

Rapid Plans www.rapidplans.com.au
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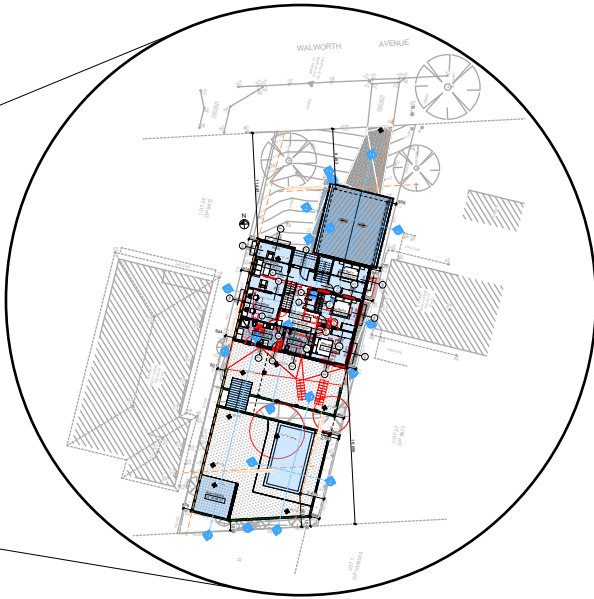
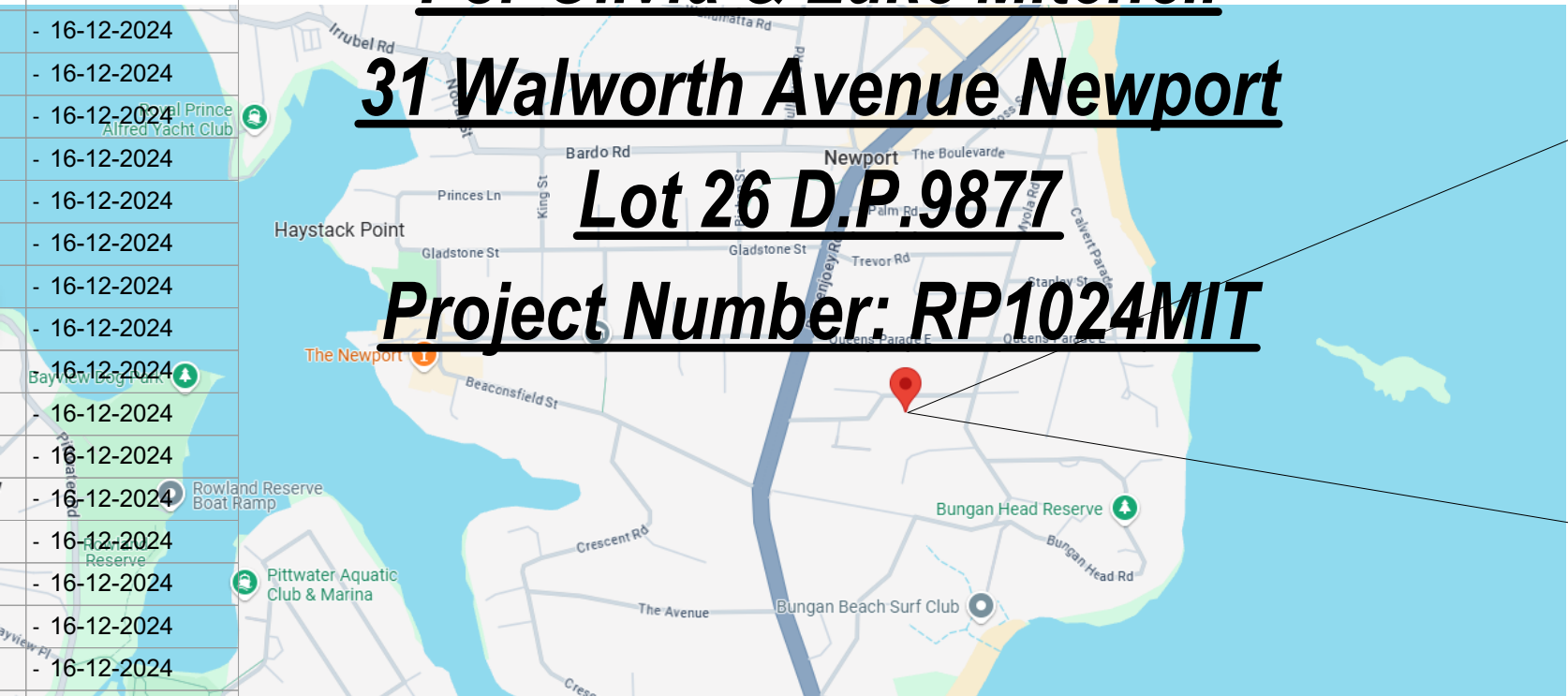
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



ACCREDITED
BUILDING DESIGNER

DRAWING No.	DESCRIPTION	REV	ISSUED DATE
DA1000	Cover Sheet	-	- 16-12-2024
DA1001	A4 NOTIFICATION PLAN	-	- 16-12-2024
DA1002	SITE SURVEY	-	- 16-12-2024
DA1003	SITE PLAN	-	- 16-12-2024
DA1004	Existing Garage Plan	-	- 16-12-2024
DA1005	Existing Ground Floor Plan	-	- 16-12-2024
DA1006	Existing First Floor Plan	-	- 16-12-2024
DA1007	Demolition Lower Ground Floor Plan	-	- 16-12-2024
DA1008	Demolition Ground Floor Plan	-	- 16-12-2024
DA1009	Demolition First Floor Plan	-	- 16-12-2024
DA1010	Excavation & Fill Plan	-	- 16-12-2024
DA1011	Landscape Open Space Plan Existing	-	- 16-12-2024
DA1012	Landscape Open Space Plan Proposed	-	- 16-12-2024
DA1013	Landscape Plan	-	- 16-12-2024
DA1014	Sediment & Erosion Plan	-	- 16-12-2024
DA1015	Waste Management Plan	-	- 16-12-2024
DA1016	Stormwater Plan	-	- 16-12-2024
DA2001	GARAGE	-	- 16-12-2024
DA2002	GROUND FLOOR NORTH	-	- 16-12-2024
DA2003	GROUND FLOOR SOUTH	-	- 16-12-2024
DA2004	FIRST FLOOR NORTH	-	- 16-12-2024
DA2005	FIRST FLOOR SOUTH	-	- 16-12-2024
DA2006	SECOND FLOOR	-	- 16-12-2024
DA2007	ROOF HOUSE	-	- 16-12-2024
DA2008	ROOF CABANA	-	- 16-12-2024
DA3000	SECTION 1	-	- 16-12-2024
DA3001	SECTION 2	-	- 16-12-2024
DA3002	SECTION POOL	-	- 16-12-2024
DA4000	ELEVATIONS 1	-	- 16-12-2024
DA4001	ELEVATIONS 2	-	- 16-12-2024
DA4002	ELEVATIONS 3	-	- 16-12-2024
DA5000	PERSPECTIVE	-	- 16-12-2024
DA5001	MATERIAL & COLOUR SAMPLE BOARD	-	- 16-12-2024
DA5002	SHADOW PLAN 21st June 9am	-	- 16-12-2024
DA5003	SHADOW PLAN 21st June 12pm	-	- 16-12-2024
DA5004	SHADOW PLAN 21st June 3pm	-	- 16-12-2024
DA5005	WALL ELEVATION SHADOWS No.29 REAR	-	- 16-12-2024
DA5006	WALL ELEVATION SHADOWS No.29 FRONT	-	- 16-12-2024
DA5007	WALL ELEVATION SHADOWS No.33	-	- 16-12-2024

Alterations & Additions
To Existing Residence
For Olivia & Luke Mitchell
31 Walworth Avenue Newport
Lot 26 D.P.9877
Project Number: RP1024MIT



BASIX®Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A1777686

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Friday, 13 December 2024
To be valid, this certificate must be lodged within 3 months of the date of issue.

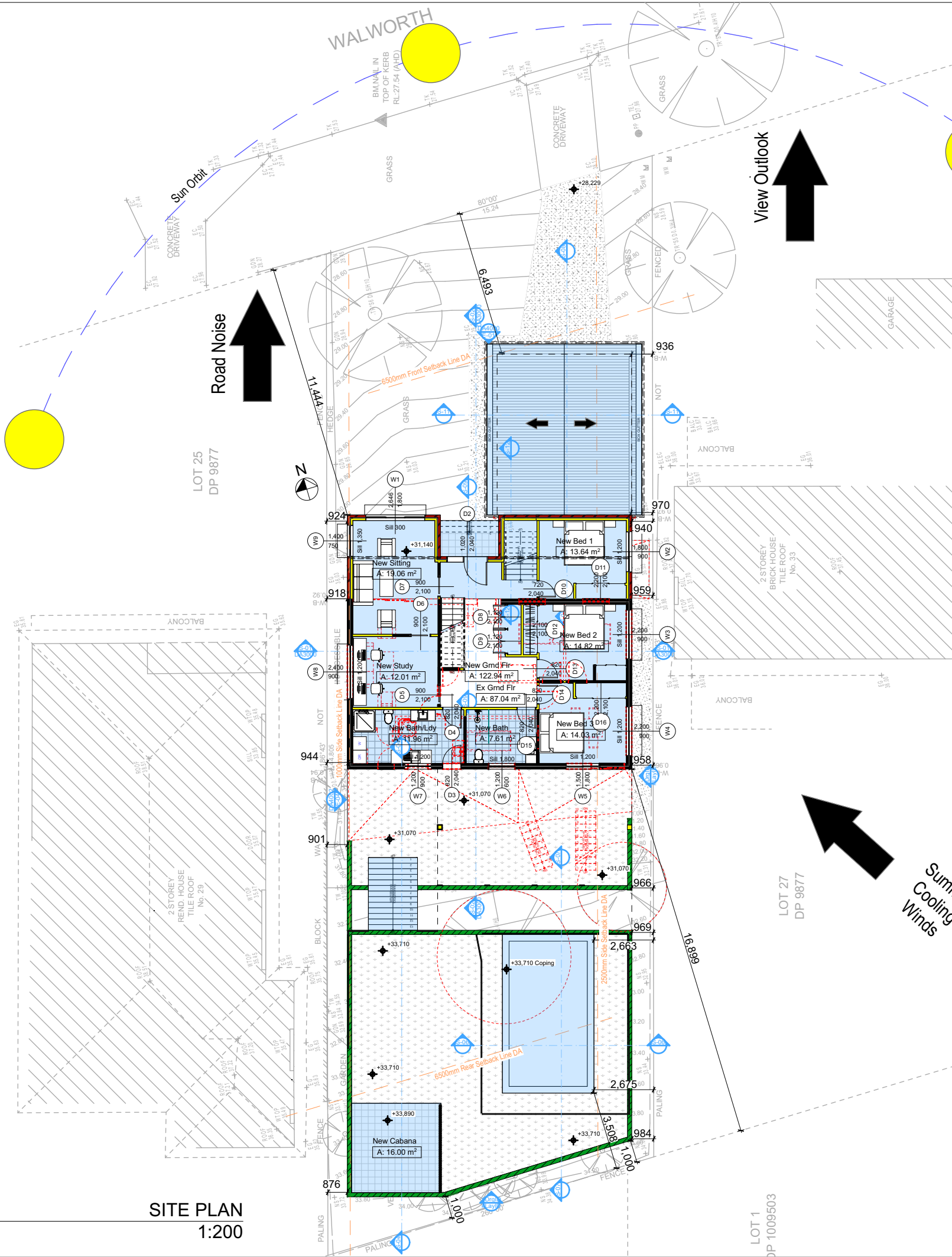


Project address	
Project name	Mitchell
Street address	31 WALWORTH Avenue NEWPORT 2106
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP9877
Lot number	26
Section number	-
Project type	
Dwelling type	Dwelling house (detached)
Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more, and does not include a pool (and/or spa).
N/A	N/A
Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name: RAPID PLANS PTY LTD	
ABN (if applicable): 43150064592	



<p>THE SUBJECT TITLE NOTES : AS AT 11/09/2024</p> <p>1) RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S) 2) AT 975240 MORTGAGE TO NATIONAL AUSTRALIA BANK LIMITED</p>		
<p>NOTES:</p> <p>A) BOUNDARIES OF THE SITE HAVE BEEN IDENTIFIED BY SURVEY B) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. SERVICES MAY EXIST WHICH ARE NOT SHOWN. THE RELEVANT SERVICE AUTHORITY SHOULD BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. C) DIAMETER, HEIGHT & SPREAD OF TREES ARE APPROXIMATE ONLY. D) LEVELS SHOWN ARE OF AUSTRALIAN HEIGHT DATUM. ORIGIN OF LEVELS : PM 46834, RL 17.066 (AHD), CLASS LC. E) USE STATED DIMENSIONS. DO NOT SCALE. F) THESE NOTES FORM PART OF THIS PLAN AND CANNOT BE REMOVED. G) NO COVENANTS AND/OR RESTRICTIONS HAVE BEEN INVESTIGATED BY C & A SURVEYORS PTY LTD.</p>		
REVISION No	DESCRIPTION	DATE
V1	PLAN ISSUED	18/09/2024
V2J..
V3J..
V4J..

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION



Denotes New Works



Denotes New Timber Framed Wall



Denotes New Masonry Wall



Denotes New Concrete Block Wall



Denotes Existing Wall



Denotes Demolished Item

Wall Legend

Winter
Warming
Winds

Summer
Cooling
Winds

Fixtures and systems	
Lighting	
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	
Fixtures	
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.	
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.	
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)	N/A
floor above existing dwelling or building.	nil	N/A
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R1.58 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

World Plans
PO Box 6239 Fitzroy Vic 3065
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Email: info@rapidplans.com.au

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
31 Walworth Avenue Newport is zoned R2 Low Density Res.
31 Walworth Avenue Newport is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate.
New Works to be constructed shown in Shaded/Blue.
Construction
Timber Framed Floor, Masonry & Cladded Walls
Roof Sheet Metal to have R1.5 insulation
Insulation to External Masonry & Cladded Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1884
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a authorised Construction Certificate drawings by Rapid Plans.

Basic
Basic Certificate Number A1777686
All Plans to be read in conjunction with Basic Certificate.
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gorgola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	654m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	3.5m@ 45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m2)	50%	Yes
Maximum cut into gnd (m)	1.8m	Yes
Maximum depth of fill (m)	1.4m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 16/12/2024
Project NO.: RP1024MIT
Project Status DA

Client Olivia & Luke Mitchell

Site: 31 Walworth Avenue Newport

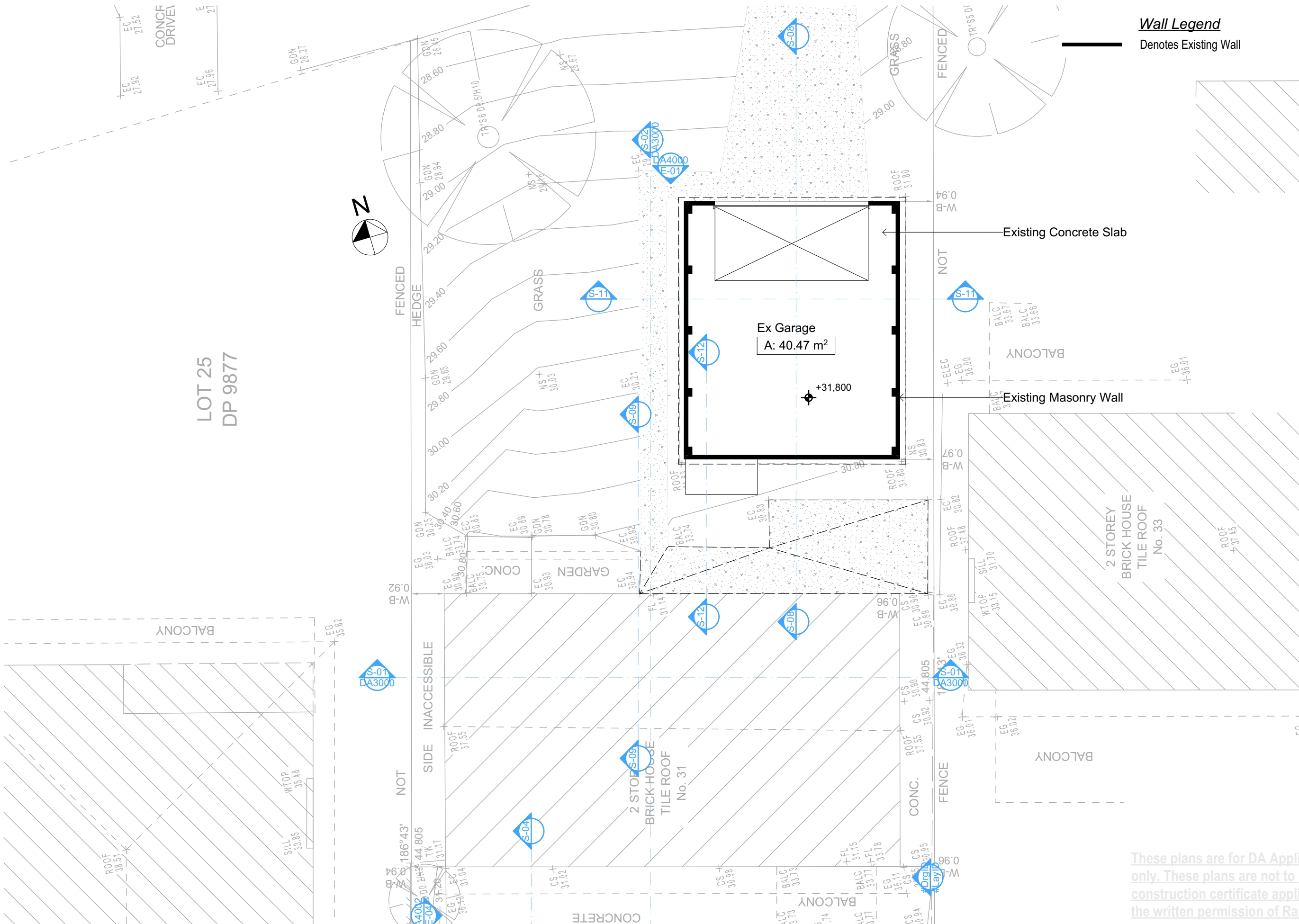
DRAWING TITLE: SITE AND LOCATION
SITE PLAN

PROJECT NAME: **Alterations & Additions**

REVISION NO.	DATE
-	16-12-2024

DRAWING NO. **DA1003**

Plot Date: 16/12/2024
Sheet Size: A3



Wall Legend
Denotes Existing Wall

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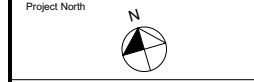
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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
31 Walworth Avenue Newport is zoned R2 Low Density Res.
31 Walworth Avenue Newport is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate.
New Works to be constructed shown in ShadedBlue.
Construction:
Timber Framed Floor, Masonry & Cladded Walls
Roof Sheet Metal to have R1.7 insulation
Insulation to External Masonry & Cladded Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1884
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a certified Construction Certificate drawings by Rapid Plans.
Basic Certificate Number A1777686
All Plans to be read in conjunction with Basic Certificate.
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m². b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gorgola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	654m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	3.5m@ 45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m ²)	50%	Yes
Maximum cut into gnd (m)	1.8m	Yes
Maximum depth of fill (m)	1.4m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 16/12/2024
Project NO: RP1024MMT
Project Status DA

Client Olivia & Luke Mitchell

Site: 31 Walworth Avenue Newport

DRAWING TITLE:
SITE AND LOCATION
Existing Garage Plan

PROJECT NAME:
Alterations & Additions

REVISION NO. DATE
- 16-12-2024

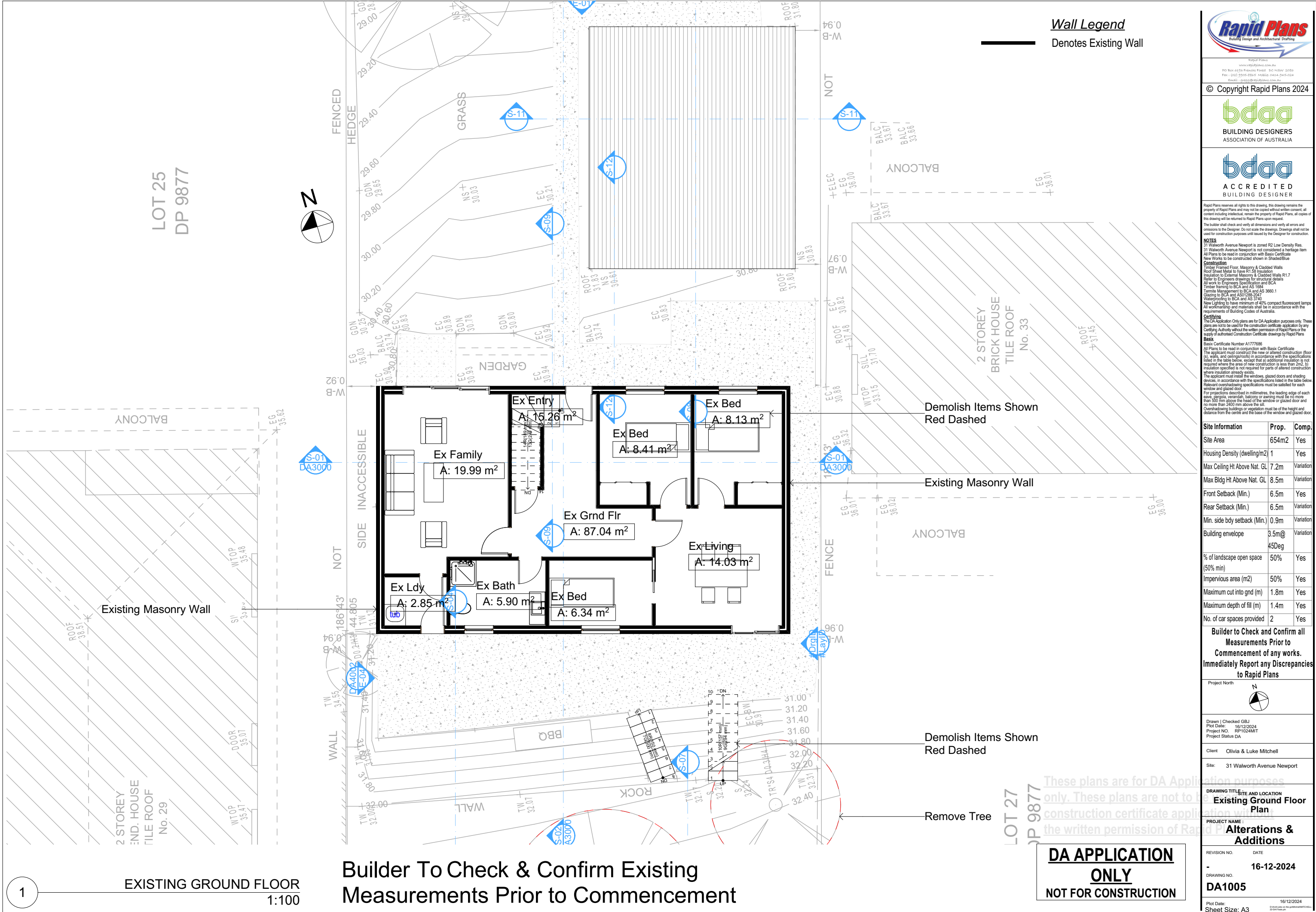
DRAWING NO.
DA1004

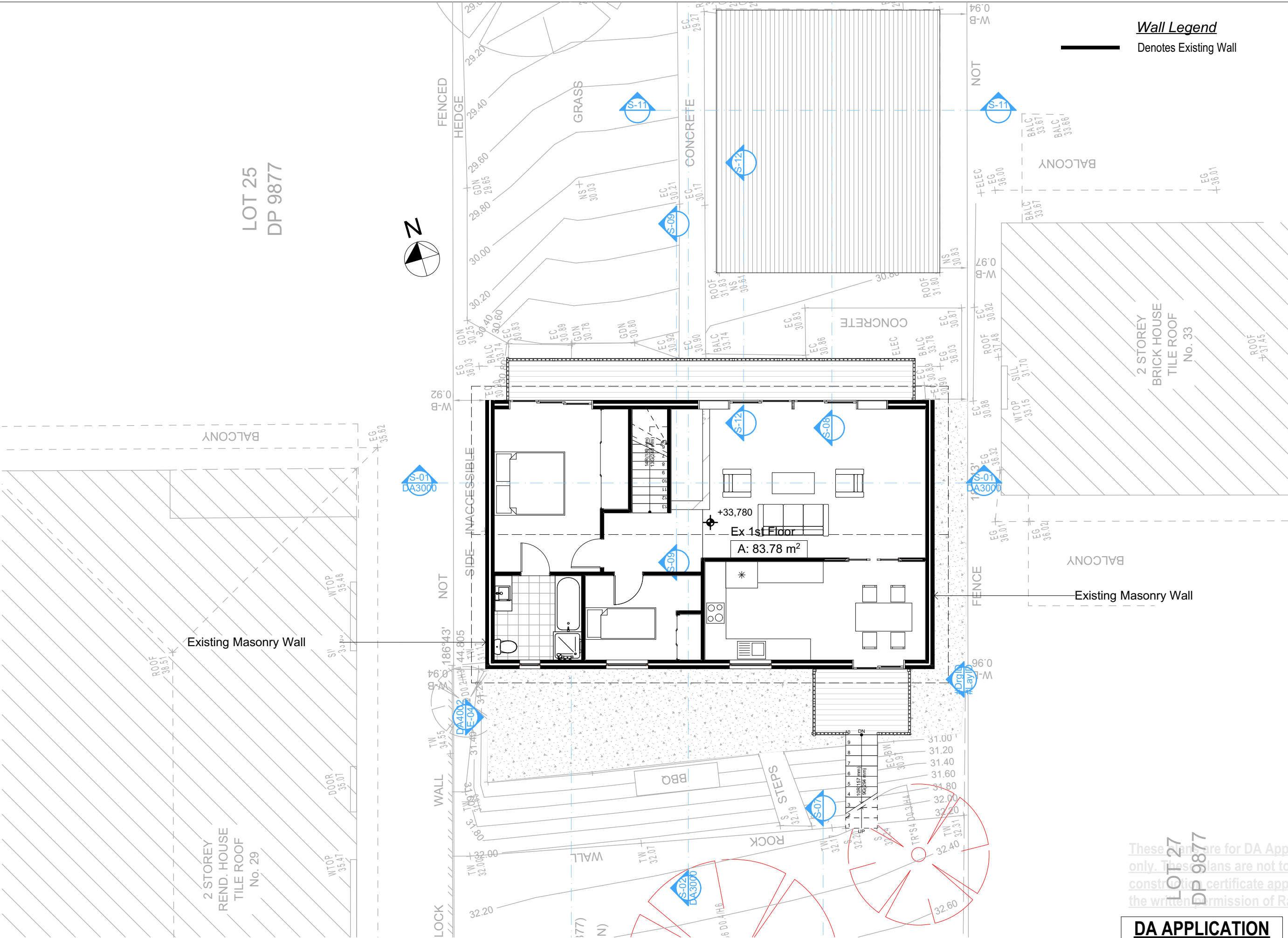
Plot Date: 16/12/2024
Sheet Size: A3

Builder To Check & Confirm Existing Measurements Prior to Commencement

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Wall Legend
Denotes Existing Wall




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Building Design and Architectural Drafting

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

31 Walworth Avenue Newport is zoned R2 Low Density Res.

31 Walworth Avenue Newport is not considered a heritage item.

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in ShadedBlue

Construction

Timber Framed Floor, Masonry & Cladded Walls

Roof Sheet Metal to have R1.5 insulation

Insulation to External Masonry & Cladded Walls R1.7

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1884

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1288-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Carrying Authority without the written permission of Rapid Plans or the supply of a valid Construction Certificate drawings by Rapid Plans.

Basic

Basic Certificate Number A177686

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m². b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gorgola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	654m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	3.5m@ 45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m2)	50%	Yes
Maximum cut into gnd (m)	1.8m	Yes
Maximum depth of fill (m)	1.4m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 16/12/2024
Project NO.: RP1024MIT
Project Status DA

Client Olivia & Luke Mitchell

Site: 31 Walworth Avenue Newport

DRAWING TITLE :
SITE AND LOCATION
Existing First Floor Plan

PROJECT NAME :
Alterations & Additions

REVISION NO. DATE
- 16-12-2024
DRAWING NO.
DA1006

Plot Date: 16/12/2024
Sheet Size: A3

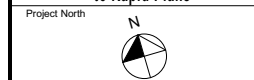
1 EXISTING FIRST FLOOR
1:100

Builder To Check & Confirm Existing
Measurements Prior to Commencement

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Site Information	Prop.	Comp.
Site Area	654m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	3.5m@ 45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m ²)	50%	Yes
Maximum cut into gnd (m)	1.8m	Yes
Maximum depth of fill (m)	1.4m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 16/12/2024
Project NO.: RP1024MMT
Project Status: DA

Client: Olivia & Luke Mitchell

Site: 31 Walworth Avenue Newport

DRAWING TITLE SITE AND LOCATION
Demolition Lower Ground Floor Plan

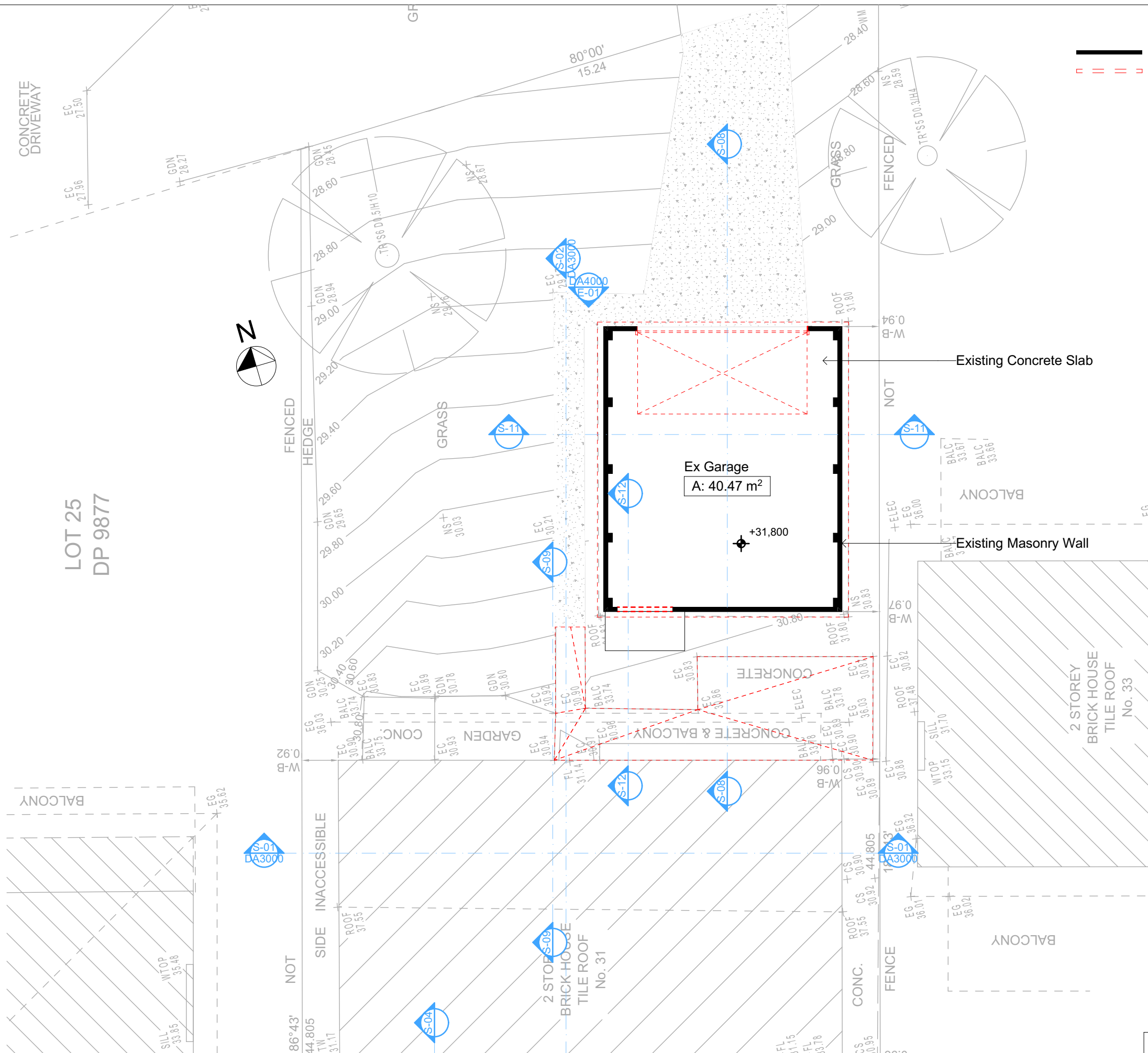
PROJECT NAME:
Alterations & Additions

REVISION NO. DATE
- 16-12-2024

DRAWING NO.
DA1007

Plot Date: 16/12/2024
Sheet Size: A3

Wall Legend
— Denotes Existing Wall
- - - Denotes Demolished Item

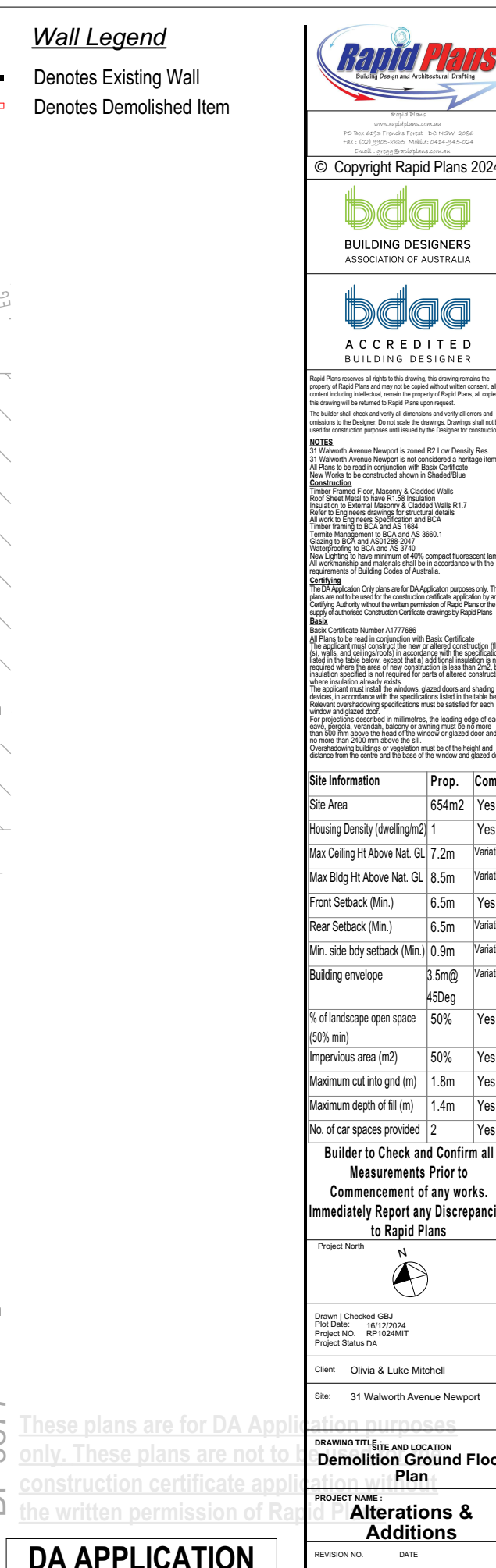


DEMOLITION BASEMENT/LOWER GROUND
1:100

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

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Building Design and Architectural Drafting

rapidplans.com.au
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NOTES

- 31 Walworth Avenue Neaport is zoned R2 Low Density Res.
- All Plans to be read in conjunction with Basic Certificate
- New Lighting to be constructed shown in ShadedBlue Construction
- Minor Framed Floor, Masonry & Cladded Walls
- Roof Sheet Metal to have R1.58 sound insulation to External Masonry & Gladded Walls R1.7
- Refer to Engineers drawings for structural details
- All work in Engrneers Specification and AS 1564
- Timber framing to BCA and AS 1564
- Termite Management to BCA and AS 3660.1
- Glaszing to BCA and AS2728-247
- Waterproofing to BCA and AS 3740
- New Lighting to have minimum of 40% compact fluorescent lamp
- All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

The DA Application Only plans are for DA Application purposes only. The plans are not to be used for the construction certificate application by an Certifying Authority without the written permission of Rapid Plans or the basis of authorised Construction Certificate applications by Rapid Plans

Basic Certificate Number A177786

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (ie walls, windows, ceilings) in accordance with the specifications listed in the table below, except that if additional insulation is required where the area of new construction is less than 2m², insulation specification need not be provided for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overhead shading specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of eaves, awnings, canopies, balconies or overhangs must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overheadshading devices or vegetation must be of the height and distance from the centre and the base of the window and glazed door as specified in the table below.

Site Information	Prop.	Comments
Site Area	654m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.5m	Variation
Min. side setback (Min.)	0.9m	Variation
Building envelope	3.5m @ 45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impermeable area (m ²)	50%	Yes
Maximum cut into gnd (m)	1.8m	Yes
Maximum depth of fill (m)	1.4m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works.

Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked | Project No. | Project Status DA

Client | Olivia & Luke Mitchell

Site | 31 Walworth Avenue Newport

DRAWING TITLE AND LOCATION

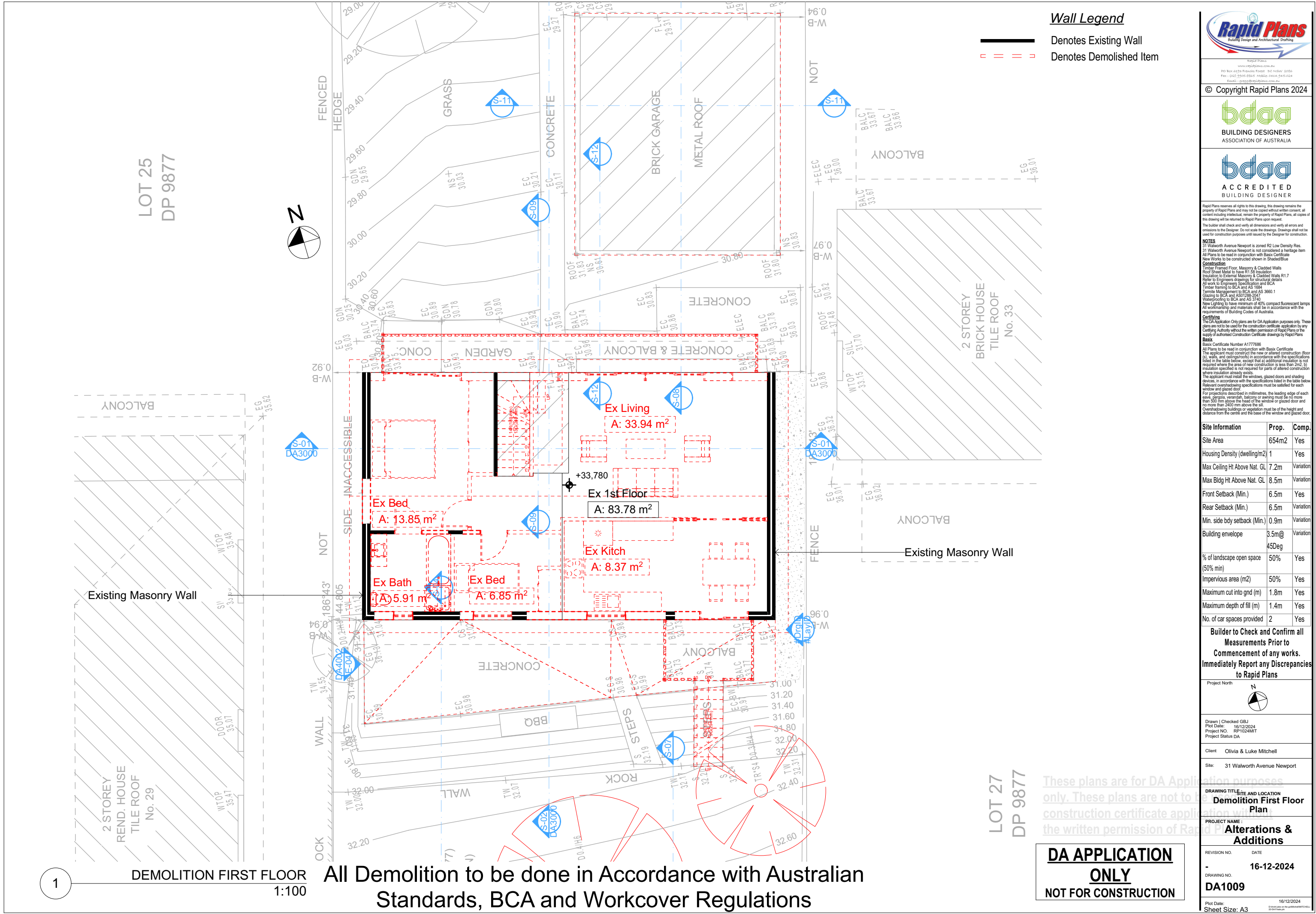
Demolition Ground Flood Plan

PROJECT NAME :

Alterations & Additions

REVISION NO. DATE

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations



Wall Legend

— Denotes Existing Wall

- - - Denotes Demolished Item

Building Design and Architectural Drafting

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NOTES

31 Walworth Avenue Newport is zoned R2 Low Density Res.

31 Walworth Avenue Newport is not considered a heritage item.

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in ShadedBlue

Construction

Timber Framed Floor, Masonry & Cladded Walls

Roof Sheet Metal to have R1.75 insulation

Insulation to External Masonry & Cladded Walls R1.7

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1884

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS/NZS 2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a authorised Construction Certificate drawings by Rapid Plans.

Basic

Basic Certificate Number A1777686

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gorgola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	654m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	3.5m@ 45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m2)	50%	Yes
Maximum cut into gnd (m)	1.8m	Yes
Maximum depth of fill (m)	1.4m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 16/12/2024
Project NO: RP1024MIT
Project Status DA

Client Olivia & Luke Mitchell

Site: 31 Walworth Avenue Newport

DRAWING TITLE SITE AND LOCATION
Demolition First Floor Plan

PROJECT NAME:
Alterations & Additions

REVISION NO.	DATE
-	16-12-2024

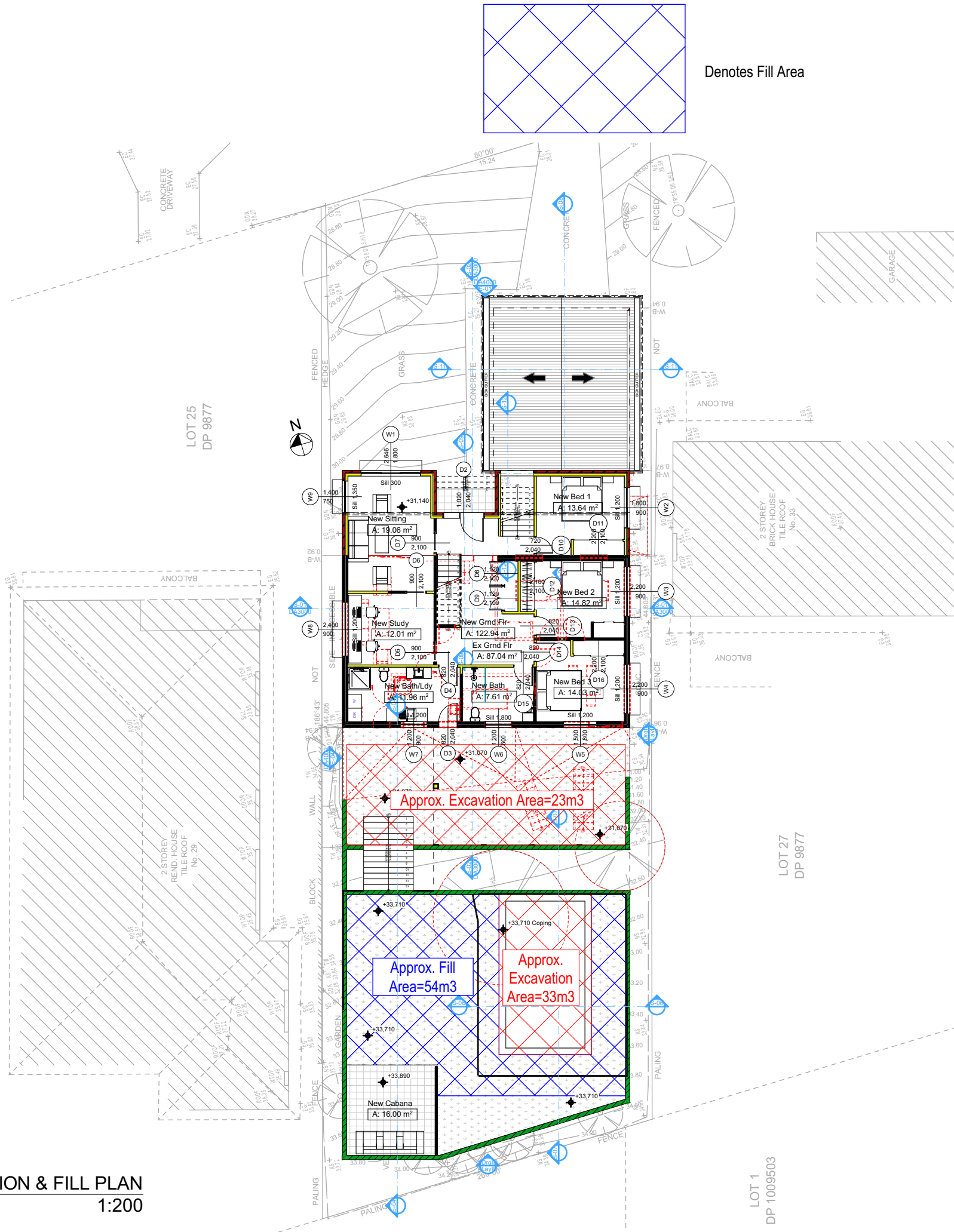
DRAWING NO.
DA1009

Plot Date: 16/12/2024
Sheet Size: A3

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DA APPLICATION ONLY

NOT FOR CONSTRUCTION



Denotes Fill Area

Denotes Excavation Area

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DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Rapid Plans
Building Design and Architectural Drafting

Website: www.rapidplans.com.au
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Ph: (02) 9350-8545 Mob: 0414-546-024
Email: info@rapidplans.com.au

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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

bdaa
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BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
31 Walworth Avenue Newport is zoned R2 Low Density Res.
31 Walworth Avenue Newport is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in ShadedBlue.

Construction
Timber Framed Floor, Masonry & Cladded Walls
Roof Sheet Metal to have R1.5 insulation
Insulation to External Masonry & Cladded Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1884
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basic
Basic Certificate Number A1777686
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m². b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gorgola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	654m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	3.5m@ 45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m ²)	50%	Yes
Maximum cut into gnd (m)	1.8m	Yes
Maximum depth of fill (m)	1.4m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 16/12/2024
Project NO: RP1024MIT
Project Status DA

Client Olivia & Luke Mitchell

Site: 31 Walworth Avenue Newport

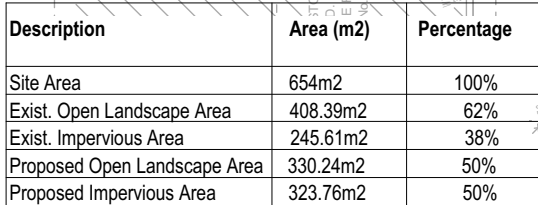
DRAWING TITLE :
Excavation & Fill Plan

PROJECT NAME:
Alterations & Additions

REVISION NO.	DATE
-	16-12-2024

DRAWING NO:
DA1010

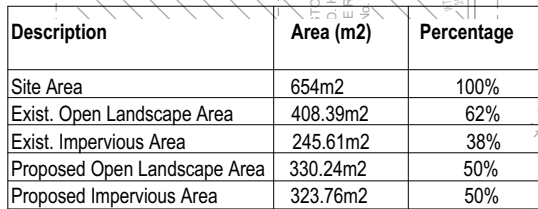
Plot Date: 16/12/2024
Sheet Size: A3



LANDSCAPE OPEN SPACE EXISTING
1:200

DA APPLICATION
ONLY
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<div> Building Design and Architectural Drafting</div> <div>Rapid Plans www.rapidplans.com.au PO Box 4248 Fremantle Forest WA 6155 Australia Tel: (08) 9396-8500 Fax: (08) 9396-8504 Email: enquiries@rapidplans.com.au</div> <div>© Copyright Rapid Plans 2024</div>		
<div></div> <div>BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA</div>		
<div></div> <div>ACCREDITED BUILDING DESIGNER</div>		
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Site Information	Prop.	Comp.
Site Area	654m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Natl. GL	7.2m	Variation
Max Bldg Ht Above Natl. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	3.5m @ 45deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m ²)	50%	Yes
Maximum cut into grd (m)	1.8m	Yes
Maximum depth of fill (m)	1.4m	Yes
No. of car spaces provided	2	Yes
<div>Builder to Check and Confirm all Measurements Prior to Commencement of any works.</div> <div>Immediately Report any Discrepancies to Rapid Plans</div>		
<div>Project North</div> <div></div>		
<div>Drawn Checked GBJ Plot Date N/A Project No. D_1920ZAMIT Project Status DA</div>		
Client	Olivia & Luke Mitchell	
Site:	31 Walworth Avenue Newport	
<div>DRAWING TITLE SITE AND LOCATION</div> <div>Landscape Open Space Plan Existing</div>		
<div>PROJECT NAME :</div> <div>Alterations & Additions</div>		
REVISION NO.	DATE	
-	16-12-2024	
DRAWING NO.	DA1011	
Plot Date:	16/12/2024	
Sheet Size: A3	<div><small>© Rapid Plans Pty Ltd. All Rights Reserved. 2024</small></div>	



Total Open Landscape Area for the property will be decreased by 12%

LANDSCAPE OPEN SPACE PROPOSED
1:200

- DA APPLICATION**
ONLY
NOT FOR CONSTRUCTION

<h1 style="margin: 0;"><u>DA APPLICATION</u></h1> <h1 style="margin: 0;"><u>ONLY</u></h1> <h2 style="margin: 0;">NOT FOR CONSTRUCTION</h2>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2" style="text-align: center;">Additions</td> </tr> <tr> <td style="width: 50%;">REVISION NO.</td> <td style="width: 50%;">DATE</td> </tr> <tr> <td style="text-align: center;">-</td> <td style="text-align: center;">16-12-2024</td> </tr> <tr> <td colspan="2">DRAWING NO.</td> </tr> <tr> <td colspan="2" style="text-align: center;">DA1012</td> </tr> <tr> <td colspan="2"> <div style="display: flex; justify-content: space-between;"> <div> Plot Date: Sheet Size: A3 </div> <div style="font-size: small;"> © 2024 All rights reserved for the proprietor MPT72411 22/04/2024 </div> </div> </td> </tr> </table>	Additions		REVISION NO.	DATE	-	16-12-2024	DRAWING NO.		DA1012		<div style="display: flex; justify-content: space-between;"> <div> Plot Date: Sheet Size: A3 </div> <div style="font-size: small;"> © 2024 All rights reserved for the proprietor MPT72411 22/04/2024 </div> </div>	
Additions													
REVISION NO.	DATE												
-	16-12-2024												
DRAWING NO.													
DA1012													
<div style="display: flex; justify-content: space-between;"> <div> Plot Date: Sheet Size: A3 </div> <div style="font-size: small;"> © 2024 All rights reserved for the proprietor MPT72411 22/04/2024 </div> </div>													



Site Information	Prop.	Comp.
Site Area	654m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Blgd Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Variation
Min. side by setback (Min.)	0.9m	Variation
Building envelope	3.5m@ 45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m2)	50%	Yes
Maximum cut into gnd (m)	1.8m	Yes
Maximum depth of fill (m)	1.4m	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancies
to Rapid Plans**



Client Olivia & Luke Mitchell

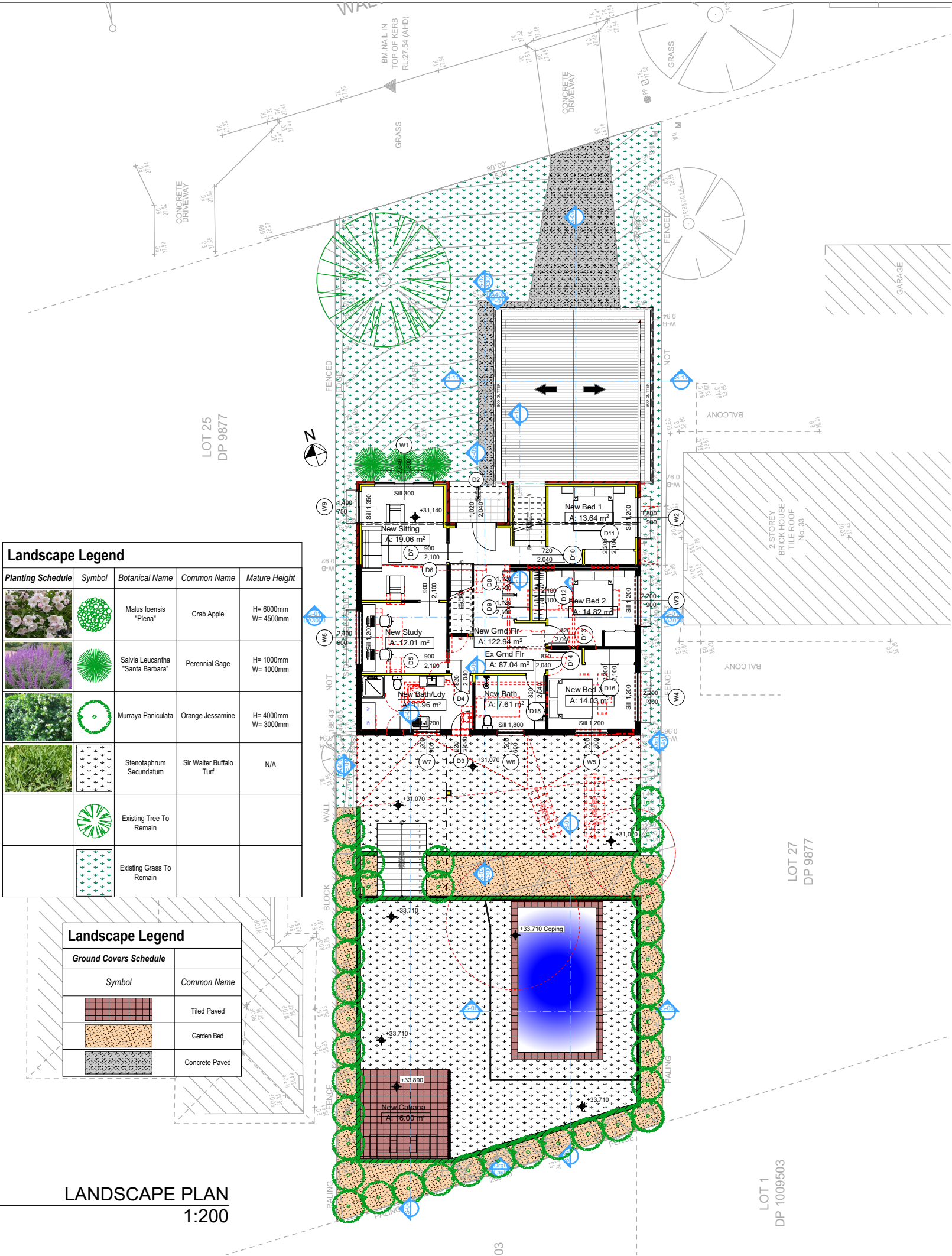
Site: 31 Walworth Avenue Newport

DRAWING TITLE:
Site and Location
Landscape Open Space
Plan Proposed

PROJECT NAME : **Alterations & Additions**

REVISION NO.	DATE
-	16-12-2024

Plot Date:	16/12/2024
Sheet Size: A3	D:\Arch\jobs on the go\Mitchell\MITCHELL-22-CA\Final.pn



- Wall Legend**
- Denotes New Timber Framed Wall
 - Denotes New Masonry Wall
 - Denotes New Concrete Block Wall
 - Denotes Existing Wall
 - Denotes Demolished Item

Landscape Legend				
Planting Schedule	Symbol	Botanical Name	Common Name	Mature Height
		Malus loensis "Plena"	Crab Apple	H= 6000mm W= 4500mm
		Salvia Leucantha "Santa Barbara"	Perennial Sage	H= 1000mm W= 1000mm
		Murraya Paniculata	Orange Jessamine	H= 4000mm W= 3000mm
		Stenotaphrum Secundatum	Sir Walter Buffalo Turf	N/A
		Existing Tree To Remain		
		Existing Grass To Remain		

Landscape Legend	
Ground Covers Schedule	
Symbol	Common Name
	Tiled Paved
	Garden Bed
	Concrete Paved

LANDSCAPE PLAN
1:200

Rapid Plans
Building Design and Architectural Drafting

World Plans
PO Box 6239 Fitzroy Street, DO NSW 2086
Ph: (02) 9350-8545, M:02-0414-545-024
Email: info@rapidplans.com.au

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ASSOCIATION OF AUSTRALIA

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NOTES

31 Walworth Avenue Newport is zoned R2 Low Density Res.

31 Walworth Avenue Newport is not considered a heritage item.

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in ShadedBlue

Construction

Timber Framed Floor, Masonry & Cladded Walls

Roof Sheet Metal to have R1.8 insulation

Insulation to External Masonry & Cladded Walls R1.7

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1884

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1288-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

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Basic

Basic Certificate Number A1777686

All Plans to be read in conjunction with Basic Certificate

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For projections described in millimetres, the leading edge of each eave, gorgola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	654m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	3.5m@ 45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m ²)	50%	Yes
Maximum cut into gnd (m)	1.8m	Yes
Maximum depth of fill (m)	1.4m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 16/12/2024
Project NO.: RP1024MIT
Project Status DA

Client: Olivia & Luke Mitchell

Site: 31 Walworth Avenue Newport

DRAWING TITLE: SITE AND LOCATION
Landscape Plan

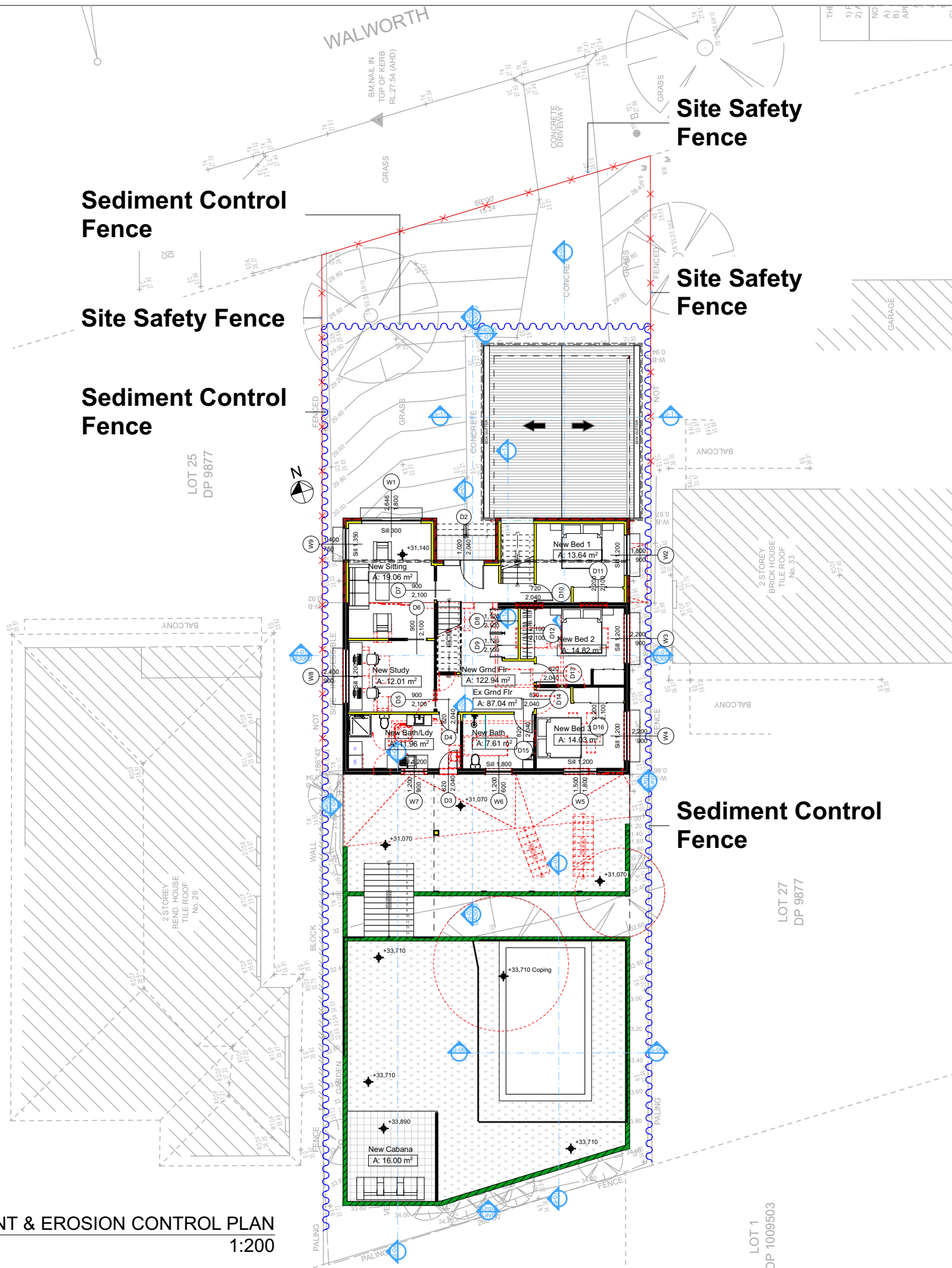
PROJECT NAME: **Alterations & Additions**

REVISION NO.	DATE
-	16-12-2024

DRAWING NO.: **DA1013**

Plot Date: 16/12/2024
Sheet Size: A3

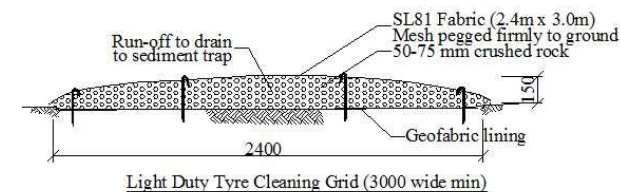
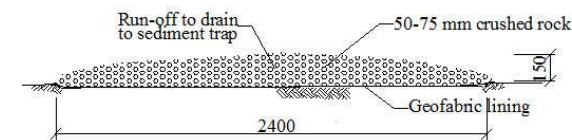
DA APPLICATION ONLY
NOT FOR CONSTRUCTION



Denotes New Works

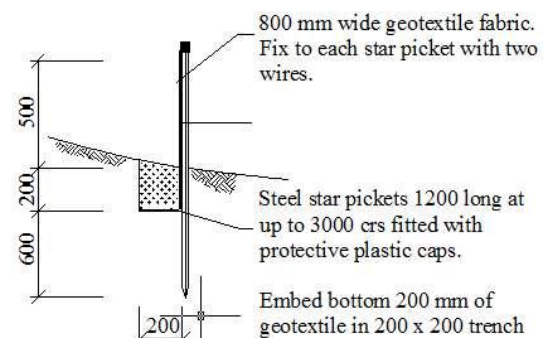
Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
- Denotes Existing Wall
- Denotes Demolished Item



Standard grass bales secured by steel star pickets approx. 1200 long at up to 3000 crs fitted with protective plastic caps

Typical Detail Grass Bale Sediment Barrier



Typical Detail Sediment Control Barrier

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NOTES

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31 Walworth Avenue Newport is not considered a heritage item.

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in ShadedBlue

Construction

Timber Framed Floor, Masonry & Cladded Walls

Roof Sheet Metal to have insulation

Insulation to External Masonry & Cladded Walls R1.7

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1884

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1288-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying

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Basic

Basic Certificate Number A1777686

All Plans to be read in conjunction with Basic Certificate

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Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	654m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
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Impervious area (m ²)	50%	Yes
Maximum cut into gnd (m)	1.8m	Yes
Maximum depth of fill (m)	1.4m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 16/12/2024
Project NO: RP1024MMT
Project Status DA

Client Olivia & Luke Mitchell

Site: 31 Walworth Avenue Newport

DRAWING TITLE: SITE AND LOCATION
Sediment & Erosion Plan

PROJECT NAME: **Alterations & Additions**

REVISION NO. DATE

- 16-12-2024

DRAWING NO. **DA1014**

Plot Date: 16/12/2024
Sheet Size: A3

Vehicle Access For
Removal Of Waste By
Builder During Work Hours

Approximate Location
Of Building Waste &
Recycling Area
Material Storage Area

Sediment
Control Fence

Site Safety Fence

Residential Garbage
Bin Storage



Denotes New Works



Denotes New Timber Framed Wall



Denotes New Masonry Wall



Denotes New Concrete Block Wall



Denotes Existing Wall



Denotes Demolished Item



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NOTES
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31 Walworth Avenue Newport is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded Blue
Sedimentation
Timber Framed Floor, Masonry & Cladded Walls
Roof Sheet Metal to have R1.5 insulation
Insulation to External Masonry & Cladded Walls R1.7
Refer to Engineers Specification for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1884
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basic
Basic Certificate Number A1777686
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m². b) insulation specified is not required for parts of altered construction where insulation already exists.
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Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	3.5m@ 45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m ²)	50%	Yes
Maximum cut into gnd (m)	1.8m	Yes
Maximum depth of fill (m)	1.4m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancies
to Rapid Plans



Drawn | Checked GBJ
Plot Date: 16/12/2024
Project NO.: RP1024MIT
Project Status DA

Client Olivia & Luke Mitchell

Site: 31 Walworth Avenue Newport

DRAWING TITLE:
SITE AND LOCATION
Waste Management Plan

PROJECT NAME:
Alterations & Additions

REVISION NO. DATE
- 16-12-2024

DRAWING NO.
DA1015

Plot Date: 16/12/2024
Sheet Size: A3

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**DA APPLICATION
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NOT FOR CONSTRUCTION**

Assumed Existing
Stormwater. Plumber To
Confirm Location Prior
To Commencement

Proposed Stormwater
Line To Be Fed Into The
Existing Drainage System

Assumed Existing
Stormwater. Plumber To
Confirm Location Prior
To Commencement

Plumber To Confirm Location Of Existing
Stormwater/Sewer Prior To Commencement



Denotes New Works



Wall Legend



Denotes New Timber Framed Wall

Denotes Demolished Item



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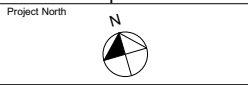
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NOTES
31 Walworth Avenue Newport is zoned R2 Low Density Res.
31 Walworth Avenue Newport is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue
Construction
Timber Framed Floor, Masonry & Cladded Walls
Roof Sheet Metal to have R1.75 insulation
Insulation to External Masonry & Cladded Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1884
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basix
Basix Certificate Number A1777686
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m². b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gorgola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	654m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	3.5m@ 45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m ²)	50%	Yes
Maximum cut into gnd (m)	1.8m	Yes
Maximum depth of fill (m)	1.4m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancies
to Rapid Plans



Drawn | Checked GBJ
Plot Date: 16/12/2024
Project NO: RP1024MMT
Project Status DA

Client Olivia & Luke Mitchell

Site: 31 Walworth Avenue Newport

DRAWING TITLE : SITE AND LOCATION

PROJECT NAME : Stormwater Plan

PROJECT NAME : Alterations & Additions

REVISION NO. DATE

- 16-12-2024

DRAWING NO. DA1016

Plot Date: 16/12/2024

Sheet Size: A3

**DA APPLICATION
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NOT FOR CONSTRUCTION**

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1

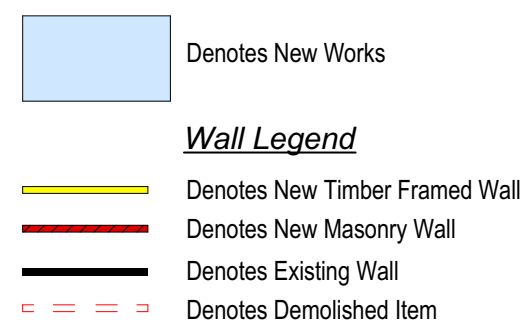
STORMWATER PLAN
1:200

LOT 1
DP 1009503

LOT 26
DP 9877
(STATED 654.0m²)
(BY CALCULATION)

LOT 27
DP 9877

LOT 25
DP 9877



Fixtures and systems
Lighting
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
Fixtures
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Insulation requirements		
<p>The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.</p>		
Construction	Additional insulation required (R-value)	Other specifications
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)	N/A
floor above existing dwelling or building.	nil	N/A
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R1.58 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

<div> Building Designer and Architectural Drafting</div> <div><div>Rapid Plans</div><div>www.rapidplans.com.au PO Box 1074, Wentworth Point NSW 1502 Australia Ph: (02) 5556-0586 Mobile: 0424-245-024 Email: info@rapidplans.com.au</div></div>		
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<div> BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA</div> <div> ACCREDITED BUILDING DESIGNER</div>		
<p>Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans, all copies of this drawing are to be returned to Rapid Plans upon request.</p> <p>The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.</p> <p>NOTES</p> <p>31 Walworth Avenue Newport is zoned R2 Low Density Residential.</p> <p>31 Walworth Avenue Newport is not considered a heritage item.</p> <p>All Plans to be read in conjunction with Basic Certificate</p> <p>New Works to be constructed shown in Shaded/Bold</p> <p>Construction</p> <p>Timber Framed Floor, Masonry & Cladded Walls</p> <p>Roof Sheet Metal to have R1.58 insulation</p> <p>Insulation to External Masonry & Cladded Walls R1.7</p> <p>Refer to Engineers drawings for structural details</p> <p>to work to Engineer Specifications and BCA</p> <p>Timber framing to BCA and AS 1864</p> <p>Fenestration Management to BCA and AS 3340</p> <p>Glaspan to BCA and AS20726-2647</p> <p>Waterproofing to BCA and AS 3340</p> <p>New Lighting to have minimum of 40% compact fluorescent lamps</p> <p>All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.</p> <p>Certifying</p> <p>The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans.</p> <p>Plans of a certified/authorised Construction Certificate drawings by Rapid Plans</p> <p>Basic</p> <p>Basic Certificate Number A1777686</p> <p>All Plans to be read in conjunction with Basic Certificate</p> <p>All Plans must be submitted in the form of alternative construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications below.</p> <p>Plans must be submitted in the form of alternative construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications below.</p> <p>The applicant must not expect that if additional insulation is not required where the species of new construction is less than 2m2, this insulation specified is not required for parts of altered construction where insulation already exists.</p> <p>The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.</p> <p>Relevant overhanging specifications must be satisfied for each window and glazed door.</p> <p>For projections described in millimetres, the leading edge of each window and glazed door, including any balcony or awning must be no more than 500 mm above the base of the window or glazed door and to more than 2400 mm above the base of the window and glazed door.</p> <p>Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.</p>		
Site Information	Prop.	Comp.
Site Area	654m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Variation
Min. side by setback (Min.)	0.9m	Variation
Building envelope	3.5m@	Variation
	45Deg	
% of landscape open space (50% min)	50%	Yes
Impervious area (m ²)	50%	Yes
Maximum cut into gnd (m)	1.8m	Yes
Maximum depth of fill (m)	1.4m	Yes
No. of car spaces provided	2	Yes
<div>Builder to Check and Confirm all Measurements Prior to Commencement of any works.</div> <div>Immediately Report any Discrepancies to Rapid Plans</div>		
<div>Project North</div> <div></div>		
<div>Drawn Checked GBJ</div> <div>Plot Date: 16/12/2024</div> <div>Project No: 1024MMT</div> <div>Project Status DA</div>		
Client	Olivia & Luke Mitchell	
Site:	31 Walworth Avenue Newport	
<div>DRAWING TITLE :</div> <div>PLANS</div> <div>GARAGE</div>		
<div>PROJECT NAME :</div> <div>Alterations & Additions</div>		
REVISION NO.	DATE	
-	16-12-2024	
<div>DRAWING NO.</div> <div>DA2001</div>		
Plot Date:	16/12/2024	

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	<p>PROJECT NAME : Alterations &</p>
	<p>PROJECT ADDRESS : 1/100-102, 104-106, 108-110, 112-114, 116-118, 120-122, 124-126, 128-130, 132-134, 136-138, 140-142, 144-146, 148-150, 152-154, 156-158, 160-162, 164-166, 168-170, 172-174, 176-178, 180-182, 184-186, 188-190, 192-194, 196-198, 200-202, 204-206, 208-210, 212-214, 216-218, 220-222, 224-226, 228-230, 232-234, 236-238, 240-242, 244-246, 248-250, 252-254, 256-258, 260-262, 264-266, 268-270, 272-274, 276-278, 280-282, 284-286, 288-290, 292-294, 296-298, 300-302, 304-306, 308-310, 312-314, 316-318, 320-322, 324-326, 328-330, 332-334, 336-338, 340-342, 344-346, 348-350, 352-354, 356-358, 360-362, 364-366, 368-370, 372-374, 376-378, 380-382, 384-386, 388-390, 392-394, 396-398, 400-402, 404-406, 408-410, 412-414, 416-418, 420-422, 424-426, 428-430, 432-434, 436-438, 440-442, 444-446, 448-450, 452-454, 456-458, 460-462, 464-466, 468-470, 472-474, 476-478, 480-482, 484-486, 488-490, 492-494, 496-498, 500-502, 504-506, 508-510, 512-514, 516-518, 520-522, 524-526, 528-530, 532-534, 536-538, 540-542, 544-546, 548-550, 552-554, 556-558, 560-562, 564-566, 568-570, 572-574, 576-578, 580-582, 584-586, 588-590, 592-594, 596-598, 600-602, 604-606, 608-610, 612-614, 616-618, 620-622, 624-626, 628-630, 632-634, 636-638, 640-642, 644-646, 648-650, 652-654, 656-658, 660-662, 664-666, 668-670, 672-674, 676-678, 680-682, 684-686, 688-690, 692-694, 696-698, 700-702, 704-706, 708-710, 712-714, 716-718, 720-722, 724-726, 728-730, 732-734, 736-738, 740-742, 744-746, 748-750, 752-754, 756-758, 760-762, 764-766, 768-770, 772-774, 776-778, 780-782, 784-786, 788-790, 792-794, 796-798, 800-802, 804-806, 808-810, 812-814, 816-818, 820-822, 824-826, 828-830, 832-834, 836-838, 840-842, 844-846, 848-850, 852-854, 856-858, 860-862, 864-866, 868-870, 872-874, 876-878, 880-882, 884-886, 888-890, 892-894, 896-898, 900-902, 904-906, 908-910, 912-914, 916-918, 920-922, 924-926, 928-930, 932-934, 936-938, 940-942, 944-946, 948-950, 952-954, 956-958, 960-962, 964-966, 968-970, 972-974, 976-978, 980-982, 984-986, 988-990, 992-994, 996-998, 1000-1002, 1004-1006, 1008-1010, 1012-1014, 1016-1018, 1020-1022, 1024-1026, 1028-1030, 1032-1034, 1036-1038, 1040-1042, 1044-1046, 1048-1050, 1052-1054, 1056-1058, 1060-1062, 1064-1066, 1068-1070, 1072-1074, 1076-1078, 1080-1082, 1084-1086, 1088-1090, 1092-1094, 1096-1098, 1100-1102, 1104-1106, 1108-1110, 1112-1114, 1116-1118, 1120-1122, 1124-1126, 1128-1130, 1132-1134, 1136-1138, 1140-1142, 1144-1146, 1148-1150, 1152-1154, 1156-1158, 1160-1162, 1164-1166, 1168-1170, 1172-1174, 1176-1178, 1180-1182, 1184-1186, 1188-1190, 1192-1194, 1196-1198, 1200-1202, 1204-1206, 1208-1210, 1212-1214, 1216-1218, 1220-1222, 1224-1226, 1228-1230, 1232-1234, 1236-1238, 1240-1242, 1244-1246, 1248-1250, 1252-1254, 1256-1258, 1260-1262, 1264-1266, 1268-1270, 1272-1274, 1276-1278, 1280-1282, 1284-1286, 1288-1290, 1292-1294, 1296-1298, 1300-1302, 1304-1306, 1308-1310, 1312-1314, 1316-1318, 1320-1322, 1324-1326, 1328-1330, 1332-1334, 1336-1338, 1340-1342, 1344-1346, 1348-1350, 1352-1354, 1356-1358, 1360-1362, 1364-1366, 1368-1370, 1372-1374, 1376-1378, 1380-1382, 1384-1386, 1388-1390, 1392-1394, 1396-1398, 1400-1402, 1404-1406, 1408-1410, 1412-1414, 1416-1418, 1420-1422, 1424-1426, 1428-1430, 1432-1434, 1436-1438, 1440-1442, 1444-1446, 1448-1450, 1452-1454, 1456-1458, 1460-1462, 1464-1466, 1468-1470, 1472-1474, 1476-1478, 1480-1482, 1484-1486, 1488-1490, 1492-1494, 1496-1498, 1500-1502, 1504-1506, 1508-1510, 1512-1514, 1516-1518, 1520-1522, 1524-1526, 1528-1530, 1532-1534, 1536-1538, 1540-1542, 1544-1546, 1548-1550, 1552-1554, 1556-1558, 1560-1562, 1564-1566, 1568-1570, 1572-1574, 1576-1578, 1580-1582, 1584-1586, 1588-1590, 1592-1594, 1596-1598, 1600-1602, 1604-1606, 1608-1610, 1612-1614, 1616-1618, 1620-1622, 1624-1626, 1628-1630, 1632-1634, 1636-1638, 1640-1642, 1644-1646, 1648-1650, 1652-1654, 1656-1658, 1660-1662, 1664-1666, 1668-1670, 1672-1674, 1676-1678, 1680-1682, 1684-1686, 1688-1690, 1692-1694, 1696-1698, 1700-</p>

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

Joins Sheet DA2002



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NOTES
31 Walworth Avenue Newport is zoned R2 Low Density Res. All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded Blue.
Timber Framed Floor, Masonry & Cladded Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1884
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Site Information
Site Area 654m2
Housing Density (dwelling/m2) 1
Max Ceiling Ht Above Nat. GL 7.2m
Max Bldg Ht Above Nat. GL 8.5m
Front Setback (Min.) 6.5m
Rear Setback (Min.) 6.5m
Min. side bdy setback (Min.) 0.9m
Building envelope 3.5m@ 45Deg
% of landscape open space (50% min) 50%
Impervious area (m2) 50%
Maximum cut into gnd (m) 1.8m
Maximum depth of fill (m) 1.4m
No. of car spaces provided 2

Site Information	Prop.	Comp.
Site Area	654m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	3.5m@ 45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m2)	50%	Yes
Maximum cut into gnd (m)	1.8m	Yes
Maximum depth of fill (m)	1.4m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 16/12/2024
Project NO: RP1024MIT
Project Status DA

Client Olivia & Luke Mitchell
Site: 31 Walworth Avenue Newport

DRAWING TITLE: PLANS
GROUND FLOOR SOUTH

PROJECT NAME: Alterations & Additions

REVISION NO. DATE
- 16-12-2024

DRAWING NO. DA2003

Plot Date: 16/12/2024
Sheet Size: A3

Denotes New Works

Min. 450 Window Awning To Basix Requirements

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Concrete Block Wall
- Denotes Existing Wall
- Denotes Demolished Item

New Timber Post

Demolish Items Shown Red Dashed

Remove Tree

Remove Tree

New Min. 1200 high Pool Safety Barrier To NCC & Aust. Stds.

New Concrete Block Retaining Wall To Eng. Details

Fixtures and systems	
Lighting The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	
Fixtures The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floors, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional Insulation required (R-value)	Other specifications
suspended floor with enclosed subfloor: framed (R0.7)	R0.60 (down) (or R1.30 including construction)	N/A
floor above existing dwelling or building	nil	N/A
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R1.58 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

LOT 1
DP 1009503

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DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Render Existing Brick Walls

Existing Masonry Wall

Demolish Items Shown Red Dashed

New Timber Post

Line Of Deck Above

New Concrete Stairs To NCC, Aust. Stds. & Eng. Details

New Concrete Block Retaining Wall To Eng. Details

New Min. 1200 high Pool Safety Barrier To NCC & Aust. Stds.

New Concrete Slab To Eng. Details

GROUND FLOOR
1:100

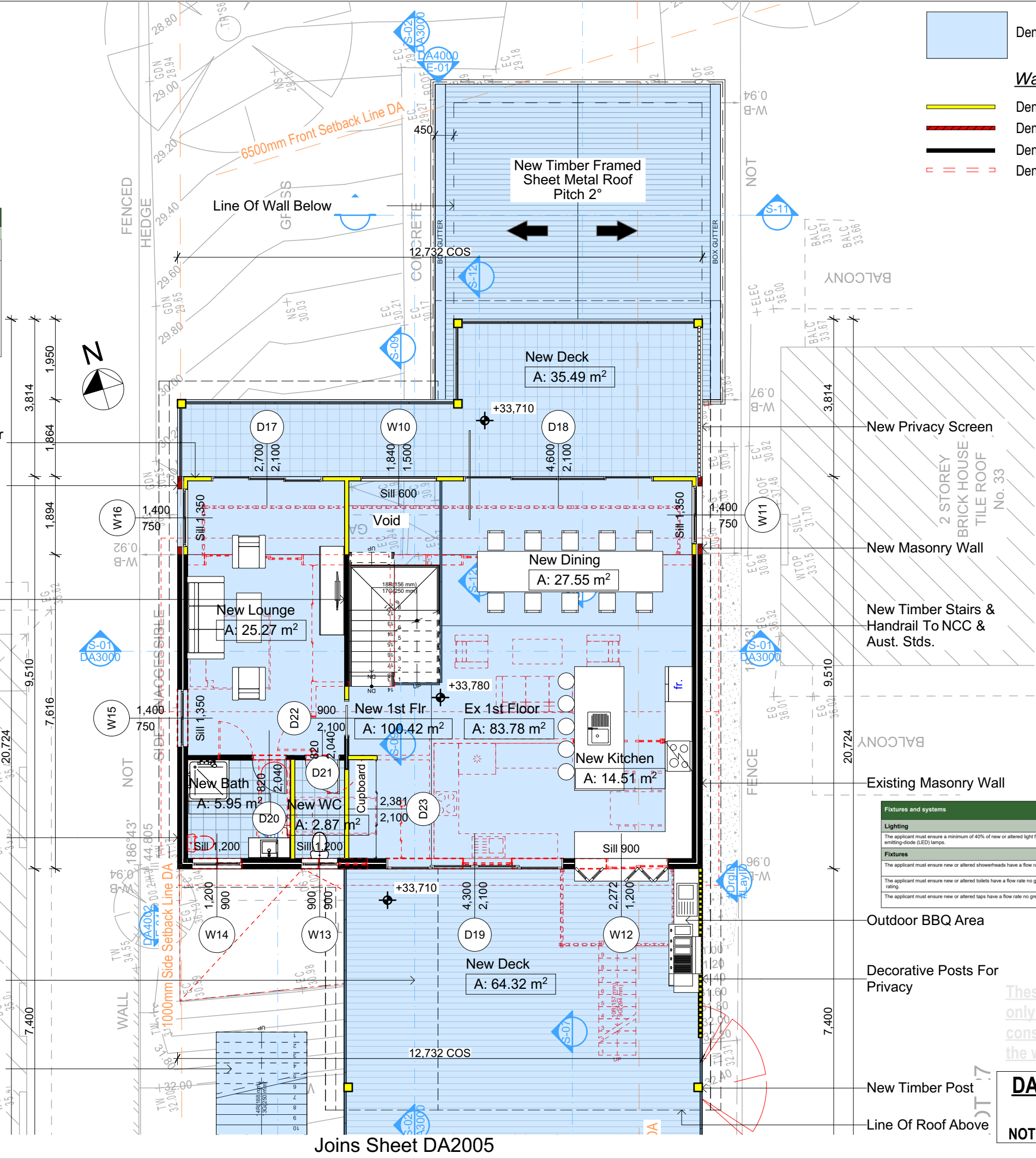
1

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
suspended floor with enclosed subfloor: framed (R0.7)	R0.60 (down) (or R1.30 including construction)	N/A
floor above existing dwelling or building	nil	N/A
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibre, metal clad)	R1.30 (or R1.70 including construction)	
ceiling: R1.58 (up), roof: foil backed blanket (75 mm)		medium (solar absorptance 0.475 - 0.70)

Construction	Additional insulation required (R-value)	Other specifications
suspended floor with enclosed subfloor: framed (R0.7)	R0.60 (down) (or R1.30 including construction)	N/A
floor above existing dwelling or building	nil	N/A
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibre, metal clad)	R1.30 (or R1.70 including construction)	
ceiling: R1.58 (up), roof: foil backed blanket (75 mm)		medium (solar absorptance 0.475 - 0.70)

1

FIRST FLOOR
1:100



Fixtures and systems	
Lighting	
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	
Fixtures	
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.	
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.	
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

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Building Design and Architectural Drafting

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bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

bdaa
ACCREDITED
BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes unless issued by the Designer for construction.

NOTES
31 Walworth Avenue Newport is zoned R2 Low Density Res.
31 Walworth Avenue Newport is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate.
New Works to be constructed shown in Shaded Blue.
Construction
Timber Framed Floor, Masonry & Cladded Walls R1.7
Roof Sheet Metal to have R1.58 insulation
Insulation to External Masonry & Cladded Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of an authorized Construction Certificate drawings by Rapid Plans.

Basic Certificate Number A1777686
All Plans to be read in conjunction with Basic Certificate.
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gorgola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	654m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	3.5m@ 45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m2)	50%	Yes
Maximum cut into gnd (m)	1.8m	Yes
Maximum depth of fill (m)	1.4m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 16/12/2024
Project NO: RP-1024MIT
Project Status DA

Client Olivia & Luke Mitchell

Site: 31 Walworth Avenue Newport

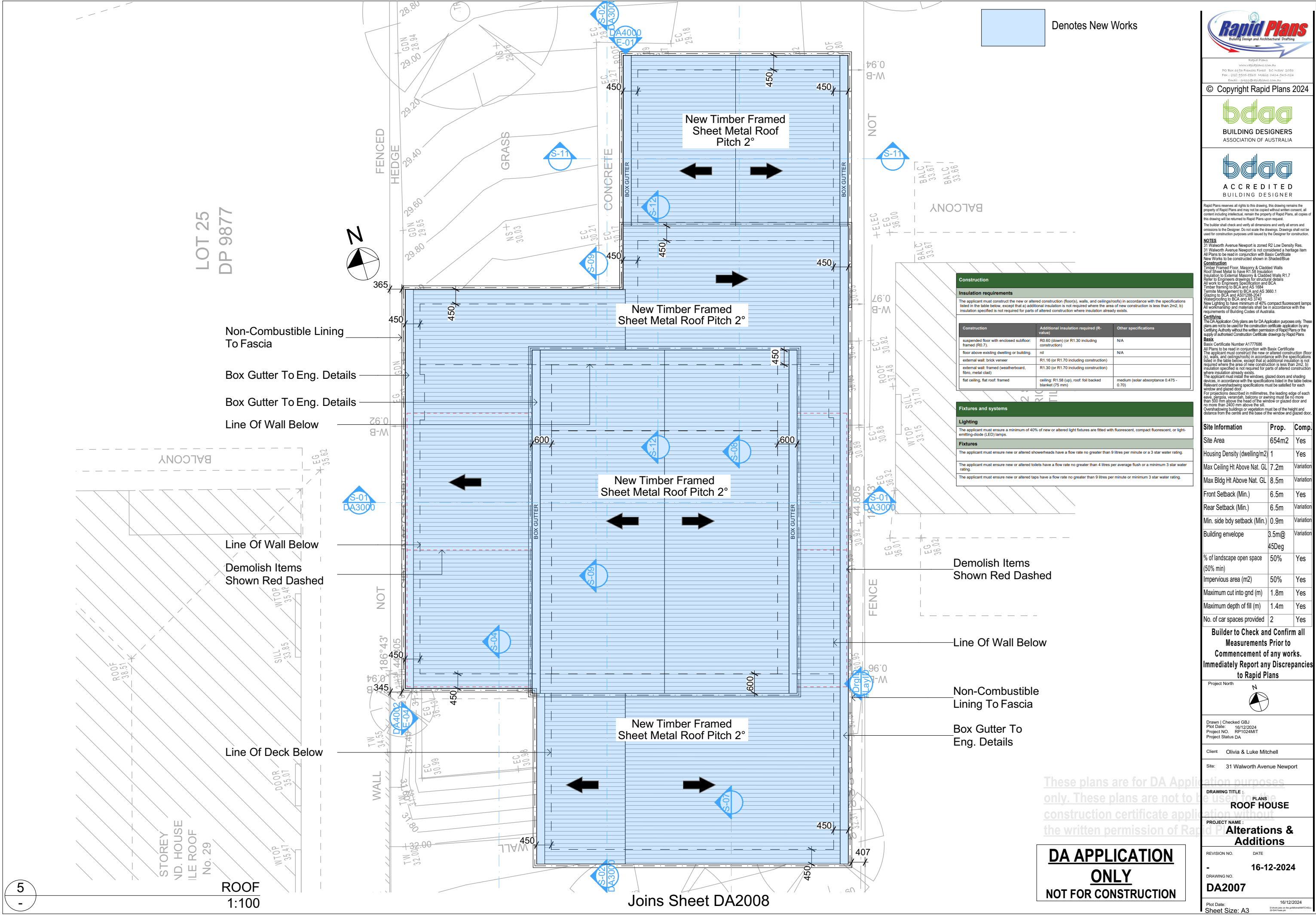
DRAWING TITLE: PLANS
FIRST FLOOR NORTH

PROJECT NAME: Alterations & Additions

REVISION NO. DATE
- 16-12-2024

DRAWING NO. DA2004

Plot Date: 16/12/2024
Sheet Size: A3



Joins Sheet DA2007

Demolish Items
Shown Red Dashed

Line Of Deck Below

Demolish Items
Shown Red Dashed

Denotes New Works

Line Of Wall Below

Non-Combustible
Lining To Fascia

Box Gutter To
Eng. Details

New Timber Framed
Sheet Metal Roof Pitch 2°

LOT 26
DP 9877
651.3m²
(STATED BY DP 9877)
654.0m²
(BY CALCULATION)

New Timber
Framed Sheet
Metal Roof Pitch 2°

LOT 27
DP 9877

LOT 1
DP 1009503

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
suspended floor with enclosed subfloor: framed (R0.7)	R0.60 (down) (or R1.30 including construction)	N/A
floor above existing dwelling or building	nil	N/A
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibre, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R1.58 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)


Fixtures and systems		
Lighting		
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		
Fixtures		
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		



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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

31 Walworth Avenue Newport is zoned R2 Low Density Res.

31 Walworth Avenue Newport is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in ShadedBlue

Construction

Timber Framed Floor, Masonry & Cladded Walls

Roof Sheet Metal to have R1.58 insulation

Insulation to External Masonry & Cladded Walls R1.7

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1884

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a authorised Construction Certificate drawings by Rapid Plans

Basic

Basic Certificate Number A1777686

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gorgola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	654m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	3.5m@ 45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m ²)	50%	Yes
Maximum cut into gnd (m)	1.8m	Yes
Maximum depth of fill (m)	1.4m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ
Plot Date: 16/12/2024
Project NO.: RP1024MIT
Project Status DA

Client Olivia & Luke Mitchell

Site: 31 Walworth Avenue Newport

DRAWING TITLE: **PLANS
ROOF CABANA**

PROJECT NAME: **Alterations & Additions**

REVISION NO.	DATE
-	16-12-2024

DRAWING NO. **DA2008**

Plot Date: 16/12/2024
Sheet Size: A3



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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Basic Certificate Number AT177666

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (fl/s), walls and ceilings/roofs) in accordance with the specifications listed in the table below except that a) additional insulation is not required where the area of new construction is less than 2m²; b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the new windows, glazed doors and shading devices in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of eave, pergola, verandah, balcony or awning must be no more than 100 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door

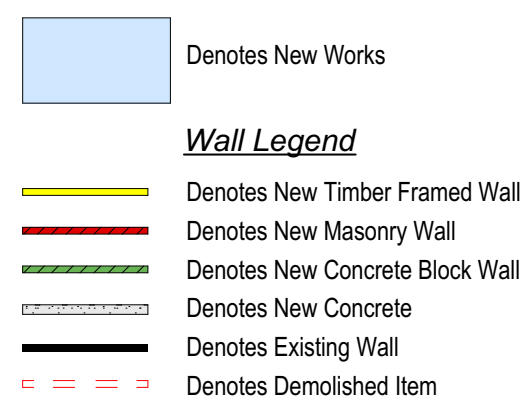
Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

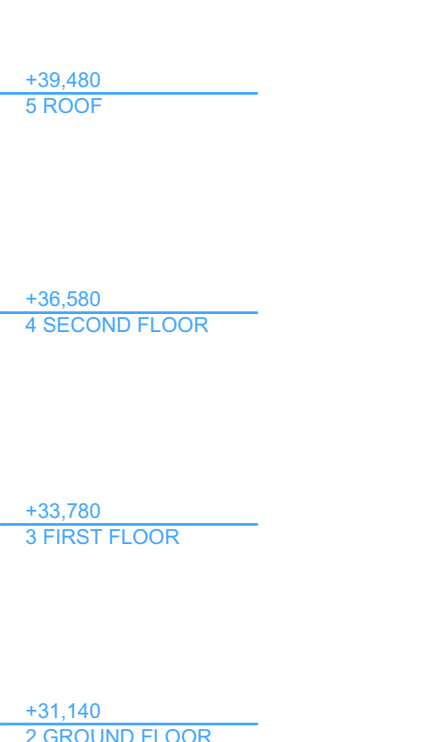


Site: 31 Walworth Avenue Newport

PROJECT NAME : **Alterations & Additions**

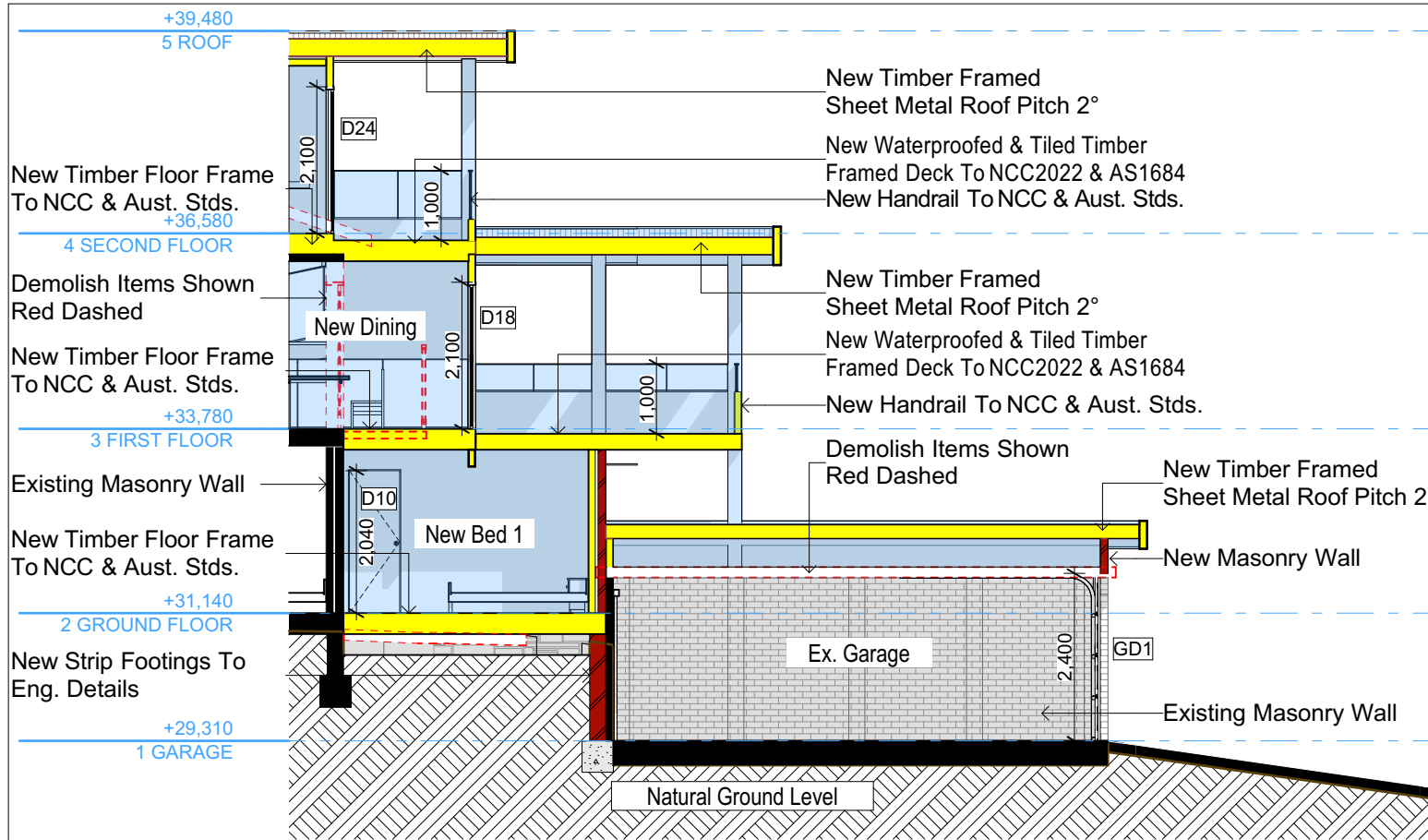
Plot Date: 16/12/2024
 Chest Size: A2 D:\Archi\jobs on the go\MSA\ref\MSRC



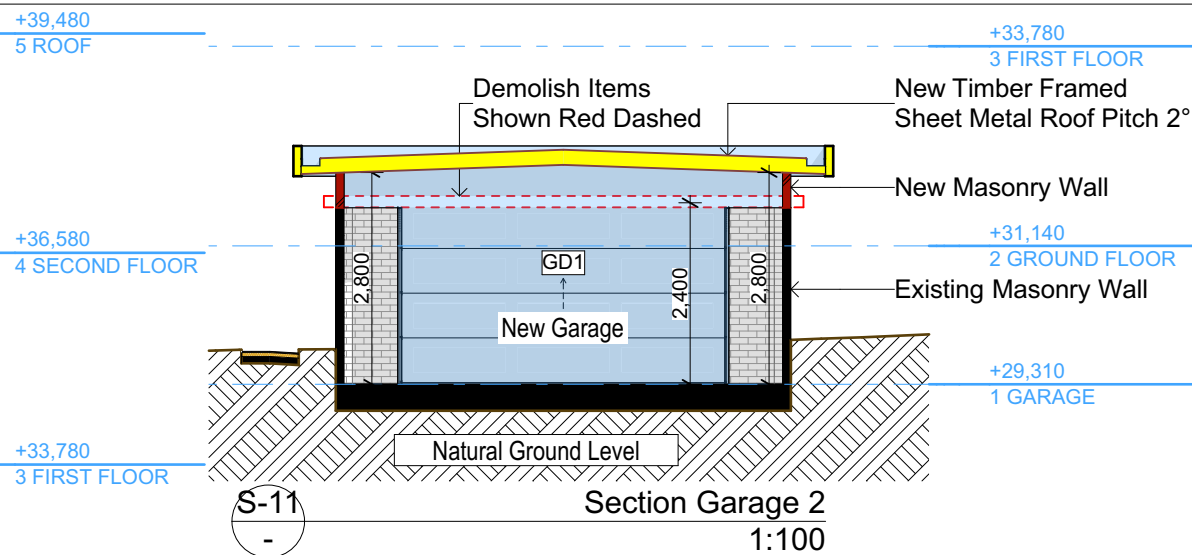
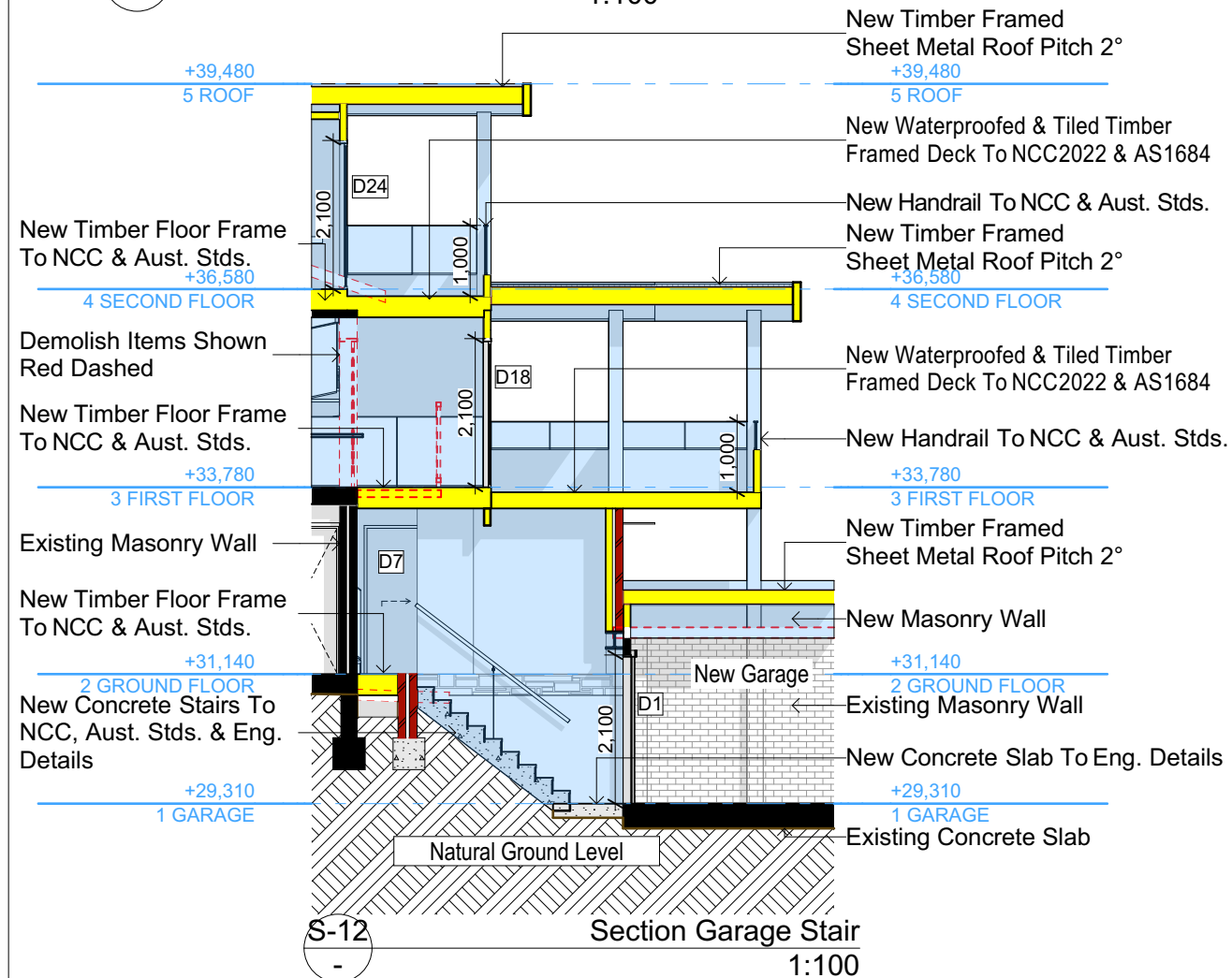


<u>DA APPLICATION</u> <u>ONLY</u> NOT FOR CONSTRUCTION	Additions	
	REVISION NO.	DATE
	-	16-12-20
	DRAWING NO.	
	DA3000	
	Plot Date:	16/
	City:	16/

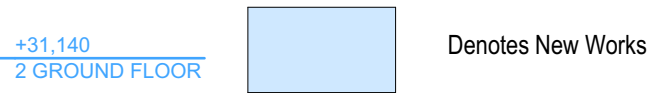
DA APPLICATION
ONLY
NOT FOR CONSTRUCTION



S-08
Section Garage 1
1:100

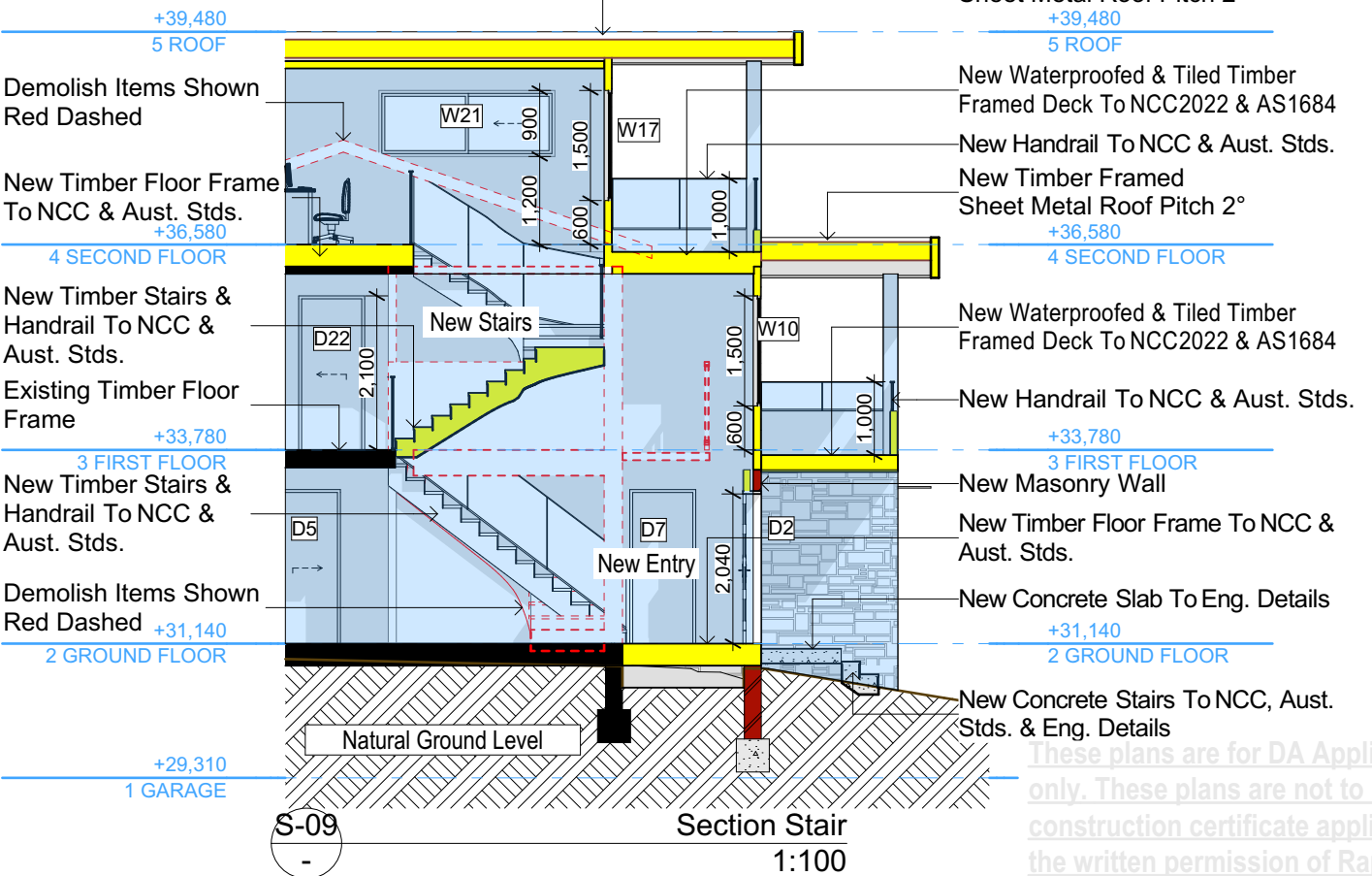


S-11
Section Garage 2
1:100



- Wall Legend**
- Denotes New Timber Framed Wall
 - Denotes New Masonry Wall
 - Denotes New Concrete Block Wall
 - Denotes Existing Wall
 - Denotes Demolished Item

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floors), walls, and ceilings/roofs in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
suspended floor with enclosed subfloor-framed (R0.7)	R0.60 (down) (or R1.30 including construction)	N/A
floor above existing dwelling or building	nil	N/A
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R1.58 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)



S-09
Section Stair
1:100

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Building Design and Architectural Drafting

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NOTES

31 Walworth Avenue Newport is zoned R2 Low Density Res. 31 Walworth Avenue Newport is not considered a heritage item.

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.

Construction

Timber Framed Floor, Masonry & Cladded Walls

Roof Sheet Metal to have R1.70 insulation

Insulation to External Masonry & Cladded Walls R1.7

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1288-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying

The DA Application only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Carrying Authority without the written permission of Rapid Plans or the supply of a written Construction Certificate drawings by Rapid Plans.

Basic

Basic Certificate Number A177686

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gorgola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	654m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	3.5m@ 45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m ²)	50%	Yes
Maximum cut into gnd (m)	1.8m	Yes
Maximum depth of fill (m)	1.4m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 16/12/2024
Project NO: RP1024MIT
Project Status DA

Client: Olivia & Luke Mitchell

Site: 31 Walworth Avenue Newport

DRAWING TITLE: SECTIONS SECTION 2

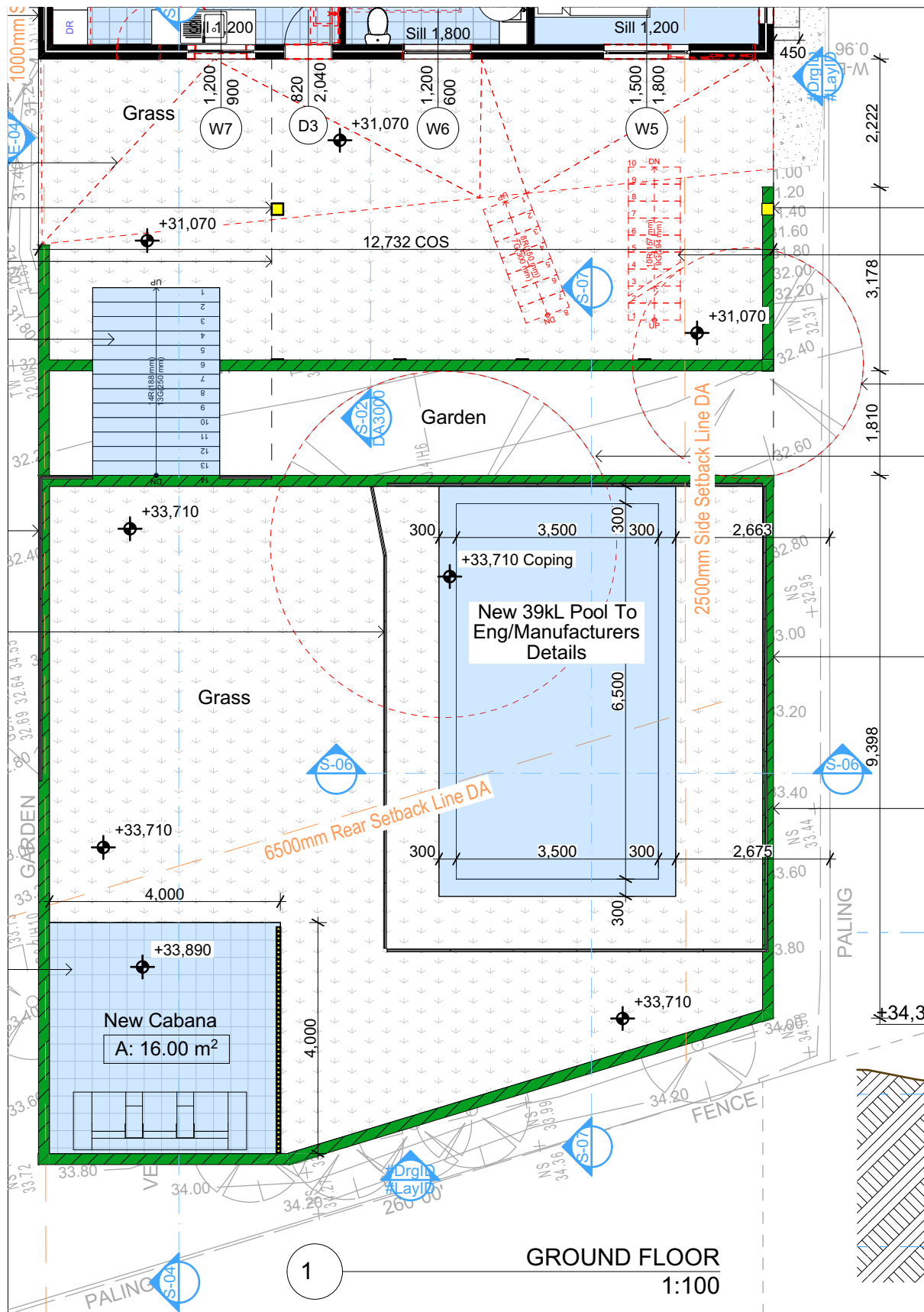
PROJECT NAME: Alterations & Additions

REVISION NO. DATE

- 16-12-2024

DRAWING NO. DA3001

Plot Date: 16/12/2024
Sheet Size: A3



DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
31 Walworth Avenue Newport is zoned R2 Low Density Res.
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
31 Walworth Avenue Newport is not considered a heritage item

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Timber Framed Floor, Masonry & Cladded Walls
Roof Sheet Metal to have R1.58 Insulation
Insulation to External Masonry & Cladded Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

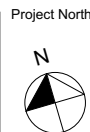
Basix
Basix Certificate Number A1777686
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,



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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status

GBJ
16/12/2024
RP1024MIT
DA
Client
Site:
Olivia & Luke Mitchell
31 Walworth Avenue Newport

Sheet Size: A3

DRAWING TITLE :

SECTIONS
SECTION POOL

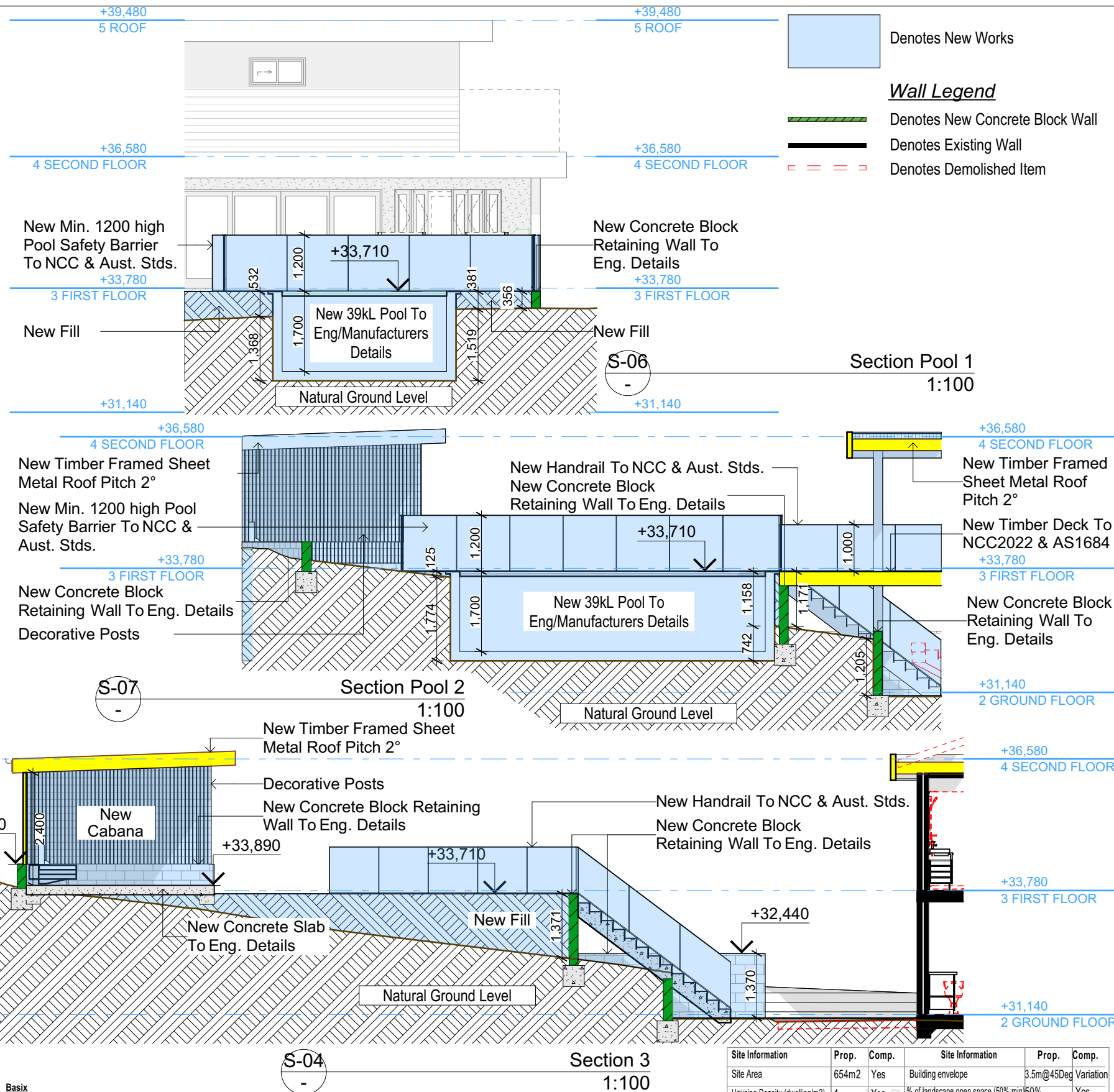
PROJECT NAME :

Alterations & Additions

REVISION NO.

DATE:
16-12-2024
DRAWING NO.
DA3002

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	654m2	Yes	Building envelope	3.5m@45Deg	Variation
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (50% min)	50%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m2)	50%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	1.8m	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	1.4m	Yes
Rear Setback (Min.)	6.5m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			



New Timber Framed
Sheet Metal Roof Pitch 2°
+39,480
5 ROOF

New Handrail To
NCC & Aust. Stds.

Demolish Items
Shown Red Dashed
+36,580
4 SECOND FLOOR

New Timber Post

New Handrail To
NCC & Aust. Stds.
+33,780
3 FIRST FLOOR

Building Envelope
New Timber Framed
Sheet Metal Roof Pitch 2°
New Masonry Wall
+31,140
2 GROUND FLOOR
Existing Masonry Wall
+29,310
1 GARAGE

Max Building Height 8500 Above GL

Max Ceiling Height 7200 Above GL

+39,480
5 ROOF

New Cladded 90mm
Timber Framed Wall
New Timber Post

Demolish Items
Shown Red Dashed
+36,580
4 SECOND FLOOR

New Timber Framed
Sheet Metal Roof
Pitch 2°

New Timber Post

+33,780
3 FIRST FLOOR

Building Envelope

New Masonry Wall
+31,140
2 GROUND FLOOR
New Concrete Stairs
To NCC, Aust. Stds.
& Eng. Details
+29,310
1 GARAGE

Natural Ground Level

E-01

North
1:100

+39,480
5 ROOF

Demolish Items
Shown Red Dashed

New Cladded 90mm
Timber Framed Wall

+36,580
4 SECOND FLOOR
New Timber Framed Sheet
Metal Roof Pitch 2°

Decorative Posts

Building Envelope

+33,780
3 FIRST FLOOR

New Concrete Block
Retaining Wall To Eng. Details
Block In Window To Match
Existing

Max Building Height 8500 Above GL

Max Ceiling Height 7200 Above GL

+39,480
5 ROOF

New Timber Framed Sheet
Metal Roof Pitch 2°
Demolish Items Shown
Red Dashed
New Timber Framed Sheet
Metal Roof Pitch 2°
+36,580
4 SECOND FLOOR

New Timber Post

Existing Masonry Wall
Servery Window

+33,780
3 FIRST FLOOR

New Concrete Block Retaining
Wall To Eng. Details

Building Envelope

Natural Ground Level

E-03

South
1:100

Denotes New Works


Legend

Denotes Existing Item
Denotes Demolished Item

Glazing requirements						
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.						
The following requirements must also be satisfied in relation to each window and glazed door:						
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or torched/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.						
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.						
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.						
Glazing requirements						
Windows and glazed doors glazing requirements						
Window/door number	Orientation	Area of glass including frame (m ²)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
W1	N	4.76	0	0	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 6.44, SHGC: 0.46)
W2	E	1.62	3.66	1.9	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	E	1.98	3.66	1.9	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	E	1.98	0	0	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W5	S	2.7	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
Glazing requirements						
Window/door number	Orientation	Area of glass including frame (m ²)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
W6	S	0.72	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W7	S	1.08	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W8	W	2.16	3.28	3.06	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W9	W	1.05	0	0	eave/ verandah/ pergola/balcony >=450 mm	aluminium, single low-e, (U-value: 5.6, SHGC: 0.38)
W10	N	2.76	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)


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DA APPLICATION ONLY
NOT FOR CONSTRUCTION




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Building Design and Architectural Drafting

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bdca
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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

31 Walworth Avenue Newport is zoned R2 Low Density Res.

31 Walworth Avenue Newport is not considered a heritage item.

All Plans to be read in conjunction with Basic Certificate.

New Works to be constructed shown in ShadedBlue.

Construction

Timber Framed Floor, Masonry & Cladded Walls

Roof Sheet Metal to have insulation to External Masonry & Cladded Walls R1.7

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1884

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1288-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Carrying Authority without the written permission of Rapid Plans or the supply of an authorised Construction Certificate drawings by Rapid Plans.

Basic Certificate Number A1777686

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	654m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	3.5m@ 45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m ²)	50%	Yes
Maximum cut into gnd (m)	1.8m	Yes
Maximum depth of fill (m)	1.4m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ
Plot Date: 16/12/2024
Project NO.: RP1024MIT
Project Status DA

Client Olivia & Luke Mitchell

Site: 31 Walworth Avenue Newport

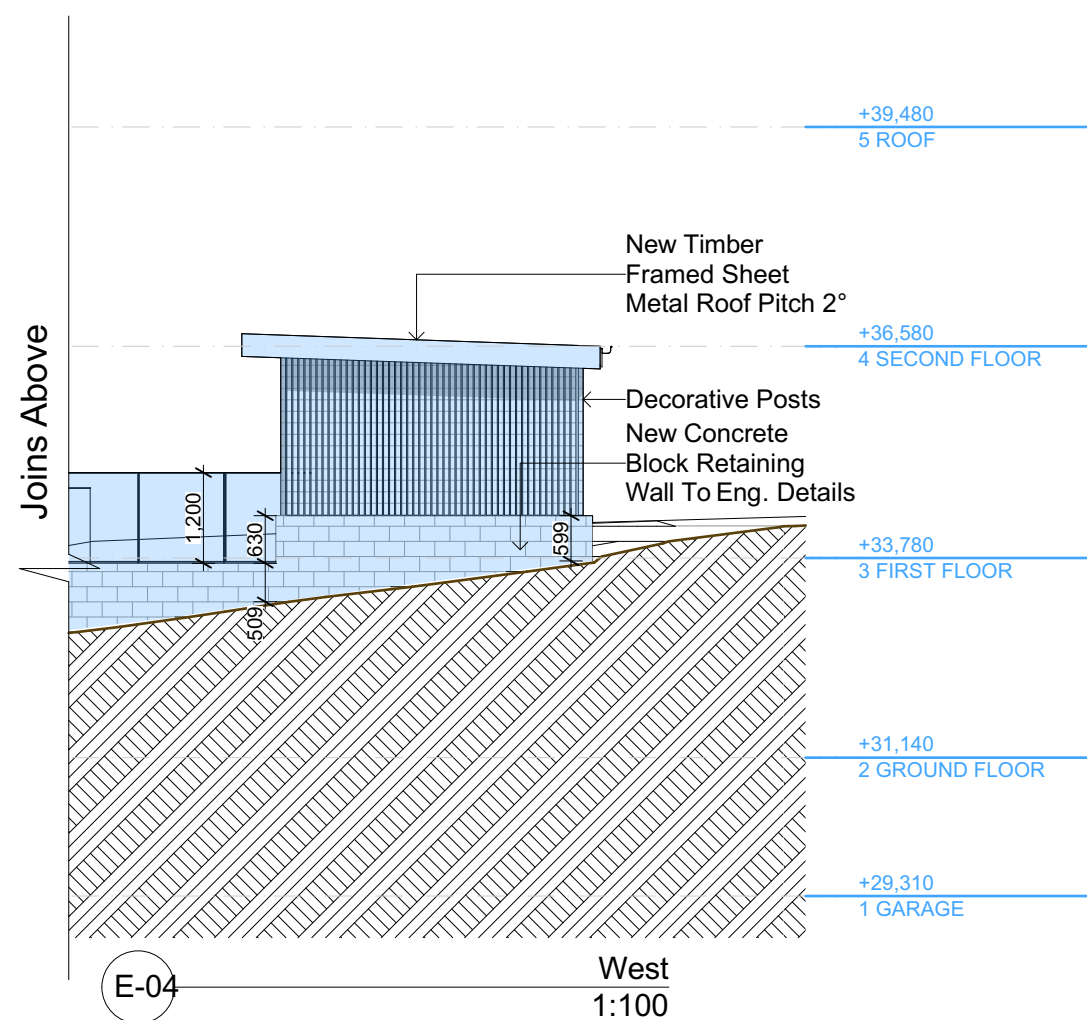
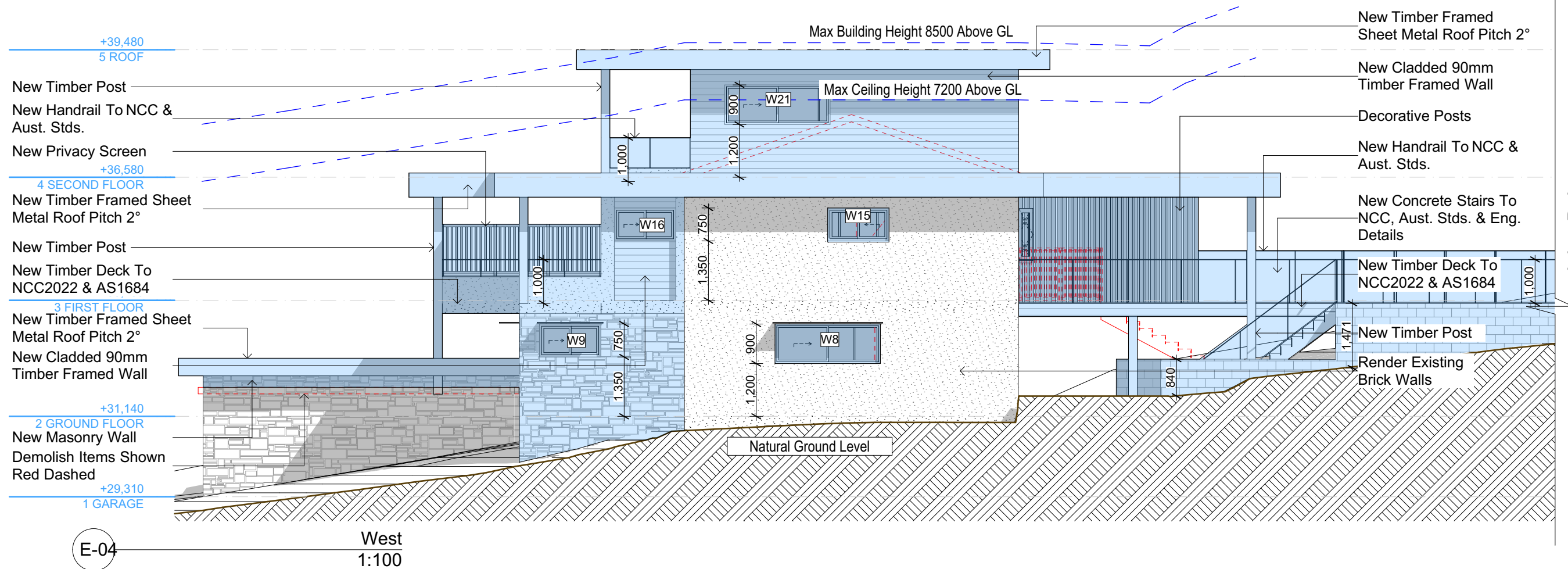
DRAWING TITLE : ELEVATIONS
ELEVATIONS 1


PROJECT NAME :
Alterations & Additions

REVISION NO. DATE
- 16-12-2024


DRAWING NO.
DA4000


Plot Date: 16/12/2024
Sheet Size: A3



 Denotes New Works

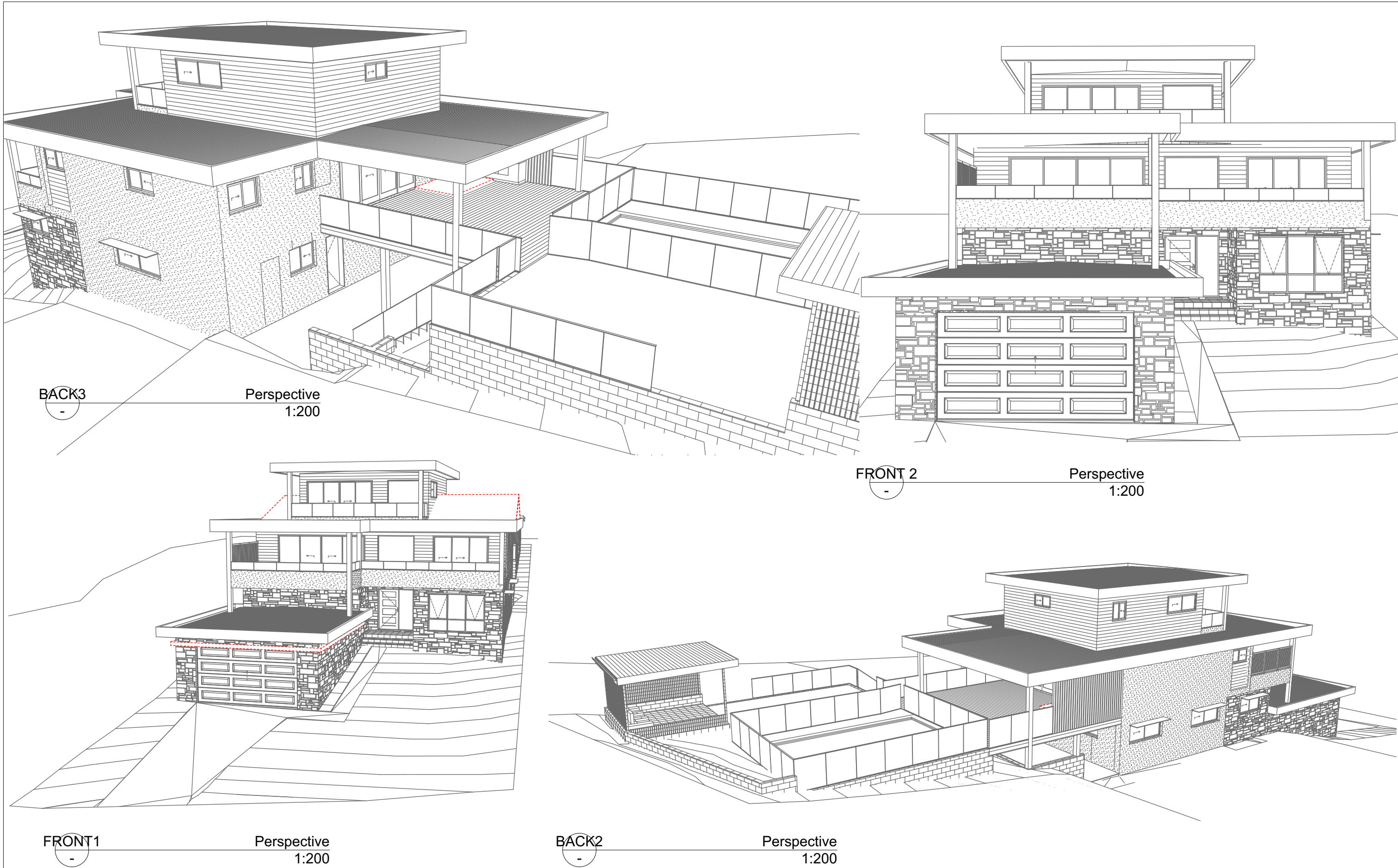
Legend

 Denotes Existing Item

 Denotes Demolished Item

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

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The builder shall check and verify all dimensions and verify at errors and omissions to the Designer. Do not scale drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.		
NOTES 31 Walworth Avenue Newport is zoned R2 Low Density Res. 31 Walworth Avenue Newport is not considered a heritage item All Plans to be read in conjunction with Basic Certificate New Works to be constructed in, Shaded/Blue Construction Timber Framed Floor, Masonry & Cladded Walls Roof Sheet Metal Roofing R15.8 Insulation Not insulation to External Masonry & Cladded Walls R1.7 Refer to Engineers drawings for structural details. All work to Engineers Specification and BCA Timber framing to BCA and AS 1684 Termite Management to BCA and AS 3660.1 Glazing to BCA and AS10286-2017 Waterproofing to BCA and AS 3740 New Lighting to have minimum of 40% compact fluorescent lamps All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.		
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certification application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans Basic Basic Certificate Number A1777686 This plan is not to be read in conjunction with Basic Certificate The applicant must include the new or altered construction (floor slabs, walls and ceilings) in accordance with the specifications listed in the table below, except that if additional insulation is not required where the area of new construction is less than 2m ² , it is included specified is not required for parts of altered construction where insulation already exists. The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overhead spanning specifications must be satisfied for each window and glazed door. For projections described in millimetres, the leading edge of each eave, parapet, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and to more than 2400 mm above the sill. Overhead spanning structures or vegetation must be of the height and distance from the centre and the base of the window and glazed door.		
Site Information	Prop.	Comp.
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Rear Setback (Min.)	6.5m	Variation
Min. side by setback (Min.)	0.9m	Variation
Building envelope	3.5m@ 45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m ²)	50%	Yes
Maximum cut into grd (m)	1.8m	Yes
Maximum depth of fill (m)	1.4m	Yes
No. of car spaces provided	2	Yes
Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans		
Project North 		
Drawn / Checked GBJ Plot Date: 16/12/2024 Project NO.: N1024AMT Project Status DA		
Client	Olivia & Luke Mitchell	
Site:	31 Walworth Avenue Newport	
DRAWING TITLE : ELEVATIONS ELEVATIONS 3		
PROJECT NAME : Alterations & Additions		
REVISION NO.	DATE	
-	16-12-2024	
DRAWING NO. DA4002		
Plot Date:	16/12/2024	
Sheet Size:	A3	



Denotes Wide Roof Fascia (Typical).
Owner To Confirm Type & Colour



Denotes Sheet Metal Roof (Typical).
Owner To Confirm Type & Colour

Denotes Cladded Wall (Typical).
Owner To Confirm Type & Colour



Denotes Pool & Safety Barrier (Typical).
Owner To Confirm Type & Colour

Denotes Stone Faced Wall (Typical).
Owner To Confirm Type & Colour



Denotes Alloy Windows & Doors (Typical).
Owner To Confirm Type & Colour



Denotes Tiled Deck (Typical).
Owner To Confirm Type & Colour

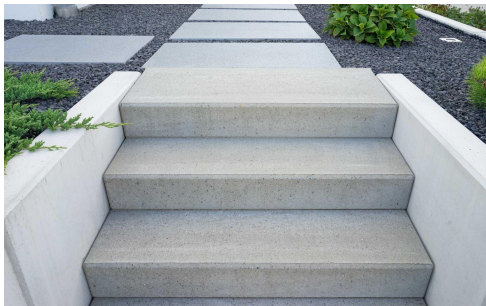
Denotes Render To Existing Wall (Typical).
Owner To Confirm Type & Colour



Denotes Garage Door (Typical).
Owner To Confirm Type & Colour



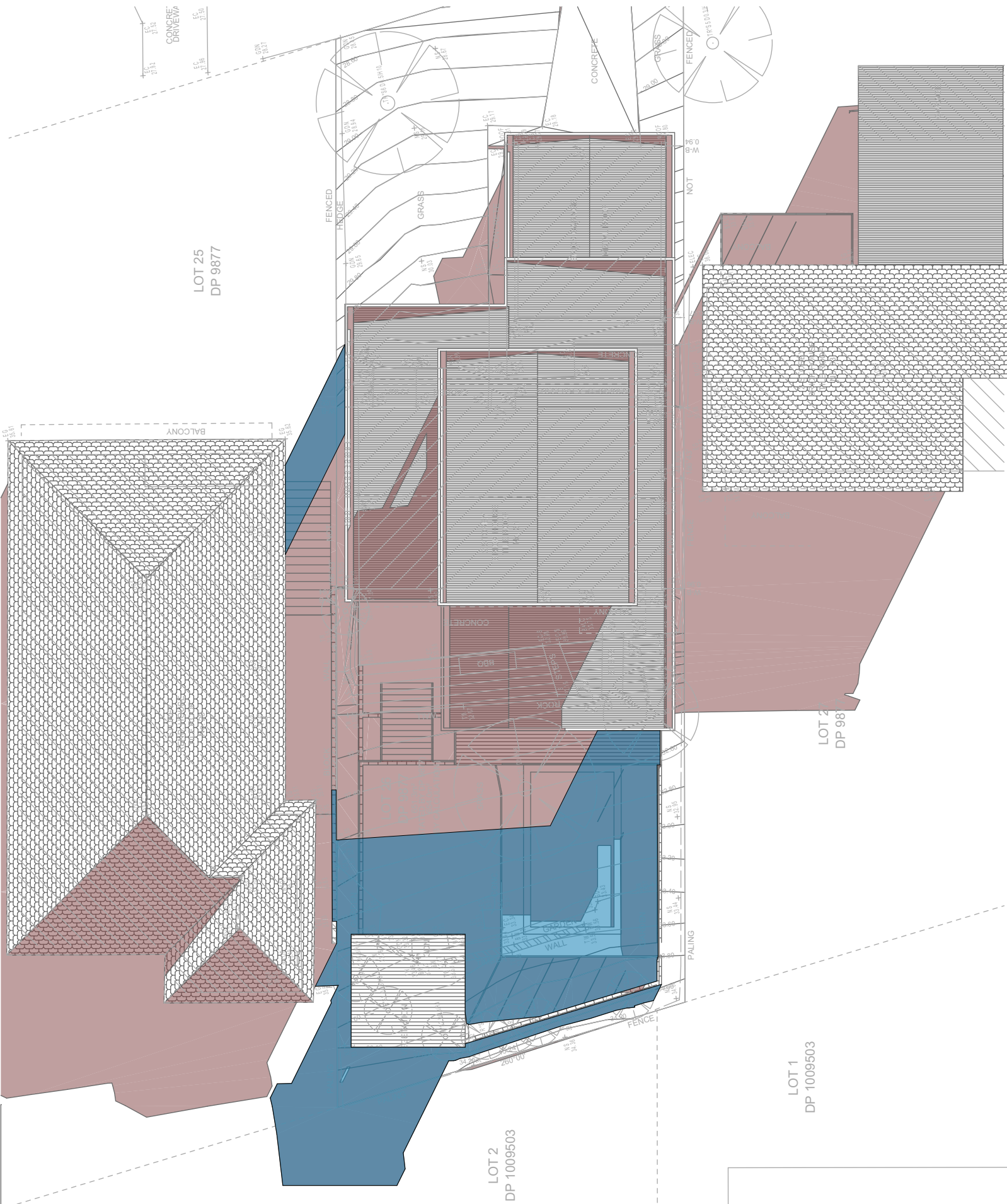
Denotes Block Wall (Typical).
Owner To Confirm Type & Colour



Denotes Concrete Stair (Typical).
Owner To Confirm Type & Colour

01
-

Shadow 21st June 9am
1:200



Denotes Proposed Shadow



Denotes Existing Shadow



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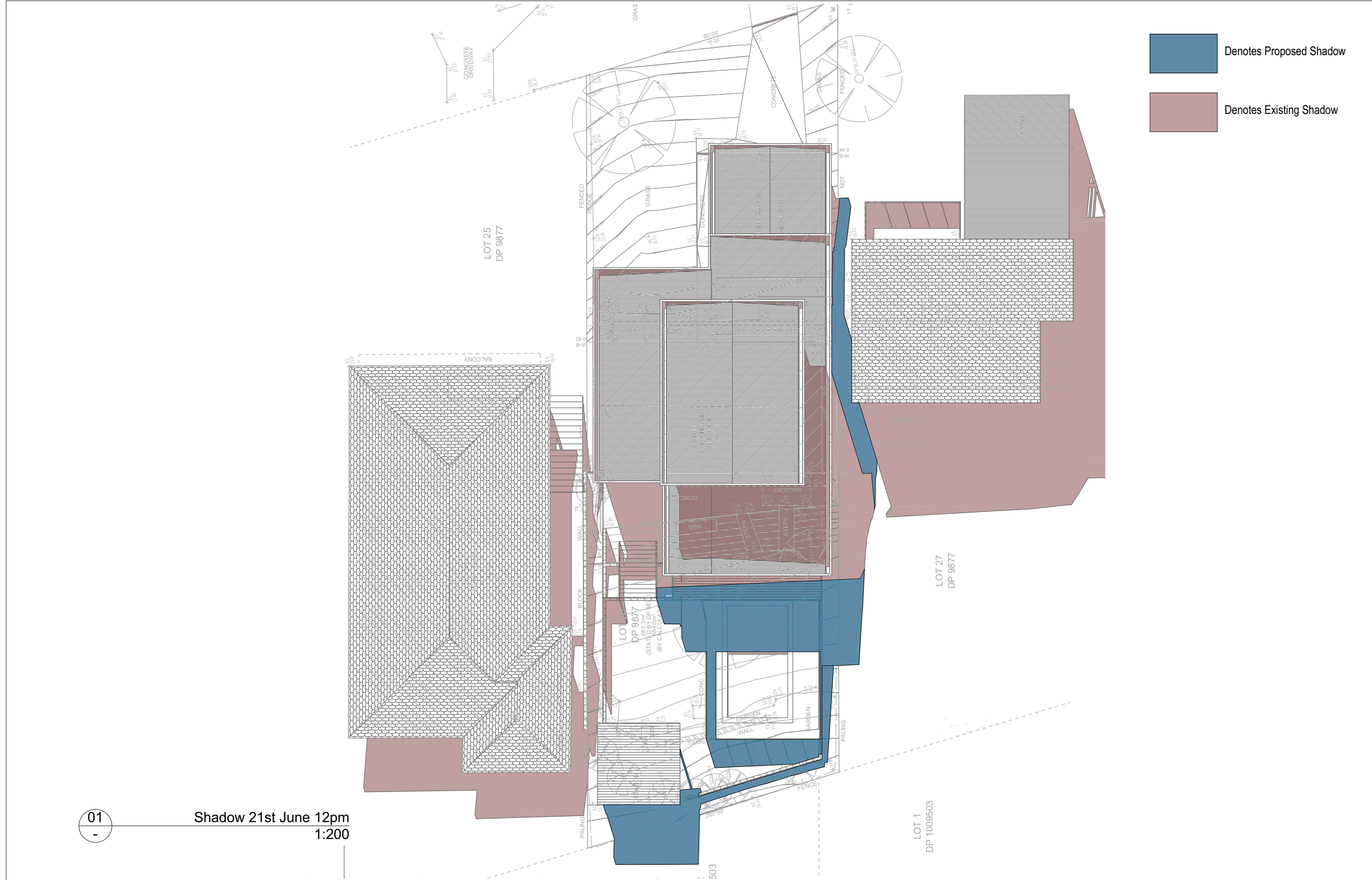
Checked
Plot Date:
Project NO.
Project Status

GBJ
16/12/2024
RP1024MIT
DA
Client
Site:
Olivia & Luke Mitchell
31 Walworth Avenue Newport

Sheet Size: A3

DRAWING TITLE : SHADOW PLANS
SHADOW PLAN 21st June
9am
PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE:
16-12-2024
DRAWING NO.
DA5002



Denotes Proposed Shadow



Denotes Existing Shadow

01
-

Shadow 21st June 12pm
1:200



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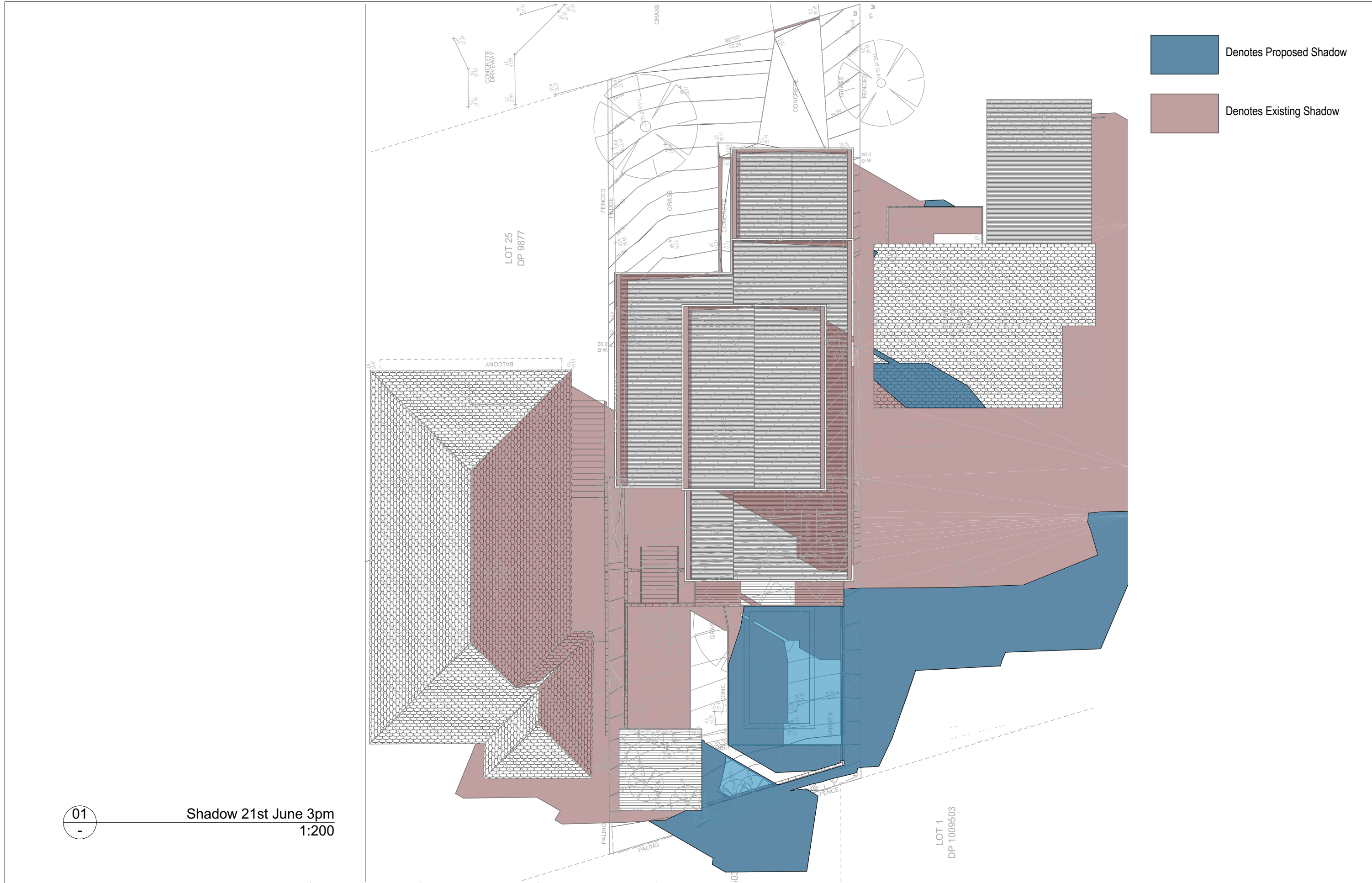
Checked
Plot Date:
Project NO.
Project Status

GBJ
16/12/2024
RP1024MIT
DA
Client
Site:
Olivia & Luke Mitchell
31 Walworth Avenue Newport

Sheet Size: A3

DRAWING TITLE : SHADOW PLANS
SHADOW PLAN 21st June
12pm
PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE:
16-12-2024
DRAWING NO.
DA5003

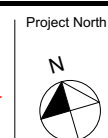


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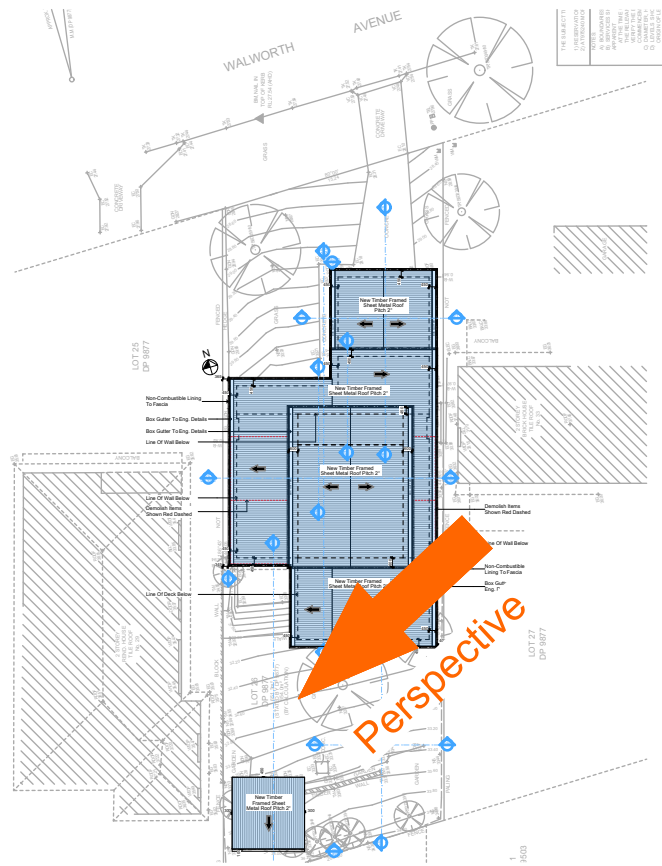
Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



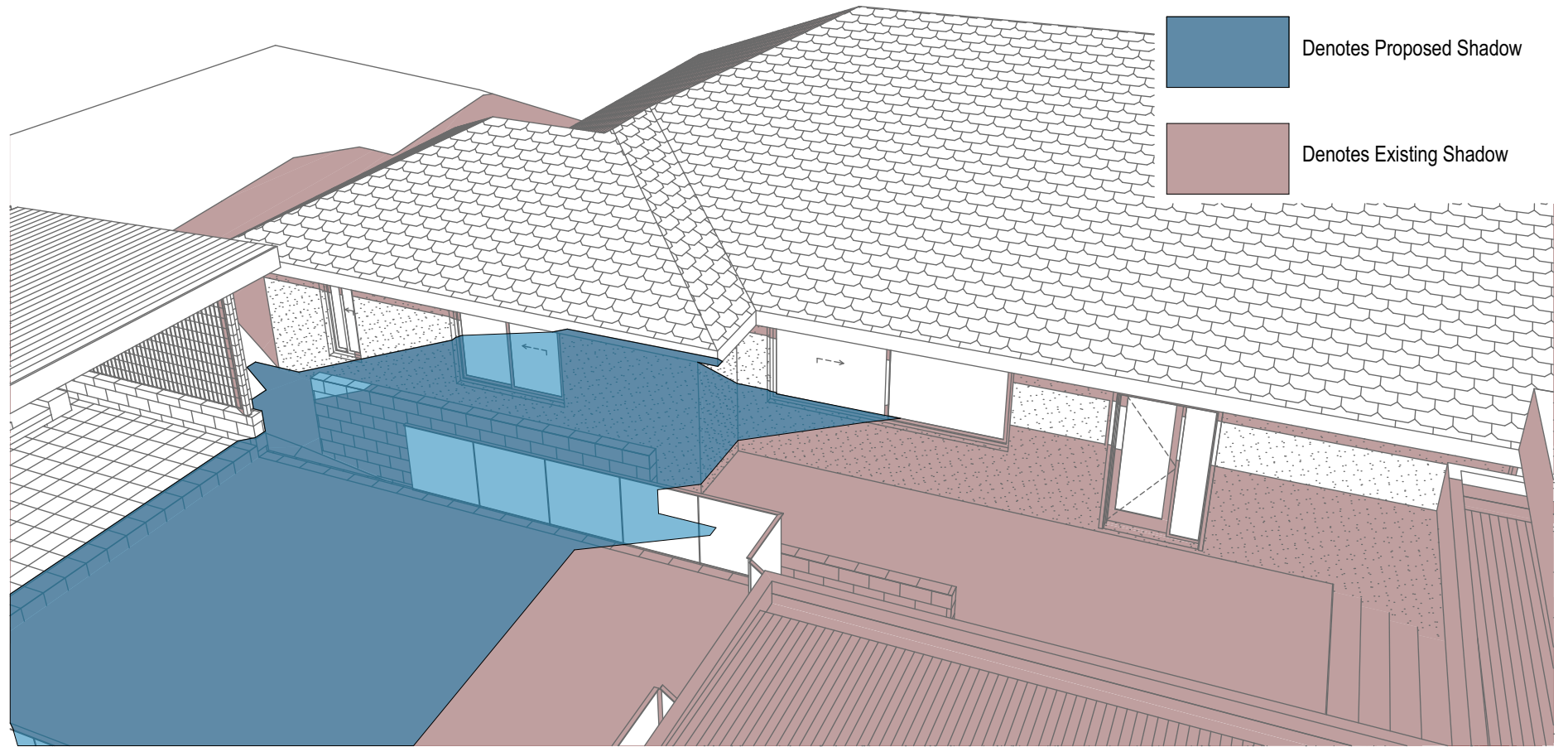
Checked
Plot Date: 16/12/2024
Project NO: RP1024MIT
Project Status: DA
Client: Olivia & Luke Mitchell
Site: 31 Walworth Avenue Newport
Sheet Size: A3

DRAWING TITLE : SHADOW PLANS
SHADOW PLAN 21st June 3pm
PROJECT NAME : **Alterations & Additions**

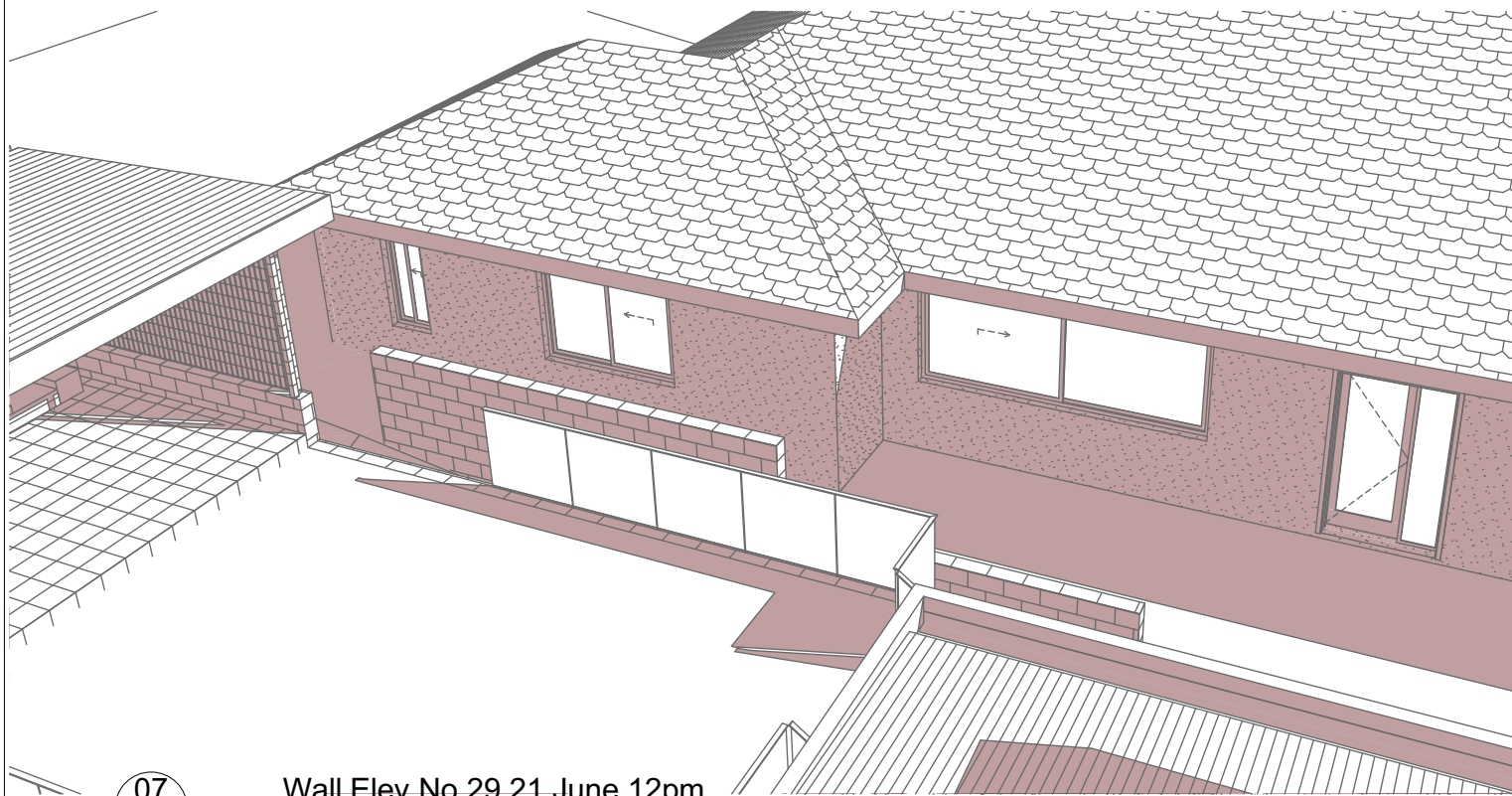
REVISION NO.
-
DATE: **16-12-2024**
DRAWING NO.
DA5004



5
-
ROOF
1:500



07
-
Wall Elev No.29 21 June 9am
1:200



07
-
Wall Elev No.29 21 June 12pm
1:200



07
-
Wall Elev No.29 21 June 3pm
1:200

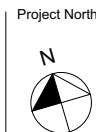


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Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status

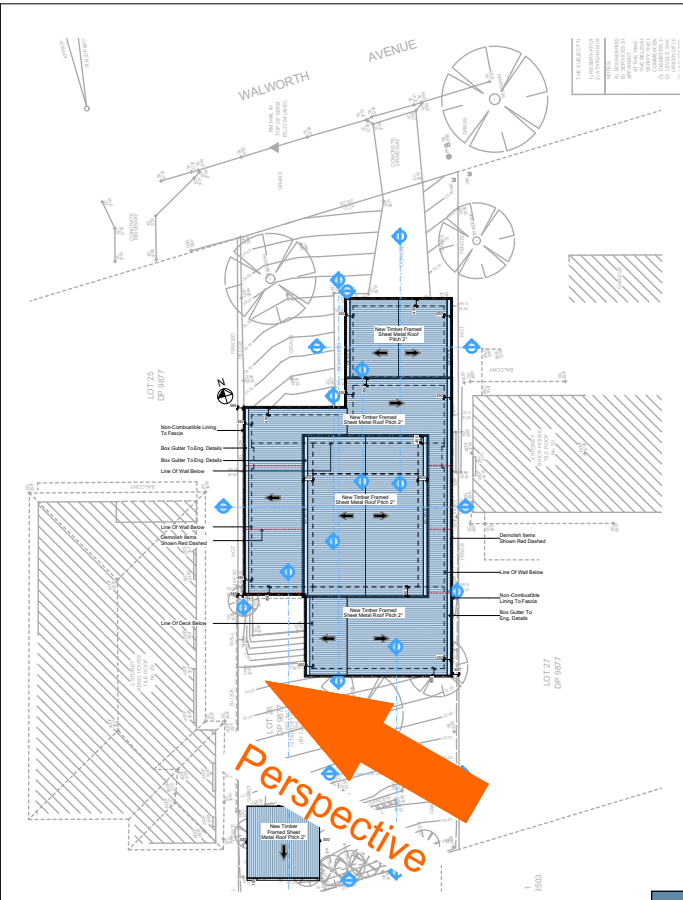
GBJ
16/12/2024
RP1024MIT
DA

Client
Site:
Olivia & Luke Mitchell
31 Walworth Avenue Newport

Sheet Size: A3

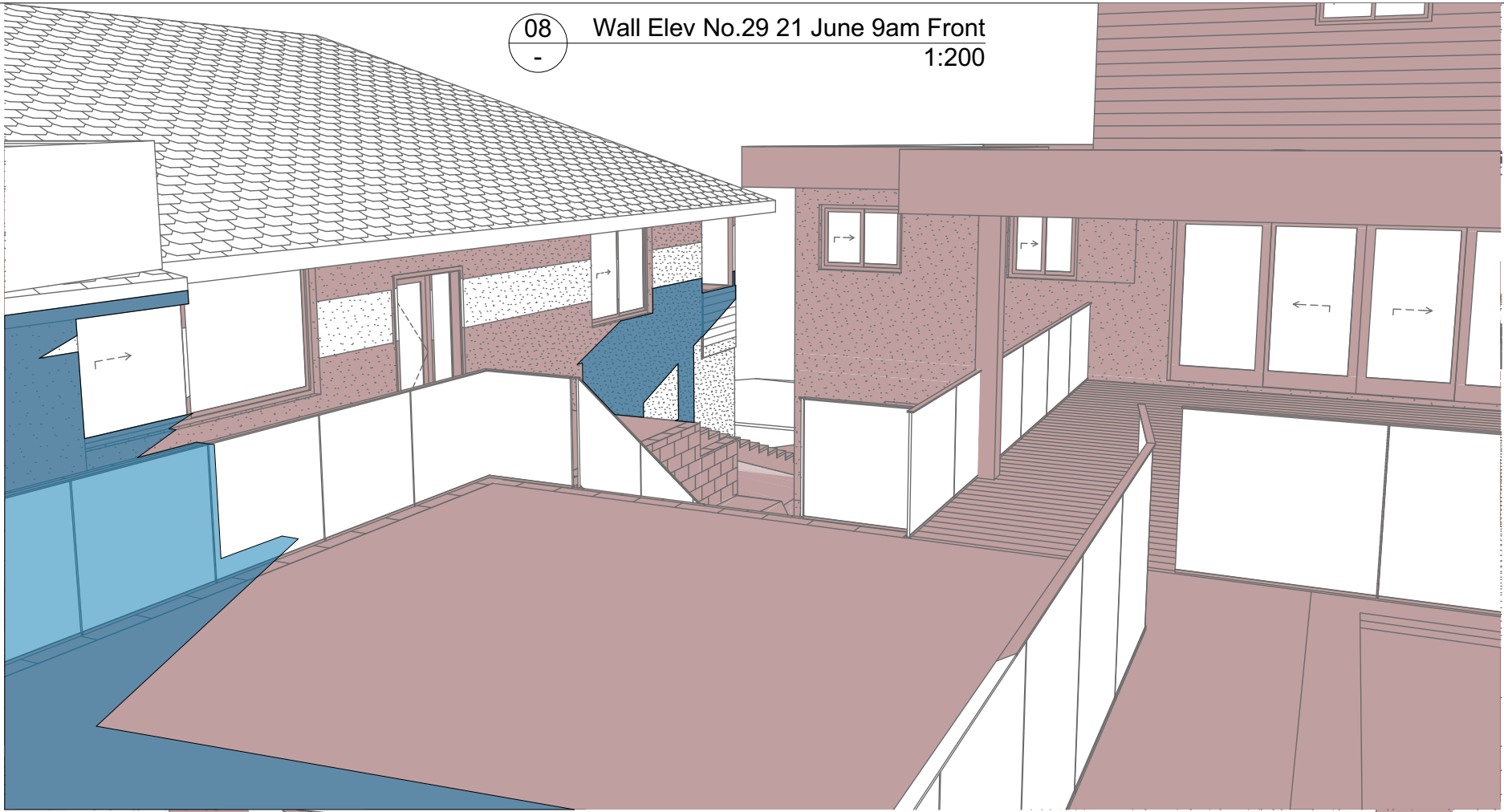
DRAWING TITLE : SHADOW PLANS
WALL ELEVATION
SHADOWS No.29 REAR
PROJECT NAME : Alterations & Additions

REVISION NO.
-
DATE:
16-12-2024
DRAWING NO.
DA5005

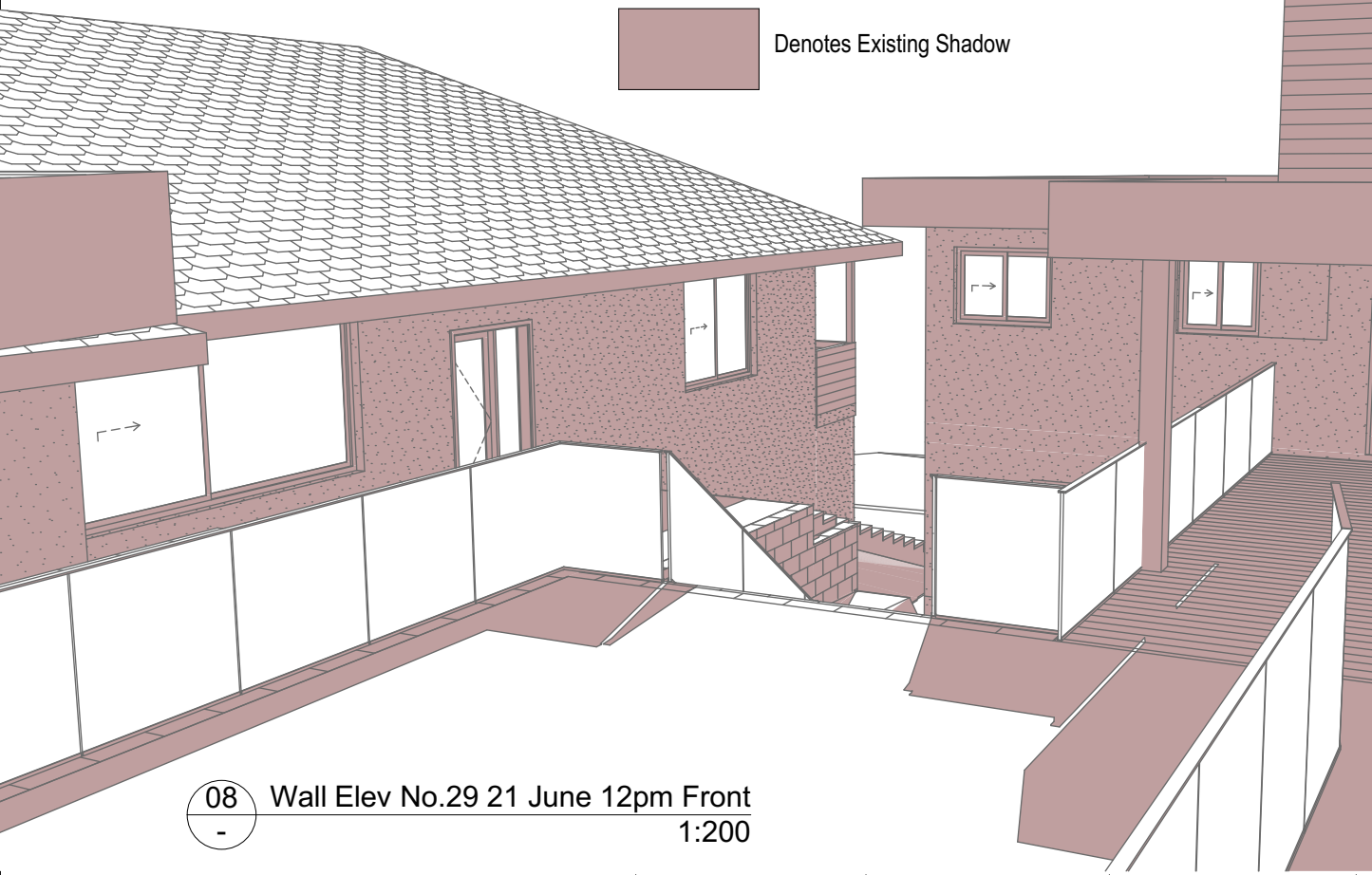


5
-
ROOF
1:500

Denotes Proposed Shadow
Denotes Existing Shadow



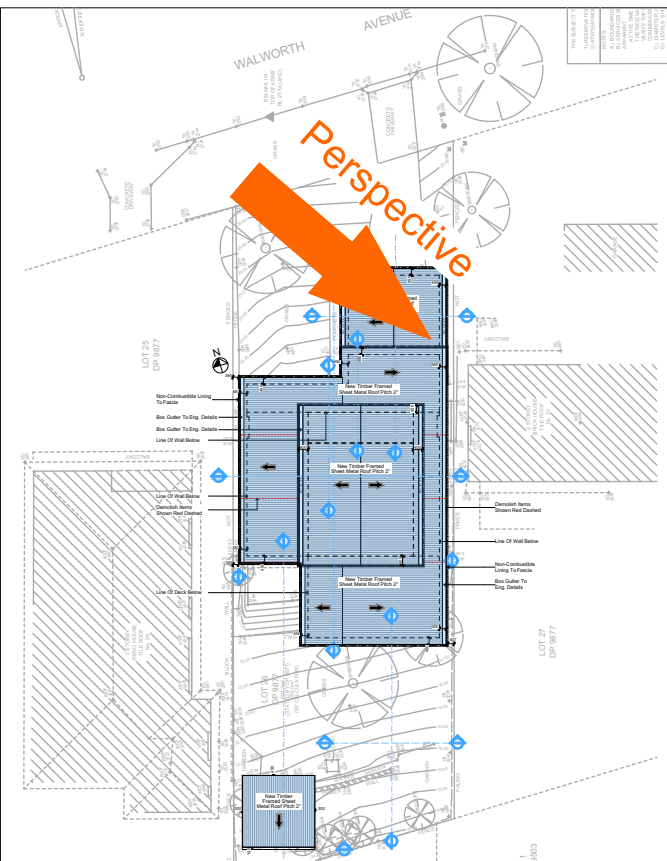
08
-
Wall Elev No.29 21 June 9am Front
1:200



08
-
Wall Elev No.29 21 June 12pm Front
1:200



08
-
Wall Elev No.29 21 June 3pm Front
1:200

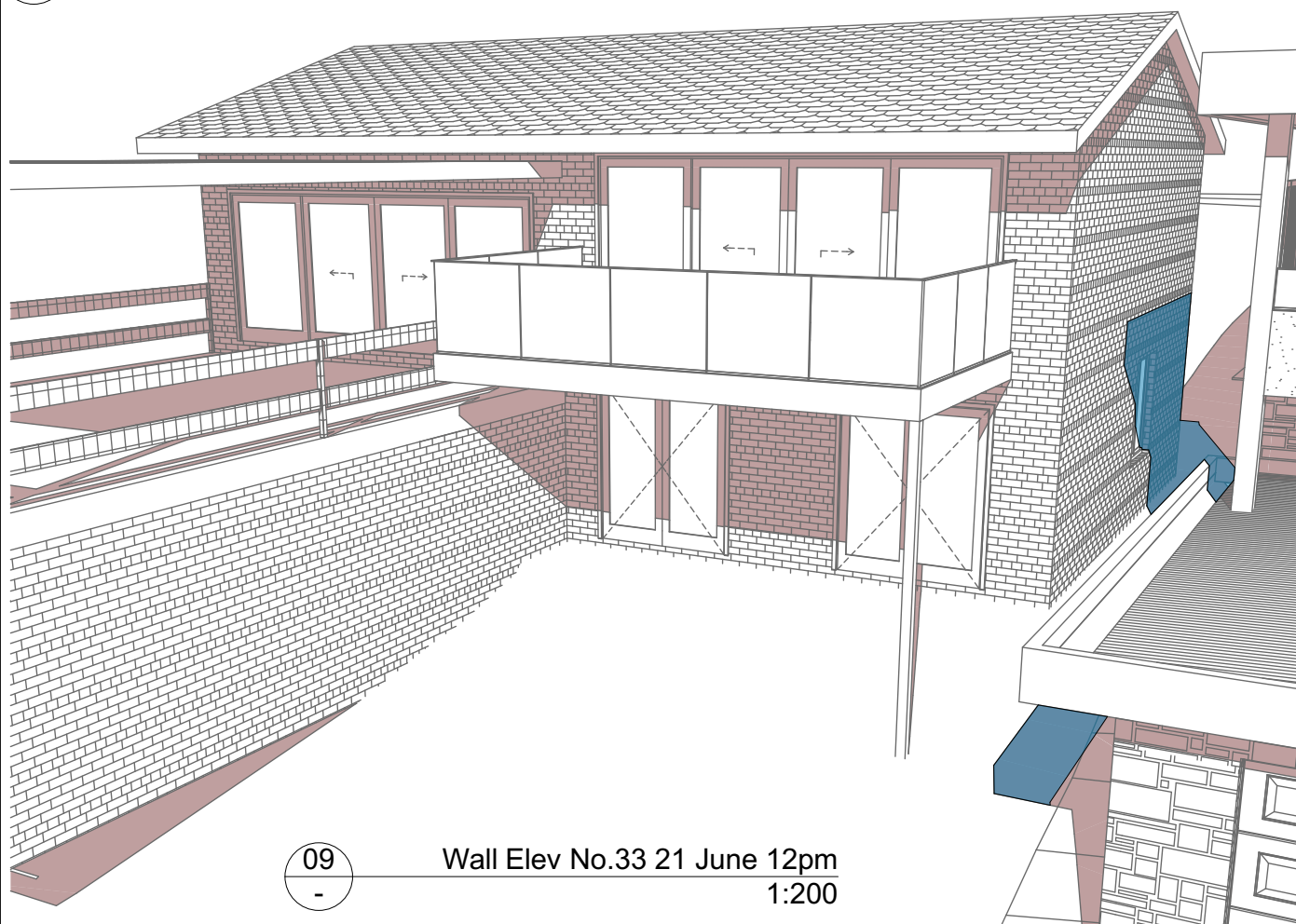


Denotes Proposed Shadow

Denotes Existing Shadow

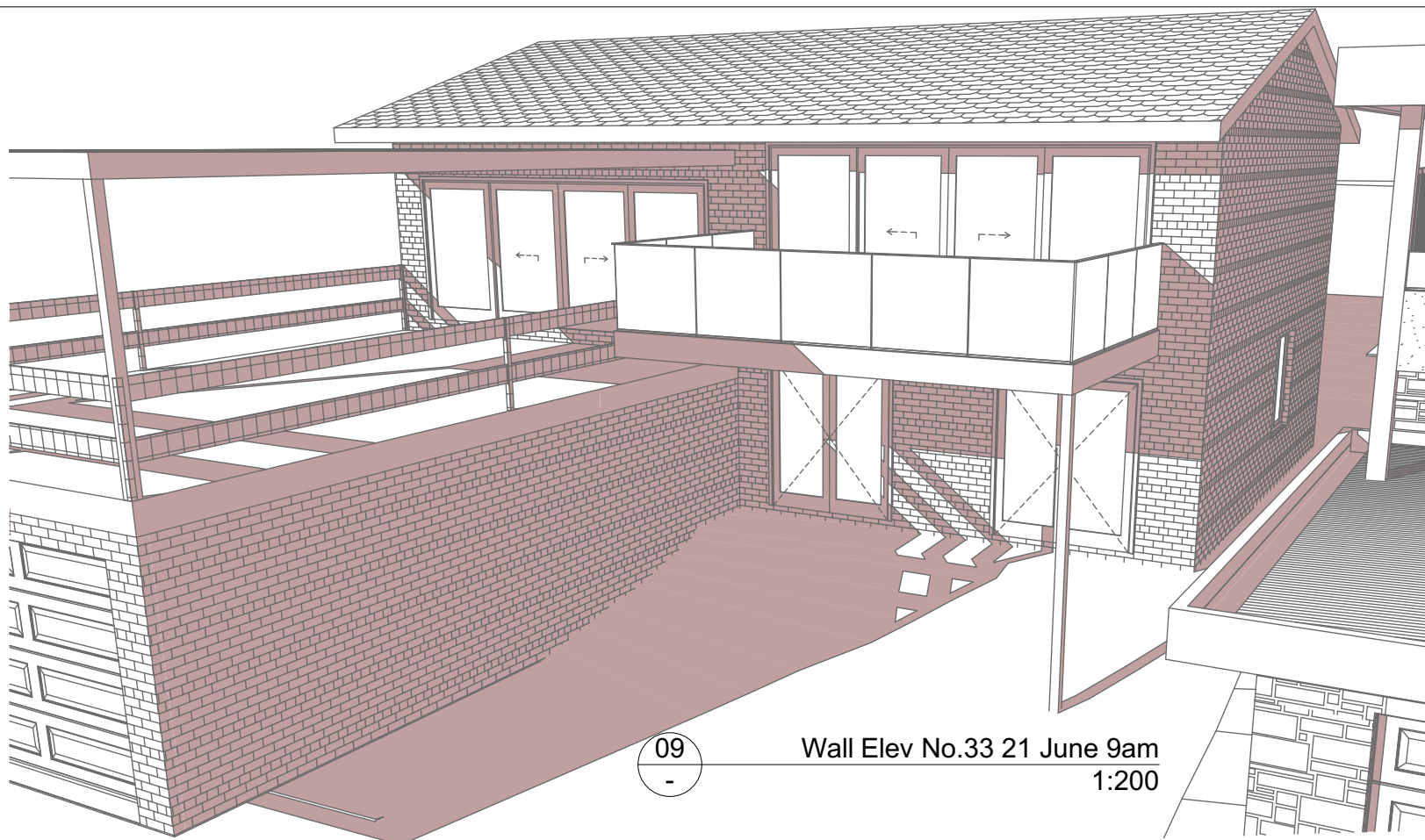
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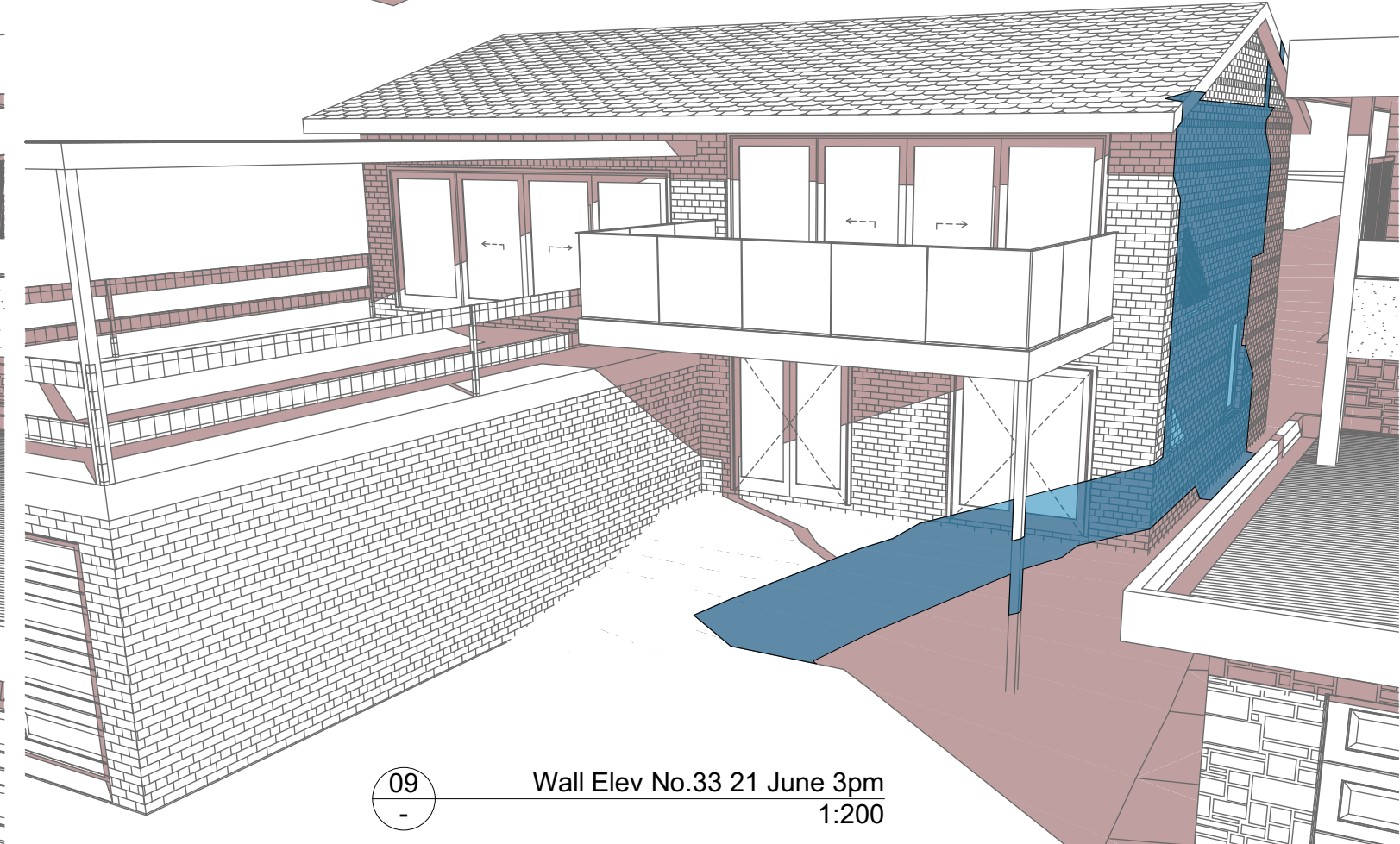
09
-

Wall Elev No.33 21 June 12pm
1:200



09
-

Wall Elev No.33 21 June 9am
1:200



09
-

Wall Elev No.33 21 June 3pm
1:200