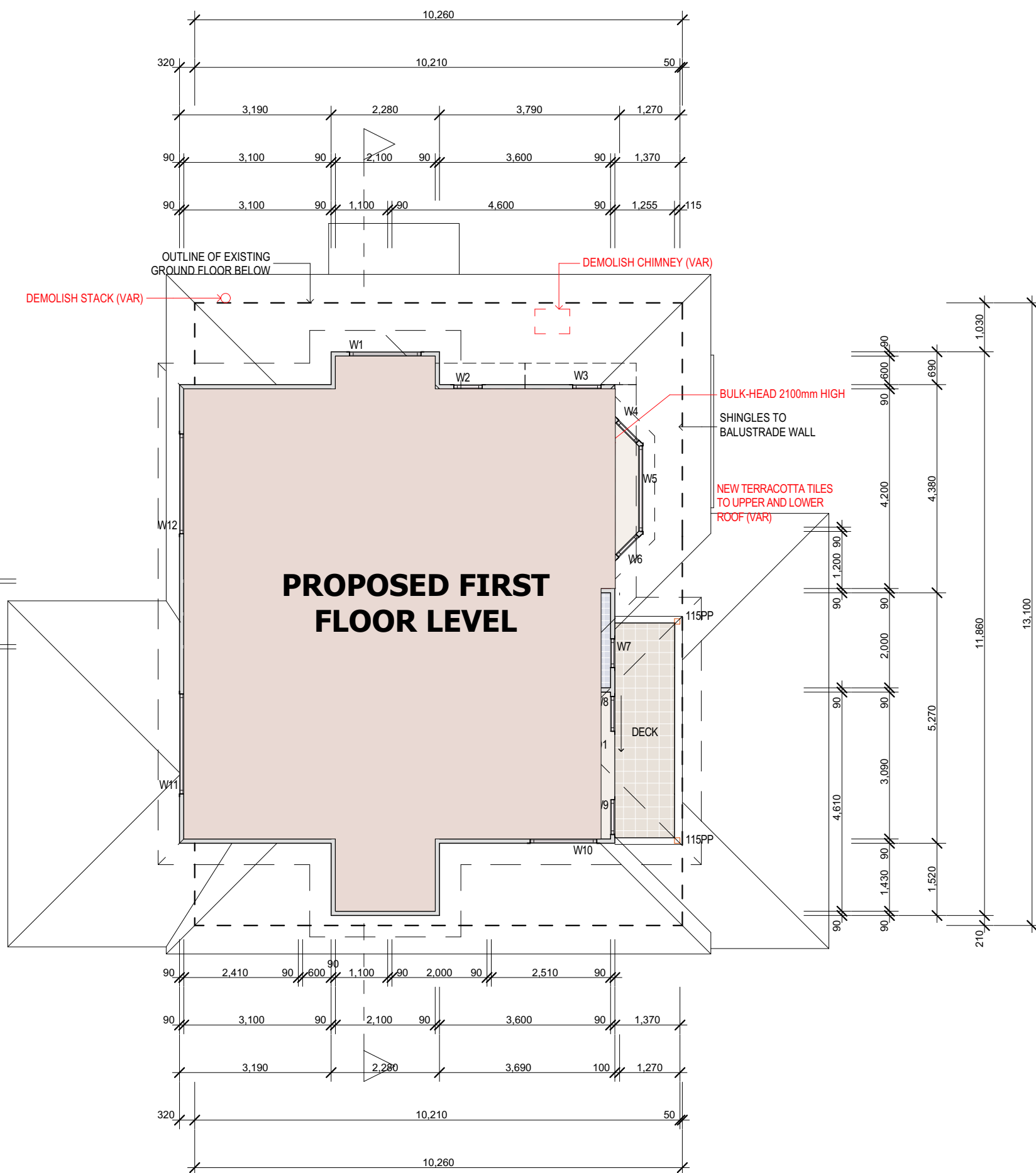
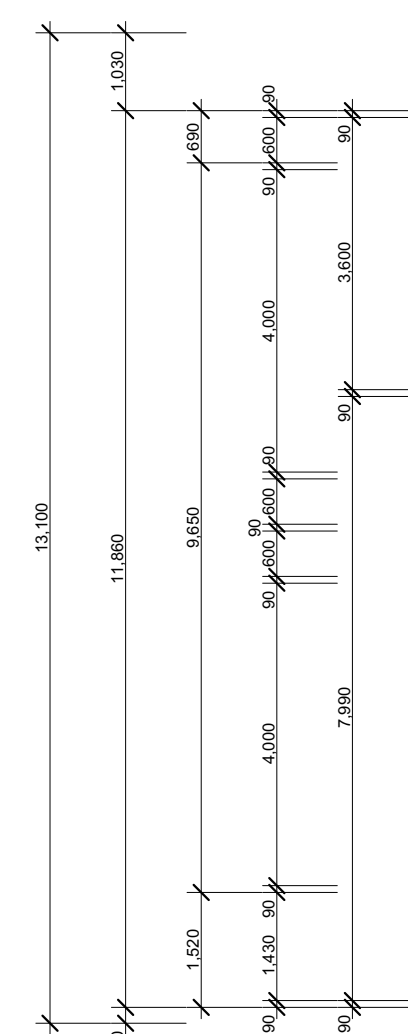
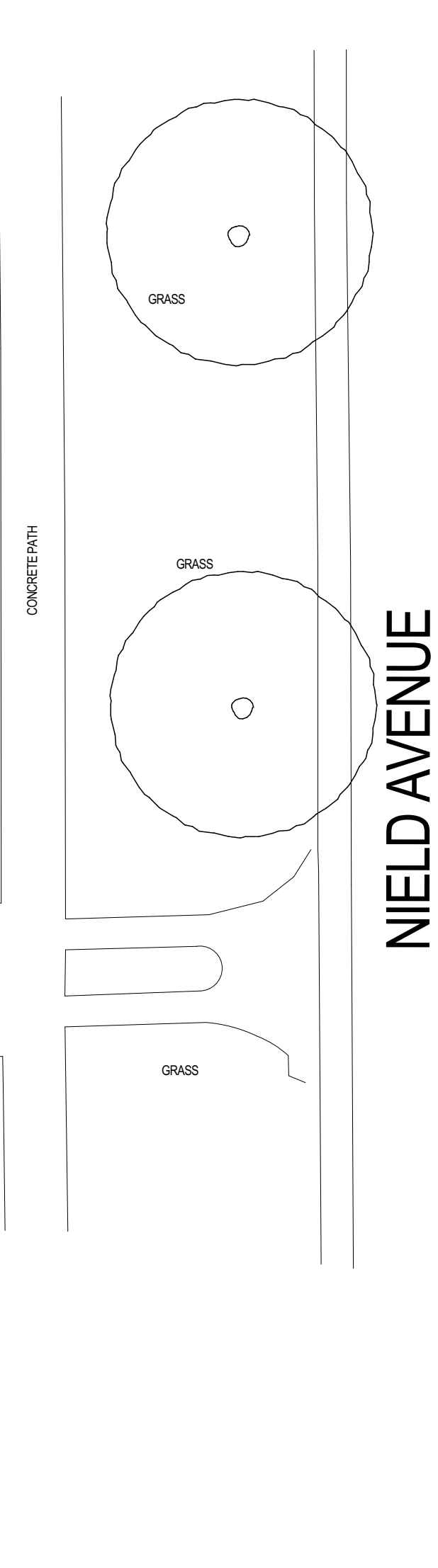
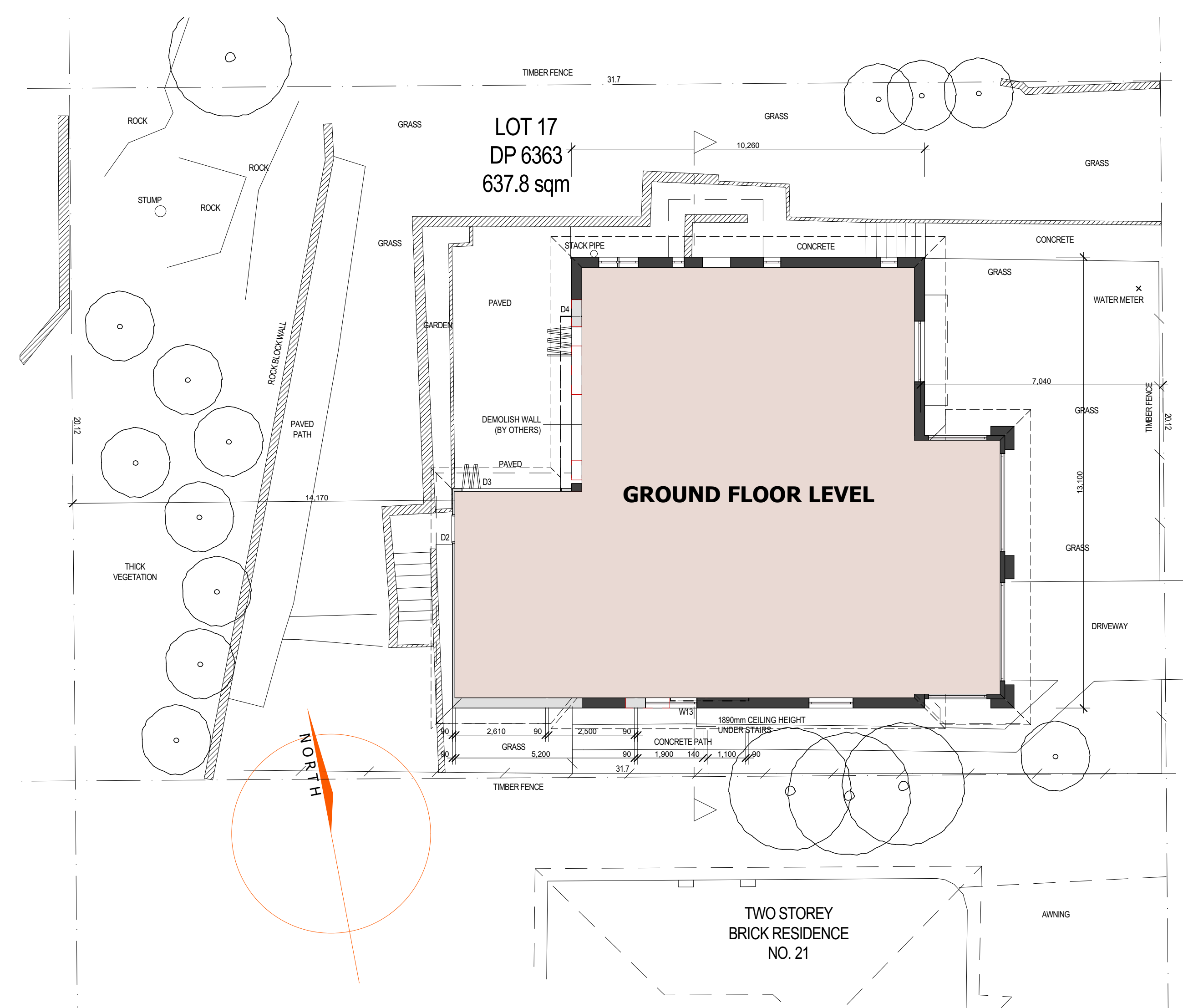


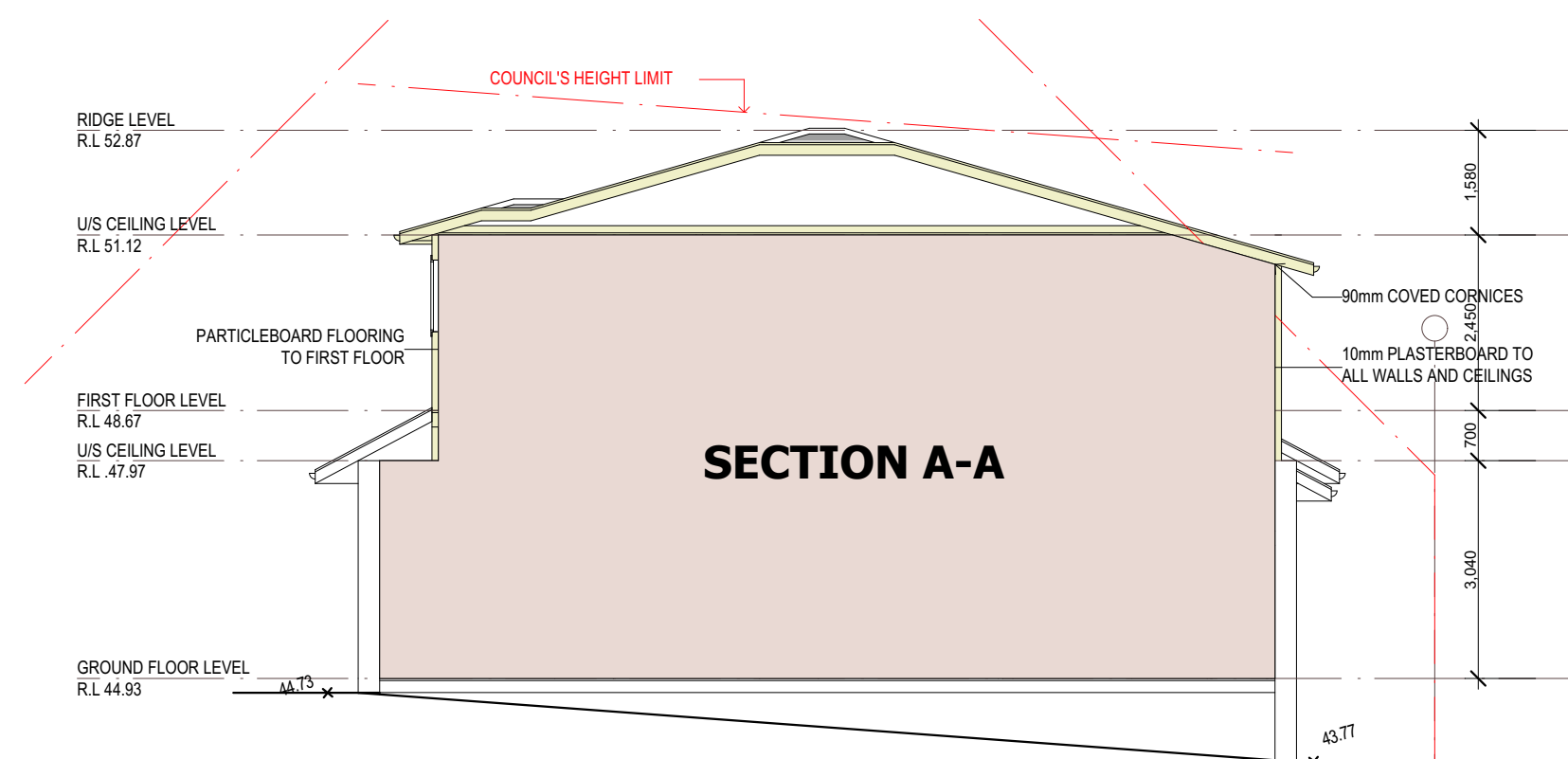
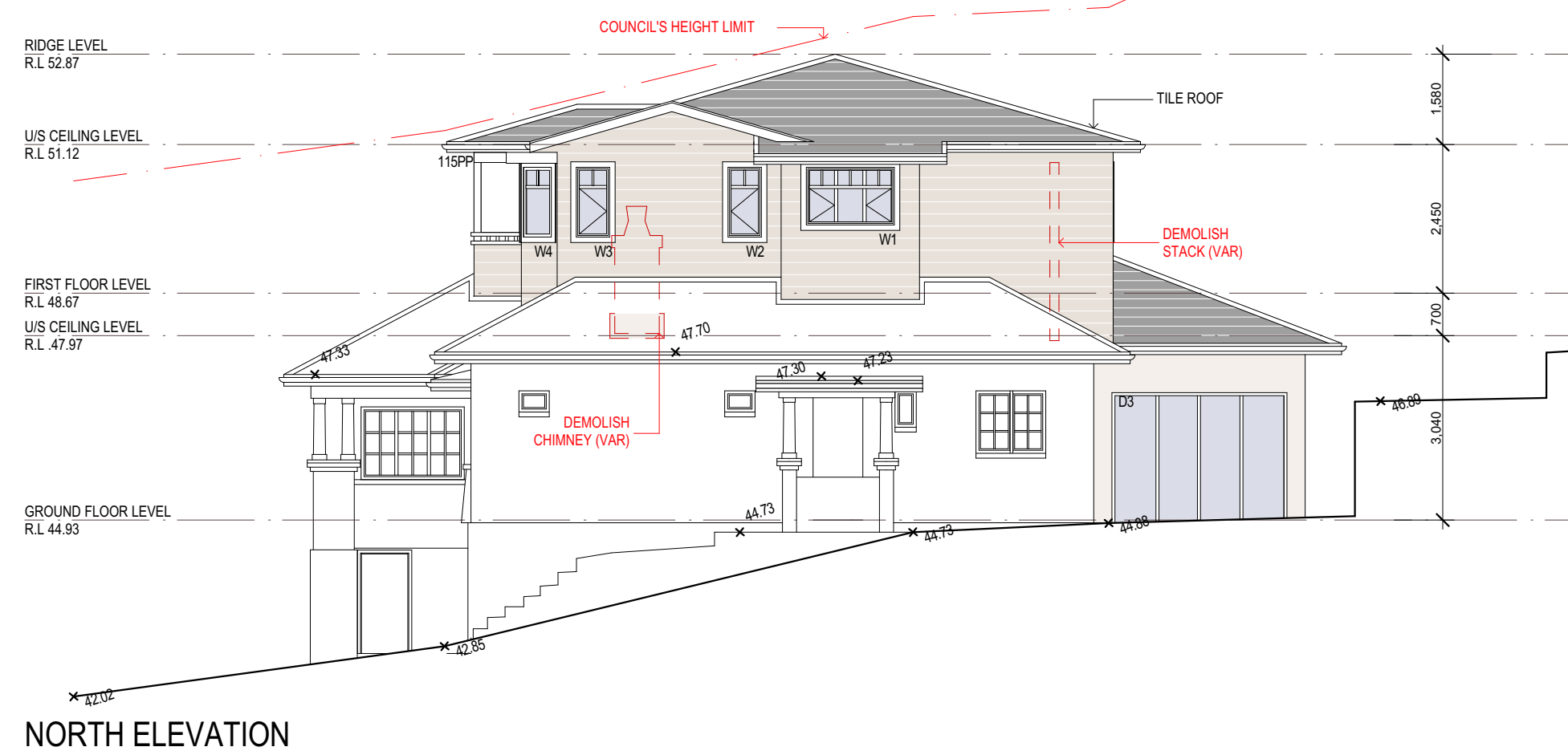
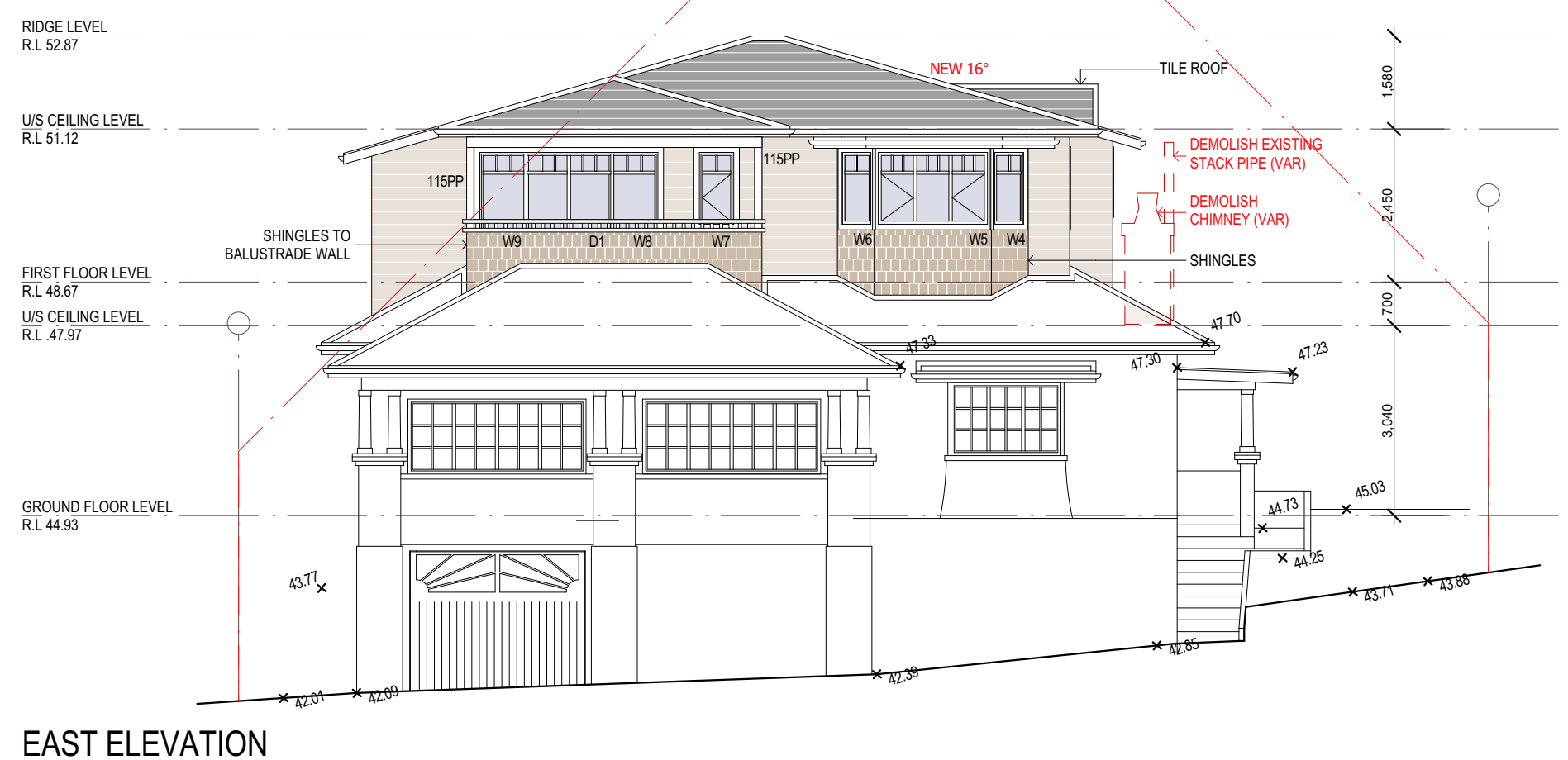


VARIATIONS	
-	DEMOLISH EXISTING STACK PIPE
-	DEMOLISH CHIMNEY
-	NEW TERRACOTTA TILES TO UPPER AND LOWER ROOF

BASIX REQUIREMENTS	
-	40% NEW LIGHTING TO BE FLUORESCENT, COMPACT FLUORESCENT, OR LED
-	BATHRM FIXTURES TO BE 3 STAR OR GREATER WATER RATING
-	EXTERNAL WALL TO HAVE R1.70 OR GREATER INSULATION
-	FLAT CEILING TO HAVE R0.45 FOIL BACKED BLANKET (100mm) OR GREATER
-	RAISED CEILING TO HAVE R0.74 FOIL BACKED BLANKET (100mm) OR GREATER
-	SKYLIGHT U-VALUE AND A SOLAR HEAT GAIN COEFFICIENT (SHGC) NO GREATER THAN 0.88
-	IMPROVED ALUMINIUM WINDOWS
-	W1,W3,W4,W5,W7,W8,D2,D3 AND D4 TO HAVE PYRO LOW-E GLASS

OPEN SPACE CALCULATIONS	
SITE AREA	637.8 sqm
GROSS FLOOR AREA	227.5 sqm
EXIST. IMPERVIOUS AREA	388.2 sqm 48%
PROPOSED IMPERVIOUS AREA	322.7 sqm 51%
EXIST. LANDSCAPED AREA	331.6 sqm 52%
PROPOSED LANDSCAPED AREA	315.1 sqm 49%

LEGEND & GENERAL NOTES	
VAR.	VARIATION
O.T.A	OWNER TO ADVISE BUILDER
90P	90 x 90 TIMBER POST
S.L.	SKY LIGHT
SHW	SHOWER ENCLOSURE
VY	VANITY UNIT
W.C.	TOILET SUITE (WATER CLOSET)
BIC	BUILT IN CUPBOARD
ST	STORE
COS	TO BE CHECKED ON SITE
OPT.	OPTION
OB+H	OPEN BALUSTRADE AND HANDRAIL
DP	DOWNPIPE
DP+S	DOWNPIPE AND SPREADER
NOTE 1	ALL DIMENSIONS ARE SUBJECT TO AMENDMENT AFTER A CHECK MEASURE ON SITE.
CONSTRUCTION LEVELS	SUBCONTRACTOR TO CONFIRM DA LEVELS COMPLIANCE WITH TIM
SUBCONTRACTOR TO ENSURE THAT ALL CONSTRUCTION LEVELS MARKED ON PLAN TO BE STRICTLY COMPLIED WITH	HOOKING BEFORE FINALISING FLOOR STRUCTURE

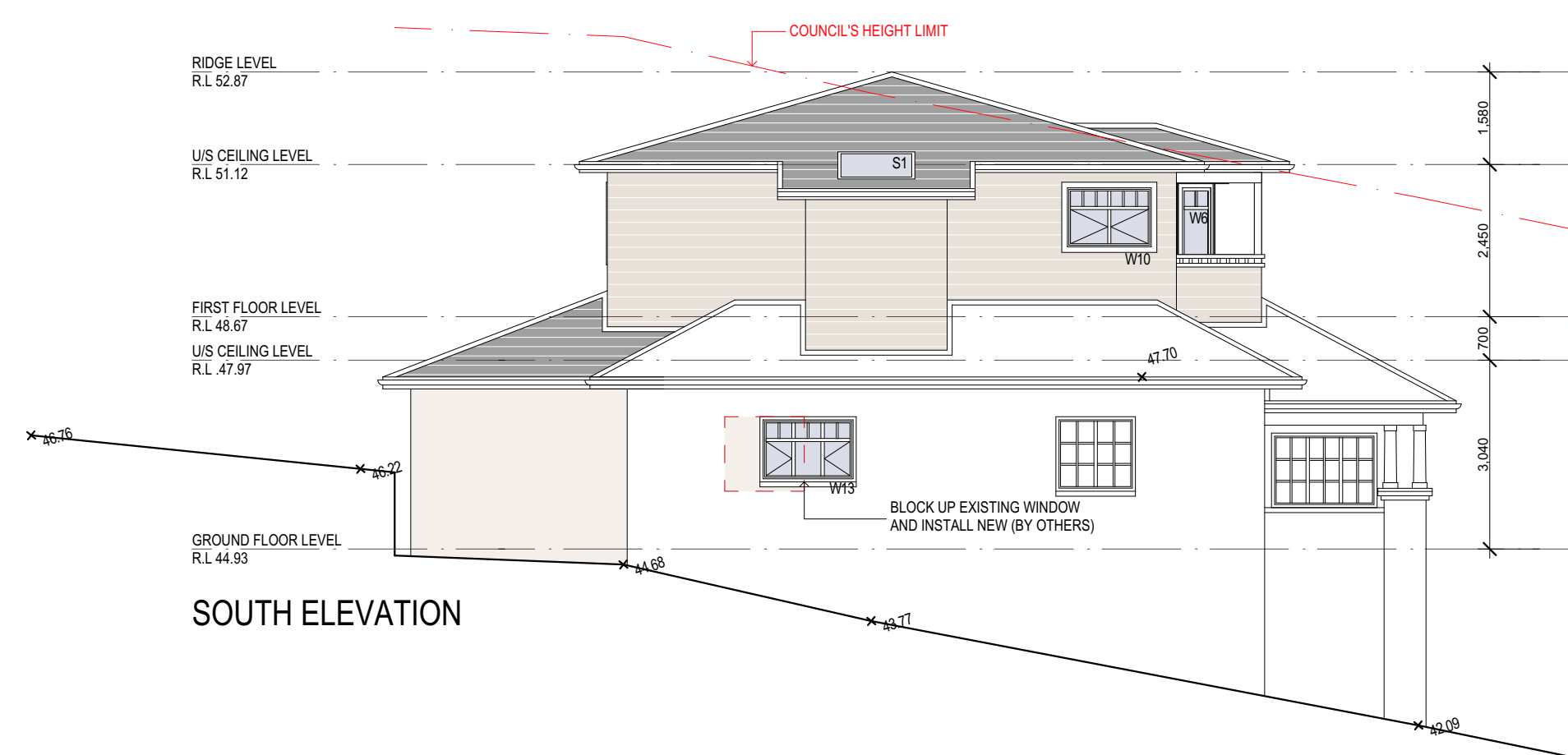
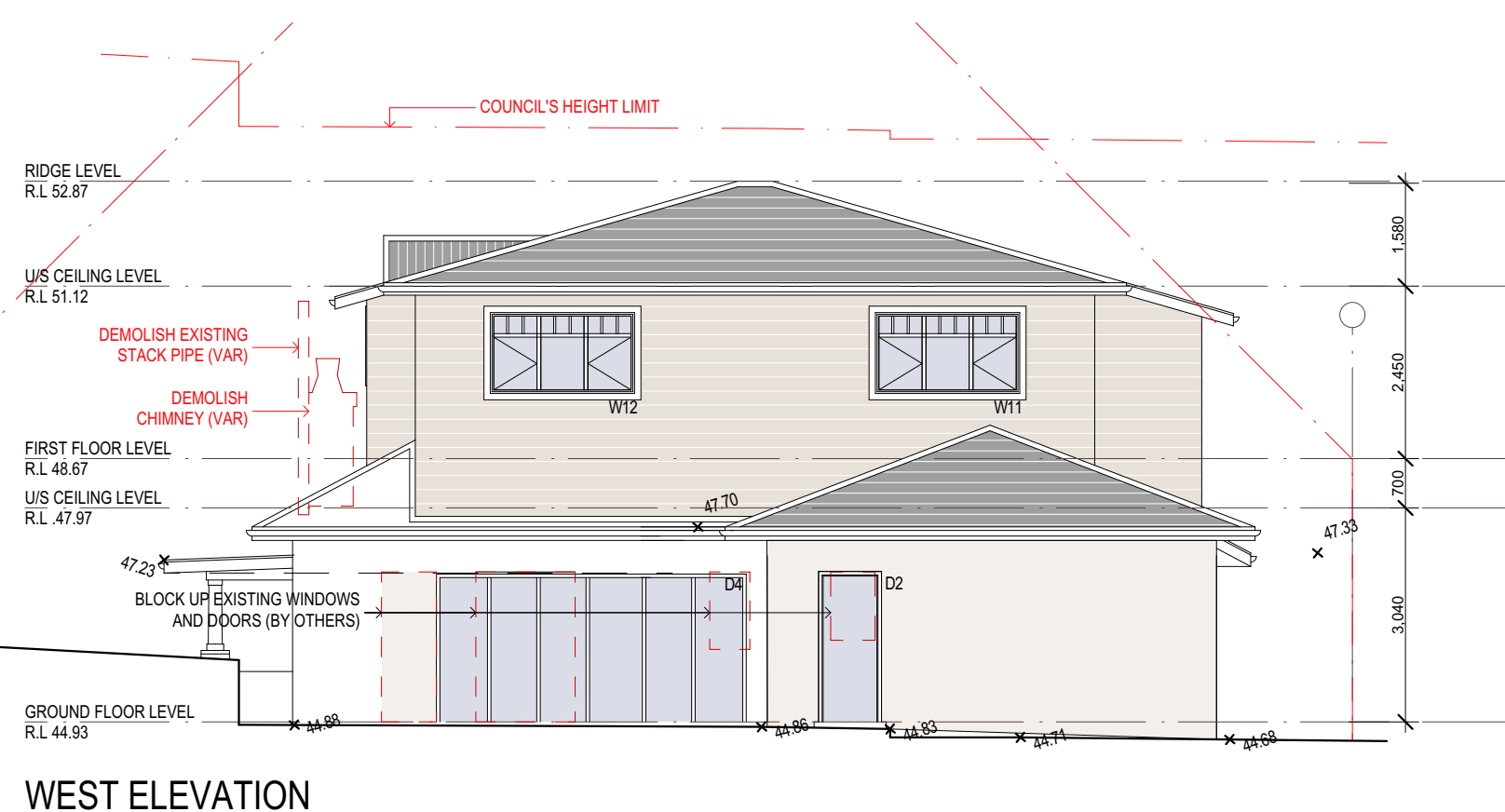


SECTION A-A

FRAMING NOTES.	
ROOF RITCH	NEW: 16° EXISTING 28° TO BE CHECKED
FRAME HEIGHT	2450mm
EAVE OVERHANGS	450mm
EXTERNAL DOOR AND WINDOW HEAD HEIGHT	2130mm TO LINE UP
INTERNAL DOOR	2110mm
B.I.C DOOR	200mm BULKHEAD
DOOR AND WINDOW NIBS	90mm MIN UNLESS OTHERWISE NOTED
FRAME AND TRUSS CENTRIES	600mm
DOOR STUD OPENINGS	880mm WIDE UNLESS OTHERWISE NOTED



ARTIST'S IMPRESSION
FOR ILLUSTRATION PURPOSES ONLY, NOT TO BE READ AS A WORKING DRAWING



A4 NOTIFICATION PLAN

PROJECT TITLE.		DATE	
FIRST FLOOR ADDITION AT		20/06/19	
23 Nield Ave, Balgowlah NSW 2093		MB	
DRAWING NO. 8311 DA 1		ISSUE D	



ADD-STYLE HOME ADDITIONS
285 CONDOMINE STREET
MANLY VALE 2093
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PAGER: 99079055
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