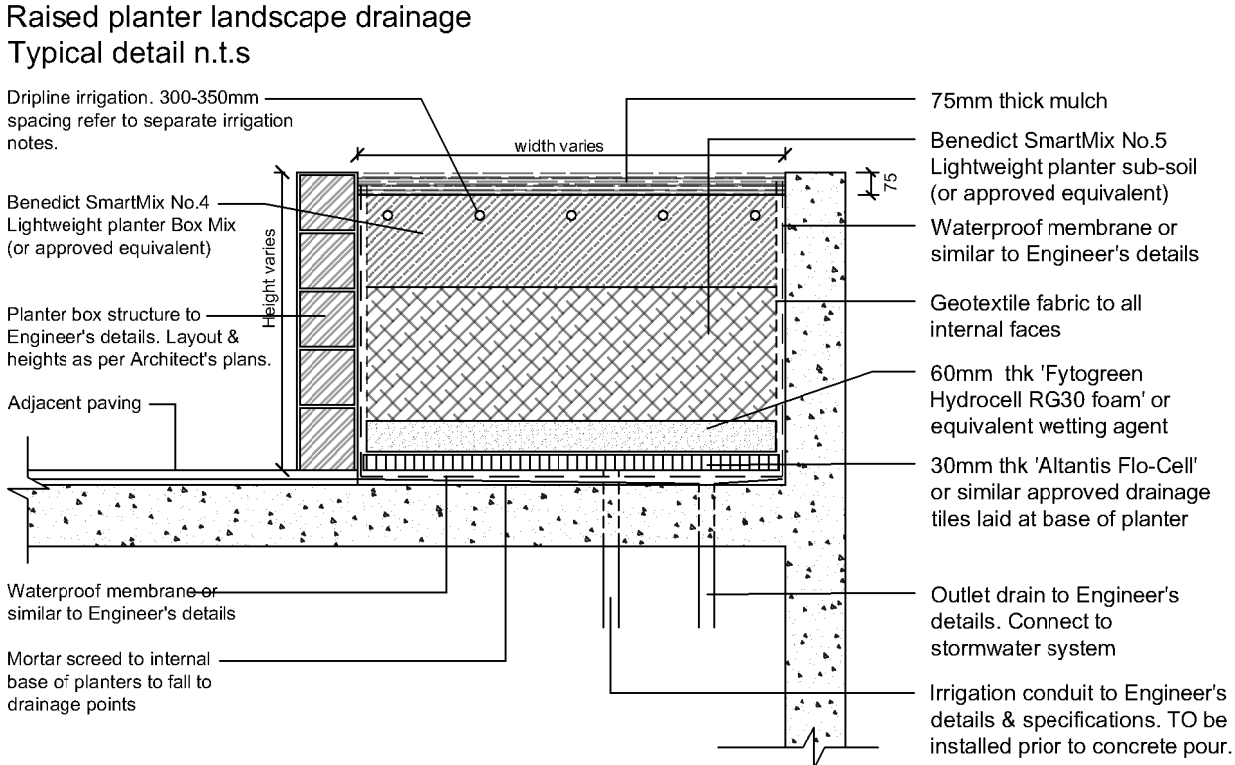
Detail 3.



Detail 4.



Detail 5.



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DWG: DETAILS

DATE: 25.6.2020 SCALE: AS SHOWN @A1  
JOB REF: 20/2138 SHEET NO: 6 OF 6  
ISSUE: E

AMENDMENTS	NORTH