

STATEMENT OF ENVIRONMENTAL EFFECTS

PROJECT
**ALTERATIONS AND ADDITIONS
TO EXISTING DWELLING**

PROPERTY
**79 PARKES ROAD,
COLLARROY PLATEAU**

CLIENT
CHRIS WILLOUGHBY

JOB NO. 19-63

DATED
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1.0 INTRODUCTION

The purpose of this submission is to enlighten Council on some of the thoughts behind the design development of the proposed alterations and additions of the existing dwelling the Proprietors wish to construct on the property at 79 Parkes Road, Collaroy Plateau.

This presentation also outlines the design mechanisms implemented to ensure that the impact of the proposal on the adjoining amenity is lessened.

2.0 THE SITE AND EXISTING BUILDING

The property is located at 79 Parkes Road, Collaroy Plateau. The block of land is approximately 942.8sqm in the site area, faces Southwest on Parkes Road. The site slopes down towards the front boundary.

A one-storey dwelling and an attached garage exist on the property. There is a vehicle crossing on Parkes Road, and a driveway runs along the western boundary that leads into the attached garage. Refer to image 1 and 2.



Image 1. Existing dwelling on 79 Parkes Road Collaroy Plateau

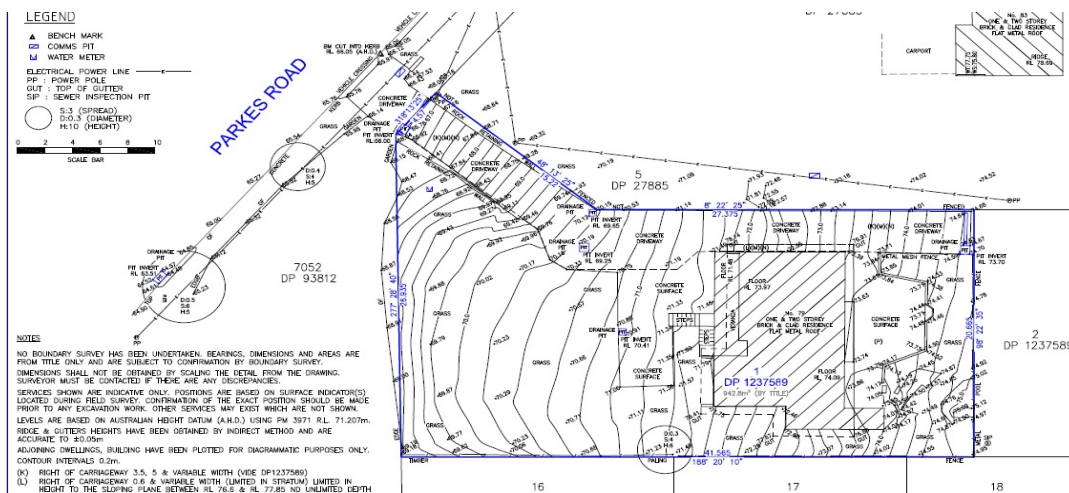


Image 2. Survey (NTS)

3.0 EXISTING STREETScape

To the immediate west of the subject property, an extended driveway of 79A Parkes Road exists. The driveway is extended to an attached garage of the existing two-storey dwelling. Refer to image 3.



Image 3. A two-storey dwelling at 79A Parkes Road

The eastern boundary of the subject site runs along rear boundaries of dwellings on Perrey Street including houses 14,16,18,20 and 22 Perry Street. Refer to image 4.



Image 4. Aerial view of the subject property

Further, to the immediate south of the subject property, a public open area, Crown Reserve exists. Refer to image 5.



Image 5. Crown Reserve

Across the road of the subject property, at 116 Parkes Road is a three-storey dwelling exists. The existing dwelling faces Gilmore Avenue. The Refer to image 6.



Image 6. 116 Parkes Road

The general streetscape along Parkes road is an amalgamation of two or three-storey dwellings. The dense landscape along Parkes Road displays the longstanding rooted history of the area. They are versatile in colour selections, finishes, windows and roof details. Refer to image 7 and image 8.



Image 7. Streetscape along Parkes Road



Image 8. Streetscape along Parkes Road

4.0 THE PROPOSAL

Object

The proprietors of 79 Parkes Road, requested RK Designs to design additional storey to the existing dwelling for their growing family needs. We believe that this was adequately carried out in our proposal presently before Council.

The existing principal dwelling faces Southwest and consists of four-bedroom with a gross floor area of 111sqm approximately. The addition of a storey will improve the house layout to be five-bedroom with a greater area for living, family entertainment.

Amenity

On the ground level, the substantial living area allows spatial flow. Further, openings on North and south façade of the area connect space to outdoor visually. The living area will be well lit throughout a day as well as achieving cross ventilation for the high amenity of users. Family entertainment area extends out from the living area to enhance recreation of residents. Timber deck towards the CDC approved pool area add on the visual appeal of the rear garden.

Moreover, there is a complying development at the front of the existing building. Two developments will efficiently complement together as one complex with a generous landscape and outdoor entertainment area.

Privacy

Additionally, the principal dwelling is a setback in the distance higher than the minimum required from all site boundaries. There will be no privacy issue from the existing /future neighbouring buildings.

Form

The site has a small frontage to Parkes Street, as it is located behind a reserve. The external design of the house is modern, with a pitched roof. Alfresco and balcony area facing Parkes Street appear to be inviting. The architectural style of the outer form is in parallel to the character of the surrounding streetscape of Parkes Street.

5.0 COMPLIANCE WITH THE WARRINGAH DCP AND WARRINGAH LOCAL ENVIRONMENTAL PLAN 2011

The requirements of the Northern Beaches Council, Warringah Local Environmental Plan 2011 and the subject proposal's compliance with the Local Environmental Plan are outlined as follows.

WARRINGAH LOCAL ENVIRONMENTAL PLAN 2011

ZONE R2 LOW DENSITY RESIDENTIAL

1 Objectives of zone

- To provide for the housing needs of the community within a low density residential environment.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.
- To ensure that low density residential environments are characterised by landscaped settings that are in harmony with the natural environment of Warringah.

2 Permitted without consent

Home-based child care; Home occupations

3 Permitted with consent

Bed and breakfast accommodation; Boarding houses; Boat sheds; Building identification signs; Business identification signs; Centre-based child care facilities; Community facilities; **Dwelling houses**; Educational establishments; Emergency services facilities; Environmental protection works; Exhibition homes; Group homes; Health consulting rooms; Home businesses; Hospitals; Oyster aquaculture; Places of public worship; Pond-based aquaculture; Recreation areas; Respite day care centres; Roads; Secondary dwellings; Tank-based aquaculture; Veterinary hospitals

4 Prohibited

Any development not specified in item 2 or 3

Therefore, the development is permissible with consent.

5.1 STREETScape AND DEVELOPMENT APPLICATION DESIGN

The requirements of the Northern Beaches Council, part D10 of the Warringah Development Control Plan 2011 and the subject proposal's compliance with the Development Control Plan are outlined as follows.

1. In highly visible areas, the visual impact of new development (including any structures required to retain land) is to be minimized through the use of appropriate colours and materials and landscaping.
2. The colours and materials of development on sites adjoining, or in close proximity to, bushland areas, waterways or the beach must blend in to the natural landscape.
3. The colours and materials used for alterations and additions to an existing structure shall complement the existing external building façade.
4. The holiday/fisherman shack character of the waterfront of Cottage Point is to be enhanced by the use of building materials which are sympathetic to the small timber and fibro cottages currently in existence on the waterfront. All buildings visible from the water are to utilise materials such as weatherboard, fibre cement, corrugated steel and timber. The use of masonry is discouraged.

The proposed facades, inclusive of their finishes and the architectural character of the building are in keeping with the streetscapes and the area in general.

Therefore, the proposal complies with the requirements of the Development Control Plan. Refer to the finishes schedule.

5.2 BUILDING HEIGHT

The requirements of the Northern Beaches Council, part B2 of the Warringah Development Control Plan 2011 and the subject proposal's compliance with the Development Control Plan are outlined as follows.

Maximum height of buildings is determined by reference to the WLEP.

Allowed height - 8.50 metres to the highest point of the roof.

Proposed height - 8.90 metres maximum to the highest point of the roof.

The proposed building is two-storey in height with a 15 degree pitched tiled roof.

Therefore, the proposal does not comply with the requirements of the Development Control Plan. Refer to the Clause 4.6 Variations.

5.3 LANDSCAPE AREA AND PRIVATE OPEN SPACE

The requirements of the Northern Beaches Council, part D1 of the Warringah Development Control Plan 2011 and the subject proposal's compliance with the Development Control Plan are outlined as follows.

SITE AREA = 942.8 sqm

LANDSCAPED AREA

Required Landscaping = 40 % of Site Area = 377.1sqm
(Minimum landscape dimension not less than 2m)

Proposed Landscaped area = 404.4 sqm
Proposed Landscaped area as % of Site Area = 42.8%.

PRIVATE OPEN SPACE

Required Private Open Space = 60sqm
Proposed Private Open Space = 60sqm

Therefore, the proposal complies with the requirements of the Development Control Plan. Refer to the Area Calculations Sheet.

5.4 BUILDING SETBACKS

The requirements of the Northern Beaches Council, part B5, B7 and B9 of the Warringah Development Control Plan 2011 and the subject proposal's compliance with the Development Control Plan are outlined as follows.

Required setbacks

Primary Front	-	6.5 metres
Side	-	0.9 metres
Rear	-	6.0 metres

Proposed setbacks

Primary Front	-	22.8 metres
Primary Side	-	3.57 metres
Secondary Side	-	2.0 metres
Rear	-	6.04metres

Therefore, the proposal complies with the requirements of the Development Control Plan.

5.5 VEHICLE ACCESS AND PARKING

The requirements of the Northern Beaches Council, part Appendix H of the Warringah Development Control Plan 2011 and the subject proposal's compliance with the Development Control Plan are outlined as follows.

Provide 2 car spaces per dwelling.

The proposal presently before Council has addressed the requirements for the vehicle access and parking. The proposed new garage conform to the DCP requirements in regard to location, setbacks, height, car spaces, width and length requirements of the car garage and the like.

Therefore, the proposal complies with the requirements of the Development Control Plan.

5.6 PRIVACY

Refer the privacy issues addressed in Section 4.0 The Proposal of this Statement of Environmental Effects.

5.7 OTHER REQUIREMENTS

The proposal presently before Council has also addressed other requirements such as privacy and car parking. Other items such as energy efficiency and sustainability, site/waste management, soil, water and waste management, site analysis and context, streetscape, car parking, materials and finishes, landscaping, erosion and sediment control, drainage and the like have also been addressed in detail in this development application. As a result the proposal complies with the Development Control Plan requirements for all of these items.

6.0 CONCLUSION

We, therefore, present before Council, a proposal that combines Council codes and regulations and the principles of these codes and regulations with our Client's requirements and, at the same time, is in context with its surroundings.

We would appreciate Council reviewing all of the matters and providing the Proprietors with feedback that will enable them to proceed with the preparation of the Development Application submission to the Council.

We await your positive reply on this proposal and, in anticipation of your assistance, we wish to thank you on behalf of the Proprietors for your efforts.

Should you require any further information, however, please do not hesitate to contact our office.

Rammi Kanj
RK Designs