

**FITZGERALD BUILDING CERTIFIERS PTY. LTD.**

ABN 63 119 997 590  
 3/2A Pioneer Ave Thornleigh NSW 2120  
 ph 9980 2155 fax 9980 2166 E mail admin@fitzcert.com.au

**Council Copy**

**CONSTRUCTION CERTIFICATE**  
**PCA ENGAGEMENT - Page 2**  
**NOTICE OF COMMENCEMENT - Page 3**

**Construction Certificate Number** CC 2008/713 **Approval Date** 06 08 08

Issued in accordance with the provisions of the Environmental & Assessment Act 1979 under Sections 109C(1)(b) and 109F

**Date Application Received** 25 06 2008

**Council** Pittwater

**DEVELOPMENT CONSENT NO** N0140/08 **APPROVAL DATE** 13 05 08  
**Name of Certifying Authority** Fitzgerald Building Certifiers Pty Ltd  
**Name of Accredited Certifier** Paul Fitzgerald - No BPB0119  
**Accreditation Body** BUILDING PROFESSIONALS BOARD

**Applicant** Ron Wade  
**Address** PO Box 351, Mona Vale 2103  
**Contact Number** 0410 443 776

**Owner** Ron Wade  
**Address** 23 Bassett St, Mona Vale 2103

**Subject Land Lot** 38 **DP** 7236 **No** 23 **Bassett St Mona Vale**  
**Description of Development -** Construction of a shed  
**Building Code of Australia Classification** 10a **Value of Work \$** 11,900 00

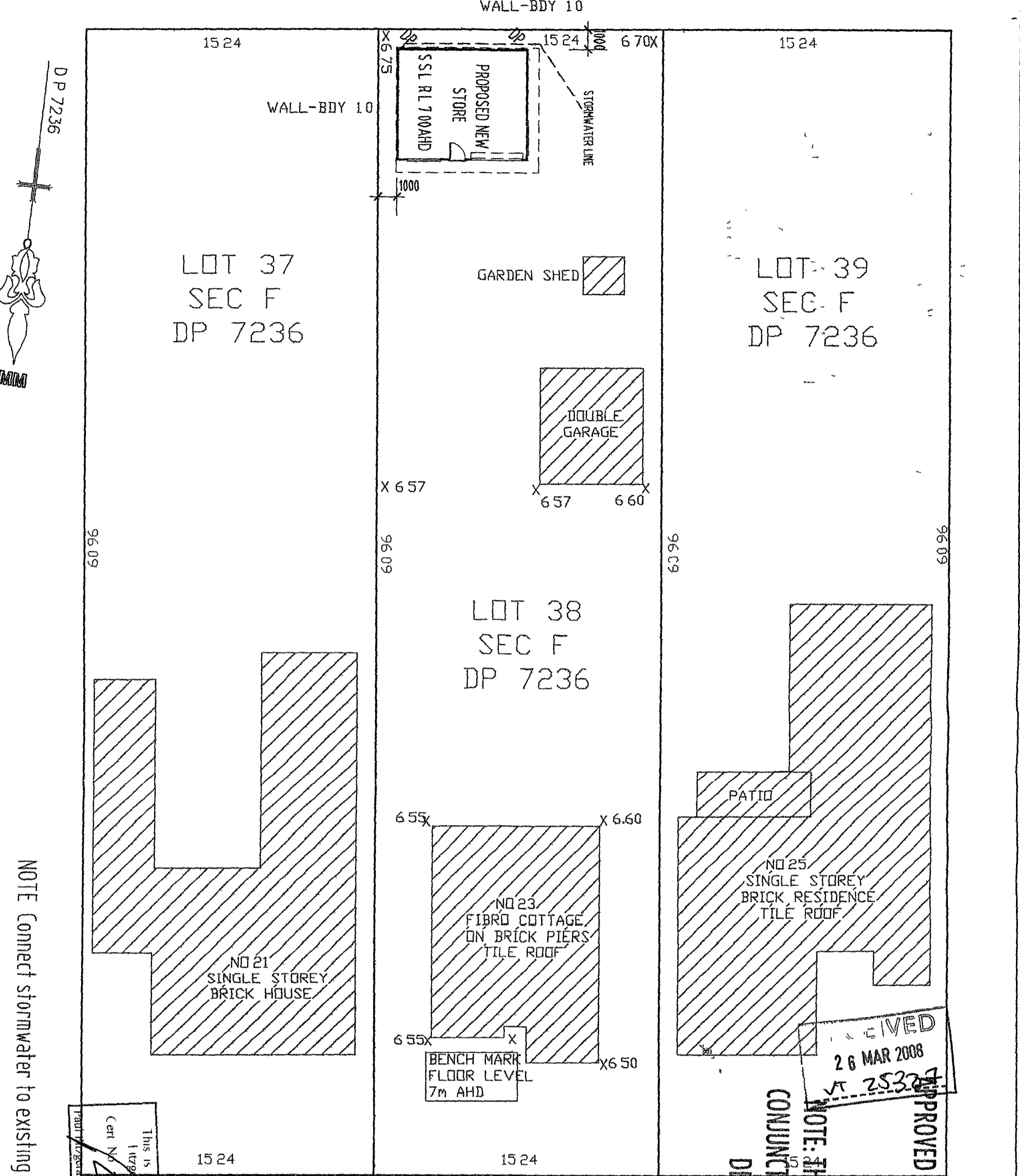
**Builder Details**  
**Name** Owner Builder  
**Licence Number** 357677P  
**Address**  
**Contact Number**

**SCANNED**  
 15 AUG 2008  
 PITTWATER COUNCIL

**Approved Plans And Documents**

Plans Prepared By	Drawing Nos	Dated
Marston Design	1 & 2 of 2	FEB 08
Stormwater Management Plan Prepared By	Drawing Nos	Dated
Jack Hodgson Consultants Pty Ltd	25327-H1	23 6 08
Engineers Details Prepared By	Drawing Nos	Dated
Jack Hodgson Consultants Pty Ltd	25327-S1	26 6 08

R# 243275  
 13/8/08



NOTE Connect stormwater to existing

This is the plan for development of Lot 37, 38 and 39 DP 7236. The plan is subject to the provisions of the Planning and Environment Act 1987. The plan is subject to the provisions of the Planning and Environment Act 1987. The plan is subject to the provisions of the Planning and Environment Act 1987.

client MADE  
 BASSETT STREET,  
 MONA VALE  
 2008/713  
 6808 MONA VALE

NOTE: THESE PLANS HAVE BEEN PREPARED FROM INFORMATION SUPPLIED BY OTHERS. THE BUILDER IS TO SATISFY HIMSELF THAT ALL THE INFORMATION AND DETAILS ARE CORRECT PRIOR TO COMMENCING ANY WORK.  
 ANY DISCREPANCIES ARE TO BE RESOLVED BY THE BUILDER ON SITE PRIOR TO COMMENCING ANY WORK.

NOTES DO NOT SCALE OFF DRAWINGS - USE THE WRITTEN DIMENSIONS ONLY  
 ANY DISCREPANCIES ARE TO BE RESOLVED BY THE BUILDER ON SITE



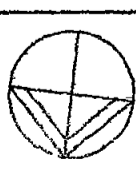
Mobile 0411 279 998  
 PHONE 07 55 20 10 90  
 FAX 07 55 20 10 94  
 Email marstondesign@optusnet.com.au  
 QBSA Licence Number 65788

- LEGEND
- dw dishwasher provision
  - ubo under bench oven
  - ct cook top
  - rn rangehood
  - wo wall oven
  - ref refrigerator
  - mb 600x600mm manhole
  - hw hot water system
  - wm washing machine prov
  - dh double hung
  - dp downpipe
  - f fixed glass
  - sl sliding window
  - lv louvre window
  - sl d sliding door
  - sl d vinyl sliding door
  - sl d mirror sliding door
  - sl d double hung

GENERAL NOTES  
 CONCRETE CONSTRUCTION TO COMPLY WITH AS/NZS 1171 & ASSOCIATED STANDARDS. ALL CONCRETE SHALL BE CAST TO THE PROVISIONS OF PART 3.1.1 OF THE BCA. ALL CONCRETE SHALL BE CAST TO THE PROVISIONS OF PART 3.1.1 OF THE BCA. ALL CONCRETE SHALL BE CAST TO THE PROVISIONS OF PART 3.1.1 OF THE BCA.

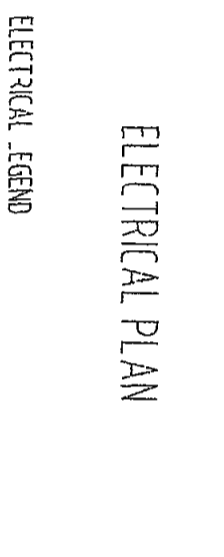
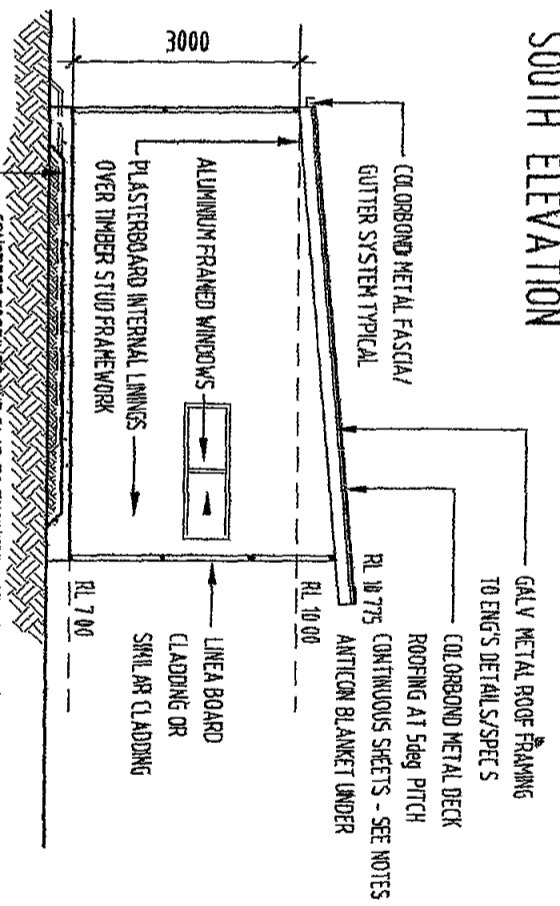
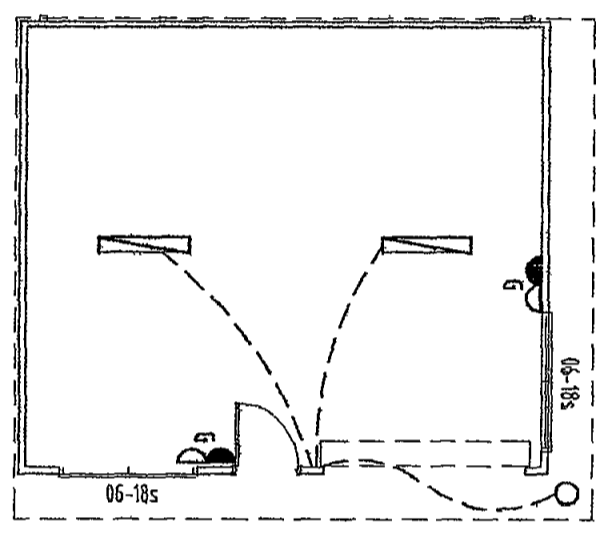
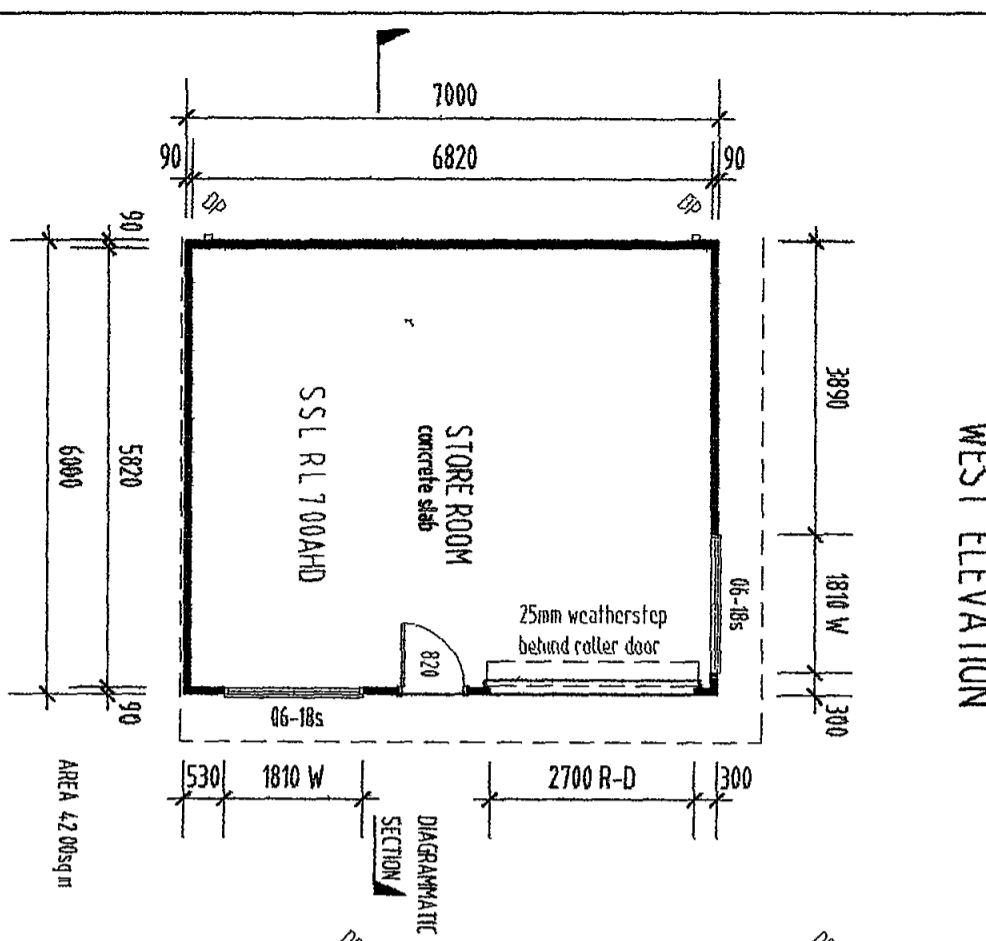
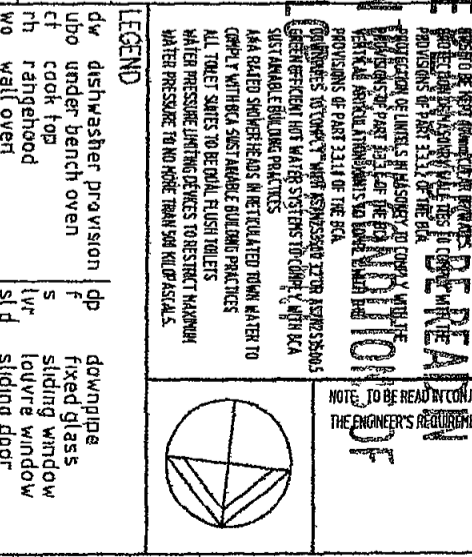
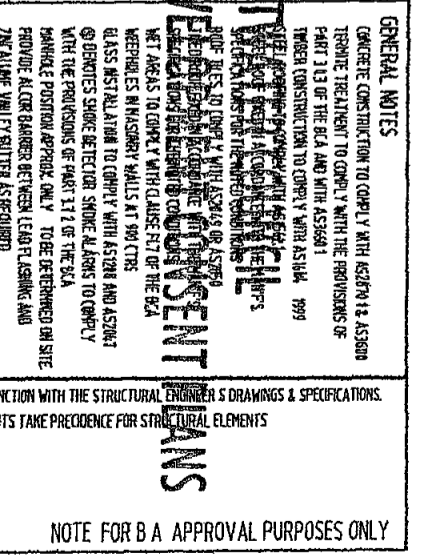
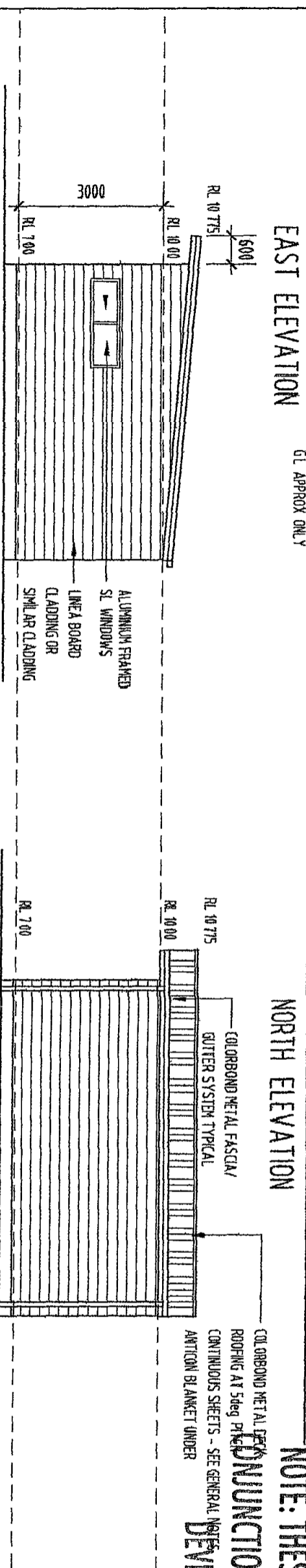
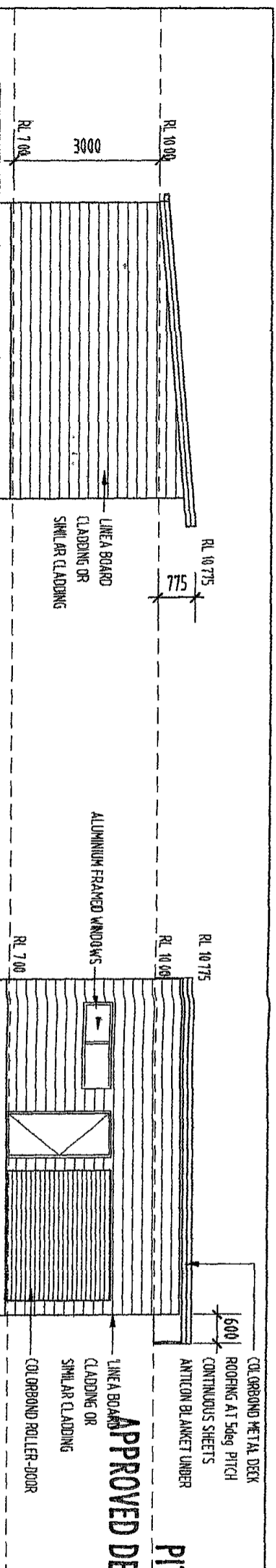
NOTE: THESE PLANS ARE TO BE READ IN CONJUNCTION WITH THE STRUCTURAL ENGINEER'S DRAWINGS & SPECIFICATIONS. THE ENGINEER'S DRAWINGS TAKE PRECEDENCE FOR STRUCTURAL REQUIREMENTS.

NOTE: FOR B.A. APPROVAL PURPOSES ONLY



RECEIVED  
 26 MAR 2008  
 25324

date	FEB 2008	drawn	STEVE	scale	1:200
this sheet	SITE PLAN	sheet	1 of 2		
design	PROPOSED NEW STORE RM	job no	RW-01		



**ELECTRICAL LEGEND**

	light switch - 1350 above floor level
	ceiling light - opaque oyster style
	floor light - 1350 above floor
	fluorescent light - 1200 single track insert

**ELECTRICAL PLAN**

NOTE ALL WORKS TO COMPLY WITH THE B.C.A. & THE AUSTRALIAN STANDARDS AS OUTLINED IN THE GENERAL NOTES ABOVE

NOTE Connect stormwater to existing

**GENERAL NOTES**

CONCRETE CONSTRUCTION TO COMPLY WITH AS2712 AS3608 TENSILE TREATMENT TO COMPLY WITH THE PROVISIONS OF PART 3.13 OF THE BCA AND WITH AS3601 WHEN CONSTRUCTION TO COMPLY WITH AS3601 1999

NOTE: THESE PLANS ARE TO BE READ IN CONJUNCTION WITH THE STRUCTURAL ENGINEER'S DRAWINGS & SPECIFICATIONS. THE ENGINEER'S REQUIREMENTS TAKE PRECEDENCE FOR STRUCTURAL ELEMENTS

**APPROVED DEVELOPER'S PLANS**

**PITTSBURGH DEVELOPMENT SERVICES**

NOTE: THESE PLANS ARE TO BE READ IN CONJUNCTION WITH THE STRUCTURAL ENGINEER'S DRAWINGS & SPECIFICATIONS. THE ENGINEER'S REQUIREMENTS TAKE PRECEDENCE FOR STRUCTURAL ELEMENTS

**CONJUNCTION DEVELOPER'S PLANS**

NOTE: THESE PLANS ARE TO BE READ IN CONJUNCTION WITH THE STRUCTURAL ENGINEER'S DRAWINGS & SPECIFICATIONS. THE ENGINEER'S REQUIREMENTS TAKE PRECEDENCE FOR STRUCTURAL ELEMENTS

**LEGEND**

dw	dishwasher provision	fp	downpipe
up	under bench oven	fg	fixed glass
ct	cook top	sl	sliding window
rh	rangehood	lv	louvre window
wo	wall oven	sl	sliding door
ref	refrigerator	cs	cavity sliding door
mh	600x600mm manhole	vs	vinyl sliding doors
hws	hot water system	ms	mirror sliding doors
w/m	washing machine prov	dh	double hung

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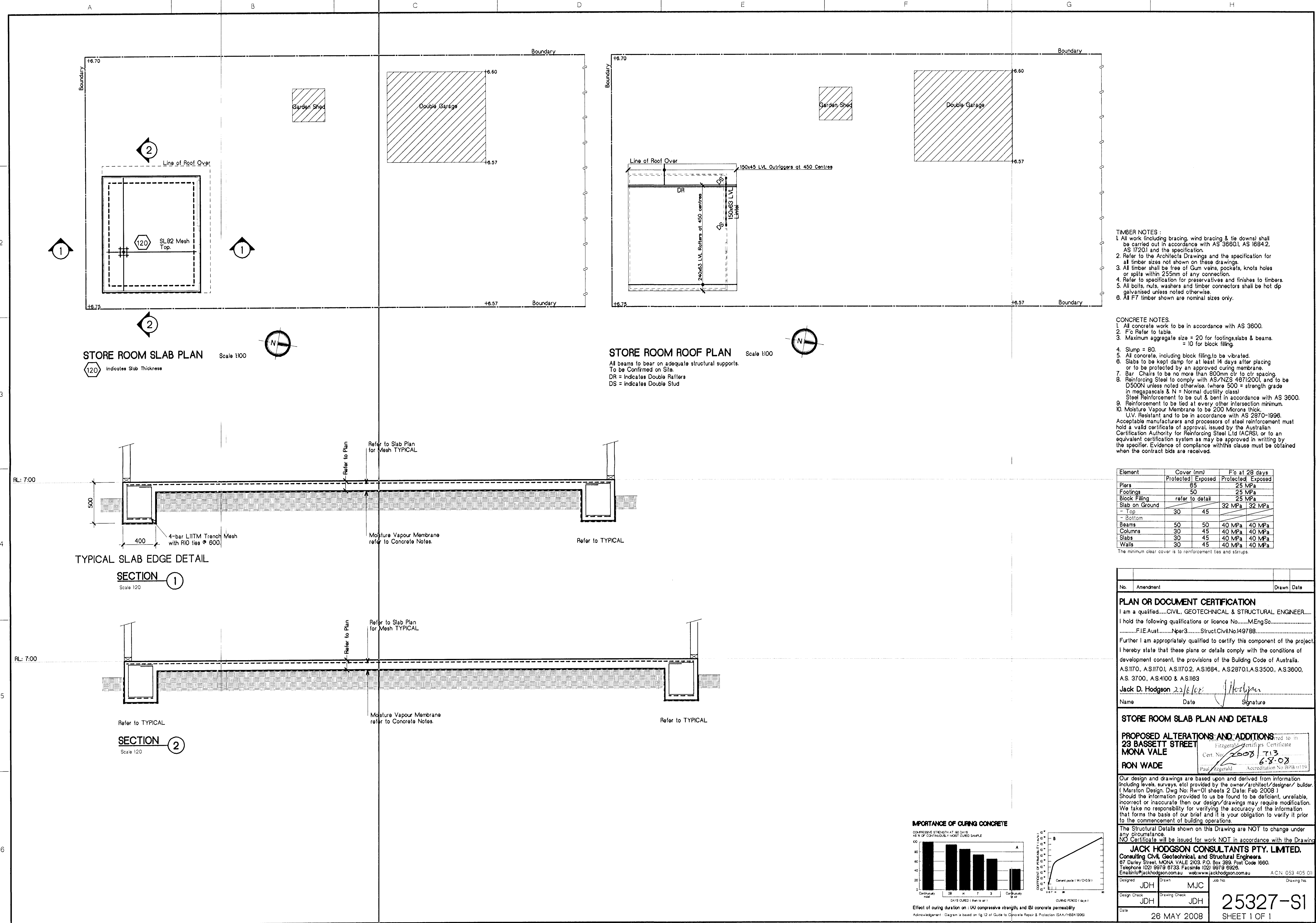
**Marston Design**

Mobile 0411 279 998  
PHONE 07 55 20 10 90  
FAX 07 55 20 10 94  
Email marstondesign@optusnet.com.au  
QBSA Licence Number 65788

**sheet MADE**

Site address: 10138 SEC F DP 7236  
10138 BASSETT STREET,  
PITTSBURGH  
1570 BUNDING CURMONA MALLERFIELD

rev / date	drawn	scale
date FEB 2008	STEVE	scale 1:200
this sheet PLANS & ELEVATIONS	sheet	2 of 2
design PROPOSED NEW STORE RM	job no	RW-01



**STORE ROOM SLAB PLAN** Scale 1:100

**STORE ROOM ROOF PLAN** Scale 1:100

**TYPICAL SLAB EDGE DETAIL** SECTION 1 Scale 1:20

**TYPICAL SLAB SECTION** SECTION 2 Scale 1:20

- TIMBER NOTES:**
- All work (including bracing, wind bracing & tie down) shall be carried out in accordance with AS 3660.1, AS 1684.2, AS 1720.1 and the specification.
  - Refer to the Architects Drawings and the specification for all timber sizes not shown on these drawings.
  - All timber shall be free of Gum veins, pockets, knots holes or splits within 25mm of any connection.
  - Refer to specification for preservatives and finishes to timbers.
  - All bolts, nuts, washers and timber connectors shall be hot dip galvanized unless noted otherwise.
  - All F7 timber shown are nominal sizes only.

- CONCRETE NOTES:**
- All concrete work to be in accordance with AS 3600.
  - F<sub>o</sub> Refer to table.
  - Maximum aggregate size = 20 for footings, slabs & beams. = 10 for block filling.
  - Slump = 80.
  - All concrete, including block filling, to be vibrated.
  - Slabs to be kept damp for at least 14 days after placing or to be protected by an approved curing membrane.
  - Bar Chairs to be no more than 800mm c/c to c/c spacing.
  - Reinforcing Steel to comply with AS/NZS 4671:2001, and to be D500N unless noted otherwise, (where 500 = strength grade in megapascals & N = Normal ductility class).
  - Steel Reinforcement to be cut & bent in accordance with AS 3600.
  - Reinforcement to be tied at every other intersection minimum.
  - Moisture Vapour Membrane to be 200 Microns thick, U.V. Resistant and to be in accordance with AS 2870-1996. Acceptable manufacturers and processors of steel reinforcement must hold a valid certificate of approval, issued by the Australian Certification Authority for Reinforcing Steel Ltd (ACRS), or to an equivalent certification system as may be approved in writing by the specifier. Evidence of compliance with this clause must be obtained when the contract bids are received.

Element	Cover (mm)		F <sub>o</sub> at 28 days	
	Protected	Exposed	Protected	Exposed
Piers	65	65	25 MPa	25 MPa
Footings	50	50	25 MPa	25 MPa
Block Filling	refer to detail	refer to detail	25 MPa	25 MPa
Slab on Ground	30	45	32 MPa	32 MPa
- Top	30	45		
- Bottom				
Beams	50	50	40 MPa	40 MPa
Columns	30	45	40 MPa	40 MPa
Slabs	30	45	40 MPa	40 MPa
Walls	30	45	40 MPa	40 MPa

The minimum clear cover is to reinforcement ties and stirrups.

**PLAN OR DOCUMENT CERTIFICATION**

I am a qualified... CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER...  
 I hold the following qualifications or licence No. .... M.Eng.Sc. ....  
 F.I.E.Aust. .... Nper3 .... Struct.Civil.No.149788....

Further I am appropriately qualified to certify this component of the project.  
 I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia.  
 AS.1170, AS.1170.1, AS.1170.2, AS.1684, AS.2870.1, AS.3500, AS.3600, AS. 3700, AS.4100 & AS.1163

Jack D. Hodgson 23/6/08 *J. Hodgson*  
 Name Date Signature

**STORE ROOM SLAB PLAN AND DETAILS**

**PROPOSED ALTERATIONS AND ADDITIONS** referred to in  
 Fitzgerald Certifications Certificate  
 23 BASSETT STREET  
 MONA VALE  
 Cert. No. 2008/713  
 6-8-03  
 Paul Fitzgerald Accreditation No. RP3 of 14

**RON WADE**

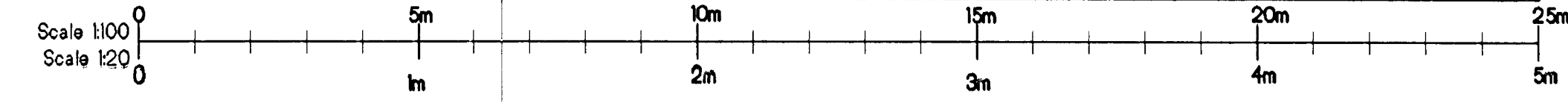
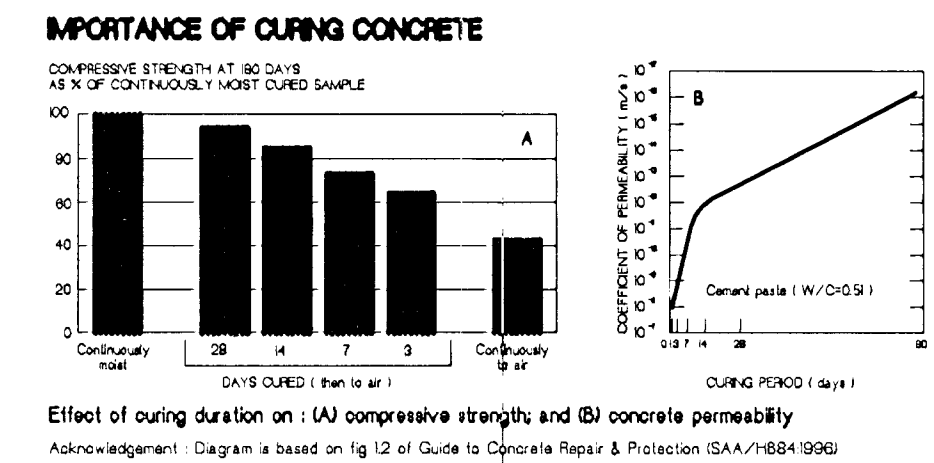
Our design and drawings are based upon and derived from information (including levels, surveys, etc) provided by the owner/architect/designer/ builder.  
 (Marston Design, Dwg No. 01 of sheets 2 Date: Feb 2003)  
 Should the information provided to us be found to be deficient, unreliable, incorrect or inaccurate then our design/drawings may require modification.  
 We take no responsibility for verifying the accuracy of the information that forms the basis of our brief and it is your obligation to verify it prior to the commencement of building operations.

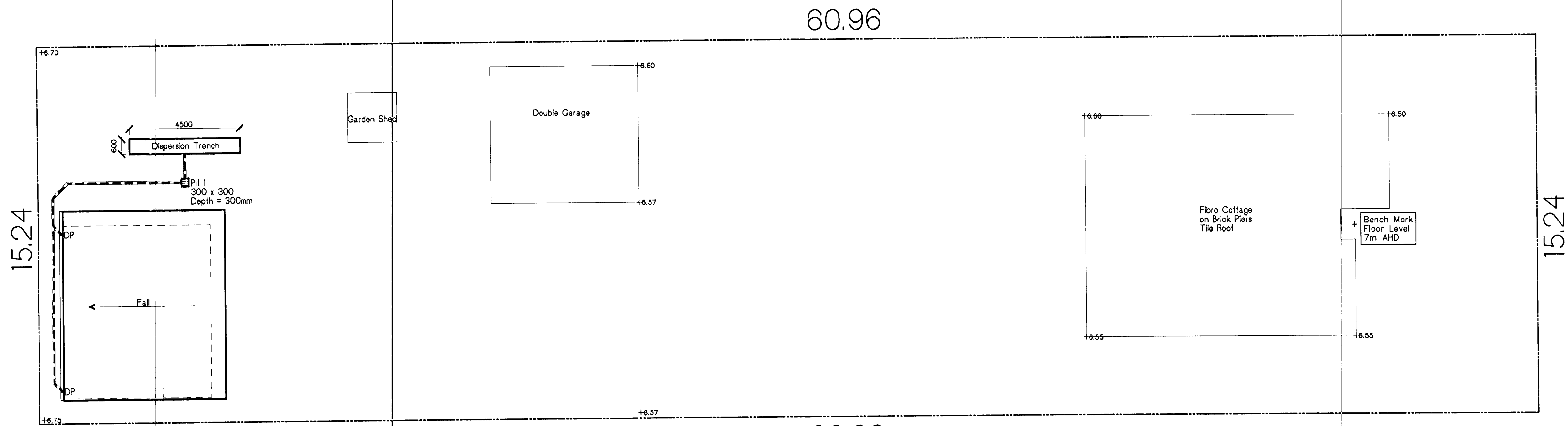
The Structural Details shown on this Drawing are NOT to change under any circumstance.  
 NO Certificate will be issued for work NOT in accordance with the Drawing.

**JACK HODGSON CONSULTANTS PTY. LIMITED.**  
 Consulting Civil, Geotechnical and Structural Engineers.  
 67 Darcy Street, MONA VALE 2403 P.O. Box 288 Post Code 1800.  
 Telephone (02) 9919 6725 Facsimile (02) 9919 6928.  
 Email info@jackhodgson.com.au www.jackhodgson.com.au ACN 053 405 011

Designed: JDH Drawn: MJC Job No. Drawing No.  
 Design Check: JDH Drawing Check: JDH  
 Date: 26 MAY 2008

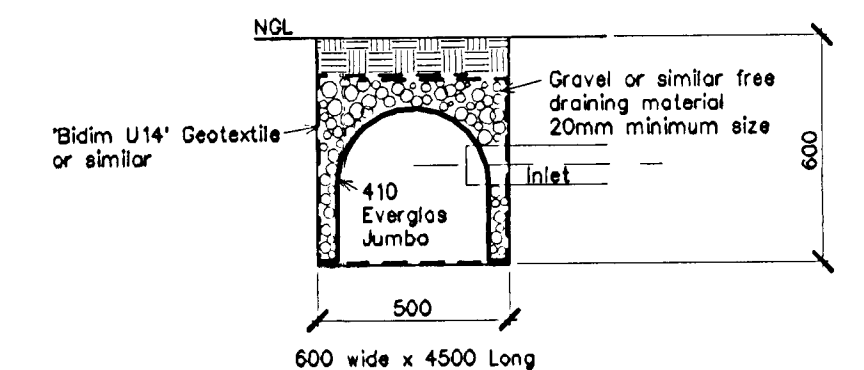
**25327-S1**  
 SHEET 1 OF 1





**SITE PLAN**  
Scale 1:100

This plan complies with Pittwater 21 DCP and section C1 of the consent



**TYPICAL DISPERSION TRENCH CROSS SECTION**

No.	Amendment	Drawn	Date
<p><b>PLAN OR DOCUMENT CERTIFICATION</b></p> <p>I am a qualified...CIVIL, GEOTECHNICAL &amp; STRUCTURAL ENGINEER....            I hold the following qualifications or licence No.....M.Eng.Sc.....            F.I.E.Aust.....Nper3.....Struct.Civil.No.149788.....</p> <p>Further I am appropriately qualified to certify this component of the project.            I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia, AS.1170, AS.1170.1, AS.1170.2, AS.1684, AS.2870.1, AS.3500, AS.3600, AS. 3700, AS.4100 &amp; AS.1163</p> <p>Jack D. Hodgson 22/6/08 <i>J.D. Hodgson</i></p> <p>Name Date Signature</p>			

STORMWATER MANAGEMENT PLAN			
<p><b>PROPOSED GARDEN SHED</b>  <b>23 BASSETT STREET</b>  <b>MONA VALE</b></p> <p>This is the plan spec. referred to in this Certificate.            Cert No. 2008/713            Ron Wade 6.8.08            Registrar Accreditation No BPB 1119</p>			
<p>Our design and drawings are based upon and derived from information (including levels, surveys etc) provided by the owner/architect/designer/ builder. NK PROPERTY SERVICES REGISTERED SURVEYORS &amp; TOWN PLANNERS            DWG No: N/A Rev: a Date: 2/02/08            MARSTON DESIGN            Job No: RW-01 Sheet: 1 &amp; 2 Date: FEB 2008            Should the information provided to us be found to be deficient, unreliable, incorrect or inaccurate then our design/drawings may require modification. We take no responsibility for verifying the accuracy of the information that forms the basis of our brief and it is your obligation to verify it prior to the commencement of building operations.</p>			
<p>The Structural Details shown on this Drawing are NOT to change under any circumstance.            NO Certificate will be issued for work NOT in accordance with the Drawing</p> <p><b>JACK HODGSON CONSULTANTS PTY. LIMITED.</b>            Consulting Civil, Geotechnical and Structural Engineers            57 Darkey Street, MONA VALE 2103 P.O. Box 399 Post Code 1680.            Telephone (02) 9979 8733. Facsimile (02) 9979 8928.            Email info@jackhodgson.com.au web www.jackhodgson.com.au A.C.N. 053 405 011</p>			
Designed	CP	Drawn	CP
Design Check	GH	Drawing Check	GH
Date	23 MAY 2008		
			25327-H1

