



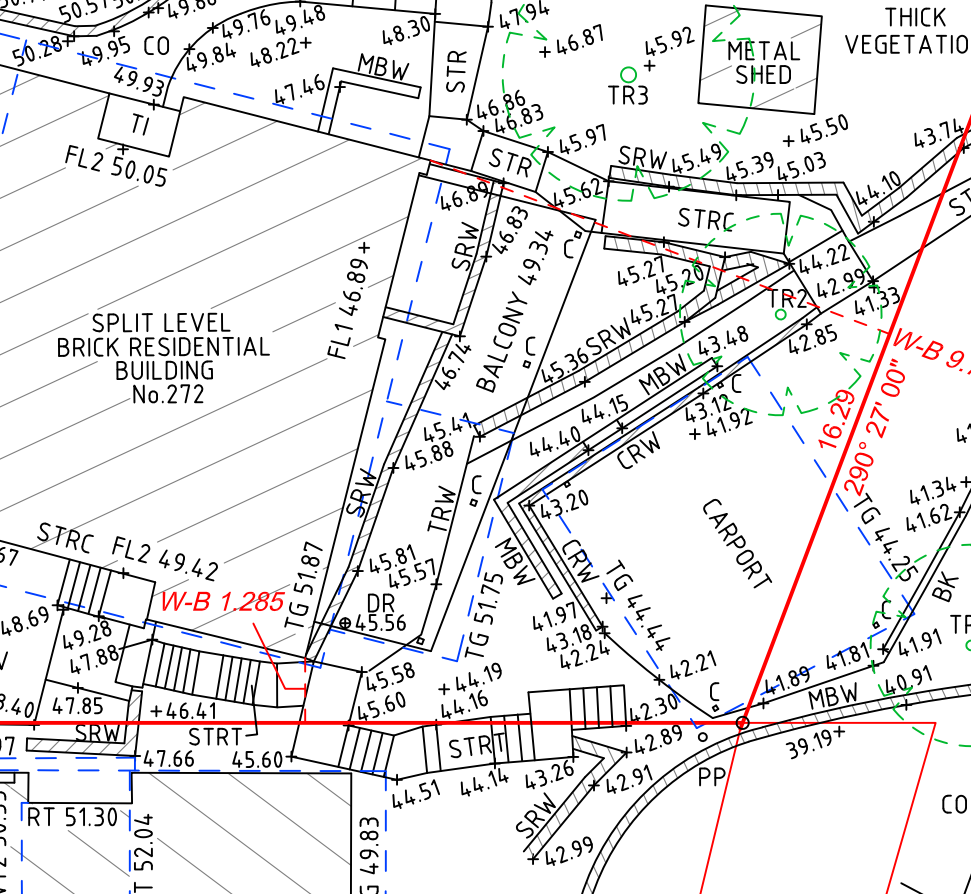
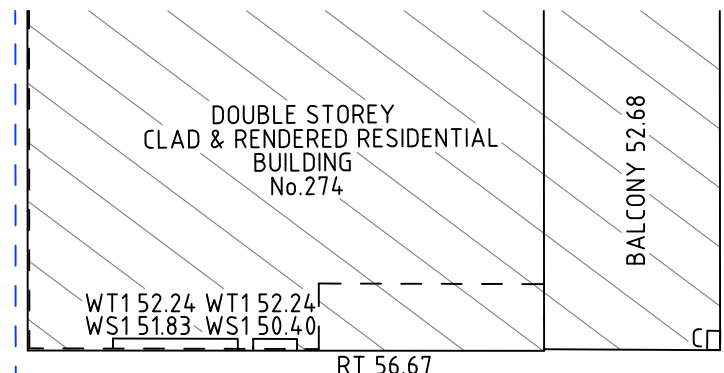
383
DP 19651

382
DP 19651

223
DP 15376

225
DP 15376

224
DP 15376
AREA 708.2 m²
(DP 15376)



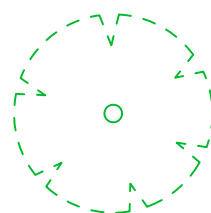
WHALE BEACH ROAD

105
DP 1011026

ABBREVIATIONS

BK - BACK OF KERB
C - COLUMN
CRW - CONCRETE RETAINING WALL
DR - DRAIN
FL - FLOOR LEVEL
MBW - MASONRY BRICK WALL
OUT - OUTLET
PAV - PAVERS
PP - POWER POLE
RI - ROOF RIDGE
RK - ROCK FACE
RT - ROOF TOP
SRW - STONE RETAINING WALL
STR - STAIR / STEPS
STRC - STAIR / STEPS CONCRETE
STRT - STAIR / STEPS TIMBER
TB - TOP OF BANK
TFC - TIMBER FENCE
TG - TOP OF ROOF GUTTER
TI - TILES
TK - TOP OF KERB
TRW - TIMBER RETAINING WALL
WS1 - WINDOW SILL 1ST FLOOR
WT1 - WINDOW TOP 1ST FLOOR
WS2 - WINDOW SILL 2ND FLOOR
WT2 - WINDOW TOP 2ND FLOOR

W-B - WALL TO BOUNDARY



TR2 : TREE APPROX. 0.2Ø TRUNK 4 SPREAD & HEIGHT
TR3 : TREE APPROX. 0.3Ø TRUNK 5 SPREAD & HEIGHT
TR4 : TREE APPROX. 0.4Ø TRUNK 8 SPREAD & HEIGHT

0 1 2 4 10
SCALE 1:150

GENERAL NOTES

THESE NOTES ARE AN INTEGRAL PART OF THIS PLAN. THE INFORMATION SHOWN ON THIS PLAN OR IN THE ASSOCIATED CAD FILE IS SUPPLIED ON THE CONDITION THAT THESE GENERAL NOTES ARE ALWAYS SHOWN\KEPT ON ANY COPY OR EXTRACT OF THE HARD COPY\DATA FILE.

THE LOCATION OF PROPERTY BOUNDARIES HAVE BEEN IDENTIFIED FROM FIELD SURVEY MEASUREMENTS & REGISTERED SURVEY PLANS OBTAINED FROM NSW LAND REGISTRY SERVICES & ARE AN EVIDENCE BASED OPINION OF THE PROPERTY BOUNDARY LOCATION.

ANY CONSTRUCTION OR WORKS RELYING ON CRITICAL SETBACKS FROM BOUNDARIES WILL REQUIRE ADDITIONAL BOUNDARY SURVEY & PLACEMENT OF BOUNDARY/SETOUT MARKS PRIOR TO COMMENCEMENT OF ANY WORKS.
WUMARA GROUP WILL NOT BE HELD LIABLE FOR ANY ISSUES RESULTING FROM NON COMPLIANCE WITH THIS ADVICE.

NO EASEMENTS BENEFITING OR BURDENING THE SUBJECT LAND ARE NOTED ON THE SUBJECT CERTIFICATE OF TITLE AS AT 19-07-2022.

THE RECORDS OF THE SERVICE AUTHORITIES HAVE NOT BEEN INVESTIGATED. ONLY THOSE SERVICES VISIBLE AT THE TIME OF SURVEY HAVE BEEN SHOWN.

AUSTRALIAN HEIGHT DATUM (AHD)
ORIGIN OF LEVELS: PM 6902 RL 51.412
NSW SPATIAL SERVICES (SCIMS)

David McCulloch

David McCulloch
Registered Surveyor
Surveyor ID: 125

Boundary Identification + Feature & Level Survey

LOT 224 DP 15376
272 WHALE BEACH ROAD, WHALE BEACH NSW

CLIENT: JASON & TANYA FERRIS

REF: 080722DF2

SCALE: 1:150 @ A2

DATE: 20-07-2022

DATUM: AHD

ISSUE: 2

ORIGIN OF LEVELS: PM 6902

SURVEY: DB LM

CONTOUR INTERVAL: N/A

DRAWN: DB

LOCALITY: WHALE BEACH

CHECKED: DM

LGA: NORTHERN BEACHES

SHEET No. 1 OF 1



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SYDNEY | BLUE MOUNTAINS | TWEED COAST