

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

STORMWATER LAYOUT IS DIAGRAMMATIC ONLY AND NO REPRESENTATION IS MADE AS TO THE AS-BUILT LOCATION OF STORMWATER ASSETS (INCLUDING SURFACE INLET PITS) OR THE TYPE OF SYSTEM USED (CHARGED OR GRAVITY FED). ALL STORMWATER DESIGN IS SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS OR CHANGES AT THE DISCRETION OF THE BUILDER. THE STORMWATER SYSTEM IS NOT SUITABLE FOR ANY OTHER USE. ALL SURFACE WATER DRAINAGE MUST BE MANAGED BY OWNER INCLUDING INSTALLATION OF ADDITIONAL DISCHARGE LINES AND INLETS AS REQUIRED. THE BUILDER PROVIDES CAPACITY FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

DRIVEWAY AND RETAINING WALLS BY OWNER UNLESS NOTED OTHERWISE IN THE TENDER AND/OR COLOUR SELECTIONS DOCUMENTATION.

PROPOSED TREES BY OWNER AFTER HANDOVER UNLESS NOTED OTHERWISE IN THE TENDER DOCUMENTATION.

WIND CLASSIFICATION	N1
WITHIN 1 KM. OF BREAKING SALT WATER	NO
WITHIN 100 M. OF SALT WATER	NO
MINIMUM AHD FLOOR LEVEL APPLICABLE	NO
SURVEY AREA	NEW
LATITUDE	33° 00' 00" S
LONGITUDE	151° 00' 00" E

APPROX. IMPORT/EXPORT FILL	
CUT VOLUME	40.03m³

ALL MASONRY CONSTRUCTION SUCH AS RETAINMENT WALLS, WALL TIES AND LINTEL PROTECTION FOR THE DIFFERENCE SHALL BE CONSTRUCTED FOR SEVERE MARINE REQUIREMENTS.

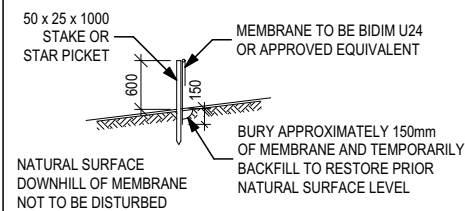
ALL EXPOSED STRUCTURAL STEEL TO BE CONSTRUCTED FOR SEVERE MARINE REQUIREMENTS. EVEN CUT & FILL

AGGRESSIVE SOIL REQUIREMENTS
PROVIDE ADDITIONAL STRUCTURAL REQUIREMENTS, DUE TO BUILDING IN AN 'AGGRESSIVE SOIL ENVIRONMENT'. THIS SHALL INCLUDE THE FOLLOWING:

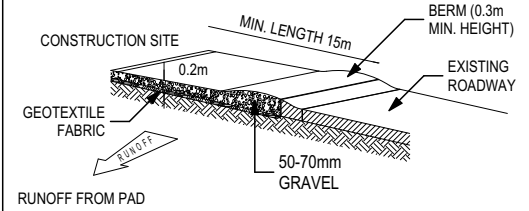
- PROVIDE 32MPa CONCRETE TO THE PIERS AND FLOOR SLABS IN LIEU OF STANDARD.
- PROVIDE HIGH IMPACT MEMBRANE BELOW THE FLOOR SLAB.
- PROVIDE A MIN. 50mm BLINDING LAYER OF SAND UNDERNEATH THE FLOOR STRUCTURE.
- PROVIDE POLYETHYLENE DAMP PROOF COURSE TO THE EXTERNAL WALLS IN LIEU OF STANDARD.
- USE EXPOSURE GRADE MORTAR BELOW DAMP PROOF COURSE IN LIEU OF STANDARD.
- USE EXPOSURE GRADE BRICKWORK FROM OUR STANDARD RANGE BELOW THE DAMP PROOF COURSE.

CLIENT TO CONNECT ELECTRICITY SUPPLY TO THE SEPTIC TANK.

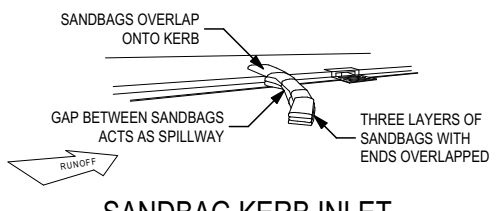
THE CLIENT IS TO ARRANGE FOR THE INSTALLATION OF AN APPROVED SEPTIC SYSTEM AND IF REQUIRED THE PUMP LINE FROM THE TANK TO THE SEWER MAIN. THE SEPTIC SYSTEM IS TO BE DESIGNED BY AN APPROVED INSTALLER AND DESIGN PLANS/SEPTIC APPLICATION FORMS ARE TO BE PROVIDED TO THE BUILDER PRIOR TO THE BUILDING APPLICATION BEING LODGED AT COUNCIL. **THE SEPTIC TANK MUST BE SUPPLIED AND INSTALLED NO LATER THAN INTERNAL LININGS BEING COMPLETED. THIS WORK IS TO BE CO-ORDINATED WITH SITE SUPERVISOR.** ADDITIONAL DRAINER COSTS COULD OCCUR IF THE INSTALLATION OF THE TANK IS DELAYED.



SILT FENCING DETAIL



TEMPORARY CONSTRUCTION EXIT

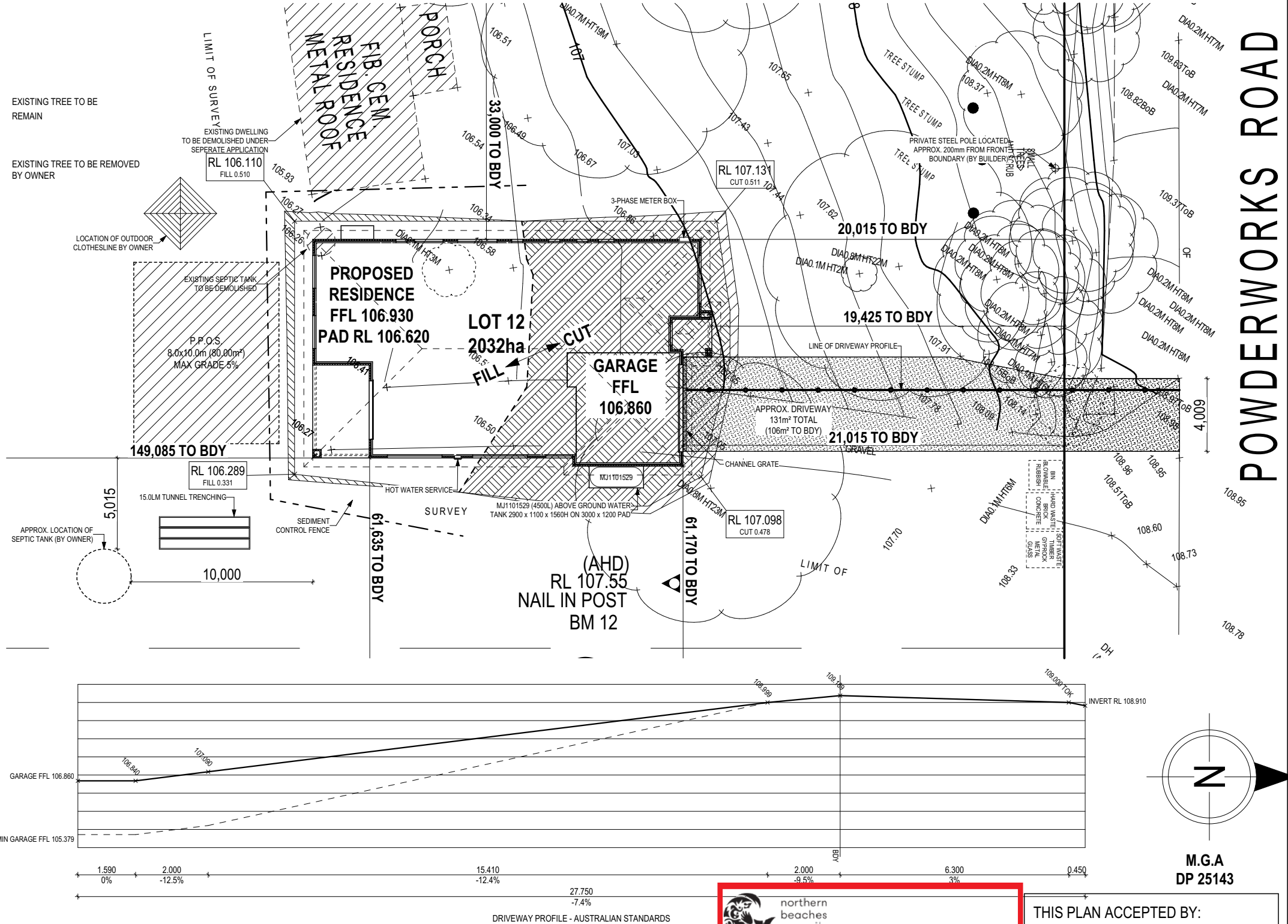


SANDBAG KERB INLET SEDIMENTATION TRAP

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MOJO MORE	4	WORKING DRAWING CHECK	GBO 2021.10.26	MR. NIGEL BUBALO	RHAPSODY 28		
COPYRIGHT:	5	PCV04	KDE 2021.11.22	ADDRESS:	FACADE DESIGN:	FACADE CODE:	651945
© 2022	6	AMEND KITCHEN PLAN AS PER SELECTIONS	JVA 2021.11.23	220 POWDERWORKS ROAD , INGLESIDE NSW 2101	MODERN	F-JMMRPY00MODNA	
	7	DEMOLITION PLAN	GBO 2022.03.25	LOT / SECTION / DP:	SHEET TITLE:	SHEET No.:	
	8	AMEND NOTE-SITE PLAN FOR EXISTING DWELLING	JVA 2022.03.30	12 / - / 25143	NORTHERN BEACHES COUNCIL	5 / 18	1:250, 1:125

OVERHEAD POWER LINES ARE PRESENT



THIS PLAN IS TO BE READ IN CONJUNCTION WITH INTEREST COMMENCEMENT CONSENT
DA NUMBER: DA2021/2436
(Activation of consent must be obtained from Northern Beaches Council)

THIS PLAN ACCEPTED BY:


PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

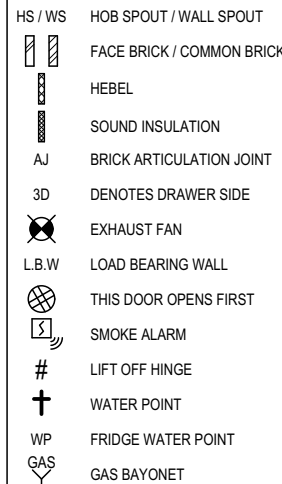
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UNLESS NOTED OTHERWISE
ALL ROOMS ARE REFERENCED
AS FOLLOWS:



PROVIDE R3 RATING TO THE STEEL
SUPPORT BEAMS DUE TO PROXIMITY TO
SALTWATER

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.



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DATE:

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- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

SH = SNAP HEADER SILL



northern
beaches
council

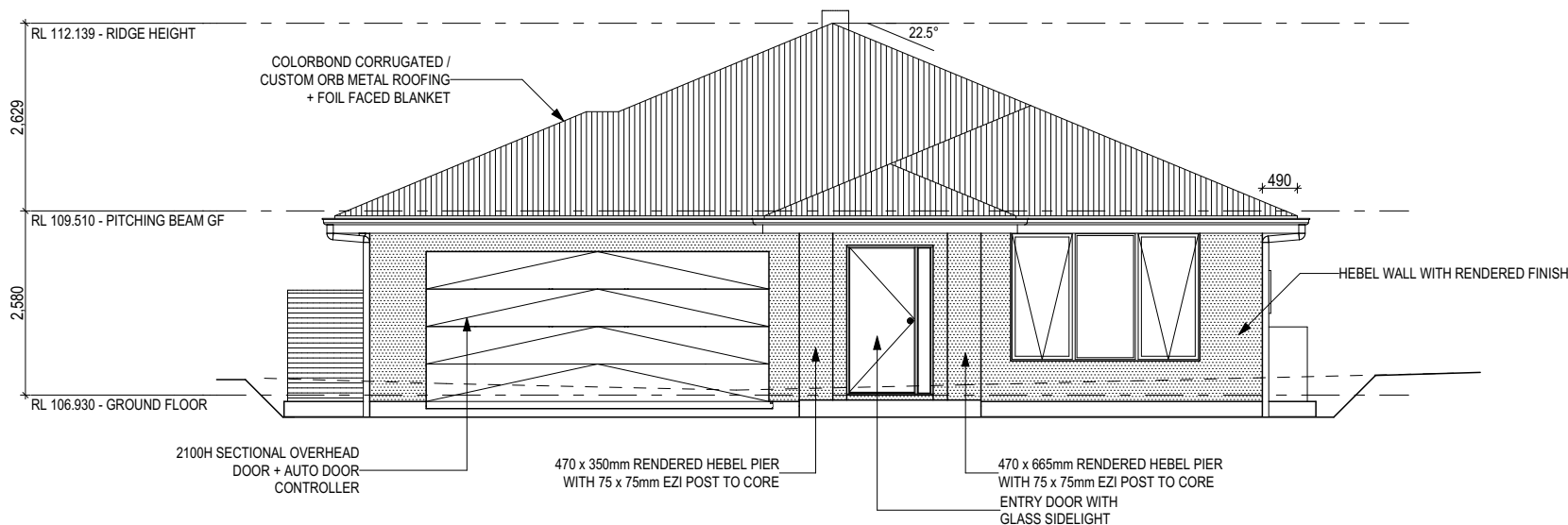
**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
DEFERRED COMMENCEMENT CONSENT**

DA NUMBER: DA2021/2436

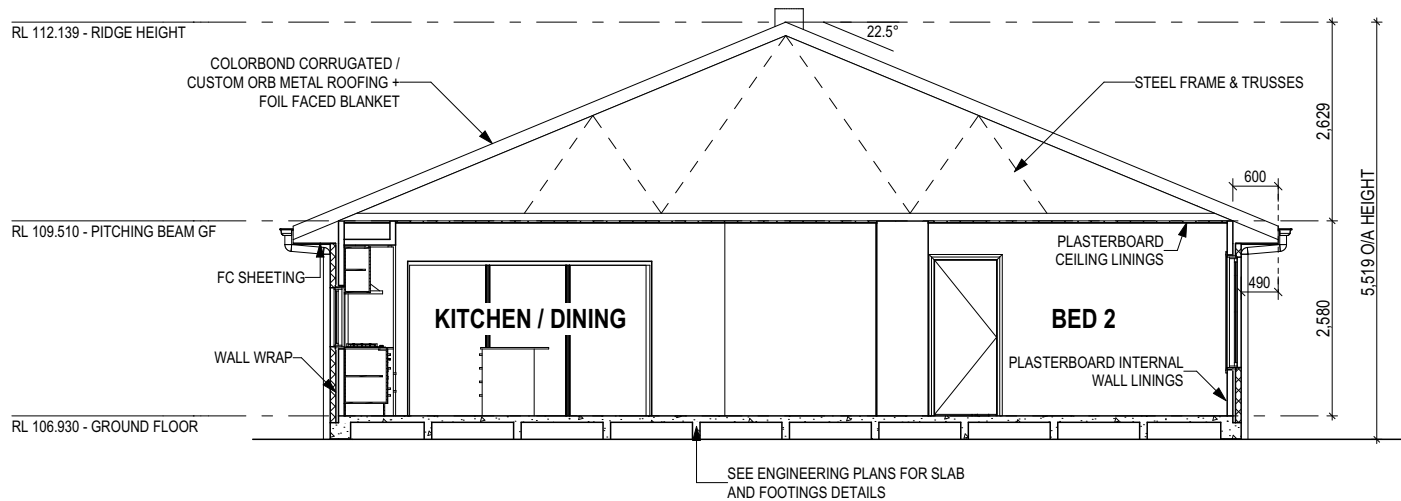
**(Activation of consent must be obtained
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INSULATION TO BE INSTALLED IN ACCORDANCE WITH NCC AND RELEVANT AUSTRALIAN STANDARDS:

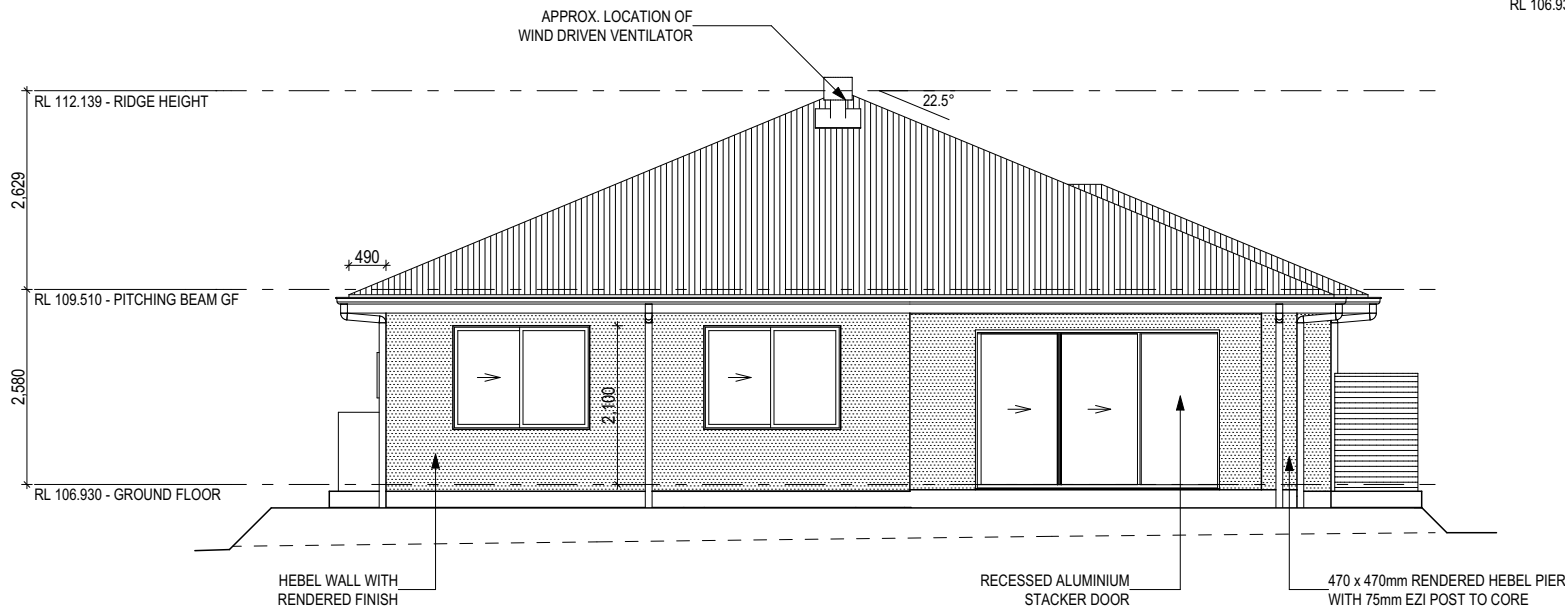
- R2.5 BATTS TO EXTERNAL WALLS (EXCLUDING GARAGE)
- R2.5 BATTS TO GARAGE INTERNAL WALLS
- WALL WRAP TO ENTIRE HOUSE
- R4.1 CEILING BATTS (EXCLUDING OUTDOOR LIVING, PORCH & GARAGE)
- FOIL FACED BLANKET UNDER ROOFING



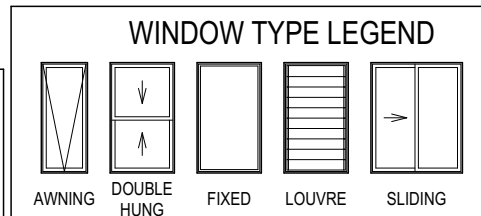
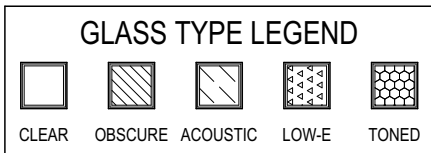
FRONT ELEVATION (NORTH)
SCALE: 1:100



SECTION A-A
SCALE: 1:100



REAR ELEVATION (SOUTH)
SCALE: 1:100



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REVISION	DRAWN
4 WORKING DRAWING CHECK	GBO 2021.10.26
5 PCV04	KDE 2021.11.22
6 AMEND KITCHEN PLAN AS PER SELECTIONS	JVA 2021.11.23
7 DEMOLITION PLAN	GBO 2022.03.25
8 AMEND NOTE-SITE PLAN FOR EXISTING DWELLING	JVA 2022.03.30

CLIENT:
MR. NIGEL BUBALO
ADDRESS:
220 POWDERWORKS ROAD, INGLESIDE NSW 2101
LOT / SECTION / DP:
12 / - / 25143
COUNCIL:
NORTHERN BEACHES COUNCIL

HOUSE DESIGN:
RHAPSODY 28
FACADE DESIGN:
MODERN
SHEET TITLE:
ELEVATIONS / SECTION

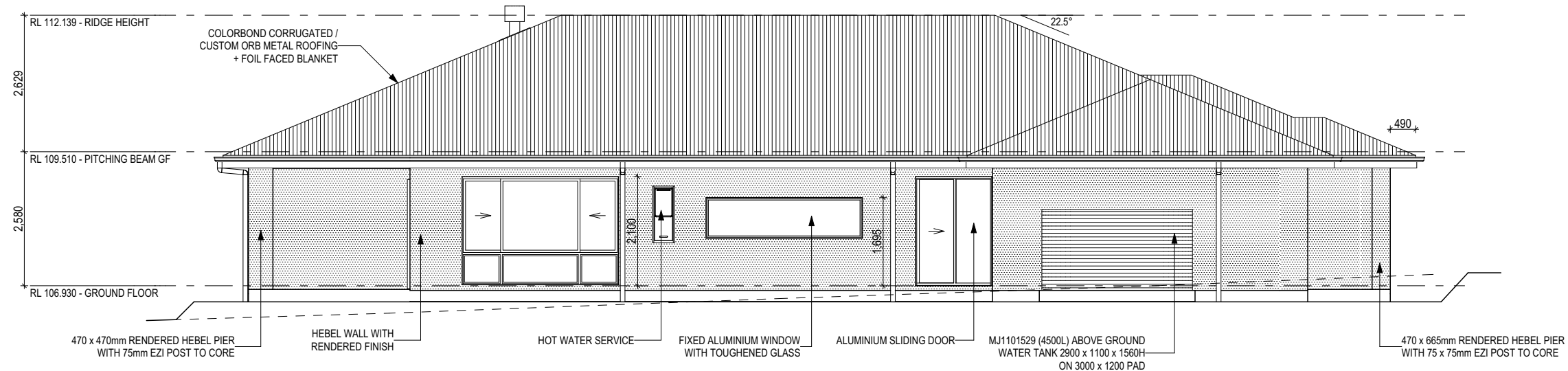
HOUSE CODE:
F-JMMRPY00MODNA
SHEET No.:
9 / 18
SCALES:
1:100

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651945

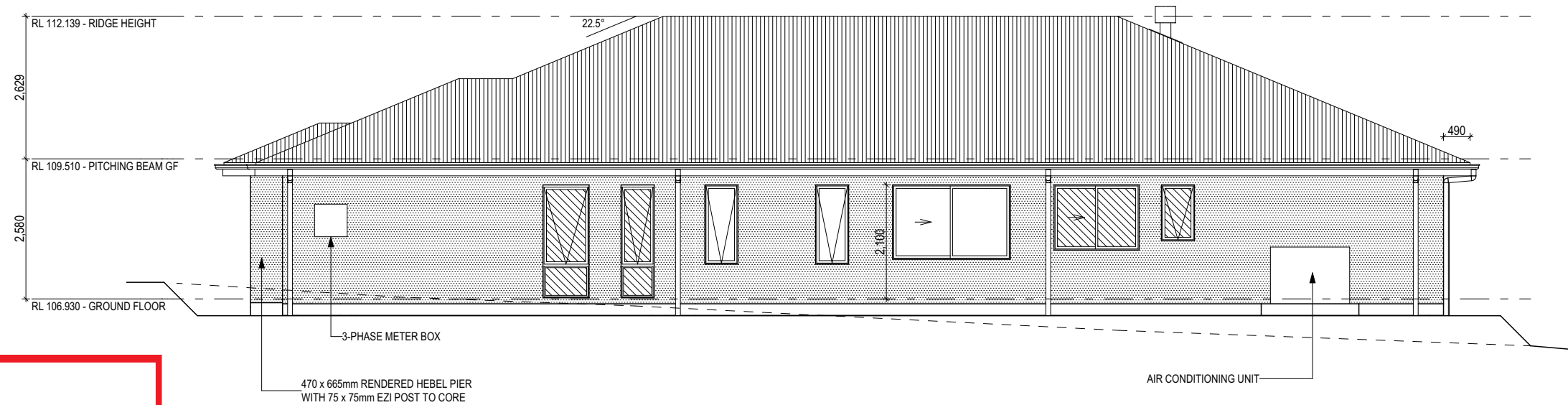
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SH = SNAP HEADER SILL



LEFT ELEVATION (WEST)
SCALE: 1:100



RIGHT ELEVATION (EAST)
SCALE: 1:100



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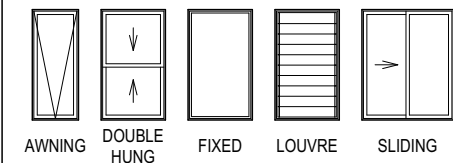
DA NUMBER: DA2021/2436

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GLASS TYPE LEGEND



WINDOW TYPE LEGEND



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			NORTHERN BEACHES COUNCIL		1:100	