

DEVELOPMENT APPLICATION (DA)

SUBJECT SITE



LOCATION:
6 MOIRA PLACE, FRENCHS FOREST
LOT 13
DP 1071450

PROPOSAL:
CARPORT WITH STOREROOM

DRAWING LIST:

1. COVER - SITE PARTICULARS
2. NOTES + A.S, NCC SPECIFICATIONS.
3. SITE PLAN.
4. SITE ANALYSIS, EROSION CONTROL + WASTE MANAGEMENT.
5. HARD / SOFT LANDSCAPE RATIOS (EXISTING AND PROPOSED).
6. GROUND FLOOR DEMOLITION.
7. CARPORT FLOOR PLAN PROPOSED.
8. PROPOSED ELEVATIONS 1.
9. PROPOSED ELEVATIONS 2.
10. SECTION A-A + CARPORT ROOF PLAN + COLOURS

DEVELOPMENT APPLICATION (DA)

NOTE:
REFER TO SHEET 2 FOR NOTES AUSTRALIAN
STANDARDS AND NATIONAL CONSTRUCTION
CODE REQUIREMENTS

NOTES:

REFER TO "BUSHFIRE HAZARD SOLUTIONS" BUSHFIRE ASSESSMENT
REPORT 250669 SUMMARY AND RECOMMENDATIONS FOR ALL
BAL RATING + BUSHFIRE RELATED CONSTRUCTION AND LANDSCAPING
REQUIREMENTS INCLUDING PLANNING FOR BUSHFIRE PROTECTION (PBP)
2019

OWNER / BUILDER TO SUPPLY ALL CONSULTANT REPORTS
SPECIFICATIONS AND DOCUMENTATION AS REQUIRED BY CERTIFIER
(CIVIL, STRUCTURAL, HYDRAULIC, GEOTECHNICAL AND OTHERS AS
REQUIRED)

OWNER / BUILDER TO PREPARE AND SUPPLY PROJECT SPECIFICATION.

IMPORTANT:
ANY PROPOSED DESIGN OR PRODUCT CHANGES AFTER APPROVAL OF
THE CONSTRUCTION CERTIFICATE (CC) ARE TO BE IMMEDIATELY
NOTIFIED TO THE PRINCIPAL CERTIFYING AUTHORITY (PCI) FOR REVIEW
AND COMMENT.

STRUCTURAL ENGINEER'S INSPECTION REPORTS REQUIRED FOR ALL
CONCRETE ELEMENTS, STEEL AND TIMBER FRAMING AND CERTIFICATION
OF COMPLETED WORKS.

CIVIL / HYDRAULIC ENGINEERS INSPECTION REPORTS AND OR
CERTIFICATION OF COMPLETED WORKS REQUIRED.

GEOTECHNICAL ENGINEER'S INSPECTION REPORTS AND OR
CERTIFICATION REQUIRED.

SYDNEY WATER SEWER - WATER SERVICES COORDINATOR TO PROVIDE
CERTIFICATION AS REQUIRED - OWNER / BUILDER TO SUPPLY SYDNEY
WATER TAP IN IF REQUIRED.

PROVIDE ASBESTOS CLEARANCE CERTIFICATE SHOULD ASBESTOS BE
REMOVED.

TERMITE MANAGEMENT INSTALLATION OF PERIMETER & COLLARS TO BE
IN ACCORDANCE WITH NCC 2022 - ABCB HOUSING PROVISIONS PART
3.4 & AS 3660.1 TERMITE MANAGEMENT NEW BUILDING WORK.

ALL EXTERNAL TIMBER FRAMED WALLS TO BE WRAPPED IN A COMPLIANT
BREATHABLE VAPOUR PERMEABLE MEMBRANE, INSTALLED WITH AS/NZS
4200.1 & AS/NZS 4200.2.

METAL ROOF DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE
WITH NCC 2022 - ABCB HOUSING PROVISIONS PART 7 AND AS 1562.

ALL EXTERNAL WALL CLADDING MUST COMPLY WITH THE REQUIREMENTS
OF NCC 2022 - ABCB HOUSING PROVISIONS PART 7 AND AS 1684
AND ALL RELEVANT CODEMARK CERTIFICATES, AND AS 3959-2018
CONSTRUCTION OF BUILDINGS IN BUSH FIRE-PRONE AREAS SECTIONS
3 + 8 (BAL 40) & SECTION 7.5 OF PLANNING FOR BUSHFIRE
PROTECTION 2019

PROVIDE PLASTERBOARD LINING INSTALLED TO MANUFACTURERS
SPECIFICATION AND AS 2589.

ALL WATERPROOFING TO COMPLY WITH NCC 2022 - ABCB HOUSING
PROVISIONS PART 10 AND AS 3740 AND PROVIDE A GUARANTEED
FLEXIBLE WATERPROOF MEMBRANE TO ALL WET AREA FLOORS AND
SHOWER WALLS TO MANUFACTURERS SPECIFICATION AND
INSTALLATION INSTRUCTIONS.

PROVIDE HARD WIRED AND INTERCONNECTED SMOKE ALARM DEVICES.
SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 -
ABCB HOUSING PROVISIONS PART 9.5, NSW 9.5.1 AND AS 3786.

CONDENSATION MANAGEMENT MUST BE ADHERED TO IN ACCORDANCE
WITH NCC 2022 HOUSING PROVISIONS PART 10.8.

FIRE SEPARATING WALL: A WALL WITHIN 900mm OF THE BOUNDARY
INSTALLATION CERTIFICATE (FRL 60 / 60 / 60) INCLUDING ACOUSTIC
SOUND (Rw) + CTR 50 TO NCC 2022 - ABCB HOUSING PROVISIONS
PART 9, PART 10.7 AND AS 1530 ALL PARTS.

BUSHFIRE PRONE AREAS CERTIFICATE FOR BUILDING NCC 2022 -
VOLUME 2 PART NSW H7D4 CONSTRUCTION IN BUSHFIRE PRONE
AREAS AND AS 3959 CONSTRUCTION OF A BUILDING IN BUSHFIRE
PRONE AREAS AND PLANNING FOR BUSHFIRE PROTECTION 2019.

RESIDENTIAL SLABS, FOOTINGS AND CONCRETE STRUCTURES TO
COMPLY WITH NCC 2022 ABCB HOUSING PROVISIONS PART 3 AND
PART 4 AND AS 2870 RESIDENTIAL SLABS AND FOOTINGS AND AS
3600 CONCRETE STRUCTURES.

DAMP PROOF COURSE AND FLASHINGS TO COMPLY WITH NCC 2022
ABCB HOUSING PROVISIONS PARTS 5, 7 AND 12 AND AS/NZS 2904
DAMP PROOF COURSES AND FLASHINGS.

TIMBER FRAMED INSTALLATION TO BE IN ACCORDANCE WITH NCC 2022
ABCB HOUSING PROVISIONS PART 6 AND AS 1684 RESIDENTIAL
TIMBER FRAMED CONSTRUCTION AND AS/NZS 1170 STRUCTURAL
DESIGN ACTIONS.

MASONRY STRUCTURES TO BE IN ACCORDANCE WITH NCC 2022 ABCB
HOUSING PROVISIONS PART 5 AND AS 3700 MASONRY STRUCTURES.

ROOF AND WALL CLADDING INSTALLATION TO BE IN ACCORDANCE WITH
NCC 2022 ABCB HOUSING PROVISIONS PART 7 AND AS 1562 DESIGN
AND INSTALLATION OF SHEET ROOF AND WALL CLADDING.

WATERPROOF INSTALLATION TO BE IN ACCORDANCE WITH NCC 2022
ABCB HOUSING PROVISIONS PART 10 AND AS 3740 WATERPROOFING
OF DOMESTIC WET AREAS (INTERNAL) AND AS 4654 WATERPROOF
MEMBRANES FOR EXTERNAL USE.

PLUMBER TO PROVIDE NSW FAIR TRADING PLUMBING AND DRAINAGE
CERTIFICATE TO AS 3500 PLUMBING AND DRAINAGE, STORMWATER TO
BE INCLUDED AS REQUIRED.

ELECTRICAL CERTIFICATE OF COMPLIANCE BY LICENSED ELECTRICIAN
TO BE IN ACCORDANCE WITH AS/NZS 3000 WIRING RULES.

STEEL STRUCTURE INSTALLATION CERTIFICATE TO BE IN ACCORDANCE
WITH NCC 2022 ABCB HOUSING PROVISIONS PARTS 4, 5 + 6 AND AS
4100 STEEL STRUCTURES.

STEEL FRAMING TO BE IN ACCORDANCE WITH NCC 2022 ABCB
HOUSING PROVISIONS PART 6 AND AS 4100 STEEL STRUCTURES AND
AS/NZS 4600 COLD FORMED STEEL STRUCTURES AND NASH
STANDARD.

CONCRETE STRUCTURES TO BE IN ACCORDANCE WITH AS 3600
CONCRETE STRUCTURES OR AS 2783 USE OF REINFORCED CONCRETE
FOR SMALL SWIMMING POOLS.

NOTES - ADDITIONAL

DO NOT SCALE FROM DRAWINGS.

THESE DRAWINGS HAVE BEEN PREPARED FOR (DA)
DEVELOPMENT APPLICATION, REFER TO CONSTRUCTION
CERTIFICATE (CC) FOR APPROVAL CONDITIONS.

ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH
LOCAL COUNCIL CODES, NATIONAL CONSTRUCTION
CODE NCC 2022 ABCB HOUSING PROVISIONS CODE
AND ALL RELEVANT AUSTRALIAN STANDARDS.

ALL STRUCTURAL MODIFICATIONS + ADDITIONS AS PER
STRUCTURAL ENGINEERS DESIGN AND SPECIFICATION.

REFER TO ALL CONSULTING ENGINEERS SPECIFICATIONS
FOR ALL CIVIL, STRUCTURAL, HYDRAULIC, STORMWATER,
FIRE AND FLOOD RELATED REQUIREMENTS.

WIND RATING: ROOF AND WALL FRAMES: REFER TO
FRAMING MANUFACTURERS DESIGN AND SPECIFICATION

WINDOW SIZES TO BE CHECKED AND CONFIRMED ON
SITE PRIOR TO PLACING ORDER. DIMENSIONS OF
WINDOWS WITHIN BRICK EXTERNAL WALLS ARE SHOWN
APPROXIMATE.
(ACTUAL BRICK OPENING SIZE TO BE CONFIRMED ON SITE).

REFER TO BUILDERS SPECIFICATION FOR ALL MATERIALS
AND FINISHES AND NATIONAL CONSTRUCTION CODE
(NCC - BCA) COMPLIANCE.

THE BUILDER AND ALL CONSULTANTS, SUPPLIERS AND
MANUFACTURERS TO CHECK AND CONFIRM ALL DIMENSIONS
ON SITE PRIOR TO ORDERING ANY PRODUCTS AND OR
MATERIALS.

FLOOR FINISHES BY OWNER
THE OWNER IS RESPONSIBLE FOR THE SELECTION OF
SURFACE FINISHES IN THE PEDESTRIAN TRAFFICABLE
AREAS OF THIS BUILDING. SURFACES SHOULD BE
SELECTED IN ACCORDANCE WITH AS HB 197: 1999
AND AS/ANZ 4586:2004

REFER TO STRUCTURAL FIRE ENGINEERS SPECIFICATIONS
FOR ALL FIRE RATING RELATED REQUIREMENTS.

CONTRACTORS SHOULD BE REQUIRED TO MAINTAIN A
TIDY WORK SITE DURING CONSTRUCTION, MAINTENANCE
OR DEMOLITION TO REDUCE THE RISK OF TRIPS AND FALLS
IN THE WORK PLACE. MATERIALS FOR CONSTRUCTION OR
MAINTENANCE SHOULD BE STORED IN DESIGNATED AREAS
AWAY FROM ACCESS WAYS AND WORK AREAS.

BUILDING OWNERS AND OCCUPIERS SHOULD MONITOR THE
PEDESTRIAN ACCESS WAYS AND IN PARTICULAR ACCESS TO
AREAS WHERE MAINTENANCE IS CARRIED OUT TO ENSURE THAT
SURFACE HAVE NOT MOVED OR CRACKED SO THAT THEY
BECOME UNEVEN AND PRESENT A TRIP HAZARD. SPILLS, LOOSE
MATERIAL, STRAY OBJECTS OR ANY OTHER MATTER THAT MAY
CAUSE SLIP OR TRIP HAZARD SHOULD BE CLEANED OR REMOVED
FROM ACCESS WAYS.

AUSTRALIAN STANDARDS COMPLIANCE SPECIFICATION:
(NOT LIMITED TO):

AS 3959 - 2018 CONSTRUCTION OF BUILDINGS IN BUSHFIRE - PRONE
AREAS SECTIONS 3 & 8 (BAL 40)

PLANNING FOR BUSHFIRE PROTECTION (PFBP) 2019 SECTION 7.5

AS 1562.1 - 2018 DESIGN AND INSTALLATION OF METAL ROOF AND
WALL CLADDING
AS 3786 - SMOKE ALARMS
AS 2601 - DEMOLITION OF STRUCTURES
AS 4100 + AS 1554 STRUCTURAL STEELWORK
AS 3959 - 2009 CONSTRUCTION
AS 3600 - CONCRETE
AS 2870 - SITE CLASSIFICATION
AS 2890 - DRIVEWAY GRADIENTS
AS 1562 - 1992 ROOF SHEETING
AS 2588 - 1998 PLASTERBOARD
AS 3740 - 2010 WATERPROOF MEMBRANES
AS 3500 - PLUMBING AND DRAINAGE WORK
AS 4285 - 2007 SKYLIGHTS
AS 2047 + AS 1288 GLAZING ASSEMBLIES
AS 1720.1 - 2010 TIMBER RETAINING WALLS
AS 3700 - 2011 + AS 3600 - 2009 RETAINING WALLS
AS/NZS 4200.1 PLIABLE BUILDING MEMBRANES AND UNDERLAYS

NATIONAL CONSTRUCTION CODE
NCC 2022 - ABCB HOUSING PROVISIONS CODE

NOTE:
ALL PLUMBING AND DRAINAGE SYSTEMS
TO BE IN ACCORDANCE WITH THE
NATIONAL CONSTRUCTION CODE (NCC)
VOLUME THREE AND RELEVANT
AUSTRALIAN STANDARDS

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WINDOWS:
ALL WINDOW + DOORS SIZES TO BE
CHECKED AND CONFIRMED ON SITE BY
SUPPLIER PRIOR TO MANUFACTURE
REFER TO BASIX COMMITMENTS

BUSHFIRE PRONE LAND
REFER TO "BUSHFIRE HAZARD SOLUTIONS"
BUSHFIRE ASSESSMENT REPORT 250669
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ALL EARTHWORKS "IF REQUIRED" TO COMPLY
WITH CURRENT STATE ENVIRONMENTAL
PLANNING POLICY REQUIREMENTS CLAUSE 3.30.

SURVEYOR NOTE: SET OUT / SURVEY MARKS

PRIOR TO ANY CONSTRUCTION WORK, SURVEY
MARKS SHOULD BE PLACED TO DEFINE THE
PROPERTY BOUNDARIES.



NOTES + A.S, NCC SPECIFICATIONS

DESIGN HOUSE

+
drafting studio

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e: bbench@bigpond.net.au



ACCREDITED
BUILDING DESIGNER

CLIENT:

LUKE MCARTHUR + NICOLE
MCDONALD

ADDRESS:

6 MOIRA PLACE
FRENCHS FOREST 2086

PROJECT:

CARPORT + STORE ROOM

DRAWING TITLE:

NOTES + A.S, NCC SPECIFICATIONS.

DETAILS:

DATE: 05.09.24

DRAWN: B.B

CHECKED: L.M + N.M

SCALE: N.T.S

REVISIONS:

A. First issue. Client for planning portal submission.

B. -

C. -

D. -

24.03.25

NORTH:

REVISION:

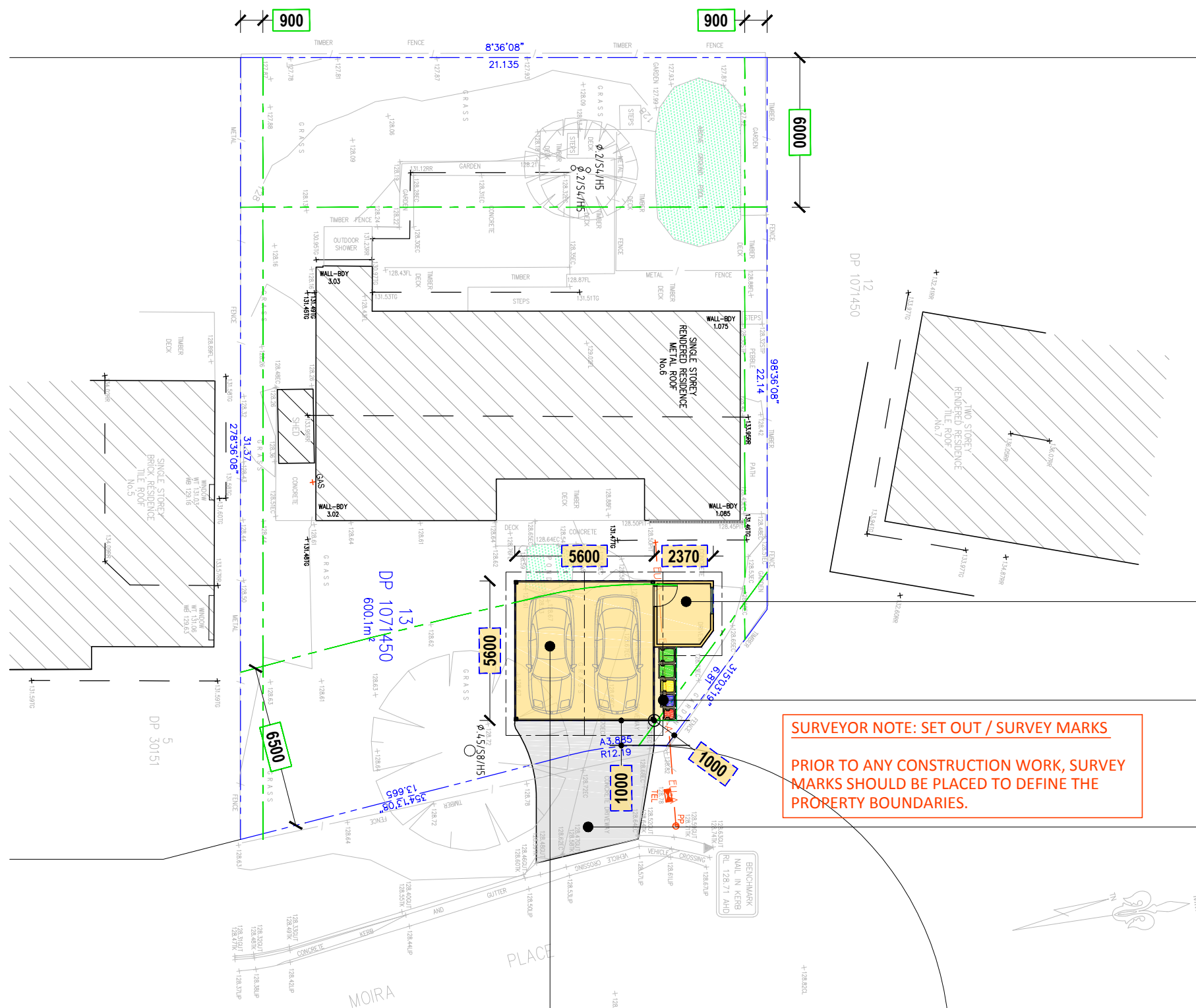


DRAWING No:

2 / 10

STAGE: DEVELOPMENT APPLICATION (DA)

NOTE:
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CODE REQUIREMENTS



**PROPOSED STOREROOM FOR
BICYCLES, LAWNMOWER AND
GARDENING EQUIPMENT**

**PROPOSED BIN STORAGE
AND RECYCLING AREA**

PROPOSED NEW CONCRETE DRIVEWAY TO REPLACE EXISTING

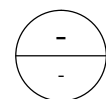
PROPOSED CARPORT

SURVEYOR NOTE: SET OUT / SURVEY MARKS

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SITE PLAN

SCALE 1:200



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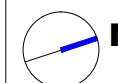
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NORTH:

24.03.25



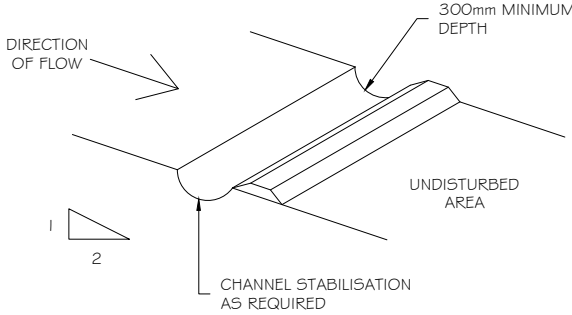
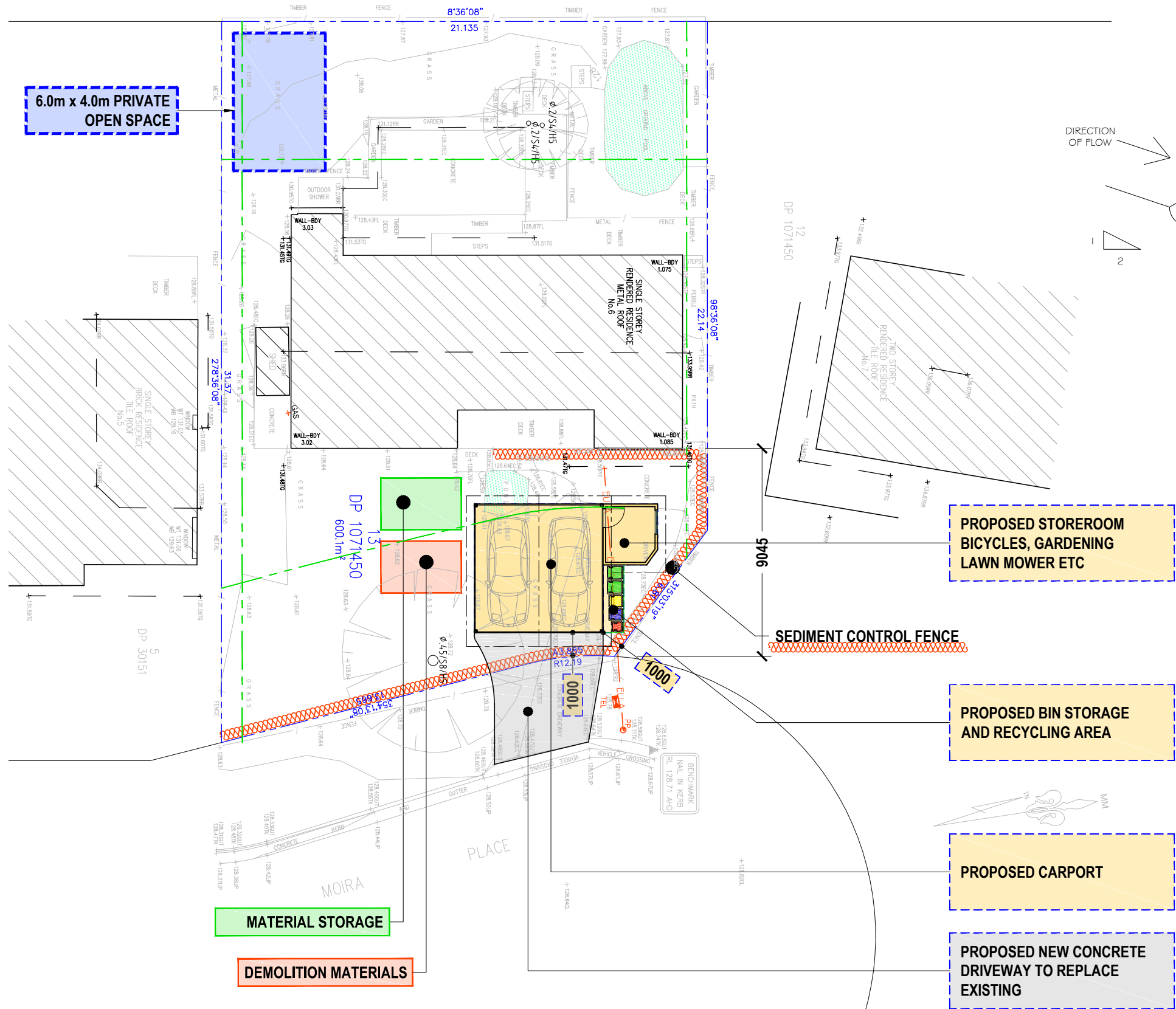
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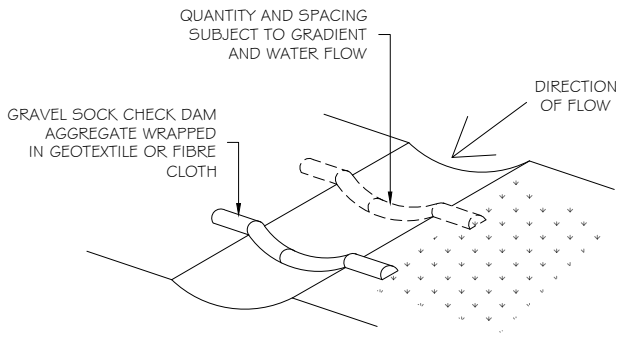
3 / 10

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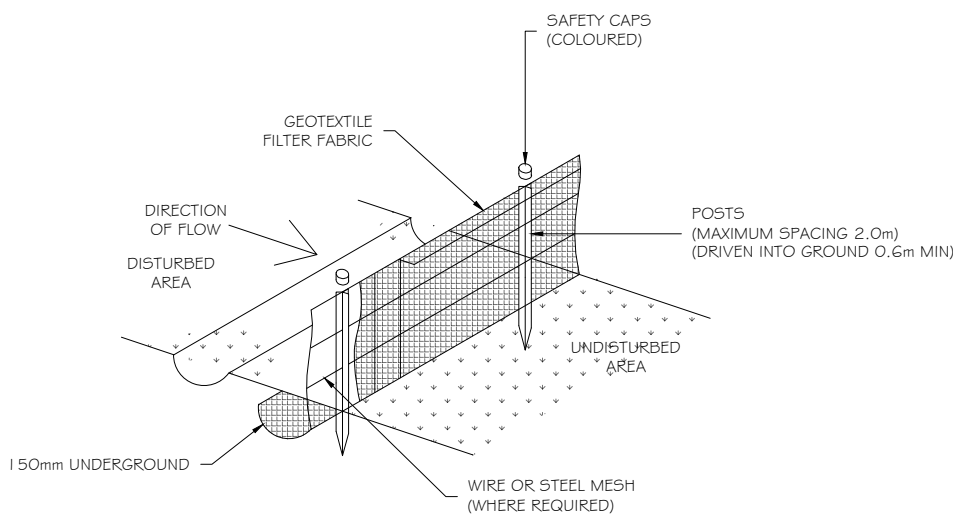


- SEDIMENT CONTROL:**
1. ALL SEDIMENT AND EROSION CONTROL TO BE INSPECTED AND MAINTAINED DAILY BY SITE MANAGER.
 2. MINIMISE DISTURBED AREA'S AND REMOVE EXCESS SOIL AS A RESULT OF EXCAVATION AS SOON AS PRACTICABLE.
 3. ALL MATERIAL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND WALKWAYS WITHIN THE SEDIMENT FENCE AREA.
 4. FOOTPATHS, WALKWAYS AND ROADS TO BE SWEEPED CLEAN DAILY.
- DUST (AIRBORNE) CONTROL:**
1. ALL AIRBORNE DUST TO BE KEPT TO A MINIMUM.
 2. KEEP TOPSOIL REMOVAL TO A MINIMUM.
 3. WATER DOWN SITE AS REQUIRED TO PREVENT AIRBORNE DUST

- MATERIAL STORAGE + STOCKPILING:**
1. ALL MATERIALS + STOCKPILING TO BE KEPT ON SITE.
 2. COUNCIL APPROVAL REQUIRED WHERE MATERIALS ARE REQUIRED TO BE STORED ON NATURE STRIPS OR FOOTPATHS.
 3. ALL STOCKPILES TO BE KEPT AWAY FROM STREET GUTTERS AND DRAINAGE LINES.
 4. PROVIDE WATERPROOF COVERING TO STOCKPILES.



GRAVEL SOCK CHECK DAM



SEDIMENT FENCE DETAILS

SITE ANALYSIS, EROSION CONTROL + WASTE MANAGEMENT

SCALE 1:200



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PROJECT:
CARPORT + STORE ROOM

DRAWING TITLE:
SITE ANALYSIS, EROSION CONTROL
AND WASTE MANAGEMENT

DETAILS:

DATE: 05.09.24

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SCALE: 1:200

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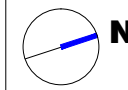
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STAGE: DEVELOPMENT APPLICATION (DA)

NORTH:
24.03.25



REVISION:
A

DRAWING No:
4 / 10

The site plan illustrates a residential development on a rectangular plot. The plot is divided into three main sections:

- EXISTING AREA 1:** Located in the bottom left, shaded green, with an area of 154.5m². It contains a large tree and a proposed circular feature with a diameter of 4.5/5.8m.
- EXISTING AREA 2:** Located in the top left, shaded green, with an area of 99.5m². It contains a large tree and a proposed rectangular feature with a diameter of 2.5/4.5m.
- Proposed Single Storey Rendered Residence with Metal Roof:** Located in the center-right, outlined in blue. It is a rectangular building with a metal roof, labeled "No. 6".

The plan includes various boundary lines, fences, and existing structures. Key features include:

- Boundaries:** The plot is bounded by a fence on the top and right sides. The bottom boundary is adjacent to a road labeled "MOIRA PLACE".
- Existing Structures:** A "BENCHMARK NAIL IN KERB" is located at the bottom right corner, with a height of 128.71 AHD.
- Proposed Features:** A "SINGLE STOREY RENDERED RESIDENCE METAL ROOF No. 6" is shown. Other proposed features include a "WALL-BOY 1.075", "WALL-BOY 3.03", "WALL-BOY 3.02", and "WALL-BOY 1.075".
- Dimensions and Areas:** The total area of the plot is 98.36.08. The area of the proposed residence is 22.14. The area of the existing areas is 154.5m² and 99.5m².
- Other Labels:** The plan includes various labels for existing and proposed structures, including "TIMBER", "METAL", "CONCRETE", "FENCE", "GUTTER", "VEHICLE CROSSING", "ROAD CROSSING", "DRIVEWAY", "PARKING", "STEPS", "DECK", "SHED", "GAS", "WALL-BOY", "BENCHMARK", "NAIL IN KERB", "MOIRA PLACE", and "EXISTING AREA 1: 154.5m²".

EXISTING AREA 2: (unchanged) 99.5m²

PROPOSED AREA 2: 19.0m²

PROPOSED AREA 1: 125.0m²

SINGLE STOREY RENDERED RESIDENCE METAL ROOF No.6

BENCHMARK NAUL IN KPGS RL 128.71 AHD

MOIRA PLACE

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DRAWING No:
5 / 10

NOTE:
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GROUND FLOOR DEMOLITION
SCALE 1:100

BUSHFIRE PRONE LAND
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DRAWING TITLE:
GROUND FLOOR DEMOLITION

DETAILS:
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CHECKED: L.M + N.M
SCALE: 1:100

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STAGE: DEVELOPMENT APPLICATION (DA)

24.03.25

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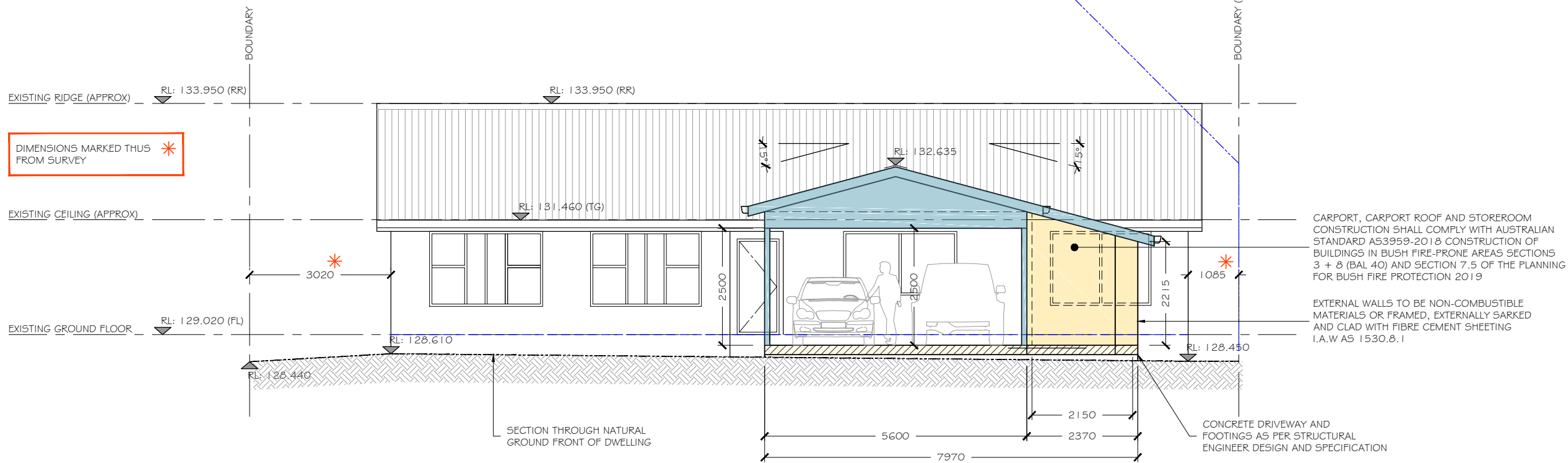


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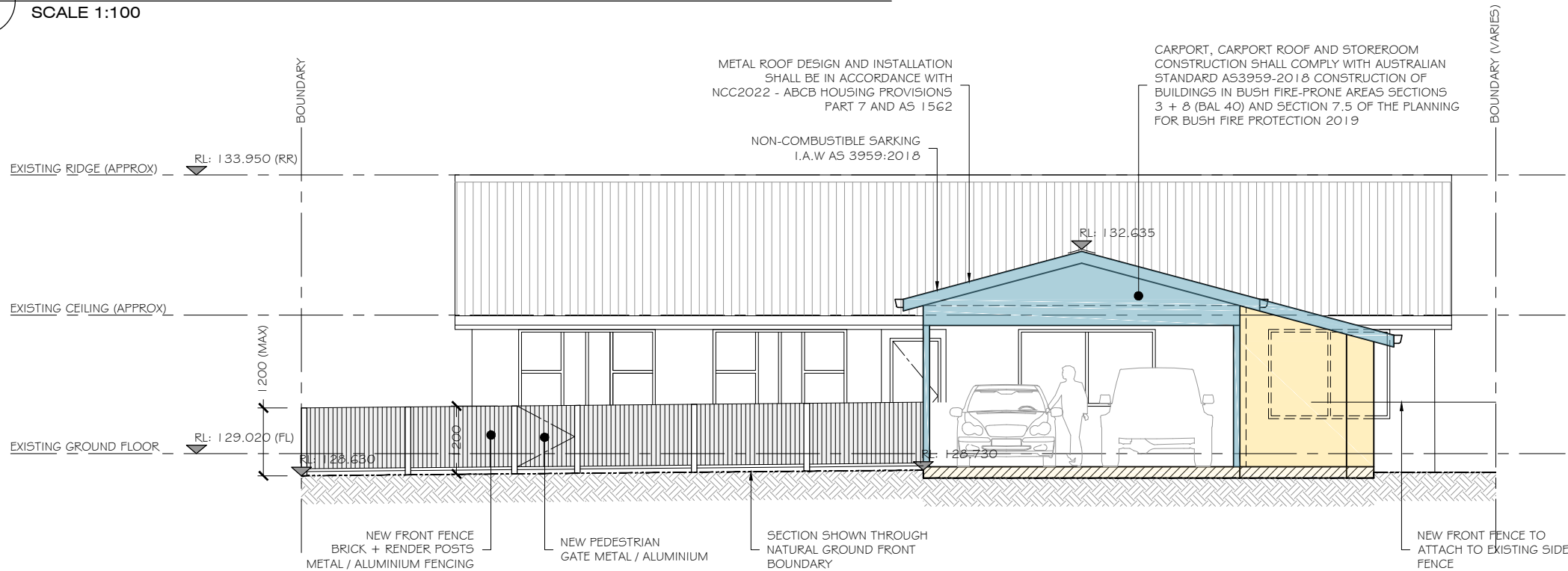
DRAWING No:
6 / 10

NOTE:
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PROPOSED FRONT ELEVATION - w.o proposed fence

SCALE 1:100



PROPOSED FRONT ELEVATION - Showing proposed fence

SCALE 1:100

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DRAWING TITLE:
PROPOSED ELEVATIONS 1

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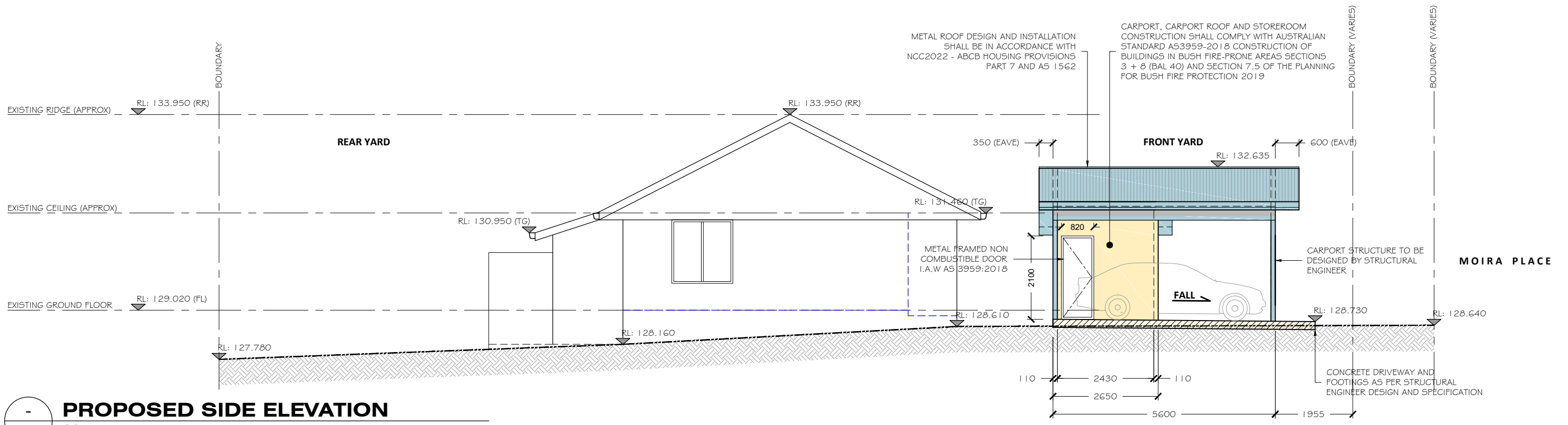
REVISION:

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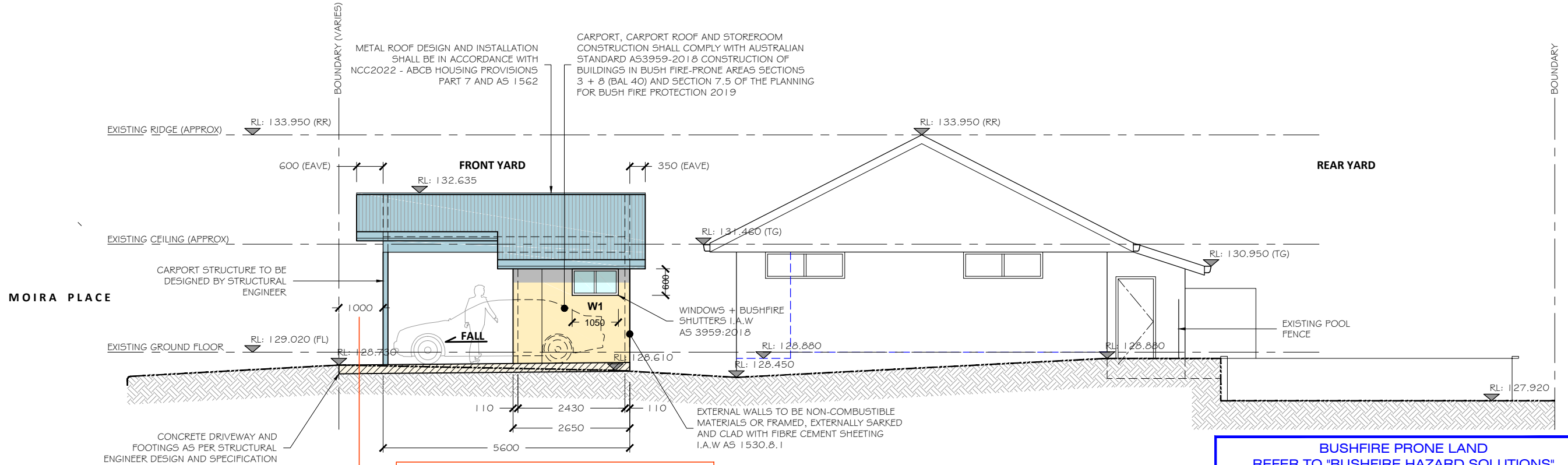
DRAWING No:
8 / 10

STAGE: DEVELOPMENT APPLICATION (DA)

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PROPOSED SIDE ELEVATION
SCALE 1:100



PROPOSED SIDE ELEVATION
SCALE 1:100

SURVEYOR NOTE: SET OUT / SURVEY MARKS

PRIOR TO ANY CONSTRUCTION WORK, SURVEY MARKS SHOULD BE PLACED TO DEFINE THE PROPERTY BOUNDARIES.

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CARPORT + STORE ROOM

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PROPOSED ELEVATIONS 2

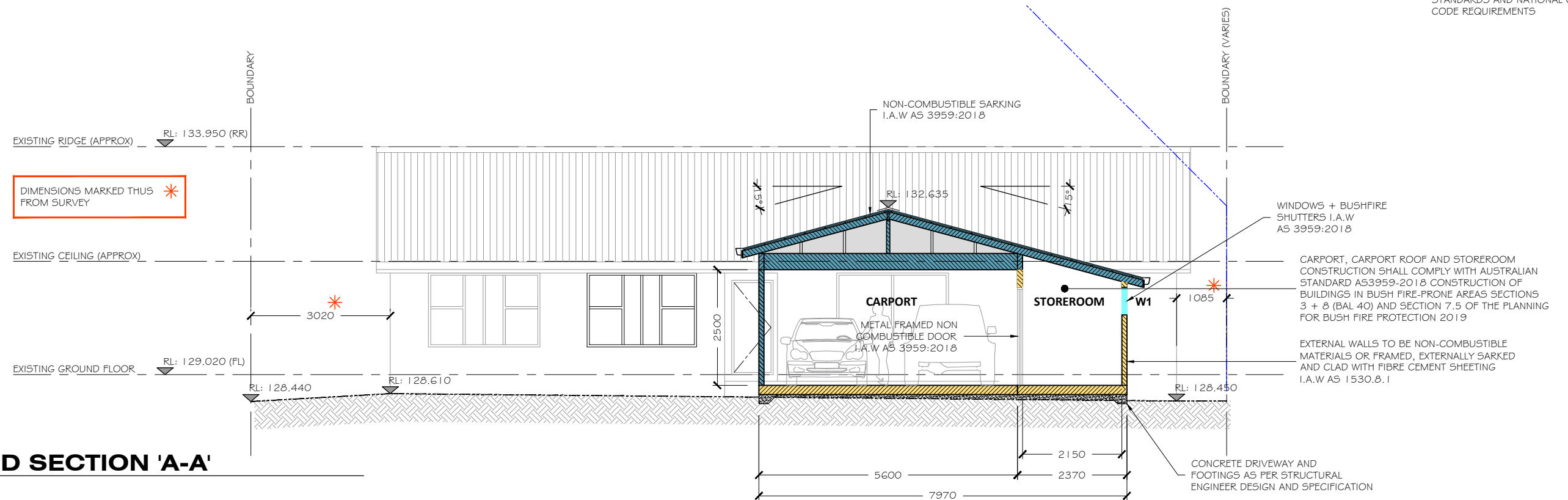
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SCALE: 1:100

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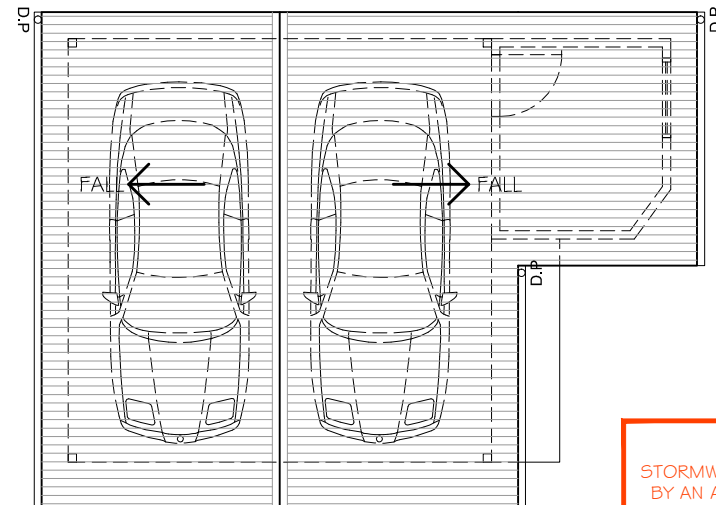
STAGE: DEVELOPMENT APPLICATION (DA)

24.03.25
NORTH:
REVISION:
A
DRAWING No:
9 / 10

NOTE:
REFER TO SHEET 2 FOR NOTES AUSTRALIAN
STANDARDS AND NATIONAL CONSTRUCTION
CODE REQUIREMENTS



PROPOSED SECTION 'A-A'
SCALE 1:100



NOTE:
STORMWATER DETAILS TO BE PROVIDED
BY AN APPROPRIATELY QUALIFIED AND
PRACTICING CIVIL OR HYDRAULIC
ENGINEER OR OTHER SUITABLY
QUALIFIED CONSULTANT

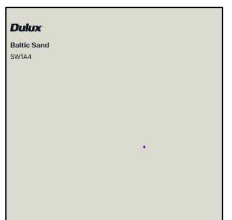
PROPOSED ROOF PLAN
SCALE 1:100

MATERIAL FINISHES + COLOURS :

ROOF: MONUMENT
GUTTERS + FLASHINGS : MONUMENT
DOWNPIPES: MONUMENT

EXTERNAL WALLS: BALTIC SAND

STOREROOM WINDOW:
ALUMINIUM FRAMES: WHITE



BUSHFIRE PRONE LAND
REFER TO "BUSHFIRE HAZARD SOLUTIONS"
BUSHFIRE ASSESSMENT REPORT 250669
SUMMARY AND RECOMMENDATIONS FOR ALL
BAL RATING + BUSHFIRE RELATED CONSTRUCTION
AND LANDSCAPING REQUIREMENTS INCLUDING
PLANNING FOR BUSHFIRE PROTECTION (PBP) 2019

DESIGN HOUSE
+
drafting studio

t: 0402 021 466

e: bbench@bigpond.net.au

bdaa
ACCREDITED
BUILDING DESIGNER

CLIENT:
LUKE MCARTHUR + NICOLE
MCDONALD

ADDRESS:
6 MOIRA PLACE
FRENCHS FOREST 2086

PROJECT:
CARPORT + STORE ROOM

DRAWING TITLE:
PROPOSED SECTION 'A-A'
+ ROOF PLAN + COLOURS

DETAILS:
DATE: 05.09.24
DRAWN: B.B
CHECKED: L.M + N.M
SCALE: 1:100

REVISIONS:
A. First issue. Client for planning portal submission.
B. -
C. -
D. -

24.03.25

NORTH:

REVISION:

A

DRAWING No:
10/ 10

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