

LOT 1
DP 629240

○ DENOTES TREES TO BE
REMOVED BY OWNER
PRIOR TO CONSTRUCTION

LOT 51
D.P: 255874
L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011

SITE AREA 701.2 m²

ROOF AREA 309.86 m²

LANDSCAPED AREA

TOTAL LANDSCAPE AREA: 313.3 m²
(MIN. DIMENSION OF 2.0m) 44.7 %

MIN. REQUIRED BY COUNCIL: 40 %

PRIVATE OPEN SPACE

TOTAL OPEN SPACE AREA: 248.0 m²
(MIN. DIMENSION OF 5.0m)

MIN. REQUIRED BY COUNCIL: 60 m²

HEIGHT RESTRICTION

MAXIMUM RIDGE HEIGHT 8.5 m
MAXIMUM CEILING HEIGHT 7.2 m
(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS
MAY NOT COMPLY WITH REQUIREMENTS)

BUILDING ENVELOPE

BUILDING ENVELOPE TO BE PROJECTED AT
45° FROM A HEIGHT OF 4.0m AT BOUNDARY

SITE COVERAGE
STORMWATER CALCULATION

ROOF FOOTPRINT: 312.4 m²
DRIVEWAY/ PAVED AREAS: 39.3 m²
TOTAL: 351.7 m²
50.1 %

MAX SITE COVERAGE FOR OSD: 40%

BASIX LANDSCAPED AREA

TOTAL LANDSCAPE AREA: 378.8 m²
(EXCLUDES HARD SURFACES) 54.0 %

CLASSIFICATION

WIND	SLAB	CLIMATE
N2	H1	Zone 5

NOTE:

ALL GROUND LINES ARE APPROXIMATE.
EXTENT OF FILL & BATTER WILL BE
DETERMINED ON SITE. SEDIMENT BARRIERS
ARE TO BE CUSTOMISED SITE SPECIFIC

RETAINING WALLS TO BE CONSTRUCTED
WHOLLY WITHIN PROPERTY BOUNDARY
INCLUDING DRAINAGE AND FOOTINGS

NOTE:

OWNER TO DEMOLISH & REMOVE FROM
SITE EXISTING HOUSE, INCLUDING
FOOTINGS & SERVICES ABOVE & BELOW
GROUND, PATHS, DRIVE, TREES &
FENCES ETC. PRIOR TO COMMENCEMENT
OF CONSTRUCTION.

**STORMWATER TO
STREET VIA RAINWATER
TANK AND O.S.D**
REFER TO HYDRAULIC DETAILS

****B.A.S.****
(BUILDING ADJACENT TO SEWER)
ORDER SEWER PEGOUT

REFER TO PAGE 7 FOR
DRIVEWAY PROFILE

LOT 50

LOT 44
DP 237643

LOCATION OF 3x5086L
SLIMLINE ABOVE
GROUND RAINWATER
TANK
3x(3200Lx1100Wx1560H)

BRICK
RESIDENCE
METAL ROOF
No. 6

LOCATION
OF AIR
CONDITIONING
UNIT

APPROX. LOCATION
OF SEWER

LOT 51
701.2m²

**PROPOSED
RESIDENCE**
FFL R.L. 200.385
FGL R.L. 200.000
(Levels are +/-100mm)

**GARAGE
STEPDOWN**
75mm²
FFL R.L. 200.310
(Levels are +/-100mm)

PROVIDE
CONCRETE
LANDING BY
CLARENDON

BRICK
RESIDENCE
TILE ROOF
No. 10

LOCATION OF METER BOX

PROVIDE CONCRETE
LANDING BY CLARENDON

PROPOSED DRIVEWAY
BY OWNER AFTER
HANDOVER

OWNER TO DEMOLISH & REMOVE FROM
SITE EXISTING HOUSE, INCLUDING
FOOTINGS & SERVICES ABOVE & BELOW
GROUND, PATHS, DRIVE, TREES &
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ORDER SEWER PEGOUT

REFER TO PAGE 7 FOR
DRIVEWAY PROFILE

SITE PLAN

SCALE 1:200

GENERAL NOTES

- A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED
- B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
- C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
- D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2024/0978



CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

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ELEMENTS. DIMENSIONS TO BE READ IN
PREFERENCE TO SCALING.

PRODUCT:
SARATOGA 40
Chisholm
R/H Garage

Sapphire Specification

CLIENT:
Mr. SICLARI
Mrs. SICLARI
SITE ADDRESS:
Lot 51 No.8
Jinchilla Road
TERREY HILLS 2084

D.A. DRAWING

DRAWN: BG	DATE: 17.01.24	Rev: E
RATIO @ A3: 1:200	CHECKED: AL	
SHEET: 2	JOB No: 29916918	NSW

DENOTES: STRUCTURAL BEAM. REFER TO ENGINEERS DETAILS

- DP ○ DOWN PIPE LOCATION
- TAP X GARDEN TAP LOCATION
- LIFT OFF HINGES
- MUA MAKE UP AIR
- ARTICULATION JOINTS TO ENGINEERS DETAILS
- FWG BATH FLOOR WASTE GULLY (MAX. 1.2m FROM BATH WASTE)
- LINEAR FLOOR WASTE
- SP ○ STEEL POST
- TSP ○ TELESCOPIC STEEL POST
- SMOKE ALARM
- EXHAUST FAN
- EXHAUST FAN WITH RUN-ON TIMER

CLIENT TO PROVIDE 1400mm CEILING FANS TO FAMILY, HOME THEATRE, MPR, LEISURE, and BED 4

HEBEL CONSTRUCTION

NOTES

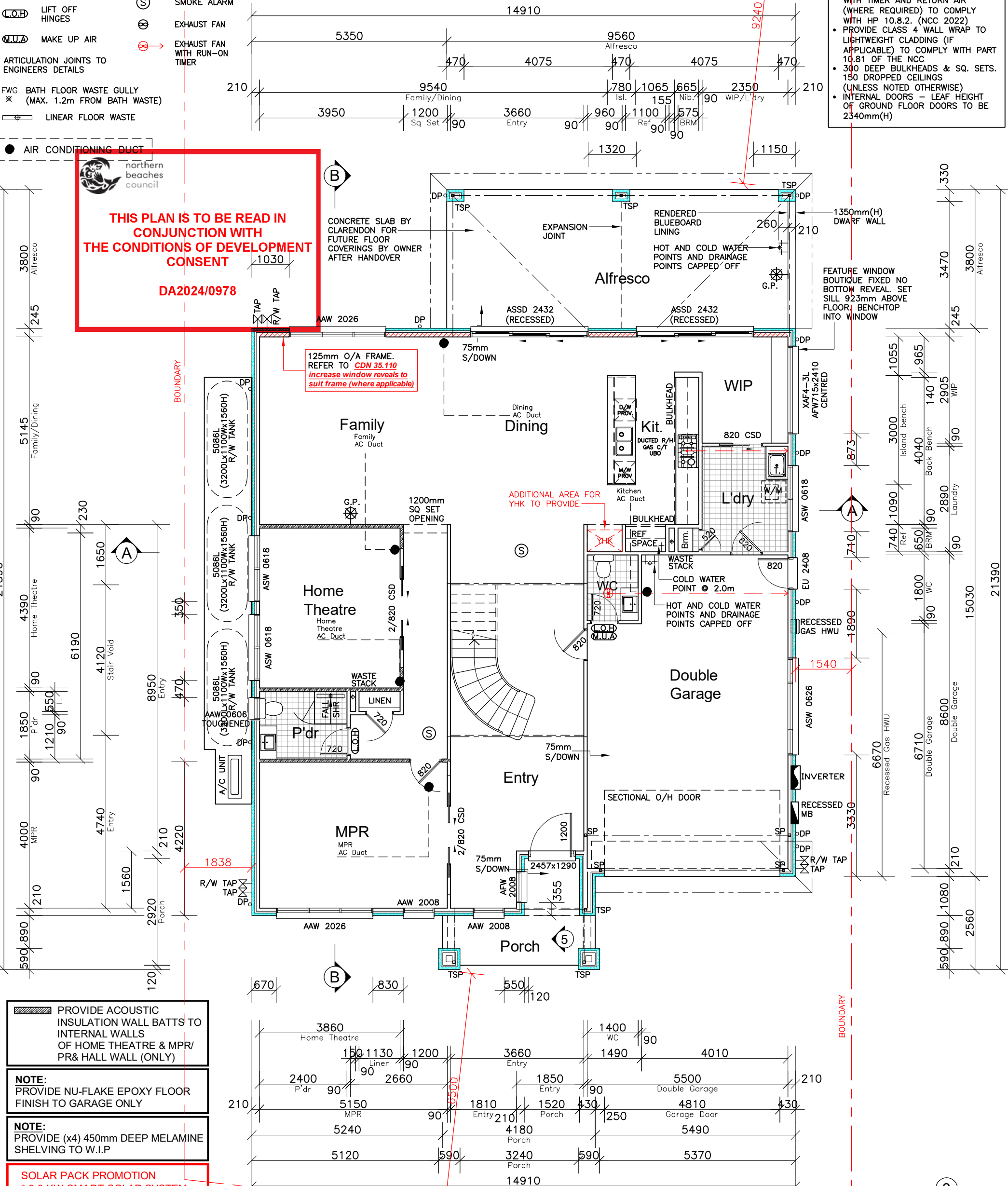
- SHOWERS - ALL GROUND FLOOR SHOWERS TO HAVE RECESSED SLAB WATERPROOFING - MATERIALS AND THE INSTALLATION OF WET AREA COMPONENTS TO MEET CLAUSES 10.2.1 TO 10.2.32 OF THE ABCB HOUSING PROVISIONS. (NCC 2022)
- EXHAUST FAN DUCTED EXTERNALLY WITH TIMER AND RETURN AIR (WHERE REQUIRED) TO COMPLY WITH HP 10.8.2. (NCC 2022)
- PROVIDE CLASS 4 WALL WRAP TO LIGHTWEIGHT CLADDING (IF APPLICABLE) TO COMPLY WITH PART 10.8.1 OF THE NCC
- 300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS (UNLESS NOTED OTHERWISE)
- INTERNAL DOORS - LEAF HEIGHT OF GROUND FLOOR DOORS TO BE 2340mm(H)

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125mm O/A FRAME. REFER TO **CDN 35.110** increase window reveals to suit frame (where applicable)

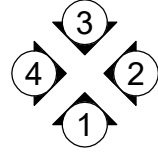
ADDITIONAL AREA FOR YHK TO PROVIDE



- PROVIDE ACOUSTIC INSULATION WALL BATTS TO INTERNAL WALLS OF HOME THEATRE & MPR/PR & HALL WALL (ONLY)
- NOTE:** PROVIDE NU-FLAKE EPOXY FLOOR FINISH TO GARAGE ONLY
- NOTE:** PROVIDE (x4) 450mm DEEP MELAMINE SHELVING TO W.I.P

- SOLAR PACK PROMOTION**
- * 3.3 KW SMART SOLAR SYSTEM
- * EV CHARGER (7KW)
- * INVERTER

Certificate No. 0009529710
 Assessor name: Daniel Wernin
 Accreditation No. 101192
 Property Address: Jinchilla Road, Terrey Hills NSW, 2084
 0240009529710
 2084.131



GROUND FLOOR PLAN

CLIENT'S SIGNATURE: _____ DATE: _____

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 # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.

PRODUCT:
SARATOGA 40
 Chisholm
 R/H Garage
 Sapphire Specification


CLIENT:
 Mr. SICLARI
 Mrs. SICLARI
 SITE ADDRESS:
 Lot 51 No.8
 Jinchilla Road
 TERREY HILLS 2084


D.A. DRAWING		
DRAWN: MTK	DATE: 02.02.24	Rev: E
RATIO @ A3: 1:100	CHECKED: AL	
SHEET: 3	JOB No: 29916918	NSW

HEBEL FLOORING CONSTRUCTION
(EXCLUDES WET AREAS)

HEBEL CONSTRUCTION

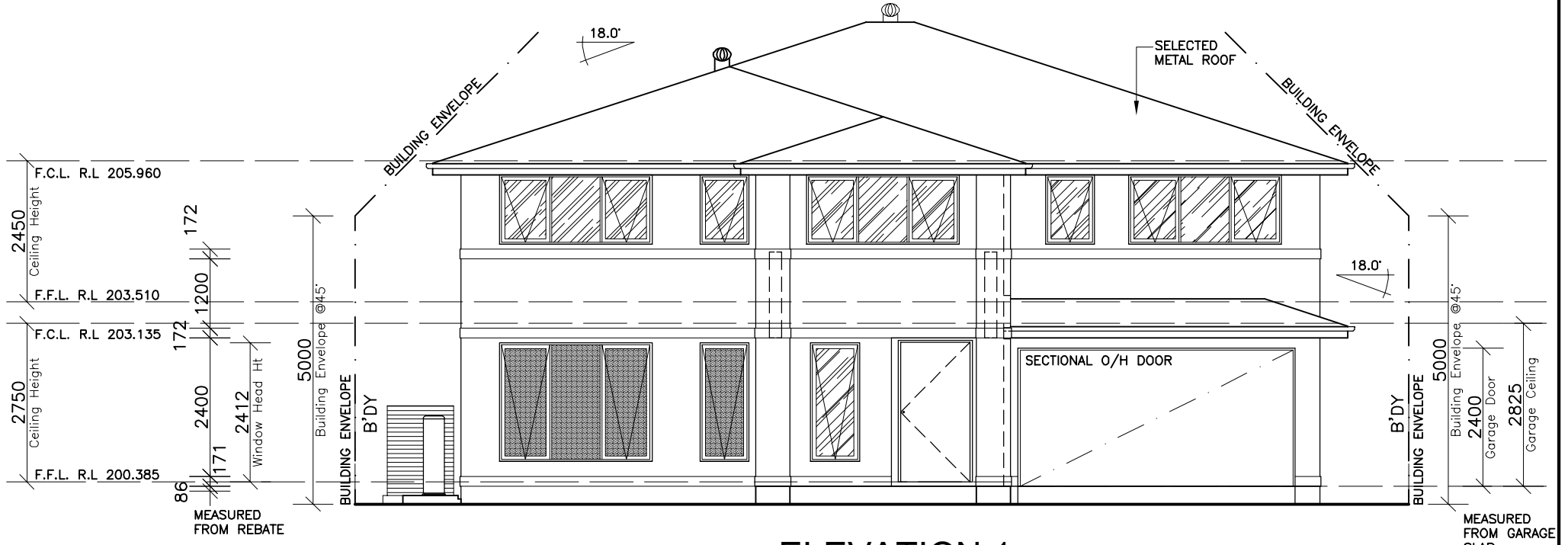
NOTE:
CONTROL JOINTS AS PER
INSTALLER'S SPECIFICATION

 DENOTES WINDOWS WITH SMART GLASS SP 10 GLAZING

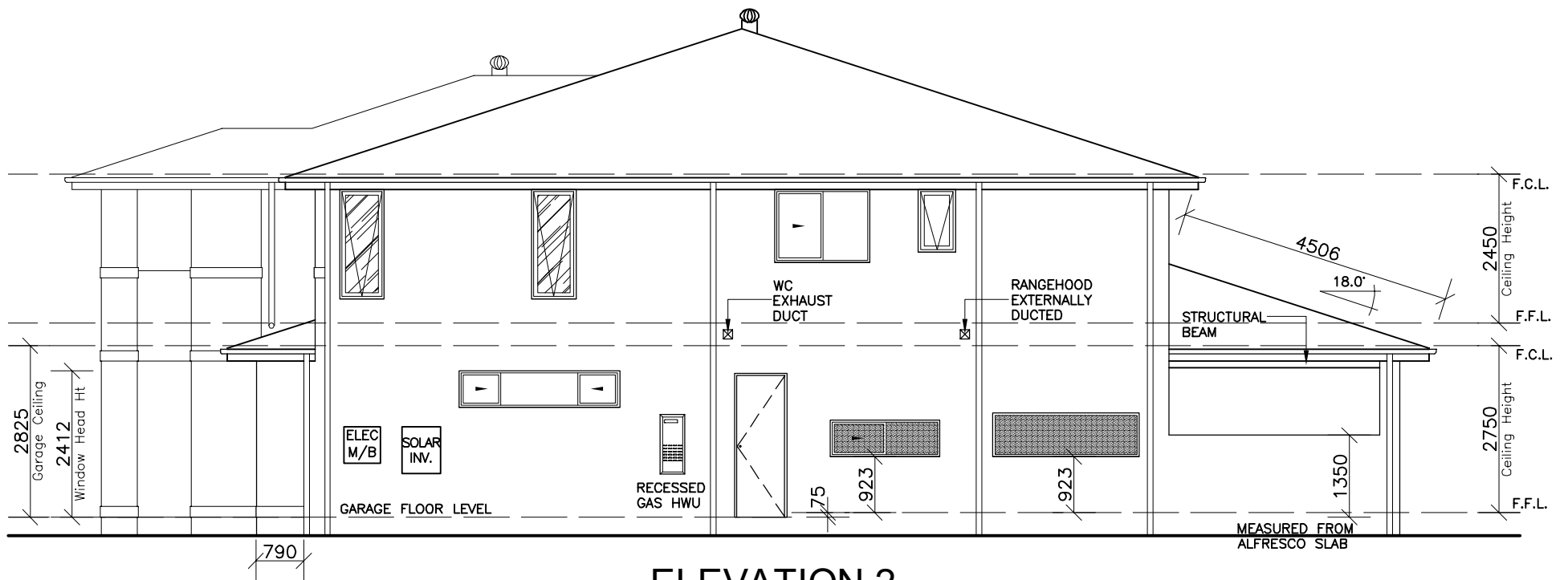
 DENOTES WINDOWS AND DOORS WITH DOUBLE GLAZED ARGON FILLED SMART GLASS SP 10 GLAZING

NOTES:
FOR DROP-OFF'S REFER TO FRAMING DETAILS
CDN 21.010-21.080

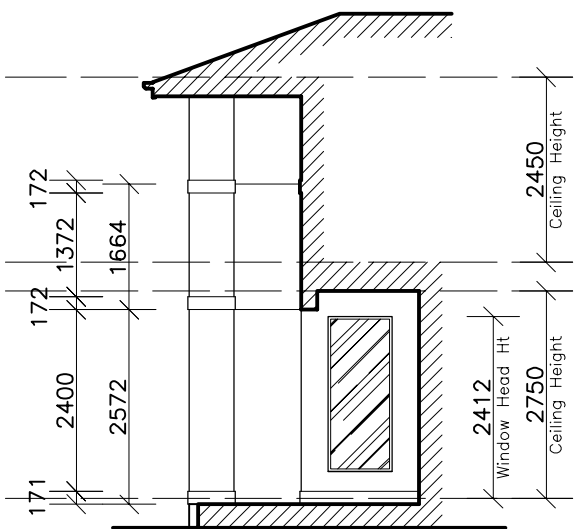
SOLAR PACK PROMOTION
* 3.3 KW SMART SOLAR SYSTEM
* EV CHARGER (7KW)
* INVERTER



**ELEVATION 1
-WEST-**



**ELEVATION 2
-SOUTH-**



ELEVATION 5

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
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Mrs. SICLARI
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
D.A. DRAWING		
DRAWN: MTK	DATE: 02.02.24	Rev: E
RATIO @ A3: 1:100	CHECKED: AL	
SHEET: 5	JOB No: 29916918	NSW

**HEBEL FLOORING
CONSTRUCTION**
(EXCLUDES WET AREAS)

HEBEL CONSTRUCTION

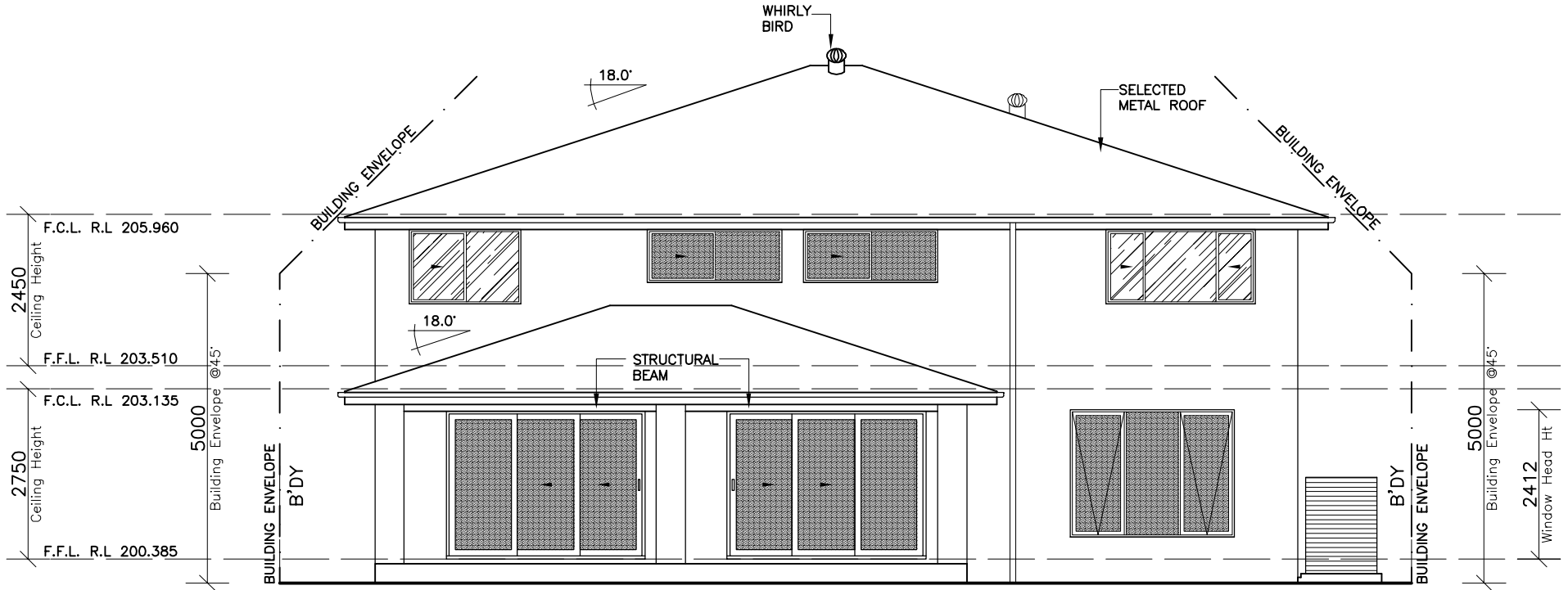
NOTE:
CONTROL JOINTS AS PER
INSTALLER'S SPECIFICATION

 DENOTES WINDOWS WITH
SMART GLASS SP 10
GLAZING

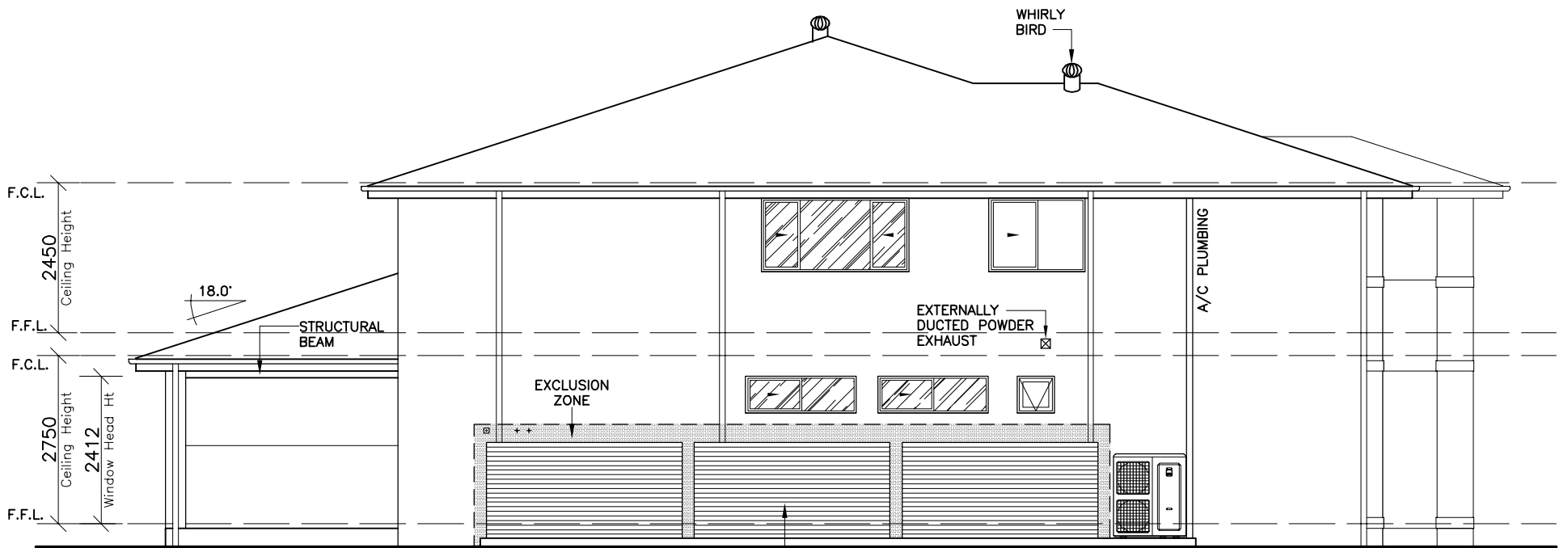
 DENOTES WINDOWS AND
DOORS WITH DOUBLE
GLAZED ARGON FILLED
SMART GLASS SP 10
GLAZING

NOTES:
FOR DROP-OFF'S REFER
TO FRAMING DETAILS
CDN 21.010-21.080

SOLAR PACK PROMOTION
* 3.3 KW SMART SOLAR SYSTEM
* EV CHARGER (7KW)
* INVERTER



**ELEVATION 3
-EAST-**



LOCATION OF 3x5298L
SLIMLINE ABOVE GROUND
RAINWATER TANK
3x(3200Lx1150Wx1560H)

**ELEVATION 4
-NORTH-**

 northern
beaches
council

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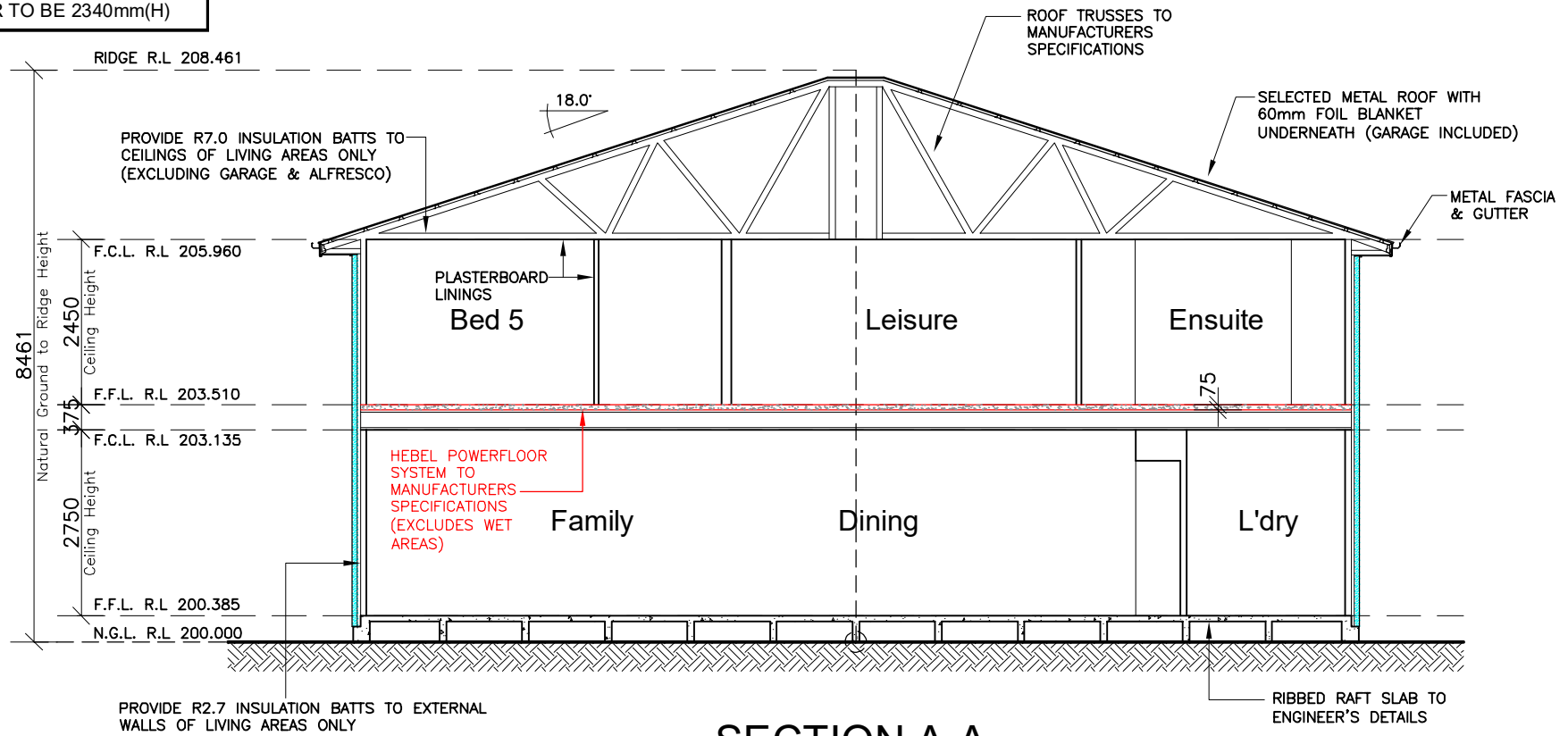
D.A. DRAWING

DRAWN: MTK	DATE: 02.02.24	Rev: E
RATIO @ A3: 1:100	CHECKED: AL	
SHEET: 6	JOB No: 29916918	NSW

**HEBEL FLOORING
CONSTRUCTION**
(EXCLUDES WET AREAS)

HEBEL CONSTRUCTION

NOTE:
INTERNAL DOOR LEAF HEIGHTS TO
GROUND FLOOR TO BE 2340mm(H)

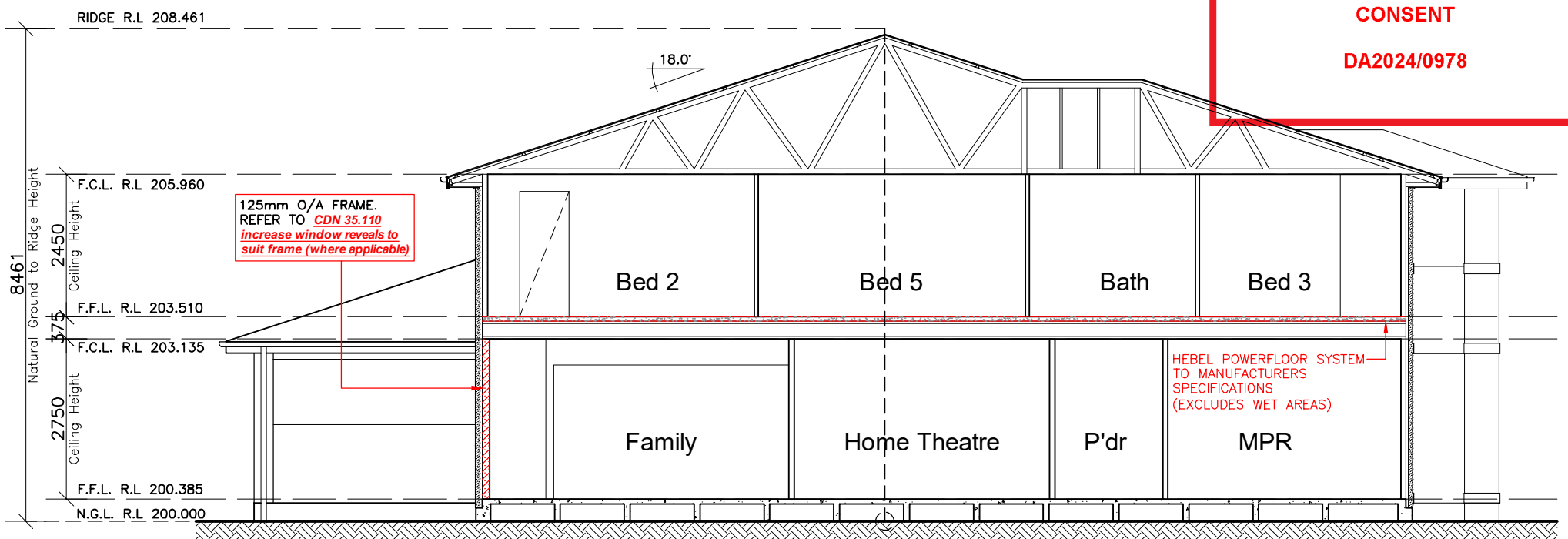


SECTION A-A.

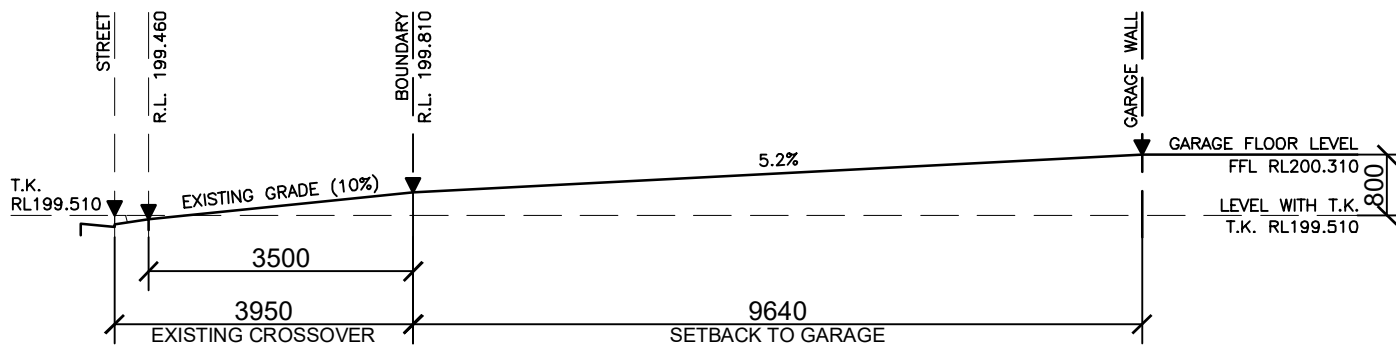
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SECTION B-B.



DRIVEWAY GRADIENT PROFILE

SCALE - 1:100

CLIENT'S SIGNATURE: _____

DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

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DRAWN: MTK	DATE: 02.02.24	Rev: E
RATIO @ A3: 1:100	CHECKED: AL	
SHEET: 7	JOB No: 29916918	NSW

Lifestyle Studio External Colour Board

L I F E S T Y L E

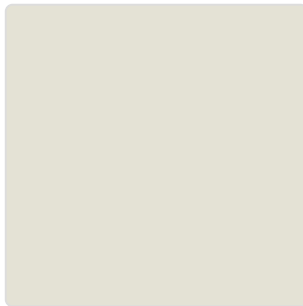
- S T U D I O -
BY CLARENDON HOMES

Date: 13/06/2024
Job Number: 29916918
Customer: Mr. Cosimo Siclari & Mrs. Sophie Elizabeth Siclari
Address: Lot 51 8 Jinchilla Road TERREY HILLS NSW 2084
House Type - Elevation: Saratoga 40 - Chisholm (Face Brick)
Roof BASIX Rating: Medium
Wall BASIX Rating: Light
Developer: No Developer

YOUR EXTERNAL COLOUR SELECTIONS



Colorbond Roof Selection
Colorbond - Custom Orb - Dune



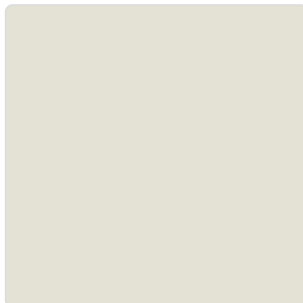
Main Render Colour
PVC Downpipes
Taubmans - Colorbond Surfemist
CB 23



Feature Render Colour
Taubmans - Colorbond Dune
CB 04



Gutter Colour
Fascia Colour
Colorbond - Dune



Watertank
Colorbond - Surfemist



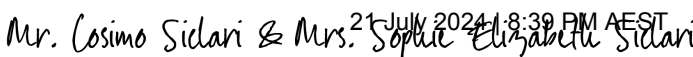
Aluminium Window and Door Frame Colour
Wideline - Colorbond Monument - Matt



northern beaches council

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DA2024/0978

Signed by:

 C2879A1993F0470...

Customer Signature: _____

Date Signed: _____



Front Door Profile

Corinthian Doors - Blonde Oak -
AWOWS 5G - 2340mm x 1200mm
- with Translucent Glazing

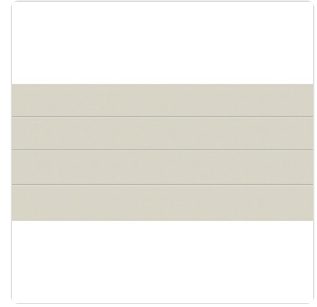
Entry



Front Door Colour

Clarendon Medium Stain

Entry



Garage Door Profile

Dynamic Garage Doors - Flatline

Garage



Garage Door Colour

Colorbond - Woodgrain -
Monument

Garage



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DA2024/0978

IMPORTANT:

Clarendon Homes cannot guarantee that the colour you see accurately portrays the true colour of the product. Actual product colour may vary from the images shown. Every monitor or mobile display has a different capability to display colours, and every individual may see these colours differently. In addition, lighting conditions at the time the photo was taken can also affect the image's colour.

Screen and print images are intended as a guide only and should not be regarded as absolutely correct. Refer back to the actual samples shown at the time of your Lifestyle Studio appointment for a true representation of the product and colour.

Signed by:

Mr. Cosimo Sidani & Mrs. Sophie Elizabeth Sidani

C2879A1993F0470...

Customer 1

21 July 2024 | 8:39 PM AEST

Date

Customer 2

Date

Signed by:

Mr. Cosimo Sidani & Mrs. Sophie Elizabeth Sidani

C2879A1993F0470...

Customer Signature: _____

Date Signed: _____