

1 SITE PLAN
1 : 200

IMPORTANT CONSTRUCTION NOTES

THESE NOTES APPLY TO ALL OWNER/S BUILDER, TRADES, SUPPLIER, MANUFACTURER, WORKERS, CONTRACTORS, CONSULTANTS ETC.
ALL MUST READ THESE NOTES PRIOR TO PROVIDING QUOTES, SERVICES, LEGAL AGREEMENTS, SITE WORKS ETC.

- 1/ These notes apply to this page and all other information, documents, disclaimer, specification etc. issued for the works by OBLIQ DESIGN.
2/ Written/Drawn information & Construction Specifications to be read together and applied as one document. Do not scale drawings, work to survey, figured dimensions & site conditions, refer to specification/s etc.
3/ Figured dimensions to be checked against survey, and or site dimensions available. Larger details generally apply in preference to smaller scale drawings/details. Advise of discrepancies as required prior to build.
4/ Check all documentation & site conditions for accuracy and or application to existing site conditions, building, structure, services, fixtures, etc. Report any discrepancies prior to start on site final contract, legal and or any site works, manufacture etc.
5/ Items/detailing not shown, but required, shall be allowed for, and incorporated into the works as required and part proper, safe and complete construction as per BCA, Australian Standard and or Authority requirements.
6/ Work Set-Out to be carried out by a registered Surveyor, obtain written/drawn certificate/s as required.
7/ Obtain information from surveyors, engineers, other consultants, details, reports, Authority Approvals/requirements etc. as required by Law and or to ensure safe and proper work/job, prior to quotation/contract/legal or any site work. This includes where new and or existing works/services are affected and or council could be affected due to the proposed. Obtain work-shop drawings as required for detail work.
8/ BCA and Compliance, ensure all plans/proposed/works are approved by relevant Authorities & that the construction/work complies with and are complete/built to the current BCA and applicable Australian Standards AS-A etc, and or Authority approval/conditions of approval, including structural, framing, essential services, site safety, landscaping etc.

- 9/ Owner's approval shall also be obtained prior for materials, finishes, and or other items/inclusions to be incorporated into the works/job prior to supply, manufacture/build/install. Ensure to comply with item 8.
10/ Pest & Termite. An approved control/treatment/s to be executed and or installed as required by the BCA/Authority, to new and or existing work/s, obtain certificate/s and if required install an approved system for ongoing treatment.
11/ Insurance/s Cover. The Owner/Builder and Trades must have in place adequate/current and suitable insurance/s policies/cover during the works for workers compensation, construction/risk public liability and self-insurance as required by Law. The Owner/s, Builder shall ensure to inform, themselves/obtain written proof/ copies of such suitable, adequate and current/valid insurance/s policies/cover.
12/ IF IN DOUBT ASK!

OWNER / BUILDER USE OF PLANS, DOCUMENTS, DISCLAIMER NOTE;
Care is taken to prepare these plans/documents and or details on the information provided to OBLIQ DESIGN and site information as available at the time, however there is possibility of discrepancy, differences, omissions that may occur as a result of site conditions, build method/s, need, variance, copy transfer of documents, drawings and or some other reasons.
The owner, builder, shopfitter, trades, manufacture, supplier, end-user etc, and or person/s responsible for and or building the proposed work/s and or works on existing, shall promptly report discrepancies, ensure and check all the plans/documents and or details issued for the job/works are suitable, comply with, and or are also acceptable prior to entering legal agreements, tender, placing orders and or build, and shall have appropriate and valid insurances as required by Law. Refer to by others/other consultants documents for the job/works, including compliance. WHS & or Authorities/Others having Jurisdiction over the works, including details, inspection, and or approvals etc. as required by Law. OBLIQ DESIGN and it's owner does not accept any liability or risk taken, and disclaim any liability for any cost, loss, damage claim, of whatever nature of kind (including negligence) suffered or incurred by any person, corporations, end-user and or any other legal entity. Such persons, corporation/s, end-user and or any legal entity agree to and shall hereby indemnify OBLIQ DESIGN and it's owner for such, which arises out of any use of, interpretation, alleged reliance upon on it's plans/documents and or services or the like.
This note applies to all of OBLIQ DESIGN plans, documentation, service and forms part of same. (Project management and or building is not an OBLIQ DESIGN service.)

TERMITE CONTROL METHOD

PROVIDE TERMITE MANAGEMENT IN ACCORDANCE WITH AS 3660.1 AND B.C.A CL 3.1.3.0

ALL WORK TO BE CARRIED OUT FROM THE PLANS MUST BE COORDINATED WITH SCHEDULE OF BASIX COMMITMENTS & THERMAL PERFORMANCE SPECIFICATIONS, REFER TO ATTACHED BASIX CERTIFICATE.

NOTE

EJ - EXPANSION JOINTS
THE POSITION OF EXPANSION JOINTS IS TO BE CONFIRMED BY THE ENGINEER. WHERE ENGINEERING DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.

IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE THAT THE ENGINEER HAS INVESTIGATED SUBSOIL CONDITIONS AND DESIGN ALL STRUCTURAL ELEMENTS TO SUIT.



WARRINGAH LEP/DCP 2011

LOT 5

SITE CALCULATIONS:		COMPLIES
LOT AREA	268.1 m ²	
TOTAL GROUND FLOOR	81.3 m ²	
TOTAL LEVEL 1 FLOOR	66.8 m ²	
GARAGE	16.8 m ²	
STAIR VOID	4.5 m ²	
PORCH	1.0 m ²	
TOTAL LIVING FLOOR AREA		126.8 m ²
MIN. FRONT SETBACK	6.5 m	
Achieved Front Setback	6.504 m	YES
MIN. RIGHT SIDE SETBACK	0.9 m	
Achieved Right Side Setback	0.8 m	NO
MIN. LEFT SIDE SETBACK	0.9 m	
Achieved Left Side Setback	0.901 m	YES
MIN. REAR SETBACK	6.0 m	
Achieved Rear Setback	15.96 m	YES
MAX. BUILDING HEIGHT	8.5 m	
Achieved Building Height	7.06 m	YES
MIN. LANDSCAPED AREA	40% (107.24 m ²)	
Achieved Landscaped Area	40.2% (107.7 m ²)	YES
MIN. PPOS AREA	60.0 m ²	
Achieved PPOS Area	73.4 m ²	YES

WARRINGAH LEP/DCP 2011

LOT 6

SITE CALCULATIONS:		COMPLIES
LOT AREA	268.1 m ²	
TOTAL GROUND FLOOR	81.4 m ²	
TOTAL LEVEL 1 FLOOR	65.2 m ²	
GARAGE	16.8 m ²	
STAIR VOID	4.5 m ²	
PORCH	0.9 m ²	
TOTAL LIVING FLOOR AREA		125.3 m ²
MIN. FRONT SETBACK	6.5 m	
Achieved Front Setback	6.545 m	YES
MIN. RIGHT SIDE SETBACK	0.9 m	
Achieved Right Side Setback	0.901 m	YES
MIN. LEFT SIDE SETBACK	0.9 m	
Achieved Left Side Setback	0.8 m	NO
MIN. REAR SETBACK	6.0 m	
Achieved Rear Setback	15.96 m	YES
MAX. BUILDING HEIGHT	8.5 m	
Achieved Building Height	7.11 m	YES
MIN. LANDSCAPED AREA	40% (107.24 m ²)	
Achieved Landscaped Area	40.1% (107.6 m ²)	YES
MIN. PPOS AREA	60.0 m ²	
Achieved PPOS Area	73.4 m ²	YES



ABN: 77 802 983 648



COMPLETE CONSTRUCTION ENGINEERING PTY LTD

ABN: 31 143 485 367

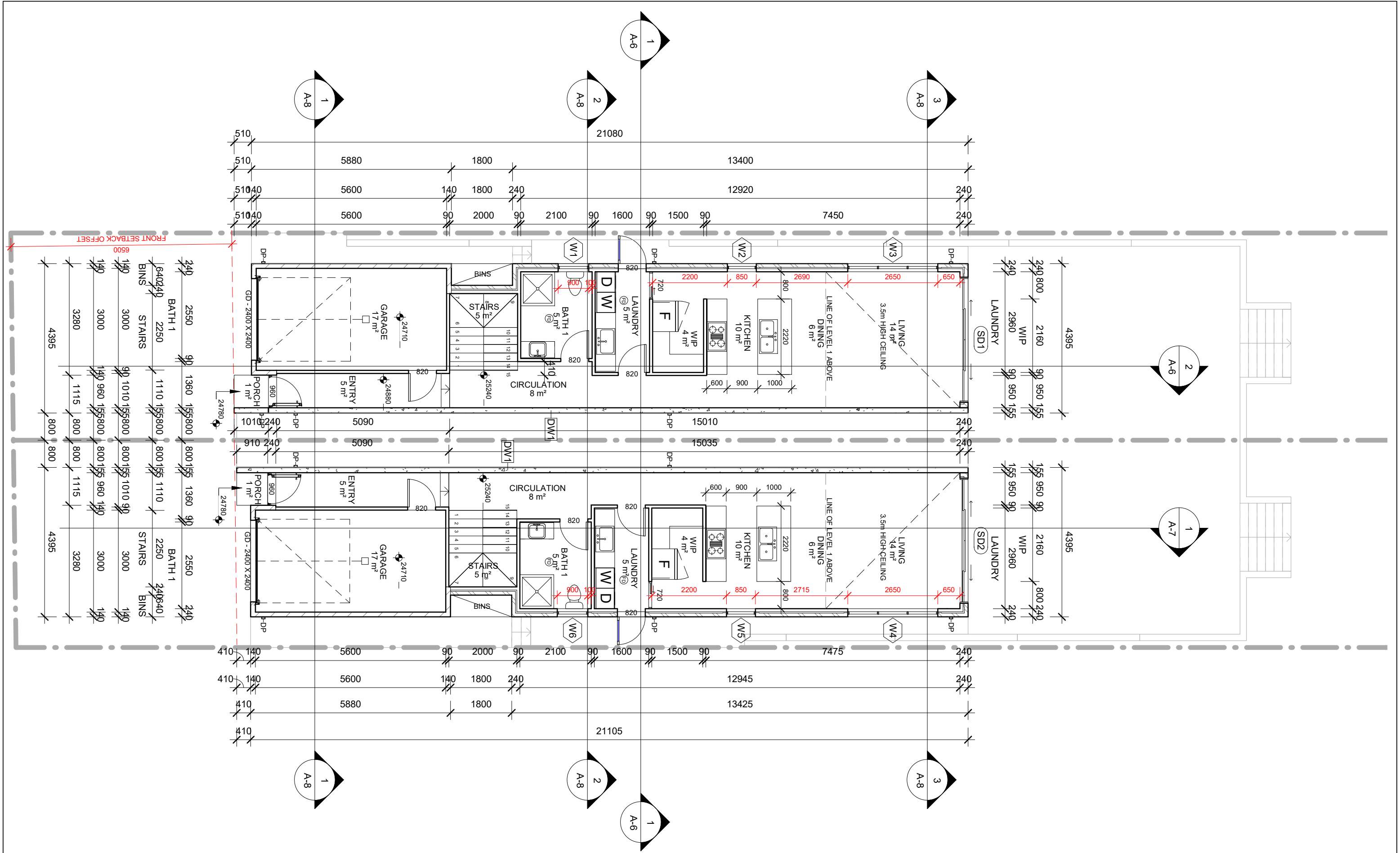
No.	Description	Date
1	DA	10/08/2022

JOVAN SARAI

PROPOSED DEMOLITION OF EXISTING DWELLING & ASSOCIATED STRUCTURES AND CONSTRUCTION OF 2 DOUBLE STOREY DWELLINGS ON LOTS 5-6 DP1636 AT 24 OLIVER STREET, FRESHWATER NSW 2096

SITE PLAN

Project number	A-1	
Date		10/08/2022
Drawn by		Ilhan Alijagic
Checked by	Scale	As indicated



No.	Description	Date
1	DA	10/08/2022

JOVAN SARAI

PROPOSED DEMOLITION OF EXISTING
DWELLING & ASSOCIATED STRUCTURES AND
CONSTRUCTION OF 2 DOUBLE STOREY
DWELLINGS ON LOTS 5-6 DP1636 AT 24
OLIVER STREET, FRESHWATER NSW 2096

GROUND FLOOR PLAN

Project number	A-2
Date	
Drawn by	
Checked by	Ilhan Alijagic



ABN: 77 802 983 648

9 PENGUIN PARADE
HINCHINBROOK NSW 2168
M: 0457 451 758
M: 0419 183 175
E: ilhan@obliqdesign.com.au
E: h_alijagic@bigpond.com



COMPLETE CONSTRUCTION ENGINEERING
PTY LTD

ABN: 31 143 485 367

No.	Description	Date
1	DA	10/08/2022

JOVAN SARAI

PROPOSED DEMOLITION OF EXISTING
DWELLING & ASSOCIATED STRUCTURES AND
CONSTRUCTION OF 2 DOUBLE STOREY
DWELLINGS ON LOTS 5-6 DP1636 AT 24
OLIVER STREET, FRESHWATER NSW 2096

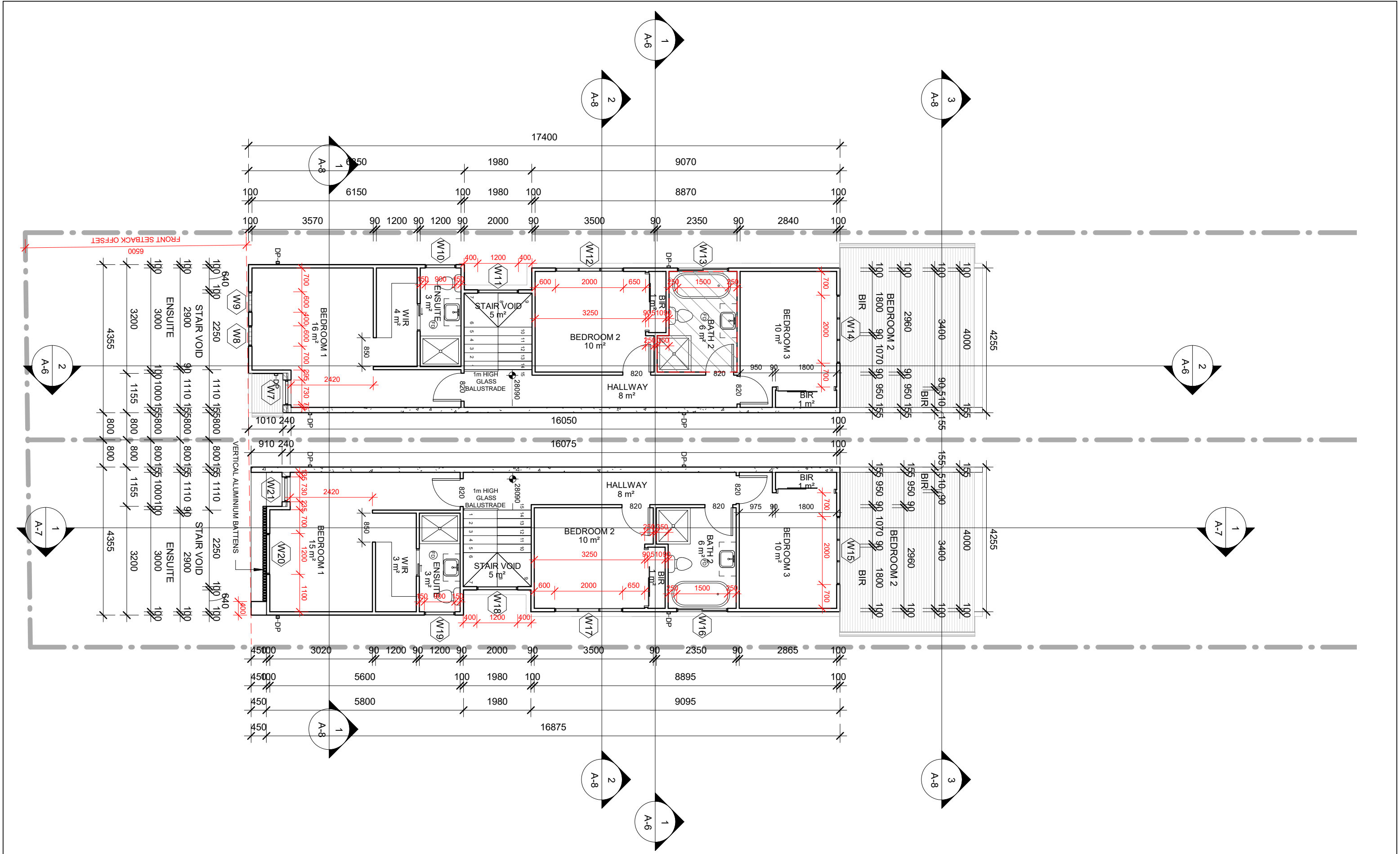
LEVEL 1 FLOOR PLAN

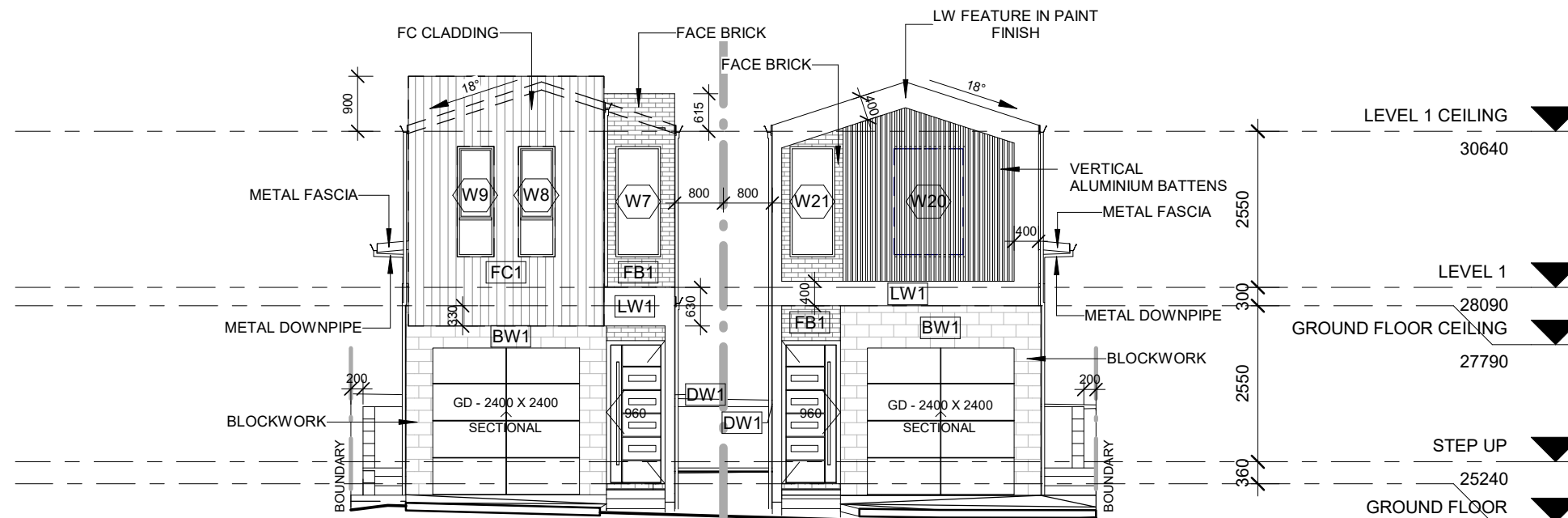
Project number	
Date	10/08/2022
Drawn by	Ilhan Alijagic
Checked by	

A-3

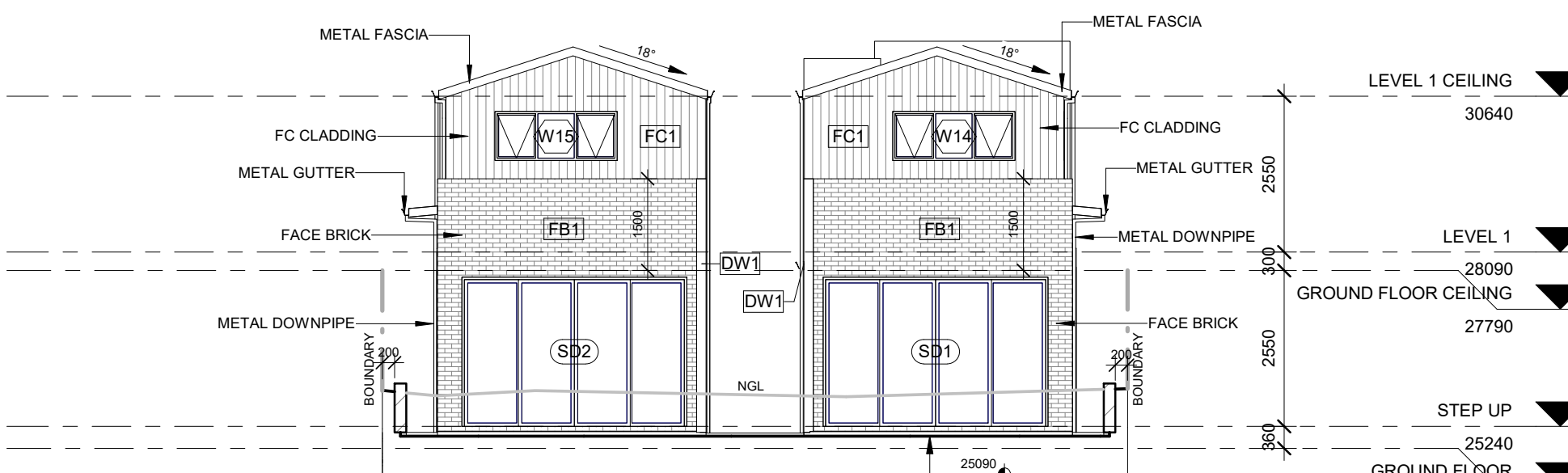
Scale

1 : 100





1 EAST
1 : 100



2 WEST
1 : 100

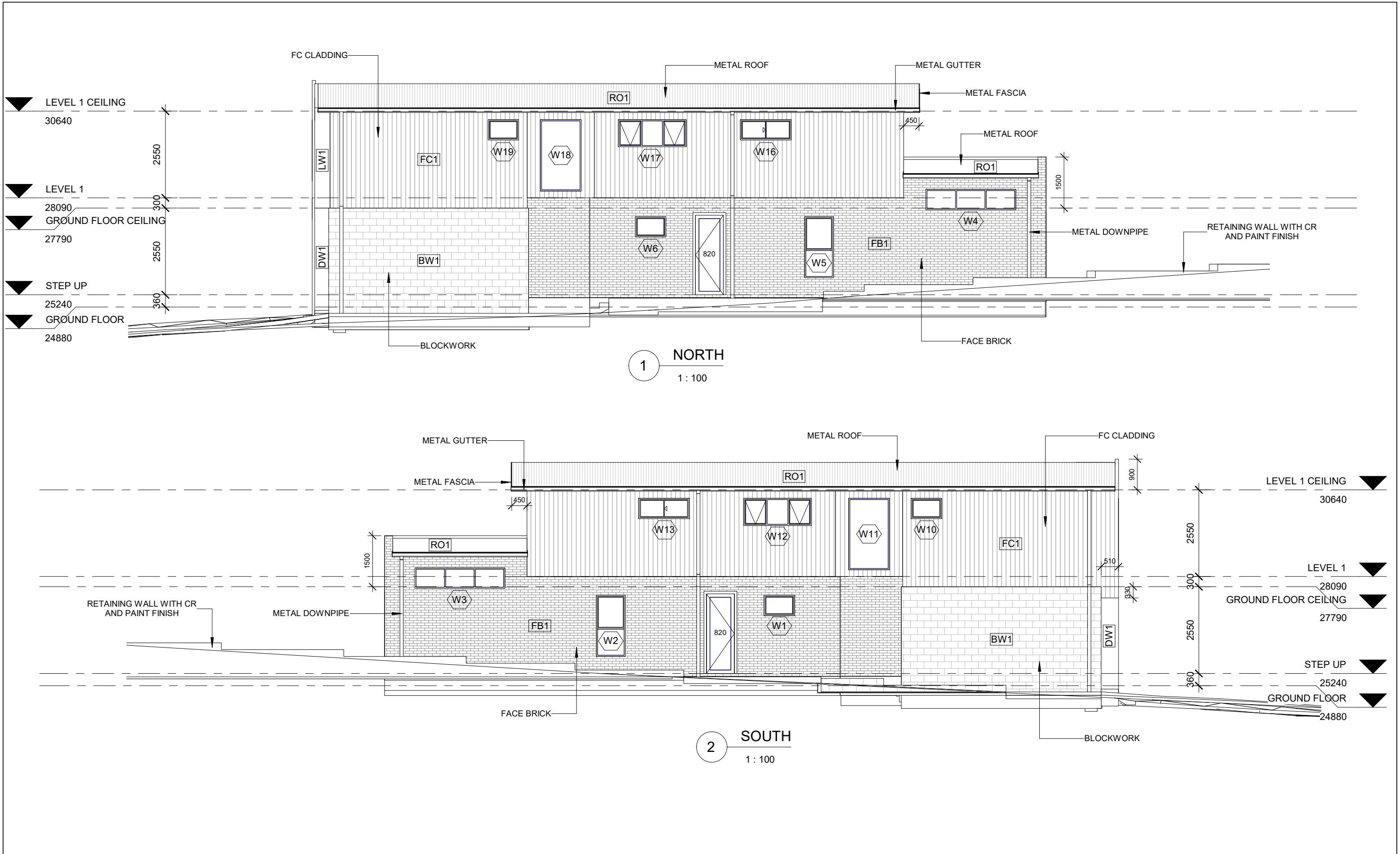
EXTERNAL COLOURS & MATERIALS		
MARK	IMAGE	DESCRIPTION
BW1		EXTERNAL WALLS - BLOCKWORK AUSTRAL ARCHITEC SMOOTH IN CHARCOAL
FB1		EXTERNAL WALLS - FACE BRICK PGH DARK AND STORMY - LIGHTNING
FC1		EXTERNAL WALLS - FIBRE CEMENT (GROOVED) JAMES HARDIE - AXON CLADDING 133mm SMOOTH MONUMENT OR SIMILAR
LW1		LW WALL - FIBRE CEMENT PAINT FINISH IN VIVID WHITE
DW1		EXTERNAL WALLS - 155mm DINCEL WALL CEMENT RENDER & PAINT FINISH IN VIVID WHITE
RO1		COLORBOND ROOF, GUTTER & DOWNPIPE IN MONUMENT
		EXTERNAL WINDOWS & DOORS POWDERCOATED IN MONUMENT
		GARAGE DOOR IN MONUEMNT
		VERTICAL ALUMINIUM BATTENS DECOBATTEN - BLUEASH
		DRIVEWAY - CONCRETE FINISH

No.	Description	Date
1	DA	10/08/2022

JOVAN SARAI

PROPOSED DEMOLITION OF EXISTING DWELLING & ASSOCIATED STRUCTURES AND CONSTRUCTION OF 2 DOUBLE STOREY DWELLINGS ON LOTS 5-6 DP1636 AT 24 OLIVER STREET, FRESHWATER NSW 2096

EAST & WEST ELEVATIONS		
Project number	A-4	
Date		10/08/2022
Drawn by		Ilhan Alijagic
Checked by		
Scale	As indicated	



No.	Description	Date
1	DA	10/08/2022

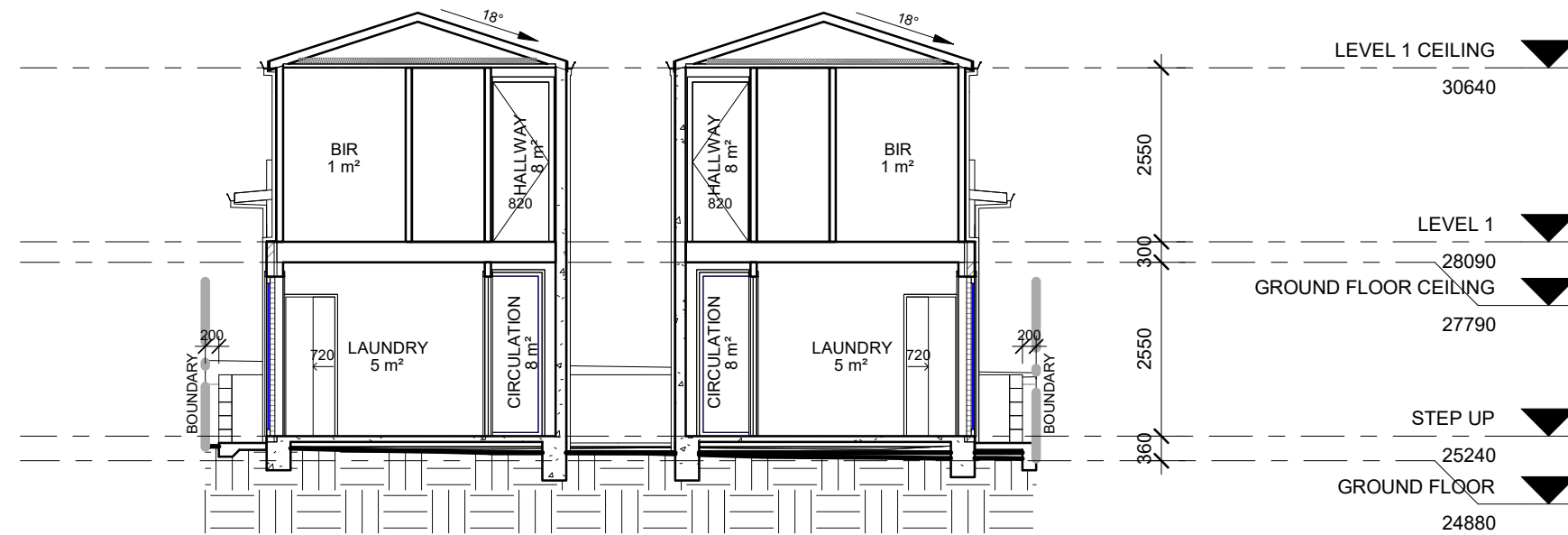
JOVAN SARAI

PROPOSED DEMOLITION OF EXISTING DWELLING & ASSOCIATED STRUCTURES AND CONSTRUCTION OF 2 DOUBLE STOREY DWELLINGS ON LOTS 5-6 DP1636 AT 24 OLIVER STREET, FRESHWATER NSW 2096

NORTH & SOUTH ELEVATIONS

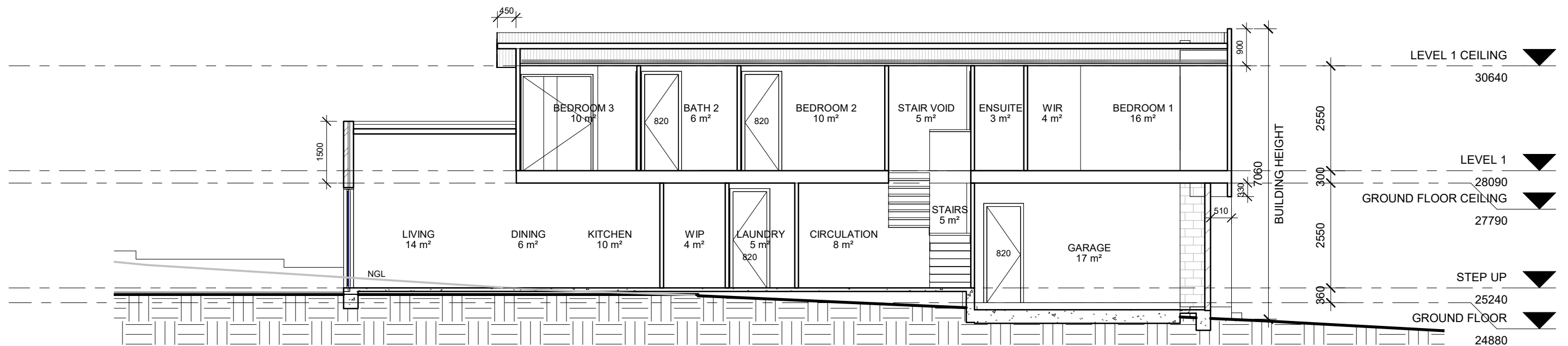
Project number	A-5	Scale	1 : 100	
Date				10/08/2022
Drawn by				Ilhan Alijagic
Checked by				

MAX BUILDING HEIGHT - 8.5m



1 SECTION 1
1 : 100

MAX BUILDING HEIGHT - 8.5m



2 SECTION 2
1 : 100

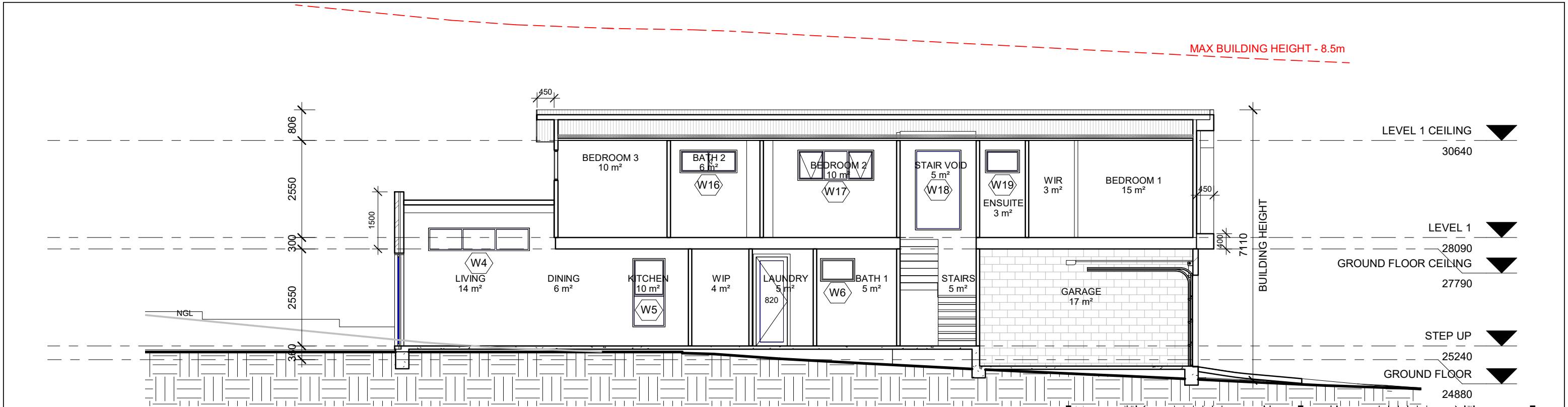
No.	Description	Date
1	DA	10/08/2022

JOVAN SARAI

PROPOSED DEMOLITION OF EXISTING
DWELLING & ASSOCIATED STRUCTURES AND
CONSTRUCTION OF 2 DOUBLE STOREY
DWELLINGS ON LOTS 5-6 DP1636 AT 24
OLIVER STREET, FRESHWATER NSW 2096

SECTIONS 1 - 2

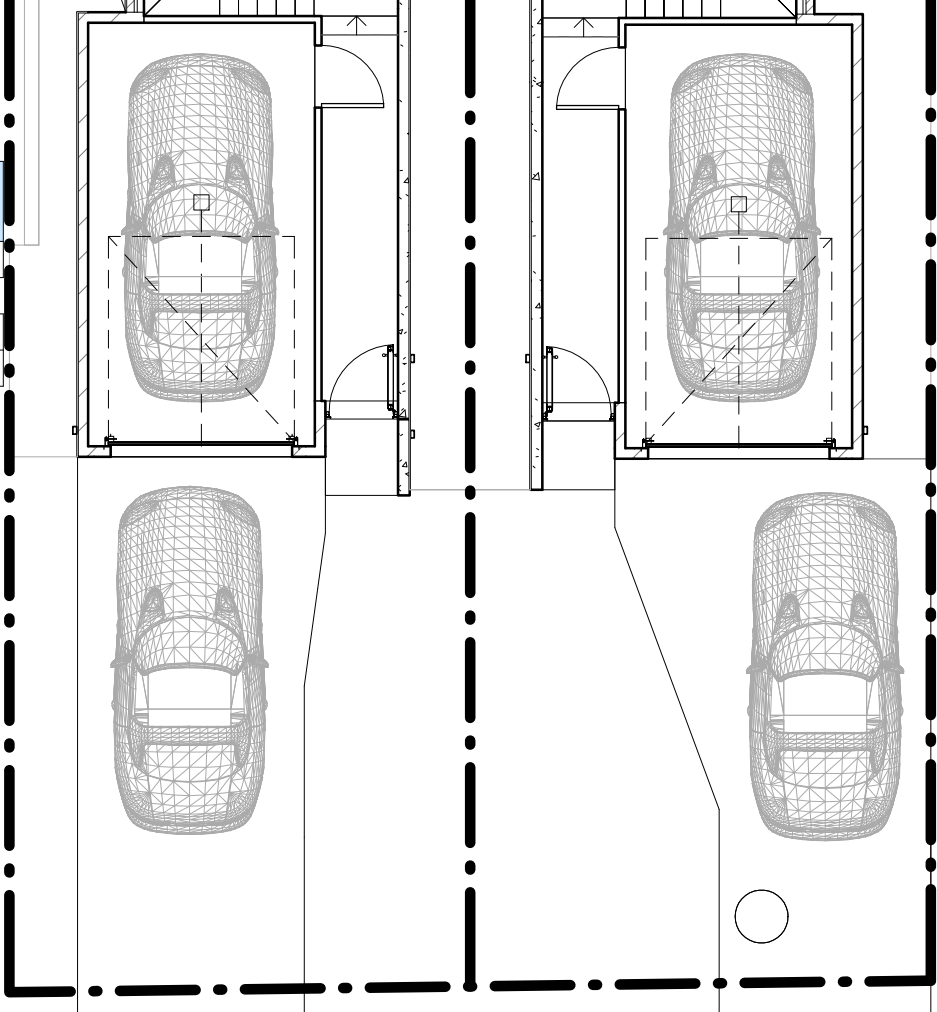
Project number	A-6	
Date		10/08/2022
Drawn by		Ilhan Alijagic
Checked by	Scale	1 : 100



WINDOW SCHEDULE						
Level	Mark	Height	Width	Sill Height	Head Height	Window Style
STEP UP	W1	600	900	1700	2300	FIXED
STEP UP	W2	1800	850	500	2300	AWNING
STEP UP	W3	600	2650	2500	3100	FIXED
STEP UP	W4	600	2650	2500	3100	FIXED
STEP UP	W5	1800	850	500	2300	AWNING
STEP UP	W6	600	900	1700	2300	FIXED
STEP UP: 6						
LEVEL 1	W7	1800	730	500	2300	FIXED
LEVEL 1	W8	1800	600	500	2300	AWNING
LEVEL 1	W9	1800	600	500	2300	AWNING
LEVEL 1	W10	600	900	1700	2300	FIXED
LEVEL 1	W11	2100	1200	200	2300	FIXED
LEVEL 1	W12	800	2000	1500	2300	AWNING
LEVEL 1	W13	600	1500	1700	2300	SLIDING
LEVEL 1	W14	800	2000	1500	2300	AWNING
LEVEL 1	W15	800	2000	1500	2300	AWNING
LEVEL 1	W16	600	1500	1700	2300	SLIDING
LEVEL 1	W17	800	2000	1500	2300	AWNING
LEVEL 1	W18	2100	1200	200	2300	FIXED
LEVEL 1	W19	600	900	1700	2300	FIXED
LEVEL 1	W20	1800	1200	500	2300	FIXED
LEVEL 1	W21	1800	730	500	2300	FIXED
LEVEL 1: 15						
Grand total: 21						

1 SECTION 3
1 : 100

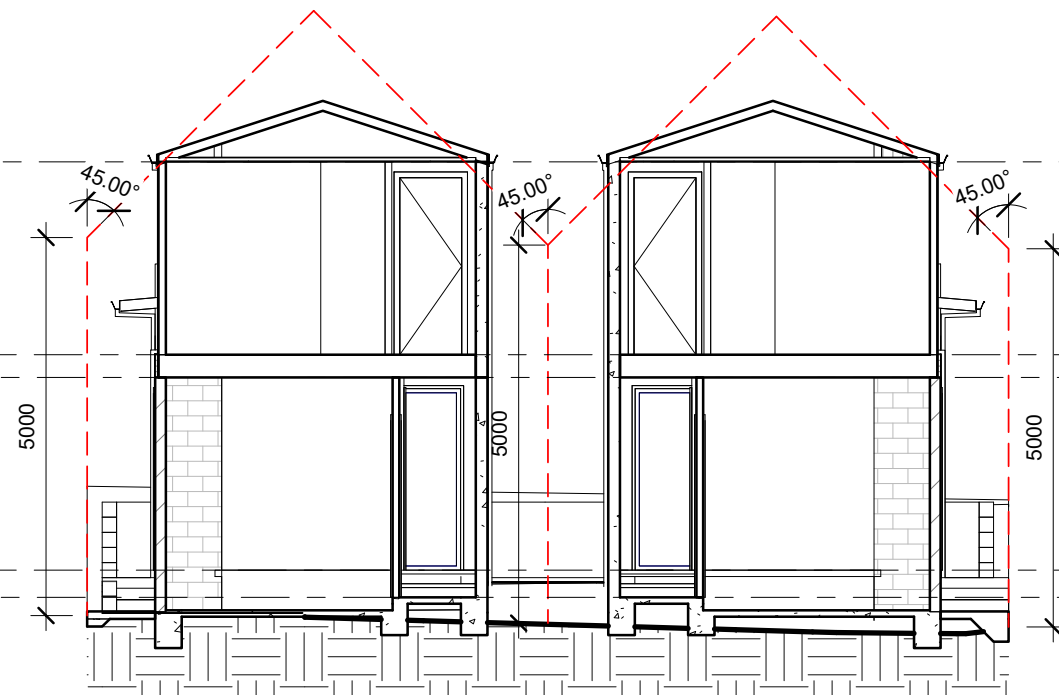
SLIDING DOOR SCHEDULE			
Level	Mark	Height	Width
STEP UP	SD1	2400	3600
STEP UP	SD2	2400	3600
STEP UP: 2			
Grand total: 2			



2 PARKING FACILITIES PLAN
1 : 100

No.	Description	Date
1	DA	10/08/2022

JOVAN SARAI		SECTION 3, DOOR & WINDOW SCHEDULE & PARKING FACILITIES PLAN	
PROPOSED DEMOLITION OF EXISTING DWELLING & ASSOCIATED STRUCTURES AND CONSTRUCTION OF 2 DOUBLE STOREY DWELLINGS ON LOTS 5-6 DP1636 AT 24 OLIVER STREET, FRESHWATER NSW 2096		Project number	A-7
		Date	
		Drawn by	
		Checked by	Scale
		Ilhan Alijagic	1 : 100



1 SECTION 4
1 : 100

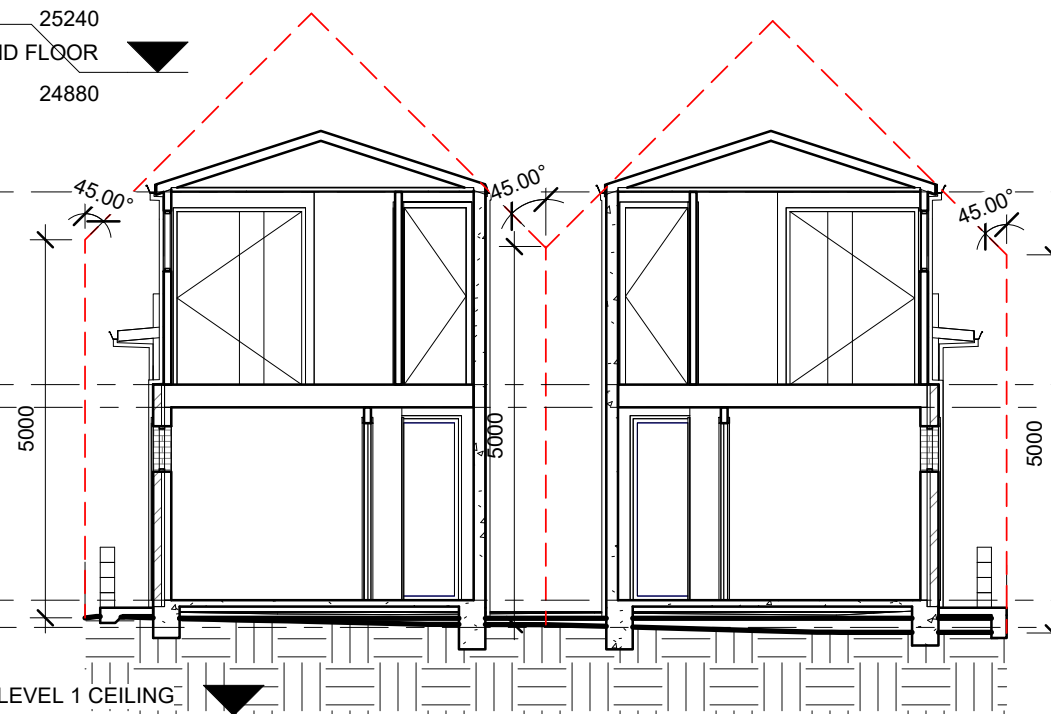
LEVEL 1 CEILING ▼
30640

LEVEL 1 ▼
28090

GROUND FLOOR CEILING ▼
27790

STEP UP ▼
25240

GROUND FLOOR ▼
24880



2 SECTION 5
1 : 100

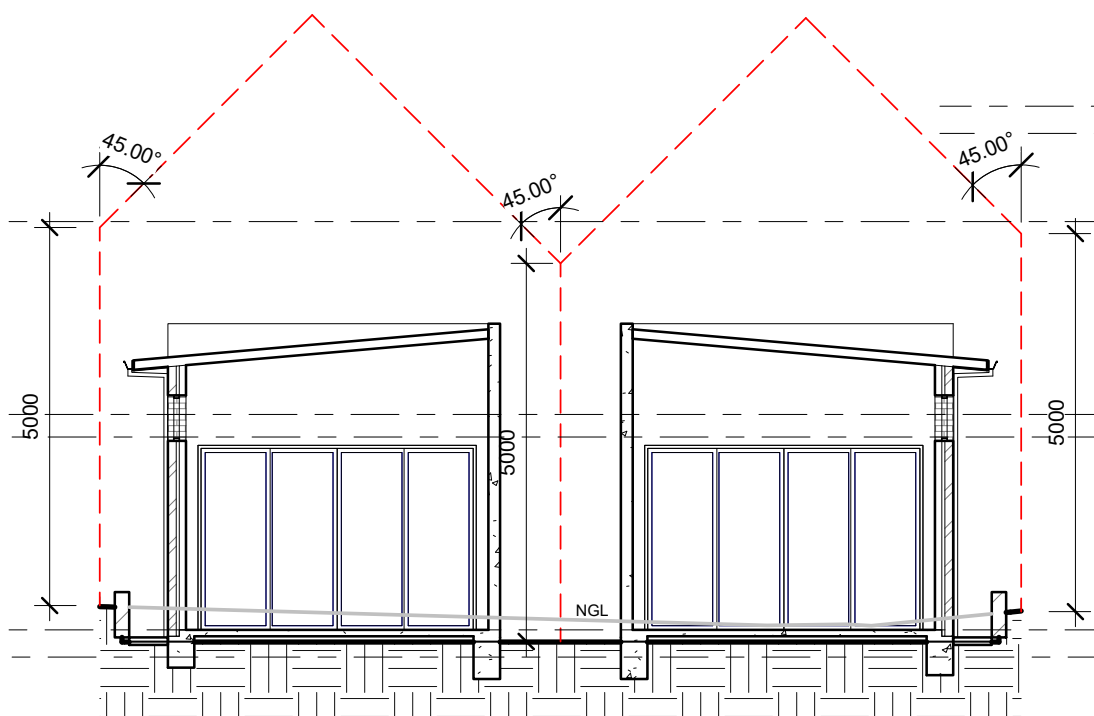
LEVEL 1 CEILING ▼
30640

LEVEL 1 ▼
28090

GROUND FLOOR CEILING ▼
27790

STEP UP ▼
25240

GROUND FLOOR ▼
24880



3 SECTION 6
1 : 100

LEVEL 1 ▼
28090

GROUND FLOOR CEILING ▼
27790

STEP UP ▼
25240

GROUND FLOOR ▼
24880

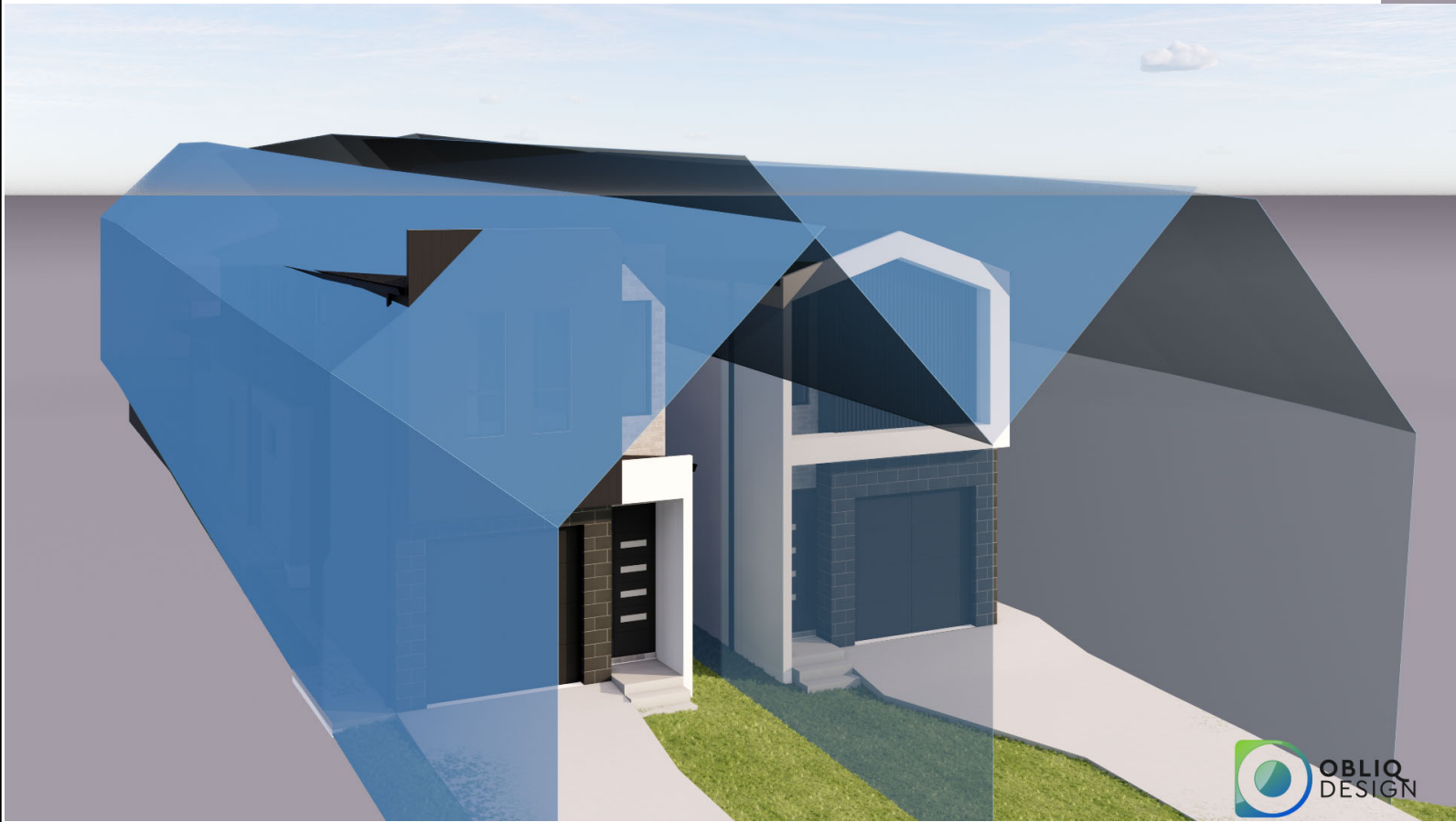
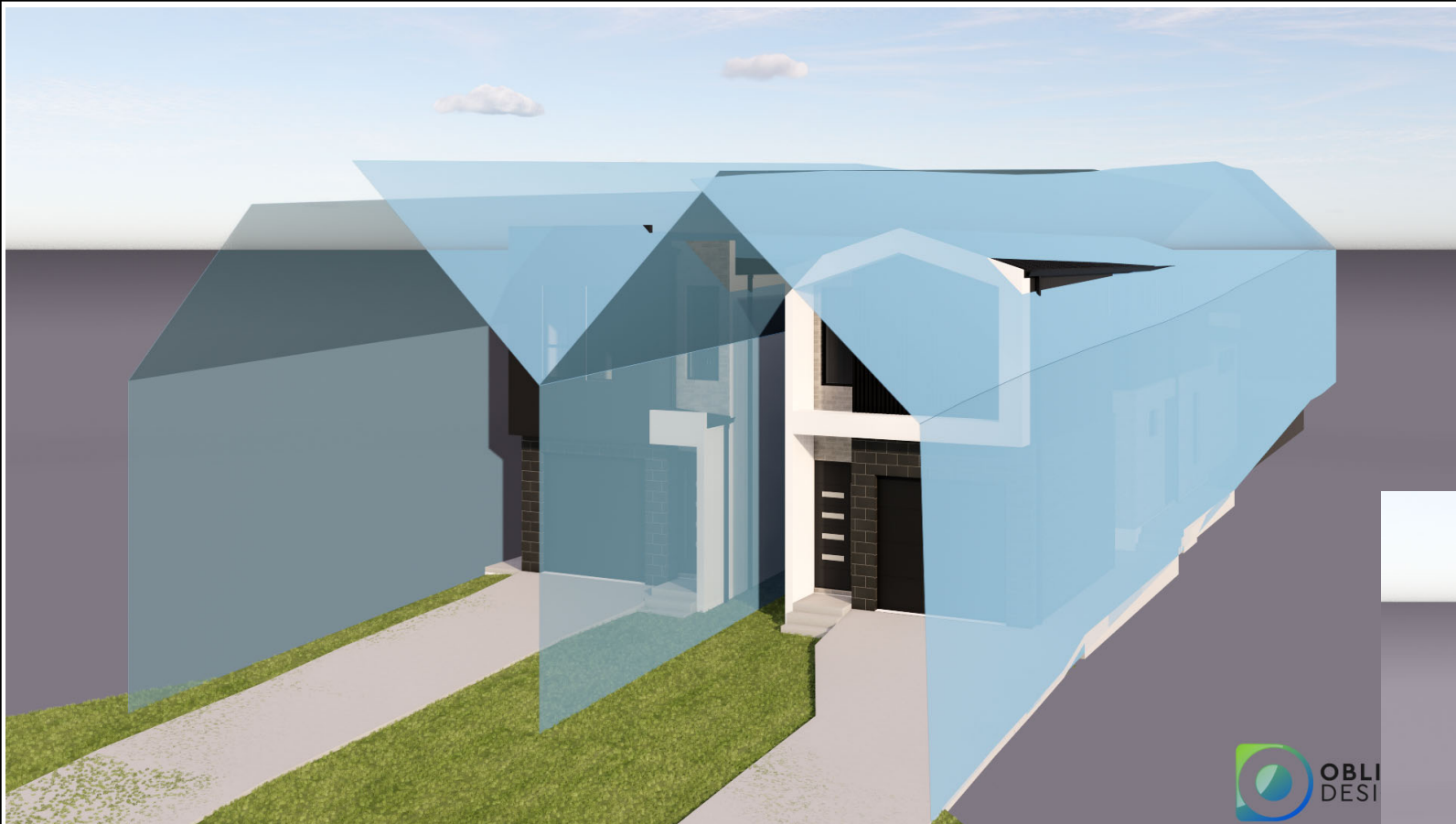
No.	Description	Date
1	DA	10/08/2022

JOVAN SARAI

PROPOSED DEMOLITION OF EXISTING
DWELLING & ASSOCIATED STRUCTURES AND
CONSTRUCTION OF 2 DOUBLE STOREY
DWELLINGS ON LOTS 5-6 DP1636 AT 24
OLIVER STREET, FRESHWATER NSW 2096

SIDE BOUNDARY ENVELOPE - SECTIONS 4 - 6

Project number	A-8
Date	
Drawn by	
Checked by	Ilhan Alijagic
Scale	1 : 100




**OBLIQ
DESIGN**
9 PENGUIN PARADE
HINCHINBROOK NSW 2168
M: 0457 451 758
M: 0419 183 175
E: ilhan@obliqdesign.com.au
E: h_alijagic@bigpond.com

ABN: 77 802 983 648



**COMPLETE CONSTRUCTION ENGINEERING
PTY LTD**
ABN: 31 143 485 367

No.	Description	Date
1	DA	10/08/2022

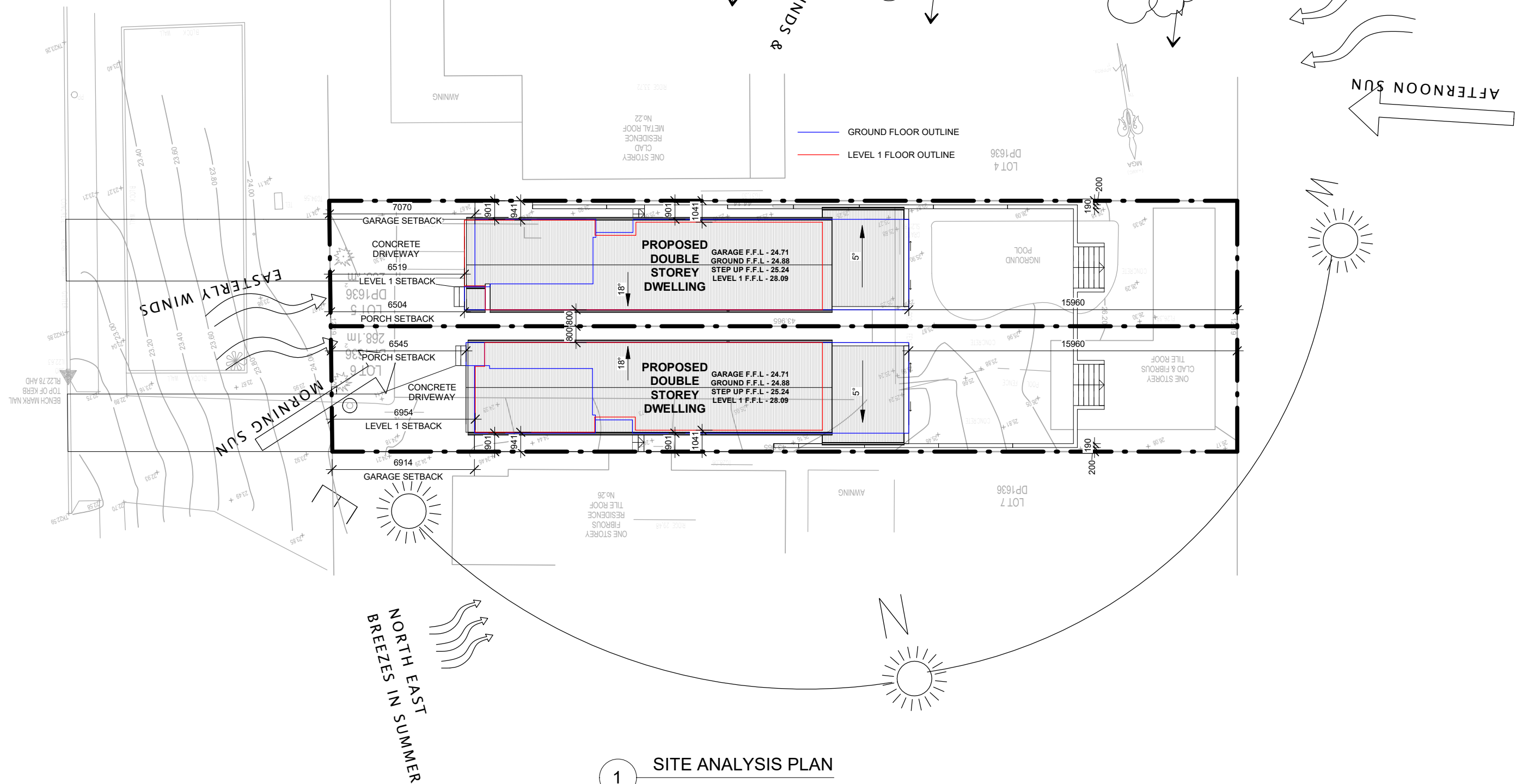
JOVAN SARAI

PROPOSED DEMOLITION OF EXISTING
DWELLING & ASSOCIATED STRUCTURES AND
CONSTRUCTION OF 2 DOUBLE STOREY
DWELLINGS ON LOTS 5-6 DP1636 AT 24
OLIVER STREET, FRESHWATER NSW 2096

SIDE BOUNDARY ENVELOPE PERSPECTIVES

Project number	A-9
Date	
Drawn by	
Checked by	Ilhan Alijagic
Scale	1 : 1

NOISE DIRECTION
OLIVER STREET



1 SITE ANALYSIS PLAN
1 : 200

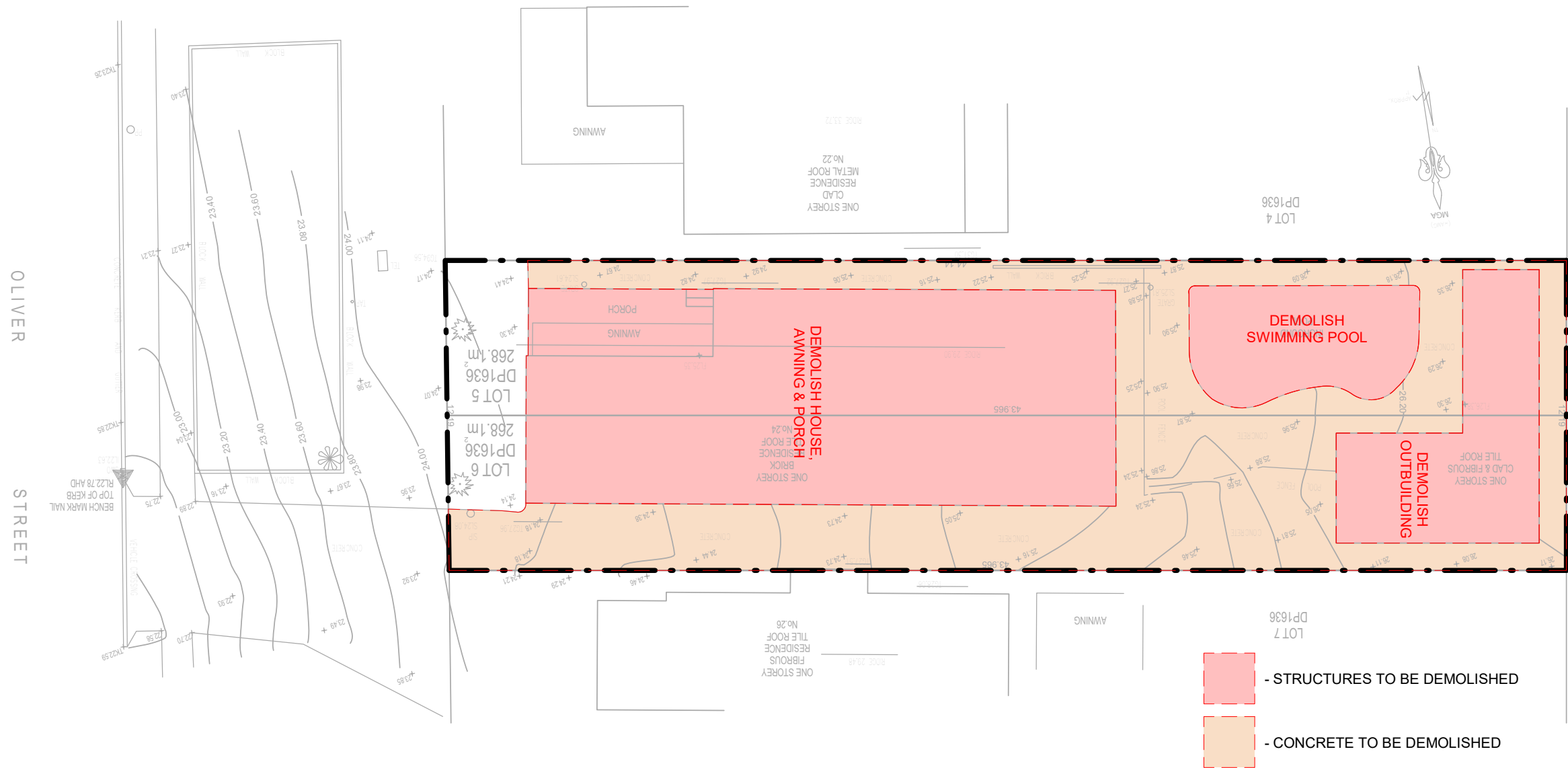
No.	Description	Date
1	DA	10/08/2022

JOVAN SARAI

PROPOSED DEMOLITION OF EXISTING DWELLING & ASSOCIATED STRUCTURES AND CONSTRUCTION OF 2 DOUBLE STOREY DWELLINGS ON LOTS 5-6 DP1636 AT 24 OLIVER STREET, FRESHWATER NSW 2096

SITE ANALYSIS PLAN

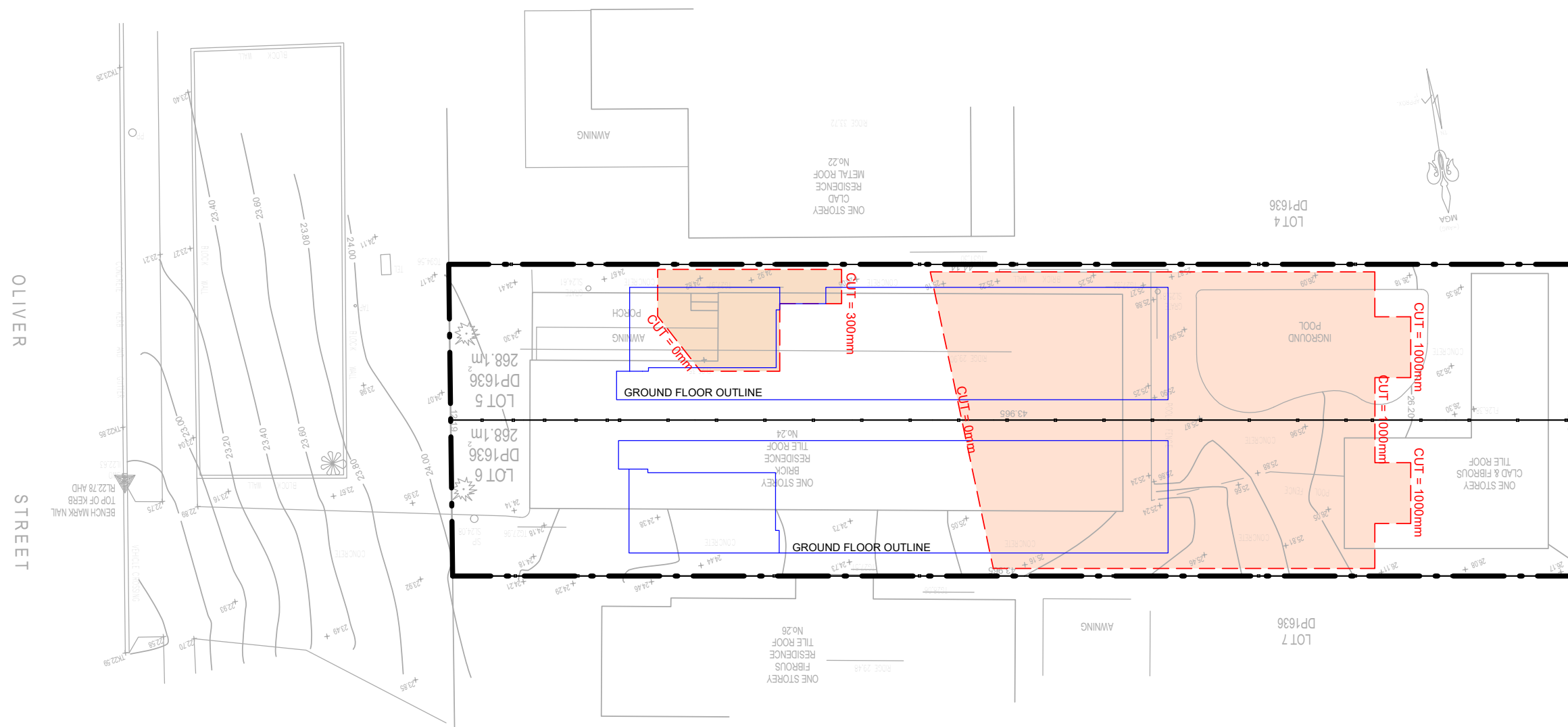
Project number	A-10	
Date		10/08/2022
Drawn by		Ilhan Alijagic
Checked by	Scale	1 : 200



1 DEMOLITION PLAN
1 : 200

No.	Description	Date
1	DA	10/08/2022

JOVAN SARAI		DEMOLITION PLAN	
PROPOSED DEMOLITION OF EXISTING DWELLING & ASSOCIATED STRUCTURES AND CONSTRUCTION OF 2 DOUBLE STOREY DWELLINGS ON LOTS 5-6 DP1636 AT 24 OLIVER STREET, FRESHWATER NSW 2096		Project number	A-11
		Date	
		Drawn by	
		Checked by	Scale
		10/08/2022	1 : 200
		Ilhan Alijagic	



1 CUT & FILL PLAN
1 : 200

No.	Description	Date
1	DA	10/08/2022

JOVAN SARAI

PROPOSED DEMOLITION OF EXISTING DWELLING & ASSOCIATED STRUCTURES AND CONSTRUCTION OF 2 DOUBLE STOREY DWELLINGS ON LOTS 5-6 DP1636 AT 24 OLIVER STREET, FRESHWATER NSW 2096

CUT & FILL PLAN

Project number	A-12
Date	
Drawn by	
Checked by	Scale

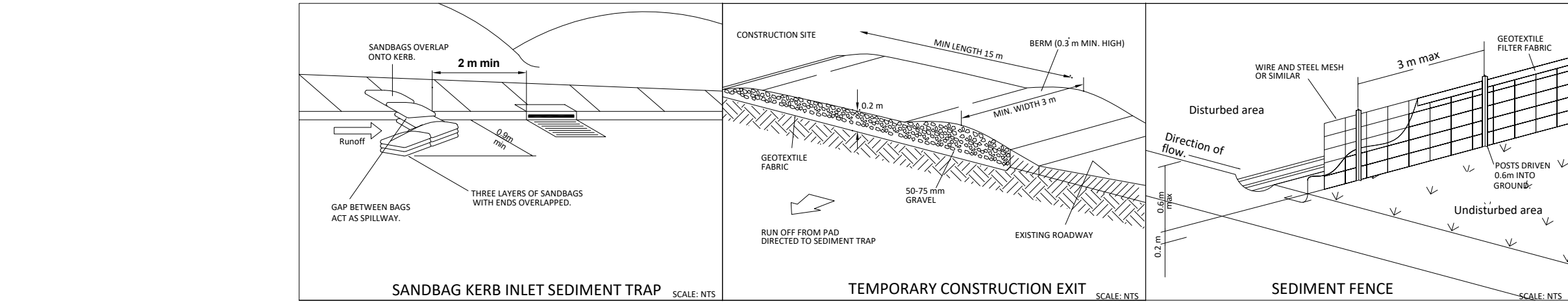
10/08/2022

Ilhan Alijagic

Scale

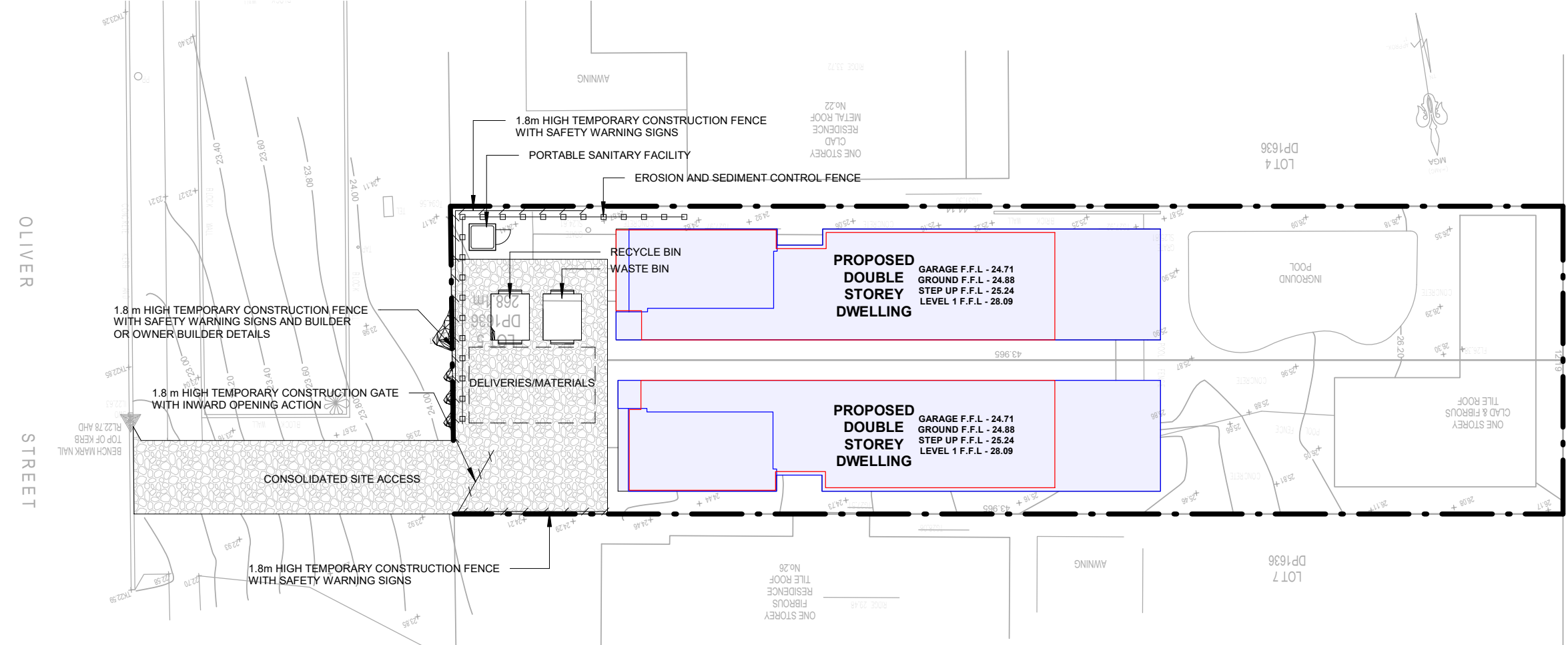
A-12

1 : 200



Notes:

- Demolition work shall be carried out only between the hours of 7.00am and 6.00pm Monday to Friday inclusive, 8.00am and 5.00pm Saturdays. No work shall be carried out on Sundays and Public Holidays.
- The demolition of the existing building shall be carried out strictly in accordance with Australian Standards 2601 - The demolition of Structures and with Workcover Authority req.
- To ensure safe access to and from the site and what protection will be provide to the road and footpath area from demolition activities, crossing by heavy equipment, plant and materials deliveries and the like.
- The site to be used for the storage of demolished material and waste containers during the demolition period.
- To ensure that soil / demolished material is not transported on wheels ir tracks of vehicles or plant and deposited on surrounding roadways deliveries and the like.
- Any excavation adjacent to adjoining building or the road reserve. the proposed method of support is to be certified by an accredited certified in civil engineering support is to be certified by an accredited certified in civil engineering.
- Plant and materials delivery and static load from cranes, concrete pumps and the like will be accessed from within the site.
- Access to the property must be authorized by site office if site is unintended the site must be lock and closed at all times from the public.
- Techniques used for erosion and sediment control on building sites are to be adequately maintained at all time and must be installed in accordance with Council Specification for Erosion and Sediment control. All techniques shall remain in proper operation until all development activities have been completed and the site fully stabilised.
- All demolition Work shall be carried out in a safe manner by trained personnel under the management of a licensed demolished who is register with the Workcover Authority, in accordance with all relevant Acts, regulations and Australian Standards Note: The following Australian Standards applied at the time of determination
- A durable sign, which is available from council, shall be erected during building works in a prominent location on site, warning of penalties should appropriate erosion and sedimentation control devices not be maintained.
- Materials to be removed from the site must be source separated on site to maximize recycling and the material disposed of to an appropriate disposal and recycling facility in accordance with the approved Waste Management Plan.



1 EROSION & SEDIMENT CONTROL PLAN
1 : 200

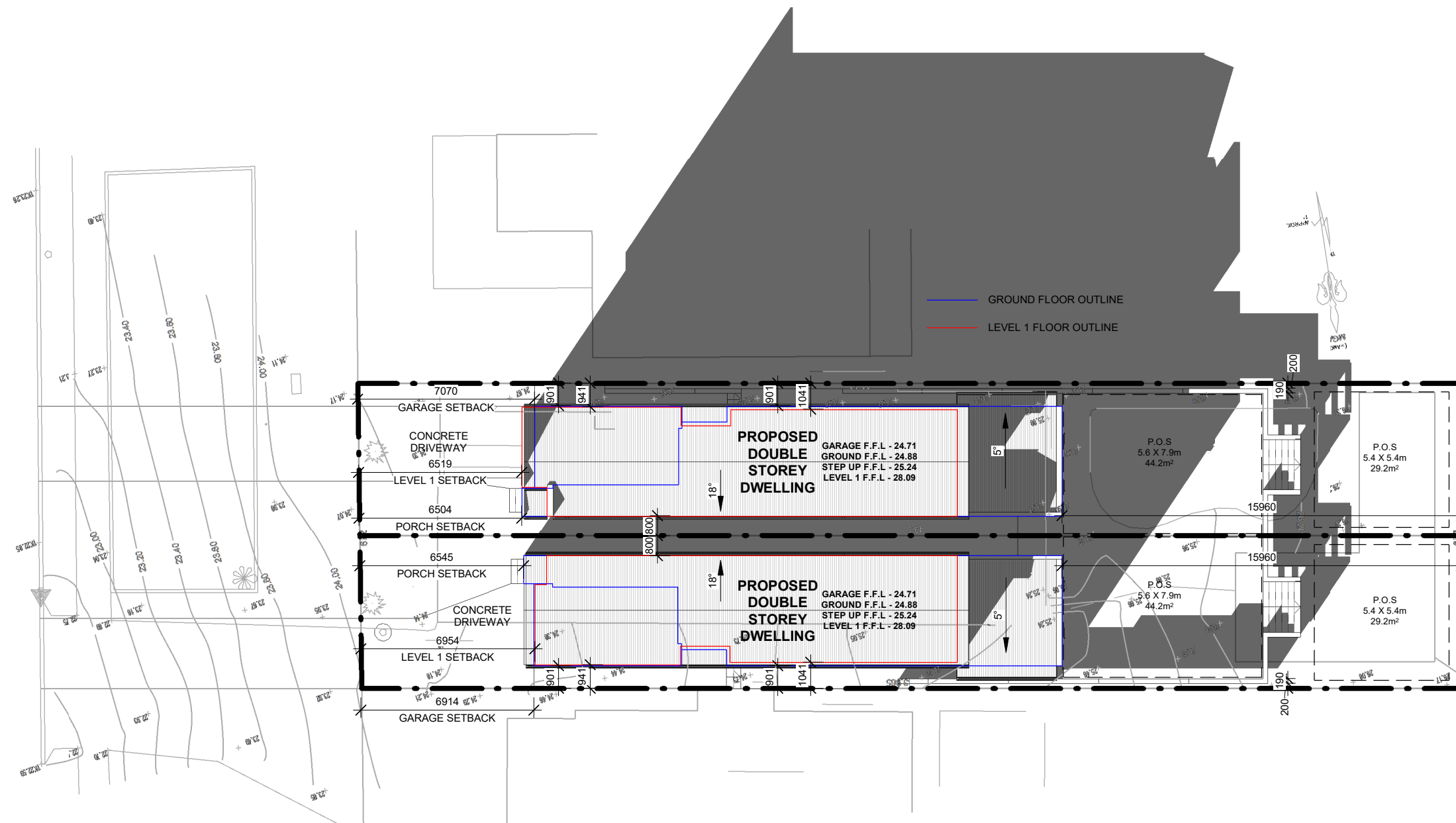
WARNING

- SOIL & WATER:
- * INSTALL SEDIMENT CONTROL FENCES ALONG THE LOW SIDE OF THE SITE BEFORE WORK BEGINS,
 - * STABILISE A SINGLE ENTRY/EXIT POINT USING LARGE AGGREGATE & OR AS REQ. BY COUNCIL.
 - * MINIMISE DISTURBANCE OF VEGETATION DURING EXCAVATION. DIAL BEFORE YOU DIG.
 - * PLACE SOIL STOCKPILES BEHIND & AWAY FROM SEDIMENT FENCING.
 - * KEEP THE ROAD AND FOOTPATH CLEAN

- WASTE:
- * CONSTRUCT ONE (2) WASTE BAYS TO ASSIST SORTING AND RECYCLING OF WASTE (W1,W2).
 - * ALL WASTE MUST BE CONTAINED IN WASTE RECYCLE BAYS & BINS
 - * REUSE AND RECYCLING OF WASTE SHOULD BE MAXIMISED.

No.	Description	Date
1	DA	10/08/2022

JOVAN SARAI		EROSION & SEDIMENT CONTROL PLAN	
PROPOSED DEMOLITION OF EXISTING DWELLING & ASSOCIATED STRUCTURES AND CONSTRUCTION OF 2 DOUBLE STOREY DWELLINGS ON LOTS 5-6 DP1636 AT 24 OLIVER STREET, FRESHWATER NSW 2096		Project number	A-13
		Date	
		Drawn by	
		Checked by	Scale As indicated



1 SHADOW DIAGRAM - 9.00AM
1 : 200

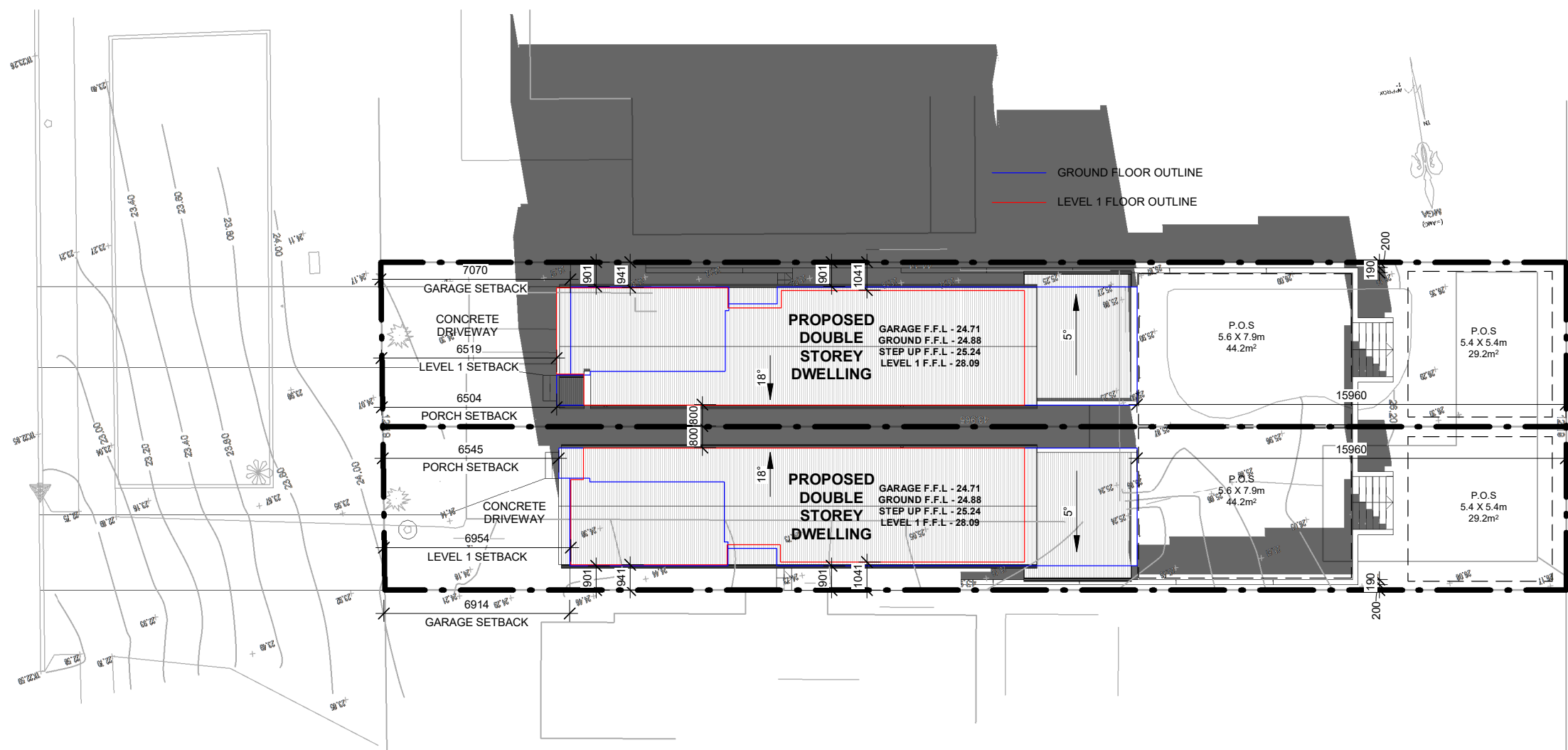
No.	Description	Date
1	DA	10/08/2022

JOVAN SARAI

PROPOSED DEMOLITION OF EXISTING DWELLING & ASSOCIATED STRUCTURES AND CONSTRUCTION OF 2 DOUBLE STOREY DWELLINGS ON LOTS 5-6 DP1636 AT 24 OLIVER STREET, FRESHWATER NSW 2096

SHADOW DIAGRAM - 9.00AM

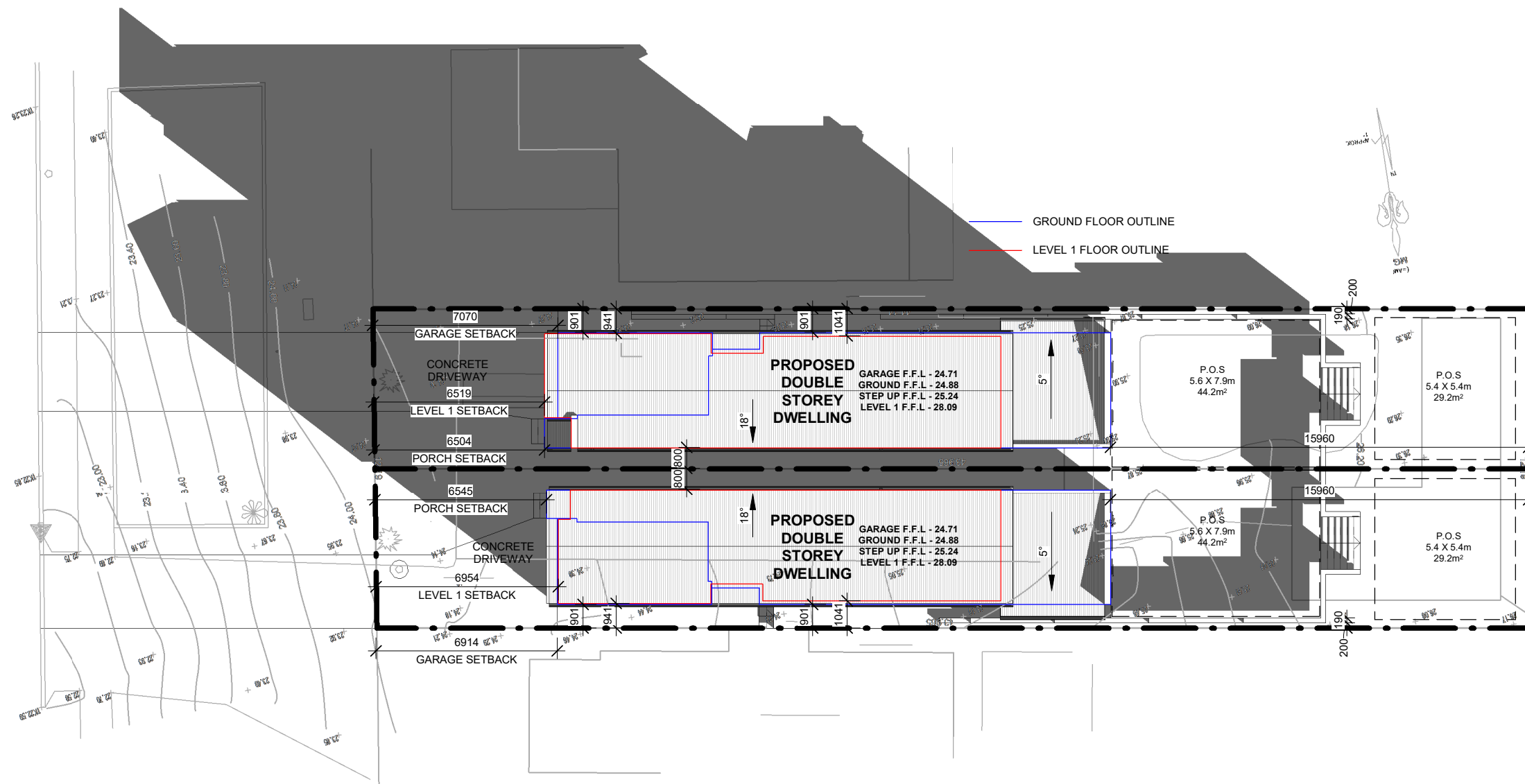
Project number	A-14	
Date		10/08/2022
Drawn by		Ilhan Alijagic
Checked by	Scale	1 : 200



1 SHADOW DIAGRAM - 12.00PM
1 : 200

No.	Description	Date
1	DA	10/08/2022

JOVAN SARAI		SHADOW DIAGRAM - 12.00PM	
PROPOSED DEMOLITION OF EXISTING DWELLING & ASSOCIATED STRUCTURES AND CONSTRUCTION OF 2 DOUBLE STOREY DWELLINGS ON LOTS 5-6 DP1636 AT 24 OLIVER STREET, FRESHWATER NSW 2096		Project number	A-15
		Date 10/08/2022	
		Drawn by Ilhan Alijagic	
		Checked by	Scale 1 : 200



1 SHADOW DIAGRAM - 3.00PM
1 : 200

No.	Description	Date
1	DA	10/08/2022

JOVAN SARAI

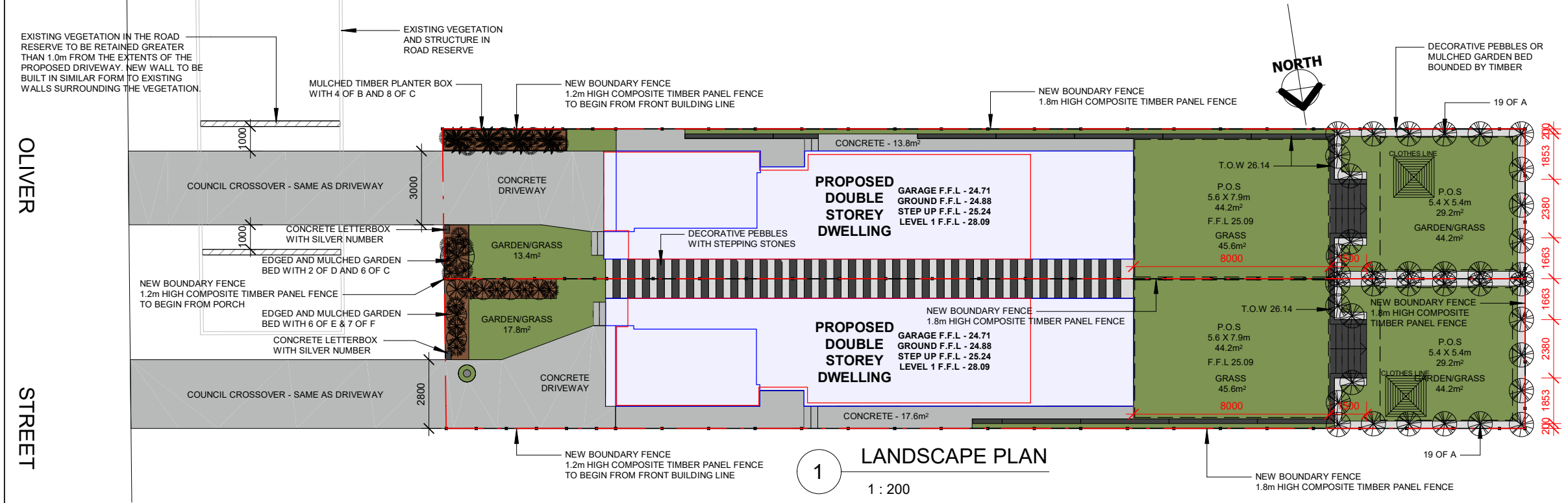
PROPOSED DEMOLITION OF EXISTING DWELLING & ASSOCIATED STRUCTURES AND CONSTRUCTION OF 2 DOUBLE STOREY DWELLINGS ON LOTS 5-6 DP1636 AT 24 OLIVER STREET, FRESHWATER NSW 2096

SHADOW DIAGRAM - 3.00PM

Project number	
Date	10/08/2022
Drawn by	Ilhan Alijagic
Checked by	

A-16

Scale 1 : 200



LANDSCAPE CALCULATIONS	
LOT 5	
LOT AREA	268.1 m ²
CONCRETE DRIVEWAY	21.7 m ²
CONCRETE PATH & STAIRS	13.8 m ²
PEBBLES & STEPPING STONES	17.2 m ²
TOTAL GARDEN AND GRASS	103.2 m ²
TOTAL LANDSCAPED AREA	107.7 m ² (40.2%)
LOT 6	
LOT AREA	268.1 m ²
CONCRETE DRIVEWAY	23.2 m ²
CONCRETE PATH & STAIRS	17.6 m ²
PEBBLES & STEPPING STONES	17.2 m ²
TOTAL GARDEN AND GRASS	107.6 m ²
TOTAL LANDSCAPED AREA	107.6 m ² (40.1%)

LANDSCAPE SCHEDULE					
SYMBOL	BOTANICAL NAME	COMMON NAME	MATURE SIZE (CLIP SIZE - HXW)	QTY	POT SIZE
A	MAGNOLIA GRANDIFLORA	LITTLE GEM	(1.8X1.2)	38	150 mm
B	YUCCA ELEPHANTIPES	SPINELESS YUCCA/STICK YUCCA	2.0X1.0	4	150 mm
C	LOMANDRA LABILL	EVERGREEN BABY	0.45X0.45	14	40 mm
D	LAGERSTROEMEA INDICA	CREPE MYRTLE "LIPAN"	4.0X3.0	1	300 mm
E	LAGERSTROEMEA SP	DWARF CREPE MYRTLE ASSORTED	2.0X2.0	6	150 mm
F	ANIGOZANTHOS X HYBRID	KANGAROO PAW BUSH PEARL	0.6X0.6	7	100 mm

LANDSCAPING NOTES

GENERALLY

The whole of the works shall be carried out in accordance with the drawings and to the accepted standard practice of horticultural works. Dimensions for setout shall be determined from the building plans and from on site direction. The extent of work shall include:
-removal of existing plant and weed growth as directed
-retention of nominated specimens
-preparation beds and subsoil
-supply and placement of topsoil
-supply and application of fertilizers
-supply and placement of sel. species
-supply and placement of mulches
-staking and lying
-edgings
-maintenance

PLANTING AREAS

Ensure that the mass planting areas have been excavated to 300 below finished levels. Rip to a further depth of 150mm. Apply gypsum at a rate of 300 grams/m sq. to subgrade and cultivate into a depth of 150mm. Supply and install 300mm soil mix. Soil mix to comprise of one part approved compost to three parts topsoil. Topsoil shall be either imported topsoil or stockpiled site topsoil (if suitable ie: No Clay). Install 75mm depth of selected mulch.

PLANT MATERIAL

Plant material shall be maintained on site in good condition prior to planting. damaged stock shall be replaced. Generally place all plants as noted and finish a rootball with finished surface of soil surrounding the hole.

PLANT ESTABLISHED PERIOD

The plant established period shall be twenty six weeks, during which the special maintenance shall be carried out

IMPORTED SOIL

Imported topsoil shall be sandy loam comprising 85% coarse and fine sands and 15% max of humus and fine materials. It shall be in a friable state, free from perennial or noxious weeds and seeds. Soil pH shall be within a range of 5.5-7.0 with a salt content not exceeding 800 ppm.

FILL MATERIAL

Lay in 150 deep layers and compact. Fill shall contain not less than 30% clay and be free of stones above 50mm of diameter.

SOIL MIXTURE

Soil mixture shall consist of one part spent mushroom compost to four parts imported soil.

MULCH

Mulch shall be pine flake or hardwood chip of 38x38 max size. The mulch shall be free of any debris such as soil, weed growth or other material.

FERTILIZERS

Fertiliser shall be as follows:

Trees and shrubs - prolonged release tablets equal to "agriform 20-4.3-4.1" analysis.
5-10 l containers 2tabletsx10g
35l containers 4tablets x 21g
Turfed areas - lawn fertilizer N.P.K./9.1:4.1:4.6@5kg/100sqm
Ground covers - "Osmacote to man. instructions.

WEED CONTROL

Remove small areas of weed by hand after rain or heavy watering when ground is damp.
Large areas of weed may be treated with selected herbicides if used strictly in accordance with the manufacturers instructions.

TURF

Turf shall be cultivated Niooka or sim. obtained from a commercial source. It shall be free of weeds, pests and desiese. The turf shall be supplied machine cut of even thickness in either squares or rolls. Cultivate subgrade to a depth of 150mm and place 60mm of soil mixture over. Grade to a smooth, free draining and even surfaces.Depth and placement of topsoil shall allow final level of turf to be approx. 10 mm above adjoining finished surfaces.
Dampen soil and fertilize prior to a planting turf. Lay "Kikuyu" turf rolls closely butted and water thoroughly with a fine spray immediately after laying. Protect new turf against traffic until well established

MAINTENANCE:

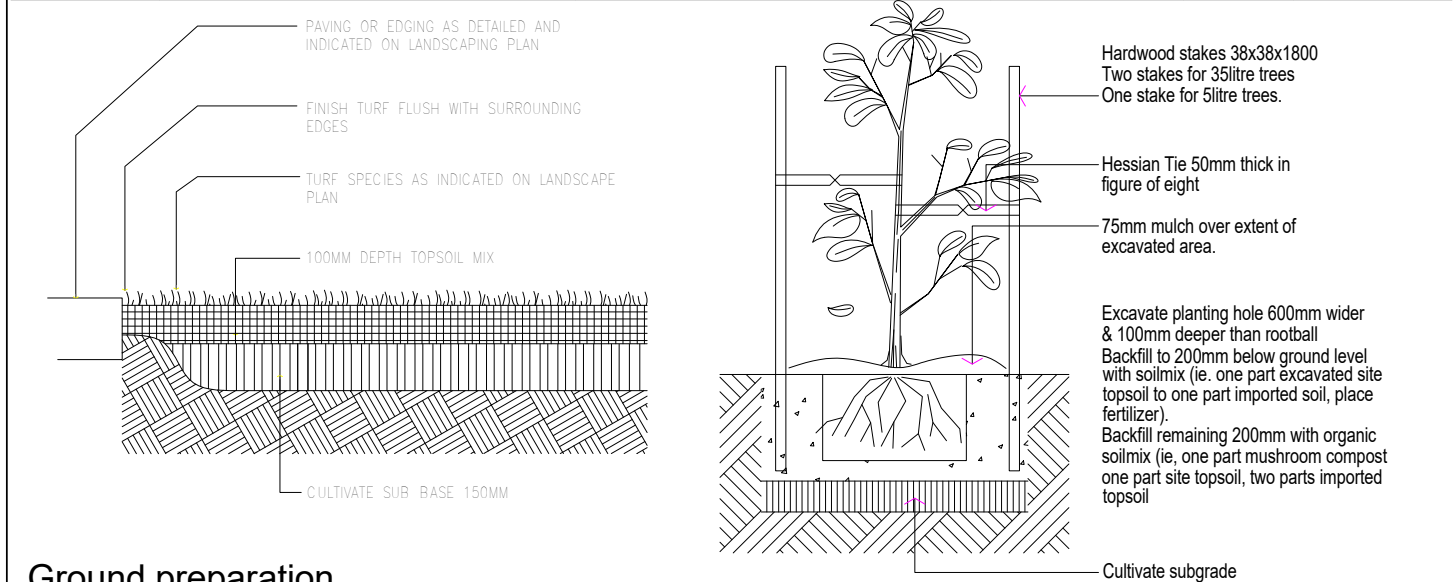
During the maintenance period the contractor shall perform the following tasks:
-Water landscaping as required to maintain the best possible growing conditions
-Replace plants which die or fail to thrive
-Reinstate mulches as necessary
-Remove by hand all rubbish and weed growth
-Immediately report any evidence of insect attack or disease
-Adjust stakes and tying of plants as required
-Mow, water and weed grassed areas as required



NEW BOUNDARY FENCE - COMPOSITE TIMBER PANEL FENCE IN CHARCOAL OR SIMILAR



CONCRETE LETTERBOX - BLACK WITH SILVER NUMBER



Ground preparation

Grassed area: turf using imported topsoil

Detail. NOT TO SCALE

Planting in garden beds

Detail. Not To Scale.

No.	Description	Date
1	DA	10/08/2022

JOVAN SARAI PROPOSED DEMOLITION OF EXISTING DWELLING & ASSOCIATED STRUCTURES AND CONSTRUCTION OF 2 DOUBLE STOREY DWELLINGS ON LOTS 5-6 DP1636 AT 24 OLIVER STREET, FRESHWATER NSW 2096	LANDSCAPE PLAN, CALCULATIONS, SCHEDULE & NOTES		
	Project number		A-17
	Date10/08/2022		
	Drawn byIlhan Alijagic		
	Checked by		Scale

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 99.4 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: <ul style="list-style-type: none">all toilets in the development		✓	✓
<ul style="list-style-type: none">at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
General features			
The dwelling must not have more than 2 storeys.	✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.	✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✓	✓	✓
The dwelling must not contain third level habitable attic room.	✓	✓	✓
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓

Construction	Additional Insulation required (R-Value)	Other specifications
floor - concrete slab on ground, 80.7 square metres	nil	
floor - above habitable rooms or mezzanine, 43.7 square metres, framed	nil	
floor - suspended floor above garage, framed	nil	
external wall - brick veneer	1.86 (or 2.40 including construction)	
external wall - framed (weatherboard, fibre cement, metal clad)	2.00 (or 2.40 including construction)	
external wall - concrete block/plasterboard	1.88 (or 2.40 including construction)	
external wall - concrete panel/plasterboard (concrete: 155 mm)	2.08 (or 2.40 including construction)	
internal wall shared with garage - plasterboard	nil	
ceiling and roof - flat ceiling / pitched roof	ceiling: 4.5 (up), roof: foil/sarking	unventilated; dark (solar absorptance > 0.70)

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Windows, glazed doors and skylights			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door: <ul style="list-style-type: none">For the following glass and frame types, the certifier check can be performed by visual inspection.<ul style="list-style-type: none">Aluminium single clearAluminium double (air) clearTimber/uPVC/fibreglass single clearTimber/uPVC/fibreglass double (air) clearFor other glass or frame types, each window and glazed door must be accompanied with certification showing a U value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range of those listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Frame and glass types shown in the table below are for reference only.	✓	✓	✓

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
East facing					
W7	1800	730	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	none	not overshadowed
W8	1800	600	U-value: 6.6, SHGC: 0.369 - 0.451 (aluminium, single, tint)	none	not overshadowed
W9	1800	600	U-value: 6.6, SHGC: 0.369 - 0.451 (aluminium, single, tint)	none	not overshadowed
South facing					
W1	600	900	aluminium, single, clear	none	not overshadowed
DOOR (LAUNDRY)	2340	820	aluminium, single, clear	none	not overshadowed
Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
W2	1800	850	aluminium, single, clear	none	not overshadowed
W3	600	2650	aluminium, single, clear	eave 584 mm, 325 mm above head of window or glazed door	not overshadowed
W10	600	900	aluminium, single, clear	none	not overshadowed
W11	2100	1200	aluminium, single, clear	eave 874 mm, 209 mm above head of window or glazed door	not overshadowed
W12	800	2000	aluminium, single, clear	none	not overshadowed
W13	600	1500	aluminium, single, clear	none	not overshadowed
West facing					
SD1	2400	3600	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tsol Low-e)	none	not overshadowed
W14	800	2000	aluminium, single, clear	eave 480 mm, 800 mm above head of window or glazed door	not overshadowed

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 4 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER > 4.0		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER > 4.0		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER > 4.0		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER > 4.0		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓ ✓ ✓	✓ ✓ ✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: <ul style="list-style-type: none">at least 3 of the bedrooms / study; dedicatedat least 1 of the living / dining rooms; dedicatedthe kitchen; dedicated		✓ ✓ ✓	✓ ✓ ✓
Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<ul style="list-style-type: none">all bathrooms/toilets; dedicatedthe laundry; dedicatedall hallways; dedicated		✓ ✓ ✓	✓ ✓ ✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

No.	Description	Date
1	DA	10/08/2022

JOVAN SARAI

PROPOSED DEMOLITION OF EXISTING DWELLING & ASSOCIATED STRUCTURES AND CONSTRUCTION OF 2 DOUBLE STOREY DWELLINGS ON LOTS 5-6 DP1636 AT 24 OLIVER STREET, FRESHWATER NSW 2096

BASIX COMMITMENTS - LOT 5

Project number	A-19
Date	
Drawn by	
Checked by	Scale

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 99.6 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: <ul style="list-style-type: none">all toilets in the development		✓	✓
<ul style="list-style-type: none">at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
General features			
The dwelling must not have more than 2 storeys.	✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.	✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✓	✓	✓
The dwelling must not contain third level habitable attic room.	✓	✓	✓
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓

Construction	Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground, 81 square metres	nil	
floor - above habitable rooms or mezzanine, 43 square metres, framed	nil	
floor - suspended floor above garage, framed	nil	
external wall - brick veneer	1.86 (or 2.40 including construction)	
external wall - framed (weatherboard, fibre cement, metal clad)	2.00 (or 2.40 including construction)	
external wall - concrete block/plasterboard	1.88 (or 2.40 including construction)	
external wall - concrete panel/plasterboard (concrete: 155 mm)	2.08 (or 2.40 including construction)	
internal wall shared with garage - plasterboard	nil	
ceiling and roof - flat ceiling / pitched roof	ceiling: 4.5 (up), roof: foil/sarking	unventilated; dark (solar absorptance > 0.70)

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Windows, glazed doors and skylights			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door: <ul style="list-style-type: none">For the following glass and frame types, the certifier check can be performed by visual inspection.<ul style="list-style-type: none">Aluminium single clearAluminium double (air) clearTimber/uPVC/fibreglass single clearTimber/uPVC/fibreglass double (air) clearFor other glass or frame types, each window and glazed door must be accompanied with certification showing a U value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range of those listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Frame and glass types shown in the table below are for reference only.Vertical external louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.	✓	✓	✓ ✓ ✓

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
North facing					
W6	600	900	aluminium, single, clear	none	not overshadowed
DOOR (LAUNDRY)	2340	820	aluminium, single, clear	none	not overshadowed
W5	1800	850	aluminium, single, clear	none	not overshadowed
W4	600	2850	aluminium, single, clear	eave 584 mm, 325 mm above head of window or glazed door	not overshadowed
W19	600	900	aluminium, single, clear	none	not overshadowed
Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
W18	2100	1200	aluminium, single, clear	eave 874 mm, 209 mm above head of window or glazed door	not overshadowed
W17	800	2000	aluminium, single, clear	none	not overshadowed
W16	600	1500	aluminium, single, clear	none	not overshadowed
East facing					
W20	1800	1200	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	external louvre/vertical blind (fixed)	not overshadowed
W21	1800	730	U-value: 6.6, SHGC: 0.369 - 0.451 (aluminium, single, tint)	eave 910 mm, 150 mm above head of window or glazed door	not overshadowed
West facing					
SD2	2400	3600	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tsol Low-e)	none	not overshadowed
W15	800	2000	aluminium, single, clear	eave 480 mm, 800 mm above head of window or glazed door	not overshadowed

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 4 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER > 4.0		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER > 4.0		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER > 4.0		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER > 4.0		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: <ul style="list-style-type: none">at least 3 of the bedrooms / study; dedicatedat least 1 of the living / dining rooms; dedicatedthe kitchen; dedicated		✓ ✓ ✓	✓ ✓ ✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<ul style="list-style-type: none">all bathrooms/toilets; dedicatedthe laundry; dedicatedall hallways; dedicated		✓ ✓ ✓	✓ ✓ ✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

No.	Description	Date
1	DA	10/08/2022

JOVAN SARAI

PROPOSED DEMOLITION OF EXISTING DWELLING & ASSOCIATED STRUCTURES AND CONSTRUCTION OF 2 DOUBLE STOREY DWELLINGS ON LOTS 5-6 DP1636 AT 24 OLIVER STREET, FRESHWATER NSW 2096

BASIX COMMITMENTS - LOT 6

Project number	A-20
Date	
Drawn by	
Checked by	Scale



No.	Description	Date
1	DA	10/08/2022

JOVAN SARAI

PROPOSED DEMOLITION OF EXISTING
DWELLING & ASSOCIATED STRUCTURES AND
CONSTRUCTION OF 2 DOUBLE STOREY
DWELLINGS ON LOTS 5-6 DP1636 AT 24
OLIVER STREET, FRESHWATER NSW 2096

PERSPECTIVE VIEW 1

Project number	A-21
Date	
Drawn by	
Checked by	Ilhan Alijagic
Scale	1 : 1



No.	Description	Date
1	DA	10/08/2022

JOVAN SARAI

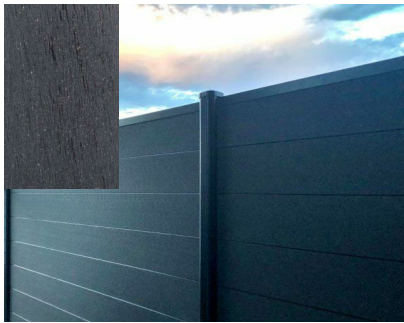
PROPOSED DEMOLITION OF EXISTING
 DWELLING & ASSOCIATED STRUCTURES AND
 CONSTRUCTION OF 2 DOUBLE STOREY
 DWELLINGS ON LOTS 5-6 DP1636 AT 24
 OLIVER STREET, FRESHWATER NSW 2096

PERSPECTIVE VIEW 2

Project number	A-22	
Date		10/08/2022
Drawn by		Ilhan Alijagic
Checked by	Scale	1 : 1



EXTERNAL COLOURS & MATERIALS		
MARK	IMAGE	DESCRIPTION
BW1		EXTERNAL WALLS - BLOCKWORK AUSTRAL ARCHITEC SMOOTH IN CHARCOAL
FB1		EXTERNAL WALLS - FACE BRICK PGH DARK AND STORMY - LIGHTNING
FC1		EXTERNAL WALLS - FIBRE CEMENT (GROOVED) JAMES HARDIE - AXON CLADDING 133mm SMOOTH MONUMENT OR SIMILAR
LW1		LW WALL - FIBRE CEMENT PAINT FINISH IN VIVID WHITE
DW1		EXTERNAL WALLS - 155mm DINCEL WALL CEMENT RENDER & PAINT FINISH IN VIVID WHITE
RO1		COLORBOND ROOF, GUTTER & DOWNPIPE IN MONUMENT
		EXTERNAL WINDOWS & DOORS POWDERCOATED IN MONUMENT
		GARAGE DOOR IN MONUEMNT
		VERTICAL ALUMINIUM BATTENS DECOBATTEN - BLUEASH
		DRIVEWAY - CONCRETE FINISH



NEW BOUNDARY FENCE - COMPOSITE
TIMBER PANEL FENCE IN CHARCOAL
OR SIMILAR



CONCRETE LETTERBOX - BLACK WITH
SILVER NUMBER

No.	Description	Date
1	DA	10/08/2022

JOVAN SARAI

PROPOSED DEMOLITION OF EXISTING
DWELLING & ASSOCIATED STRUCTURES AND
CONSTRUCTION OF 2 DOUBLE STOREY
DWELLINGS ON LOTS 5-6 DP1636 AT 24
OLIVER STREET, FRESHWATER NSW 2096

PERSPECTIVE VIEW 3

Project number	A-23	
Date 10/08/2022		
Drawn by Ilhan Alijagic		
Checked by	Scale	As indicated