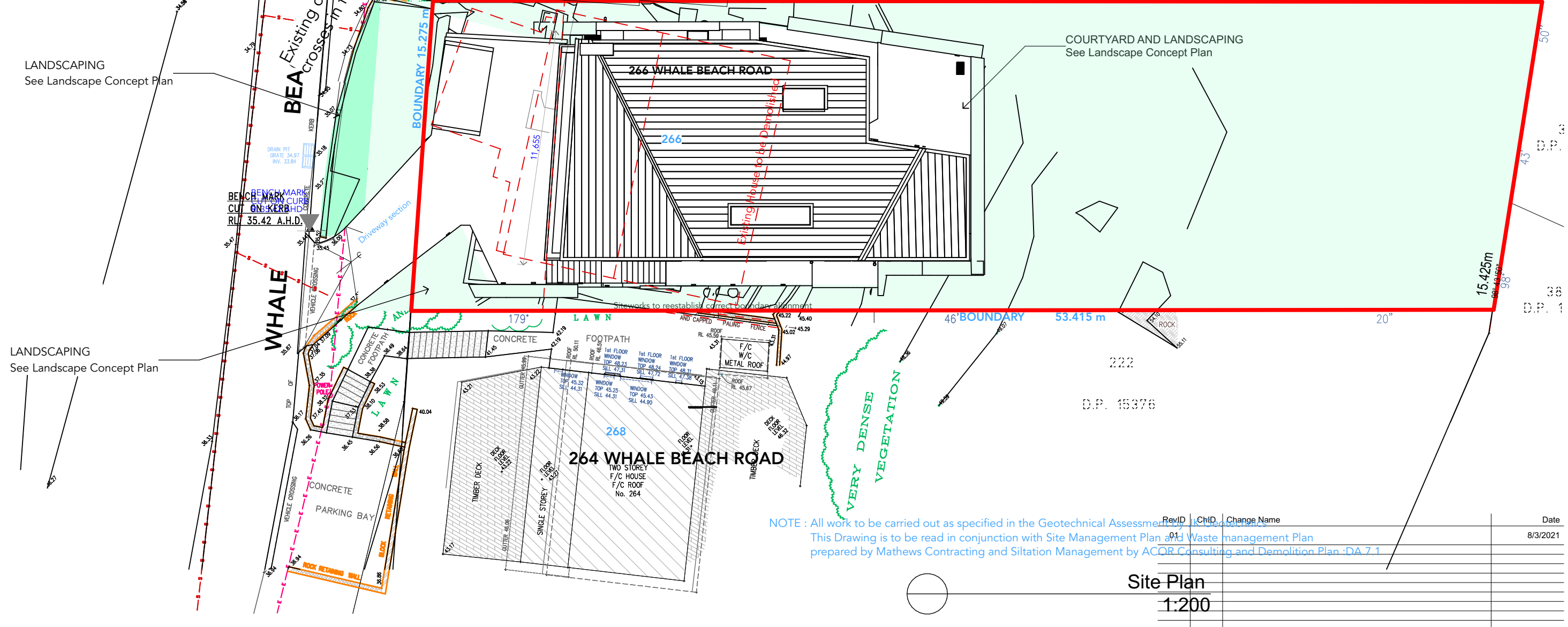
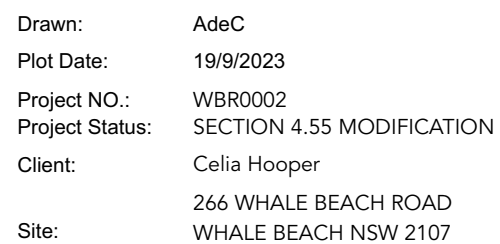


\$4.55 003

All work is to be carried out in compliance with the appropriate Australian Standards as referenced in all sections of the accompanying written Construction Specification



DRAWING :	REVISION NO.
S4.55 Plans	
Site Plan	01
PROJECT :	DRAWING NO.
266 WHALE BEACH ROAD	S4.55 004



All boundaries and contours are subject to survey drawing **W-01**. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.

All documents here within are subject to Australian Copyright Laws.

DRAWING :

S4.55 Plans

Site Plan

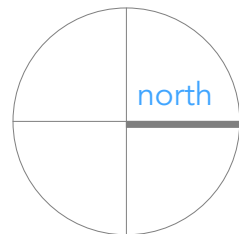
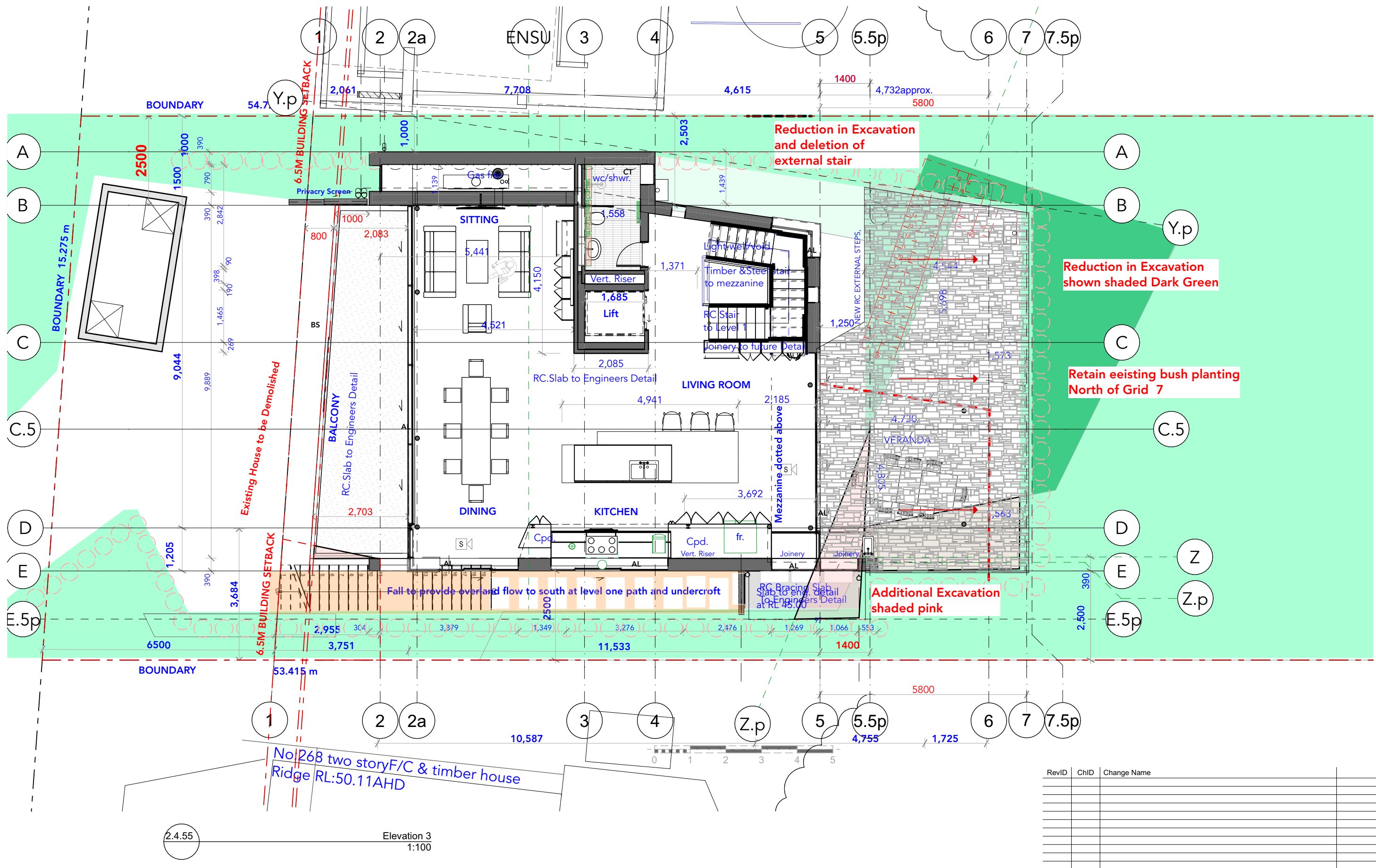
REVISION NO.

01

DRAWING NO.

266 WHALE BEACH ROAD

\$4.55 004



studio_deCARTA



Allen de Carteret_Architecture NSW ABR # 5283 decarta@mac.com 0419 231 530
Studio 5 : Level 4 : 68-72 Wentworth Avenue Surry Hills NSW 2010

Drawn: AdeC
Plot Date: 13/9/2023
Project NO.: WBR0002
Project Status: CONSTRUCTION DETAIL
Client: Celia Hooper
Site: 266 WHALE BEACH ROAD
WHALE BEACH NSW 2107

NOTE
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RevID	ChID	Change Name	Date

DRAWING : **S4.55**
S4.55 LEVEL 2

REVISION NO. _____

DRAWING NO. _____

266 WHALE BEACH ROAD

11.6.3

THERMAL COMFORT SPECIFICATION - BASIX

GD/W - Glazing Doors/Windows:
Louvered windows or louvered windows combined with fixed glazing and sliding windows
U-Value: 4.80 (equal to or lower than) SHGC: 0.59 (±10%)
All other windows/glazed doors:
U-Value: 3.40 (equal to or lower than) SHGC: 0.53 (±10%)
Given values are AFRC, total window system values (glass and frame)

R+C - Roofing and Ceiling
Plywood roofing with membrane, no insulation required
Plasterboard ceiling with R4.0 insulation (insulation value only) where roof is above excl.
Plasterboard ceiling with R2.5 insulation to garage ceiling where habitable rooms above
External Colour: Dark (SA>0.7)

EW - External Walls
Lightweight cladding on framed walls with R2.50 insulation (insulation value only)
Cavity wall (90mm external concrete block/50mm air gap/190mm core-filled)
with AIR-CELL Permivar insulation to all other walls. Minimum Total system R value of R
No insulation required to external garage walls
External Colour: Medium (0.475<SA<0.7)

IW - Internal Walls
Single skin brick with R2.0 insulation only required to walls between garage and habitable
Cavity wall (90mm external/50mm air gap/190mm core-filled)
with AIR-CELL Permivar insulation to walls between garage and basement lift. Minimum

F - Floors
Concrete slab on ground, no insulation required
Suspended concrete with R1.5 insulation (insulation value only) to open suspended area
Concrete between levels, no insulation required where habitable rooms are above and below
Floor coverings: Tiles to entry, hall and wet areas, timber to gallery/loft and polished concrete

ES - External Shading
Covered Porch and Alfresco. Eaves as per stamped plans

BASIX Water Commitments

FX - Fixtures
Install showerheads minimum rating of 4 stars-High flow (>6.0 and <=7.5 Litres/min)
Install toilet flushing system with a minimum rating of 4 stars in each toilet
Install tap with minimum rating of 4 stars in the kitchen
Install taps with minimum rating of 4 stars in each bathroom

AW - Alternative Water
Install rainwater tank, minimum 3,200 L capacity collected from min. 196 m² roof area
Tank connected to - At least one outdoor tap, laundry and toilets

BASIX Energy Commitments

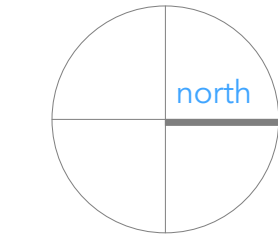
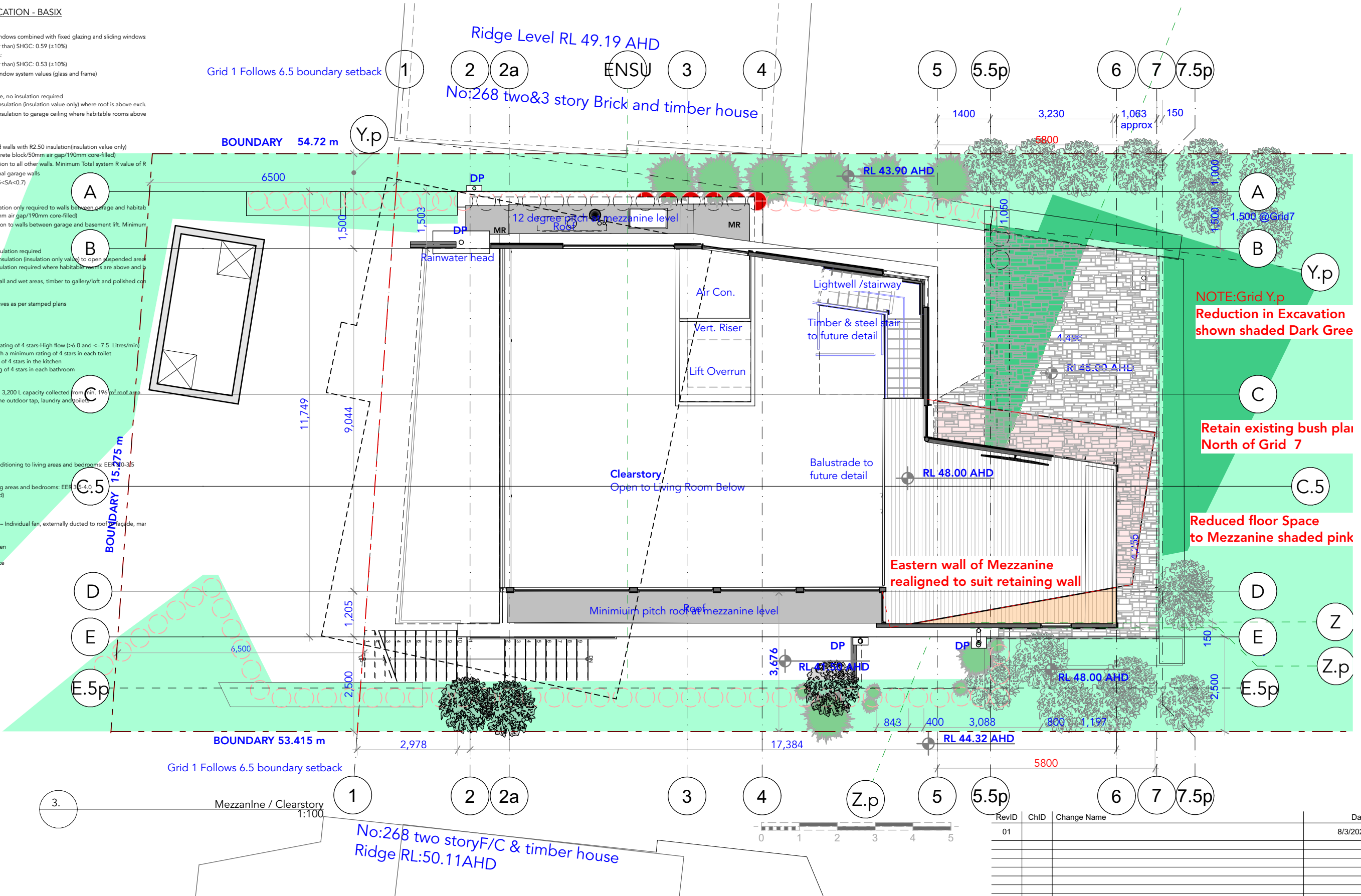
HWS - Hot Water System
Gas storage (not rated)

CS - Cooling System
Ceiling fan and 3 phase air conditioning to living areas and bedrooms: EER 3.0-3.5

HS - Heating system
3 phase air conditioning to living areas and bedrooms: EER 3.5-4.0
Gas fixed fired heater (not rated)

V - Ventilation
Kitchen, bathroom and laundry - Individual fan, externally ducted to roof or facade, max

O - Other
Induction cooktop & electric oven
Outdoor clothes drying line
Well ventilated refrigerator space



studio_deCARTA



Allen de Carteret Architecture NSW ABR # 5283 decarta@mac.com 0419 231 530
Studio 5 : Level 4 : 68-72 Wentworth Avenue Surry Hills NSW 2010

Drawn: AdeC
Plot Date: 19/9/2023
Project NO.: WBR0002
Project Status: SECTION 4.55 MODIFICATION
Client: Celia Hooper
Site: 266 WHALE BEACH ROAD
WHALE BEACH NSW 2107

NOTE
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All documents here within are subject to Australian Copyright Laws.

DRAWING :

S4.55 Plans
Mezzanine/Clearstory

PROJECT :

266 WHALE BEACH ROAD

REVISION NO.

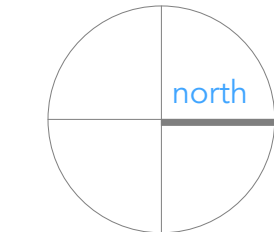
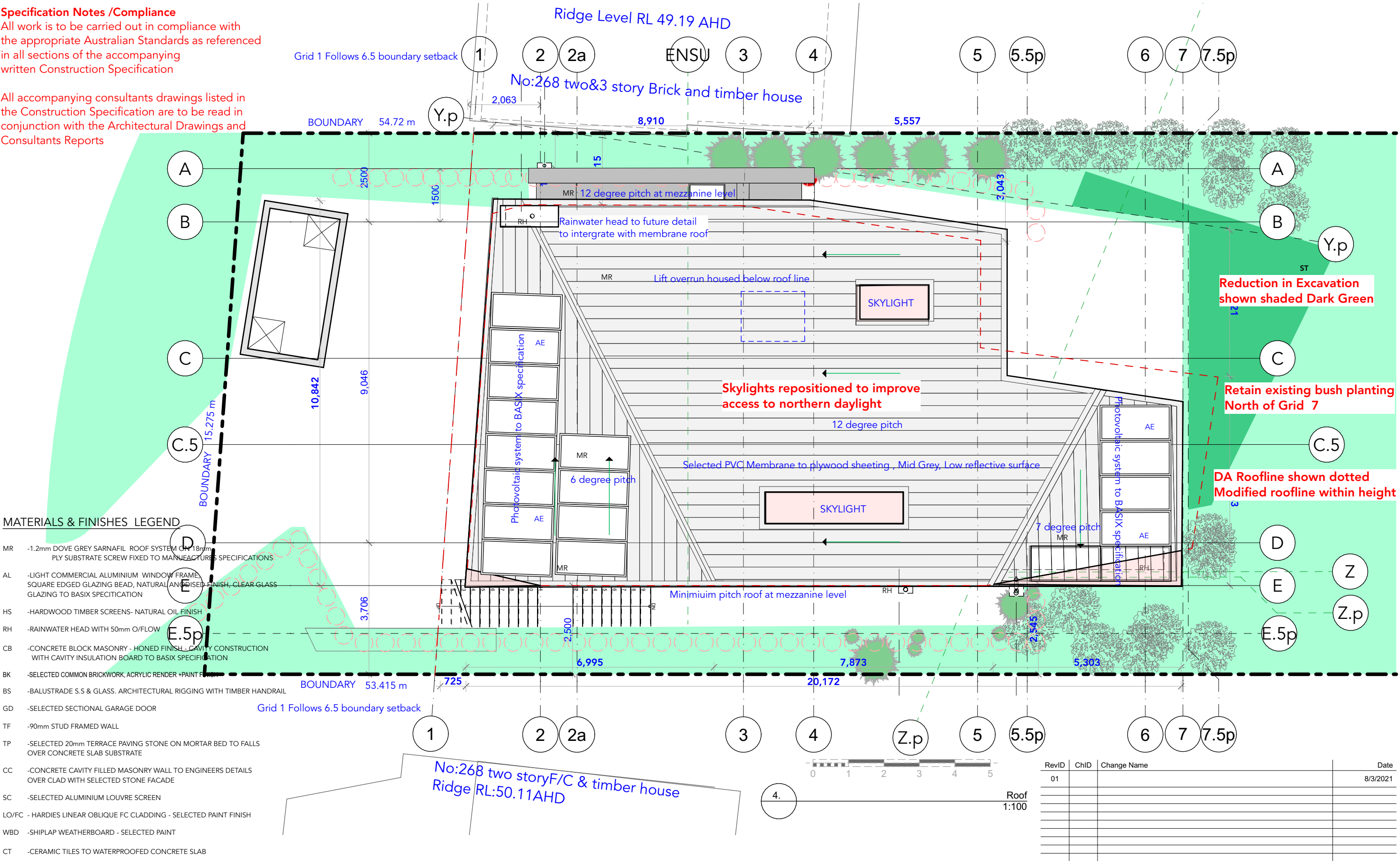
01

DRAWING NO.

S4.55 103

Specification Notes /Compliance
All work is to be carried out in compliance with the appropriate Australian Standards as referenced in all sections of the accompanying written Construction Specification

All accompanying consultants drawings listed in the Construction Specification are to be read in conjunction with the Architectural Drawings and Consultants Reports



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Studio 5 : Level 4 : 68-72 Wentworth Avenue Surry Hills NSW 2010

Drawn: AdeC
Plot Date: 19/9/2023
Project NO.: WBR0002
Project Status: SECTION 4.55 MODIFICATION
Client: Celia Hooper
Site: 266 WHALE BEACH ROAD WHALE BEACH NSW 2107

NOTE
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DRAWING :

S4.55 Plans
Roof Plan

REVISION NO.

01

PROJECT :

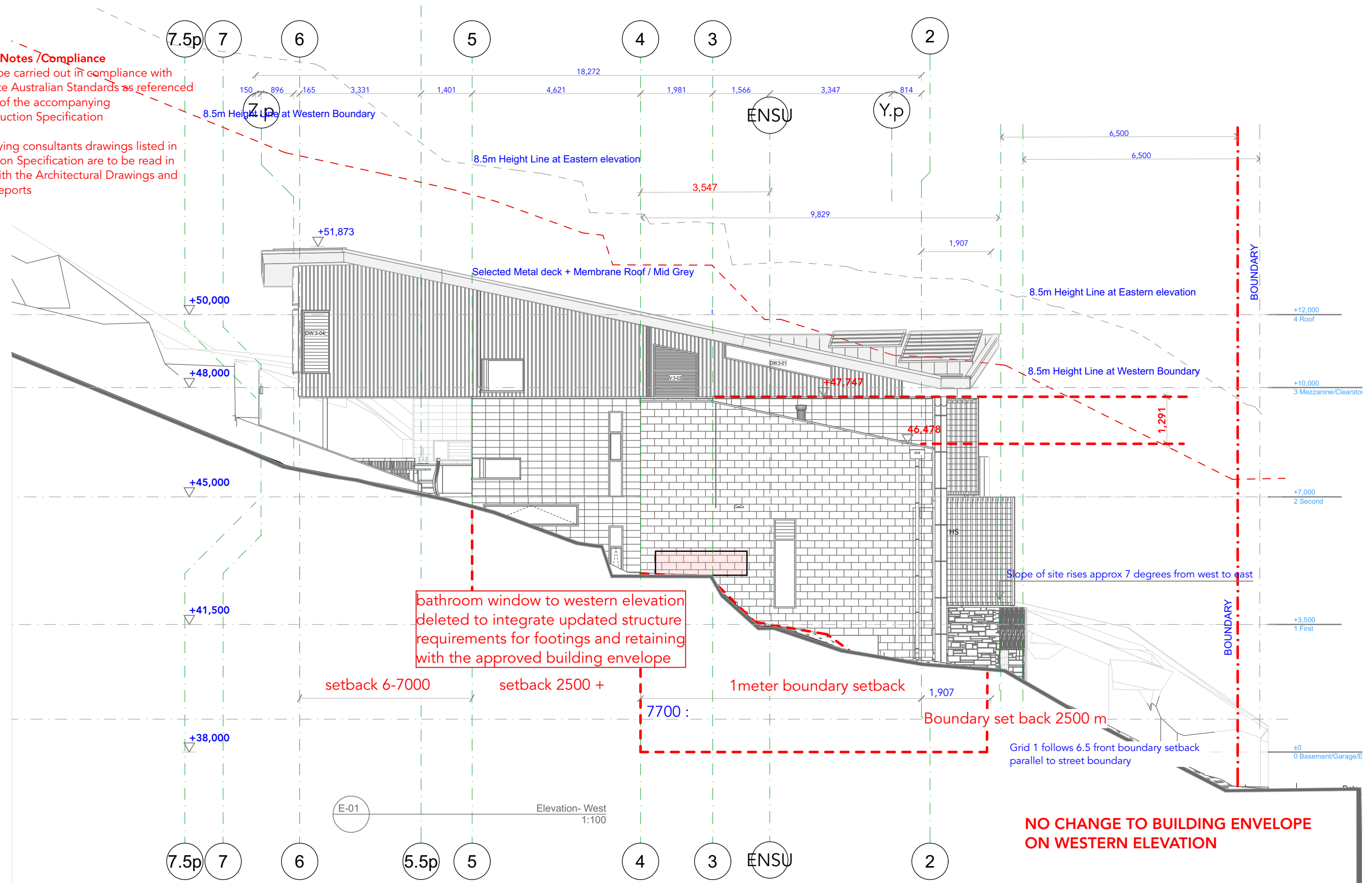
266 WHALE BEACH ROAD

DRAWING NO.

S4.55 104

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studio_deCARTA



Allen de Carteret_Architecture NSW ABR # 5283 decarta@mac.com 0419 231 530
Studio 5 : Level 4 : 68-72 Wentworth Avenue Surry Hills NSW 2010

Drawn: AdeC
Plot Date: 19/9/2023
Project NO.: WBR0002
Project Status: SECTION 4.55 MODIFICATION
Client: Celia Hooper
266 WHALE BEACH ROAD
Site: WHALE BEACH NSW 2107

NOTE
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DRAWING :

S4.55 Elevations

E-01 West Elevation

REVISION NO.

01

PROJECT :

266 WHALE BEACH ROAD,

DRAWING NO.

\$4.55 300

THERMAL COMFORT SPECIFICATION - BASIX

GD/W	<p>Glazing Doors/Windows:</p> <p>Louvered windows or louvered windows combined with fixed glazing and sliding windows:</p> <p>U-Value: 4.80 (equal to or lower than) SHGC: 0.59 (±10%)</p> <p>All other windows/glazed doors:</p> <p>U-Value: 3.40 (equal to or lower than) SHGC: 0.53 (±10%)</p> <p>Given values are AFRC, total window system values (glass and frame)</p>
R+C	<p>Roofing and Ceiling</p> <p>Plywood roofing with membrane, no insulation required</p> <p>Plasterboard ceiling with R4.0 insulation (insulation value only) where roof is above excluding garage</p> <p>Plasterboard ceiling with R2.5 insulation to garage ceiling where habitable rooms above.</p> <p>External Colour: Dark (SA>0.7)</p>
EW	<p>External Walls</p> <p>Lightweight cladding on framed walls with R2.50 insulation(insulation value only)</p> <p>Cavity wall(90mm external concrete block/50mm air gap/190mm core-filled)</p> <p>with AIR-CELL. Permican insulation to all other walls. Minimum Total system R value of R4.79</p> <p>No insulation required to external garage walls</p> <p>External Colour: Medium (0.475<SA<0.7)</p>
IW	<p>Internal Walls</p> <p>Single skin brick with R2.0 insulation only required to walls between garage and habitable areas</p> <p>Cavity wall (90mm external/50mm air gap/190mm core-filled)</p> <p>with AIR-CELL Permican insulation to walls between garage and basement lift. Minimum Total system R value of</p>
F	<p>Floors</p> <p>Concrete slab on ground, no insulation required</p> <p>Suspended concrete with R1.5 insulation (insulation only value) to open suspended areas</p> <p>Concrete between levels, no insulation required where habitable rooms are above and below</p> <p>Floor coverings: Tiles to entry, hall and wet areas, timber to gallery/loft and polished concrete elsewhere</p>
ES	<p>External Shading</p> <p>Covered Porch and Alfresco. Eaves as per stamped plans</p>

BASIX Water Commitments

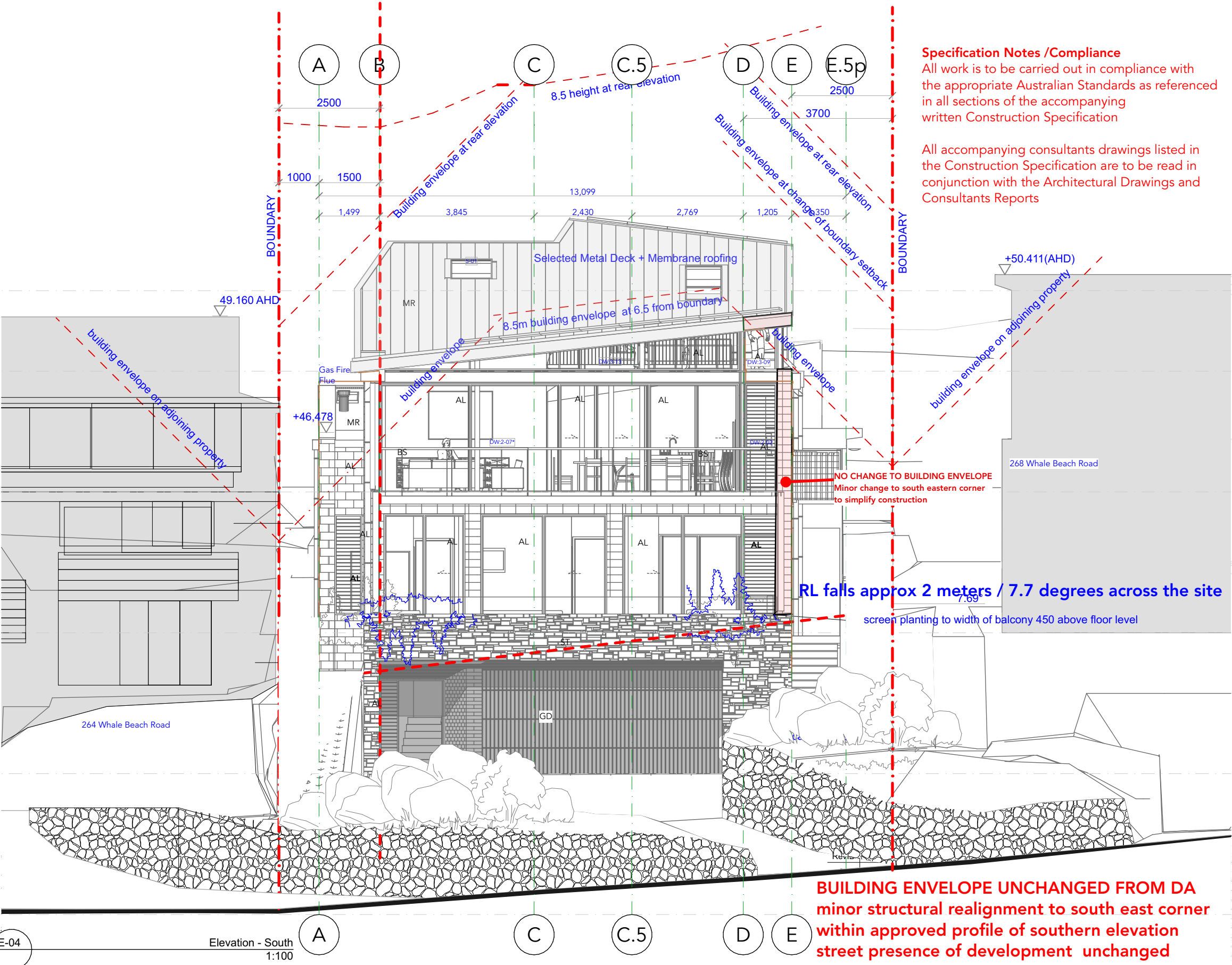
FX	<p>Fixtures</p> <p>Install showerheads minimum rating of 4 stars-High flow (>6.0 and <=7.5 Litres/min)</p> <p>Install toilet flushing system with a minimum rating of 4 stars in each toilet</p> <p>Install tap with minimum rating of 4 stars in the kitchen</p> <p>Install taps with minimum rating of 4 stars in each bathroom</p>
AW	<p>Alternative Water</p> <p>Install rainwater tank, minimum 3,200 L capacity collected from min. 196 m² roof area.</p> <p>Tank connected to – At least one outdoor tap, laundry and toilets</p>

BASIX Energy Commitments

HWS	<p>Hot Water System</p> <p>Gas storage(not rated)</p>
CS	<p>Cooling System</p> <p>Ceiling fan and 3 phase air conditioning to living areas and bedrooms: EER 3.0-3.5</p>
HS	<p>Heating system</p> <p>3 phase air conditioning to living areas and bedrooms: EER 3.5-4.0</p> <p>Gas fixed flued heater (not rated)</p>
V	<p>Ventilation</p> <p>Kitchen, bathroom and laundry – Individual fan, externally ducted to roof or façade, manual on/off switch</p>
O	<p>Other</p> <p>Induction cooktop & electric oven</p> <p>Outdoor clothes drying line</p> <p>Well ventilated refrigerator space</p>
AE	<p>Alternative Energy</p> <p>Minimum 1kWp photovoltaic System</p>

MATERIALS & FINISHES LEGEND

MR	-1.2mm DOVE GREY SARNAFIL ROOF SYSTEM ON 18mm PLY SUBSTRATE SCREW FIXED TO MANUFACTURES SPECIFICATIONS
AL	-LIGHT COMMERCIAL ALUMINIUM WINDOW FRAME, SQUARE EDGED GLAZING BEAD, NATURAL ANODISED FINISH, CLEAR GLASS GLAZING TO BASIX SPECIFICATION
HS	-HARDWOOD TIMBER SCREENS- NATURAL OIL FINISH
RH	-RAINWATER HEAD WITH 50mm O/FLOW
CB	-CONCRETE BLOCK MASONRY - HONED FINISH - CAVITY CONSTRUCTION WITH CAVITY INSULATION BOARD TO BASIX SPECIFICATION
BK	-SELECTED COMMON BRICKWORK, ACRYLIC RENDER +PAINT FINISH
BS	-BALUSTRADE S.S & GLASS. ARCHITECTURAL RIGGING WITH TIMBER HANDRAIL
GD	-SELECTED SECTIONAL GARAGE DOOR
TF	-90mm STUD FRAMED WALL
TP	-SELECTED 20mm TERRACE PAVING STONE ON MORTAR BED TO FALLS OVER CONCRETE SLAB SUBSTRATE
CC	-CONCRETE CAVITY FILLED MASONRY WALL TO ENGINEERS DETAILS OVER CLAD WITH SELECTED STONE FACADE
SC	-SELECTED ALUMINIUM LOUVRE SCREEN
LO/FC	- HARDIES LINEAR OBLIQUE FC CLADDING - SELECTED PAINT FINISH
WBD	-SHIPLAP WEATHERBOARD - SELECTED PAINT
CT	-CERAMIC TILES TO WATERPROOFED CONCRETE SLAB



THERMAL COMFORT SPECIFICATION - BASIX

GD/W	Glazing Doors/Windows: Louvered windows or louvered windows combined with fixed glazing and sliding windows: U-Value: 4.80 (equal to or lower than) SHGC: 0.59 (±10%) All other windows/glazed doors: U-Value: 3.40 (equal to or lower than) SHGC: 0.53 (±10%) Given values are AFRC, total window system values (glass and frame)
R+C	Roofing and Ceiling Plywood roofing with membrane, no insulation required Plasterboard ceiling with R4.0 insulation (insulation value only) where roof is above excluding garage Plasterboard ceiling with R2.5 insulation to garage ceiling where habitable rooms above. External Colour: Dark (SA>0.7)
EW	External Walls Lightweight cladding on framed walls with R2.50 insulation(insulation value only) Cavity wall(90mm external concrete block/50mm air gap/190mm core-filled) with AIR-CELL. Permivav insulation to all other walls. Minimum Total system R value of Rt1.79 No insulation required to external garage walls External Colour: Medium (0.475<SA<0.7)
IW	Internal Walls Single skin brick with R2.0 insulation only required to walls between garage and habitable areas Cavity wall (90mm external/50mm air gap/190mm core-filled) with AIR-CELL Permivav insulation to walls between garage and basement lift. Minimum Total system R value of Rt1.79.
F	Floors Concrete slab on ground, no insulation required Suspended concrete with R1.5 insulation (insulation only value) to open suspended areas Concrete between levels, no insulation required where habitable rooms are above and below Floor coverings: Tiles to entry, hall and wet areas, timber to gallery/loft and polished concrete elsewhere
ES	External Shading Covered Porch and Alfresco. Eaves as per stamped plans

BASIX Water Commitments

FX	Fixtures Install showerheads minimum rating of 4 stars-High flow (>6.0 and <=7.5 Litres/min) Install toilet flushing system with a minimum rating of 4 stars in each toilet Install tap with minimum rating of 4 stars in the kitchen Install taps with minimum rating of 4 stars in each bathroom
AW	Alternative Water Install rainwater tank, minimum 3,200 L capacity collected from min. 196 m² roof area. Tank connected to – At least one outdoor tap, laundry and toilets

BASIX Energy Commitments

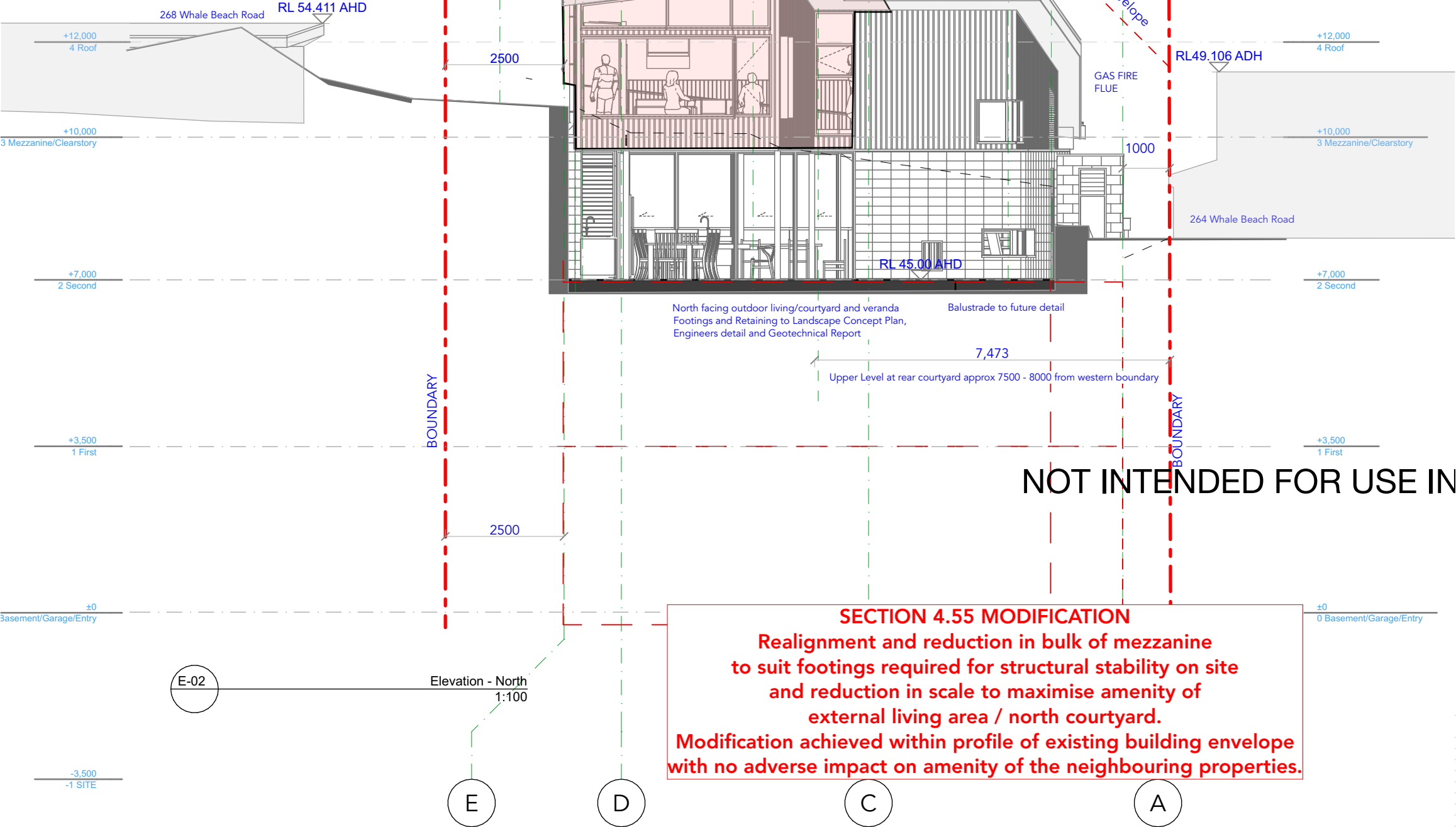
HWS	Hot Water System Gas storage(not rated)
CS	Cooling System Ceiling fan and 3 phase air conditioning to living areas and bedrooms: EER 3.0-3.5
HS	Heating system 3 phase air conditioning to living areas and bedrooms: EER 3.5-4.0 Gas fixed flued heater (not rated)
V	Ventilation Kitchen, bathroom and laundry – Individual fan, externally ducted to roof or façade, manual on/off switch
O	Other Induction cooktop & electric oven Outdoor clothes drying line Well ventilated refrigerator space
AE	Alternative Energy Minimum 1kWp photovoltaic System

MATERIALS & FINISHES LEGEND

MR	-1.2mm DOVE GREY SARNAFIL ROOF SYSTEM ON 18mm PLY SUBSTRATE SCREW FIXED TO MANUFACTURES SPECIFICATIONS
AL	-LIGHT COMMERCIAL ALUMINIUM WINDOW FRAME, SQUARE EDGED GLAZING BEAD, NATURAL ANODISED FINISH, CLEAR GLASS GLAZING TO BASIX SPECIFICATION
HS	-HARDWOOD TIMBER SCREENS- NATURAL OIL FINISH
RH	-RAINWATER HEAD WITH 50mm O/FLOW
CB	-CONCRETE BLOCK MASONRY - HONED FINISH - CAVITY CONSTRUCTION WITH CAVITY INSULATION BOARD TO BASIX SPECIFICATION
BK	-SELECTED COMMON BRICKWORK, ACRYLIC RENDER +PAINT FINISH
BS	-BALUSTRADE S.S & GLASS. ARCHITECTURAL RIGGING WITH TIMBER HANDRAIL
GD	-SELECTED SECTIONAL GARAGE DOOR
TF	-90mm STUD FRAMED WALL
TP	-SELECTED 20mm TERRACE PAVING STONE ON MORTAR BED TO FALLS OVER CONCRETE SLAB SUBSTRATE
CC	-CONCRETE CAVITY FILLED MASONRY WALL TO ENGINEERS DETAILS OVER CLAD WITH SELECTED STONE FACADE
SC	-SELECTED ALUMINIUM LOUVRE SCREEN
LO/FC	-HARDIES LINEAR OBLIQUE FC CLADDING - SELECTED PAINT FINISH
WBD	-SHIPLAP WEATHERBOARD - SELECTED PAINT
CT	-CERAMIC TILES TO WATERPROOFED CONCRETE SLAB

Specification Notes /Compliance
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All accompanying consultants drawings listed in the Construction Specification are to be read in conjunction with the Architectural Drawings and Consultants Reports



Drawn:	AdeC
Plot Date:	19/9/2023
Project NO.:	WBR0002
Project Status:	SECTION 4.55 MODIFICATION
Client:	Celia Hooper
	266 WHALE BEACH ROAD
Site:	WHALE BEACH NSW 2107

NOTE
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DRAWING :	S4.55 Elevations North Elevation	REVISION NO.	01
PROJECT :	266 WHALE BEACH ROAD	DRAWING NO.	S4.55 303

studio_deCARTA



Allen de Carteret_Architecture NSW ABR # 5283 decarta@mac.com 0419 231 530
 Studio 5 : Level 4 : 68-72 Wentworth Avenue Surry Hills NSW 2010

THERMAL COMFORT SPECIFICATION - BASIX

GD/W	Glazing Doors/Windows:	Louvered windows or louvered windows combined with fixed glazing and sliding windows:
		U-Value: 4.80 (equal to or lower than) SHGC: 0.59 (±10%) All other windows/glazed doors: U-Value: 3.40 (equal to or lower than) SHGC: 0.53 (±10%) Given values are AFRC, total window system values (glass and frame)
R+C	Roofing and Ceiling	Plywood roofing with membrane, no insulation required Plasterboard ceiling with R4.0 insulation (insulation value only) where roof is above excluding garage Plasterboard ceiling with R2.5 insulation to garage ceiling where habitable rooms above. External Colour: Dark (SA>0.7)
EW	External Walls	Lightweight cladding on framed walls with R2.50 insulation(insulation value only) Cavity wall(90mm external concrete block/50mm air gap/190mm core-filled) with AIR-CELL. Permican insulation to all other walls. Minimum Total system R value of R1.79 No insulation required to external garage walls External Colour: Medium (0.475<SA<0.7)
IW	Internal Walls	Single skin brick with R2.0 insulation only required to walls between garage and habitable areas Cavity wall (90mm external/50mm air gap/190mm core-filled) with AIR-CELL Permican insulation to walls between garage and basement lift. Minimum Total system R value of R1.79.
F	Floors	Concrete slab on ground, no insulation required Suspended concrete with R1.5 insulation (insulation only value) to open suspended areas Concrete between levels, no insulation required where habitable rooms are above and below Floor coverings: Tiles to entry, hall and wet areas, timber to gallery/loft and polished concrete elsewhere
ES	External Shading	Covered Porch and Alfresco. Eaves as per stamped plans

BASIX Water Commitments

FX	Fixtures	Install showerheads minimum rating of 4 stars-High flow (>6.0 and <=7.5 Litres/min) Install toilet flushing system with a minimum rating of 4 stars in each toilet Install tap with minimum rating of 4 stars in the kitchen Install taps with minimum rating of 4 stars in each bathroom
AW	Alternative Water	Install rainwater tank, minimum 3,200 L capacity collected from min. 196 m² roof area. Tank connected to –At least one outdoor tap, laundry and toilets

BASIX Energy Commitments

HWS	Hot Water System	Gas storage(not rated)
CS	Cooling System	Ceiling fan and 3 phase air conditioning to living areas and bedrooms: EER 3.0-3.5
HS	Heating system	3 phase air conditioning to living areas and bedrooms: EER 3.5-4.0 Gas fixed flued heater (not rated)
V	Ventilation	Kitchen, bathroom and laundry – Individual fan, externally ducted to roof or façade, manual on/off switch
O	Other	Induction cooktop & electric oven Outdoor clothes drying line Well ventilated refrigerator space
AE	Alternative Energy	Minimum 1kWp photovoltaic System

MATERIALS & FINISHES LEGEND

MR	-1.2mm DOVE GREY SARNAFIL ROOF SYSTEM ON 18mm PLY SUBSTRATE SCREW FIXED TO MANUFACTURES SPECIFICATIONS	
AL	-LIGHT COMMERCIAL ALUMINIUM WINDOW FRAME, SQUARE EDGED GLAZING BEAD, NATURAL ANODISED FINISH, CLEAR GLASS GLAZING TO BASIX SPECIFICATION	
HS	-HARDWOOD TIMBER SCREENS- NATURAL OIL FINISH	
RH	-RAINWATER HEAD WITH 50mm O/FLOW	
CB	-CONCRETE BLOCK MASONRY - HONED FINISH - CAVITY CONSTRUCTION WITH CAVITY INSULATION BOARD TO BASIX SPECIFICATION	
BK	-SELECTED COMMON BRICKWORK, ACRYLIC RENDER +PAINT FINISH	
BS	-BALUSTRADE S.S & GLASS. ARCHITECTURAL RIGGING WITH TIMBER HANDRAIL	
GD	-SELECTED SECTIONAL GARAGE DOOR	
TF	-90mm STUD FRAMED WALL	
TP	-SELECTED 20mm TERRACE PAVING STONE ON MORTAR BED TO FALLS OVER CONCRETE SLAB SUBSTRATE	
CC	-CONCRETE CAVITY FILLED MASONRY WALL TO ENGINEERS DETAILS OVER CLAD WITH SELECTED STONE FACADE	
SC	-SELECTED ALUMINIUM LOUVRE SCREEN	
LO/FC	-HARDIES LINEAR OBLIQUE FC CLADDING - SELECTED PAINT FINISH	
WBD	-SHIPLAP WEATHERBOARD - SELECTED PAINT	
CT	-CERAMIC TILES TO WATERPROOFED CONCRETE SLAB	

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BOUNDARY

BOUNDARY

E-03

Elevation - East
1:100

Grid 1 follows 6.5 front boundary setback parallel to street boundary

8.5m Height Line at Eastern elevation

8.5m Height Line at Western Boundary

Selected Membrane Roof / Mid Grey

Minor adjustment to corner to simplify construction with no impact on the building envelope

Realignment of mezzanine eastern wall to simplify construction with no change to eastern elevation profile
deletion of one of two windows to mezzanine

REALIGNMENT OF EASTERN WALL AT MEZZANINE LEVEL
WITH NO CHANGE TO PROFILE OF BUILDING ENVELOPE ON EASTERN ELEVATION

NOTE

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DRAWING :

S4.55 Elevations
East Elevation

PROJECT :

266 WHALE BEACH ROAD

REVISION NO.

01

DRAWING NO.

S4.55 304

studio_deCARTA



Allen de Carteret_Architecture NSW ABR # 5283 decarta@mac.com 0419 231 530
Studio 5 : Level 4 : 68-72 Wentworth Avenue Surry Hills NSW 2010

Drawn: AdeC
Plot Date: 19/9/2023
Project NO.: WBR0002
Project Status: SECTION 4.55 MODIFICATION
Client: Celia Hooper
266 WHALE BEACH ROAD
WHALE BEACH NSW 2107
Site: