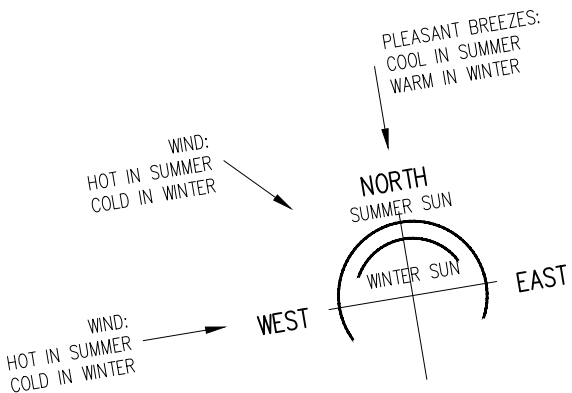
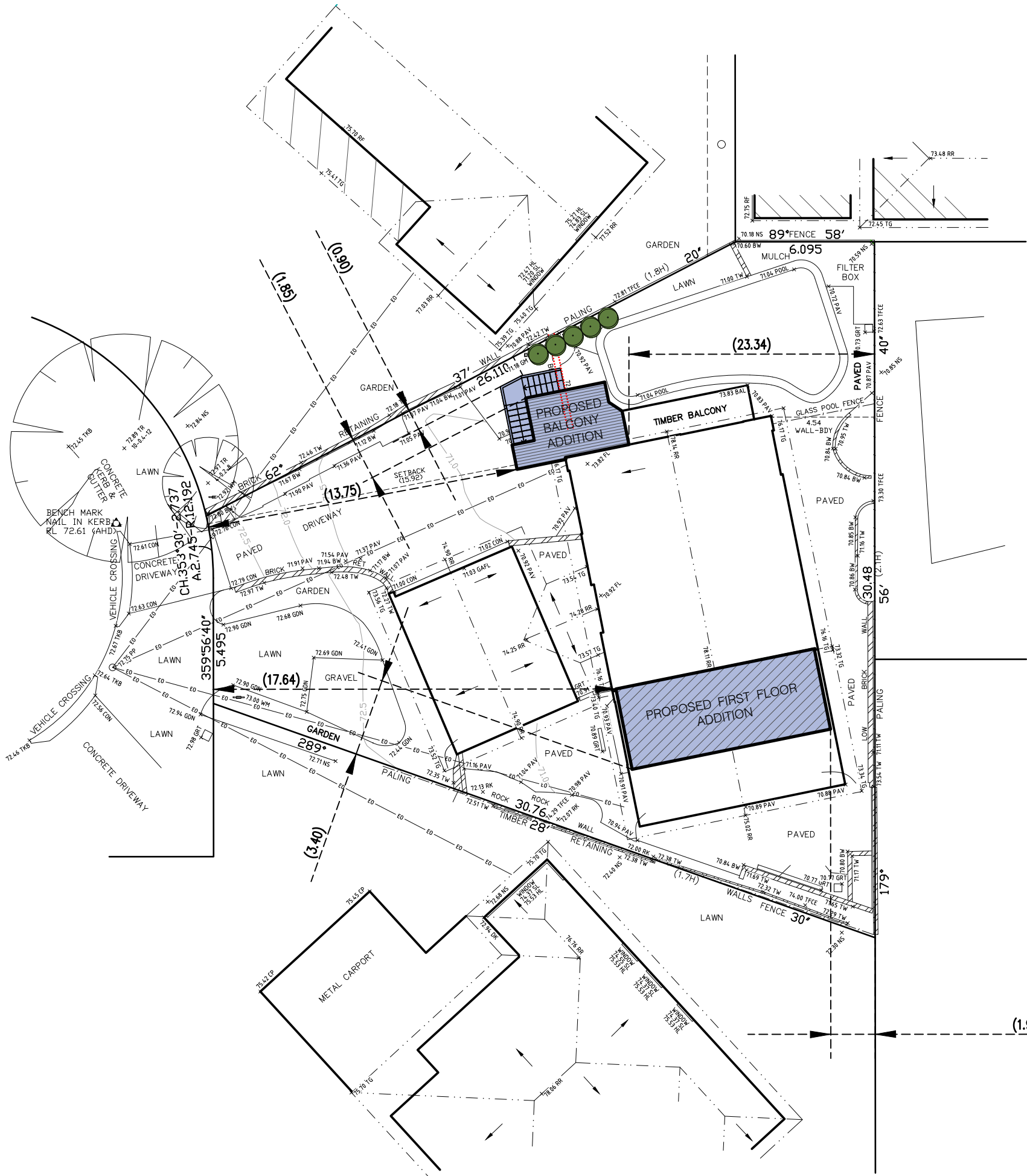


LOT 12, DP 238737

SITE ANALYSIS	(m2)
SITE AREA	599.40
EXISTING SITE COVERAGE	193.52
PROPOSED SITE COVERAGE	193.52
EXISTING LANDSCAPED AREA	(19.81%) 118.75
PROPOSED LANDSCAPED AREA	(19.81%) 118.75





THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

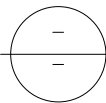
DA2021/0988

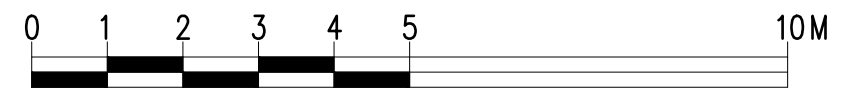
No.6 BRISBANE PLACE, CROMER 2099
PROPOSED ALTERATIONS AND ADDITIONS
APPLICANT: C. ROSE & C. NELSON
SITE PLAN / SITE ANALYSIS PLAN

SCALE 1:200 @ A3
DATE JUNE 2021

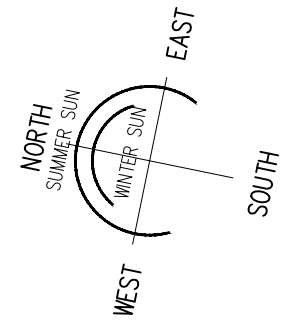
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EMAIL mikeairey@bigpond.com.au

ABN 26 769 291 556

 **SITE PLAN / SITE ANALYSIS PLAN**
1:200



SCALE 1:100



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

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POOL FENCES

Essentially a barrier fence can be made of any material that has a reasonable life span when exposed to the likely conditions of weather, pool chemicals, pollution, decay, insects, salt water spray, etc. Fences must have an effective perpendicular height of 1.2 metres. Existing standard paling fences can be used provided that they are well-maintained and at least 1650mm high. If the rails are on the outside of the pool area, then 60 degree splayed sections are to be fitted securely to the middle and top rails (unless fence height is over 2400mm).

When a fence is not controlled by the pool owners, i.e. a neighbour's boundary fence, then the pool area must be protected for a radius of 1.2 metres by an approved safety fence. Ground clearance between bottom of fence and ground level is not to exceed 100mm and any horizontal rails, rods, etc, which could assist climbing, should be on the pool side of the fence. If they're on the outside, they should be at least 900mm apart. The space between vertical members must not exceed 100mm.

POOL GATES

These must open outward only and have an effective perpendicular height of 1.2 metres. They must return to the closed position and engage the latch automatically from any position and not re-open without using the manual release mechanism. The latch must be at least 1.5 metres above ground level unless it is inside the fence can only be reached over or through a fence higher than 1.2 metres or is 150mm below the fence top (no hand hole) or at least 150mm away from the edge of any hand hole opening. Latches less than 1.5 metres above ground level must be shielded so that no opening greater than 10mm is closer than 450mm. Any hand hole shall be at least 1.2 metres from ground level.

No.6 BRISBANE PLACE, CROMER 2099
PROPOSED ALTERATIONS AND ADDITIONS
APPLICANT: C. ROSE & C. NELSON
PROPOSED GROUND FLOOR PLAN

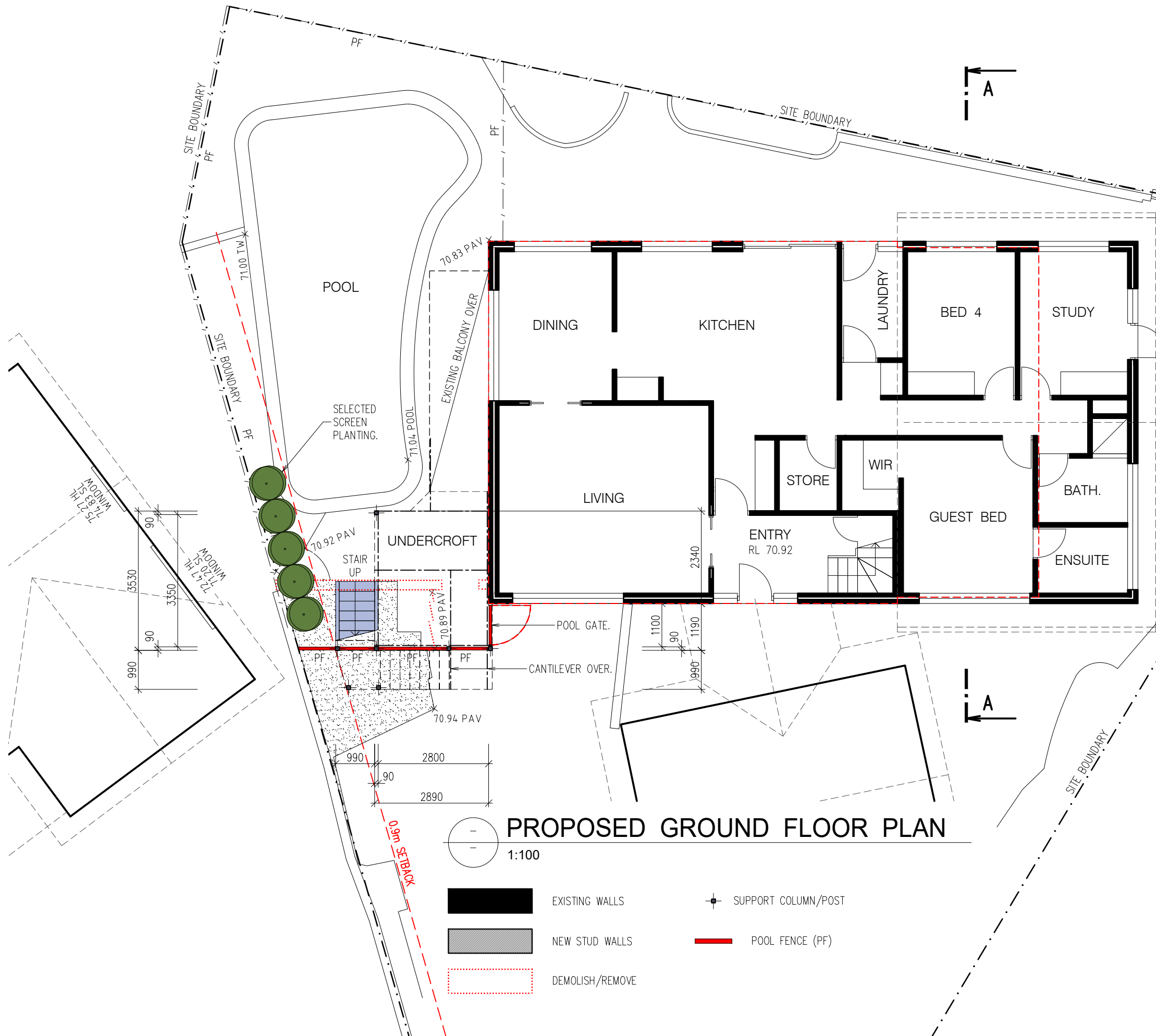
SCALE 1:100 @ A3
DATE JUNE 2021

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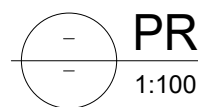
ABN 26 769 291 556

DRAWING NO. **05**

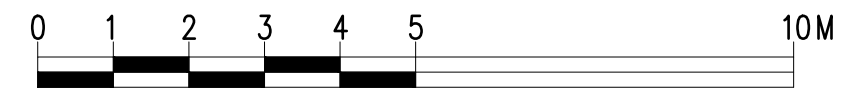
REV. **A**



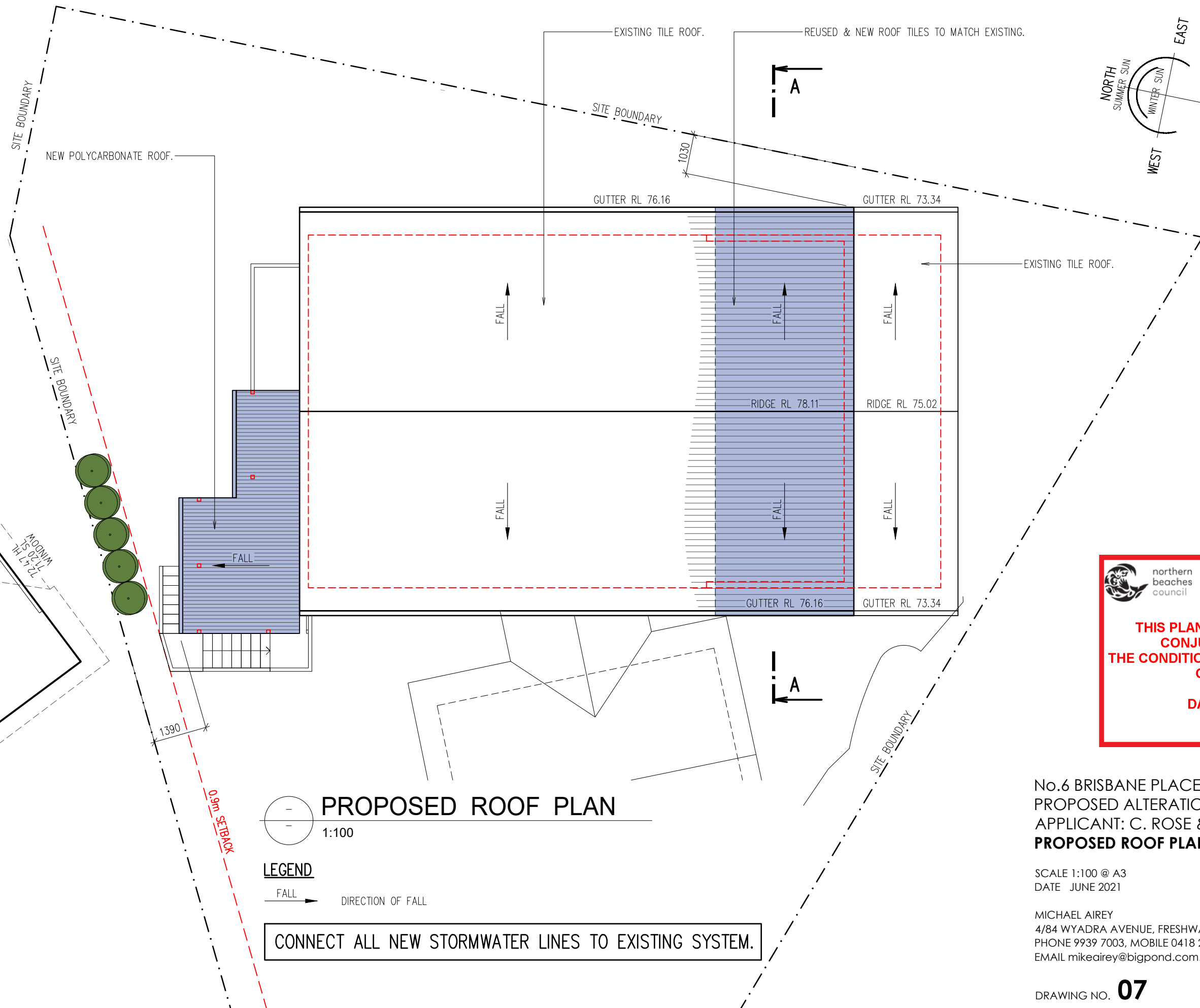
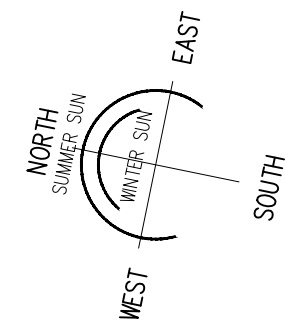
PROPOSED GROUND FLOOR PLAN



- EXISTING WALLS
- NEW STUD WALLS
- DEMOLISH/REMOVE
- SUPPORT COLUMN/POST
- POOL FENCE (PF)



SCALE 1:100



PROPOSED ROOF PLAN
1:100

LEGEND

FALL → DIRECTION OF FALL

CONNECT ALL NEW STORMWATER LINES TO EXISTING SYSTEM.



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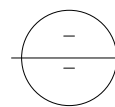
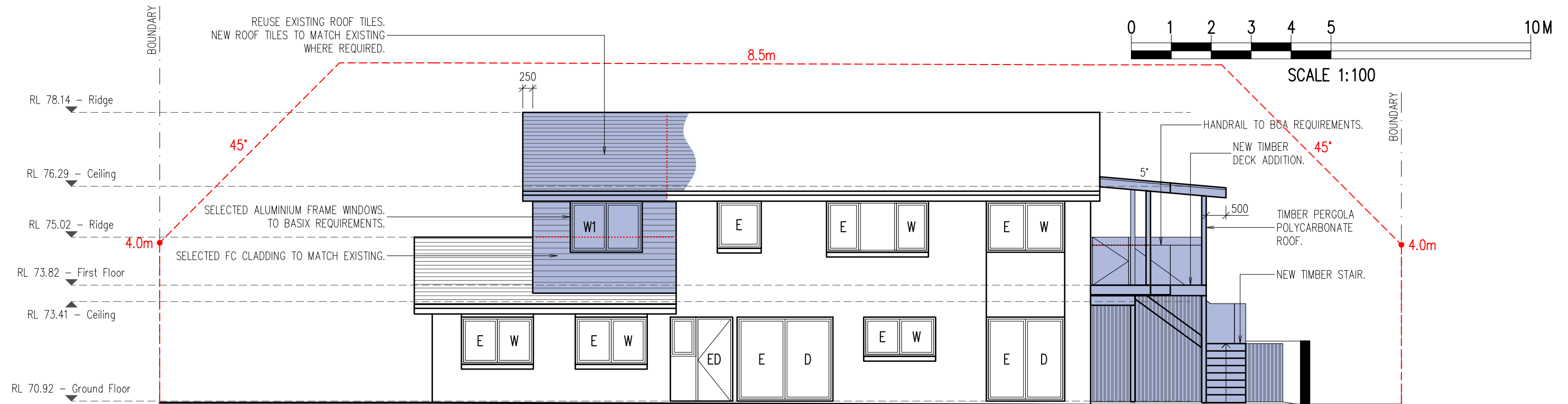
No.6 BRISBANE PLACE, CROMER 2099
PROPOSED ALTERATIONS AND ADDITIONS
APPLICANT: C. ROSE & C. NELSON
PROPOSED ROOF PLAN

SCALE 1:100 @ A3
DATE JUNE 2021

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DRAWING NO. **07**

REV. **A**



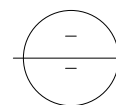
PROPOSED EAST ELEVATION

1:100



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PROPOSED WEST ELEVATION

1:100

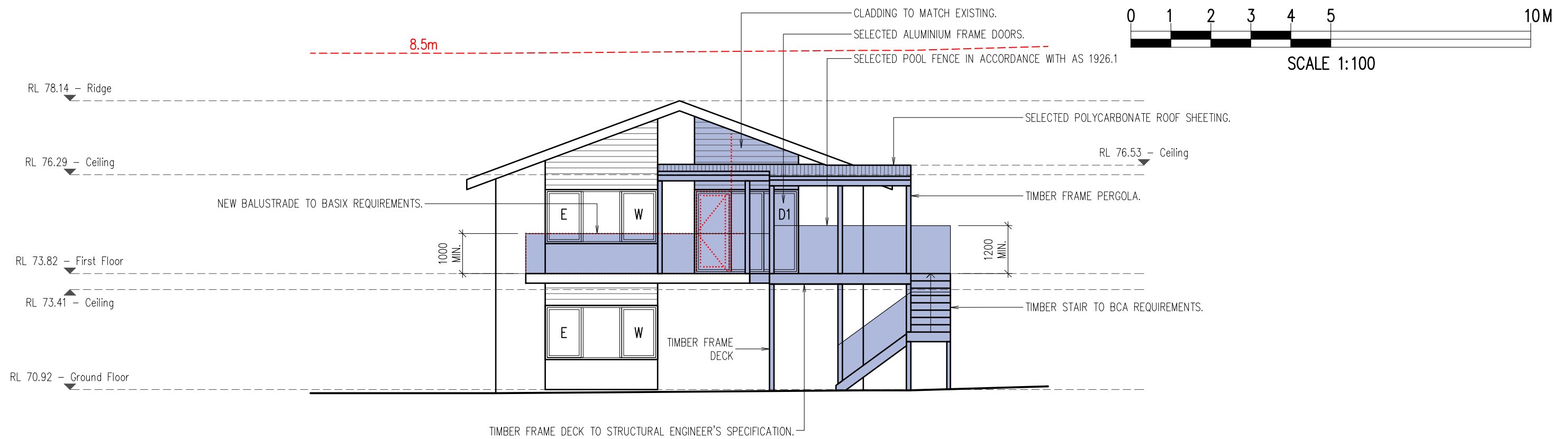
**No.6 BRISBANE PLACE, CROMER 2099
PROPOSED ALTERATIONS AND ADDITIONS
APPLICANT: C. ROSE & C. NELSON
PROPOSED EAST & WEST ELEVATIONS**

SCALE 1:100 @ A3
DATE JUNE 2021

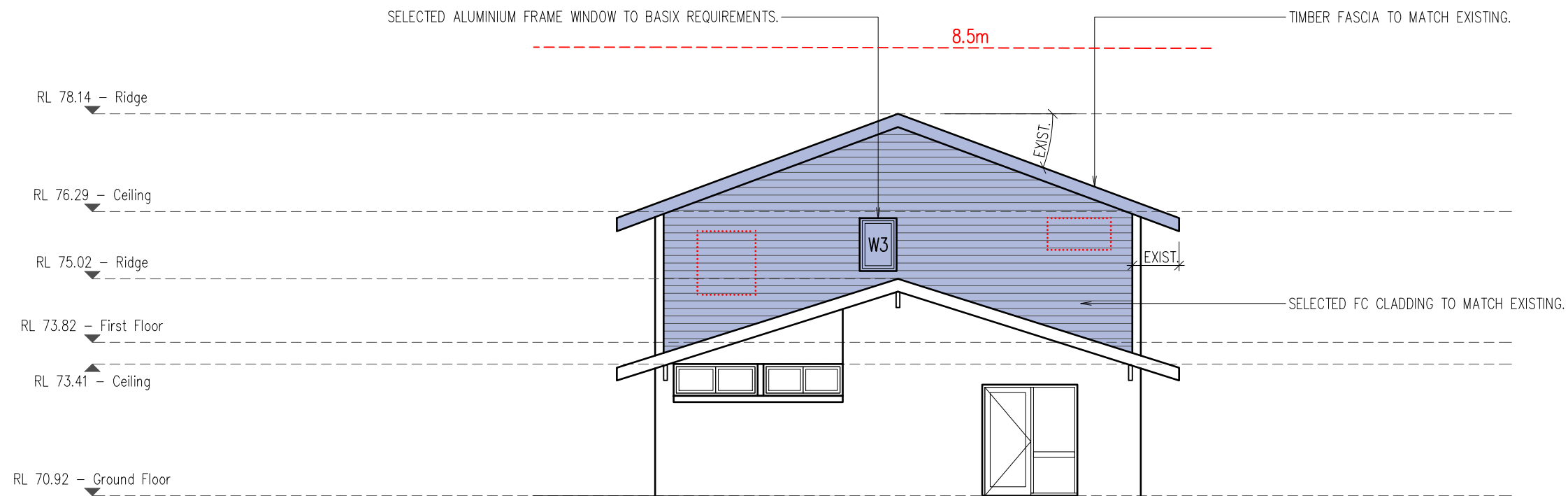
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DRAWING NO. **8**

REV. **A**



PROPOSED NORTH ELEVATION
 1:100



PROPOSED SOUTH ELEVATION
 1:100

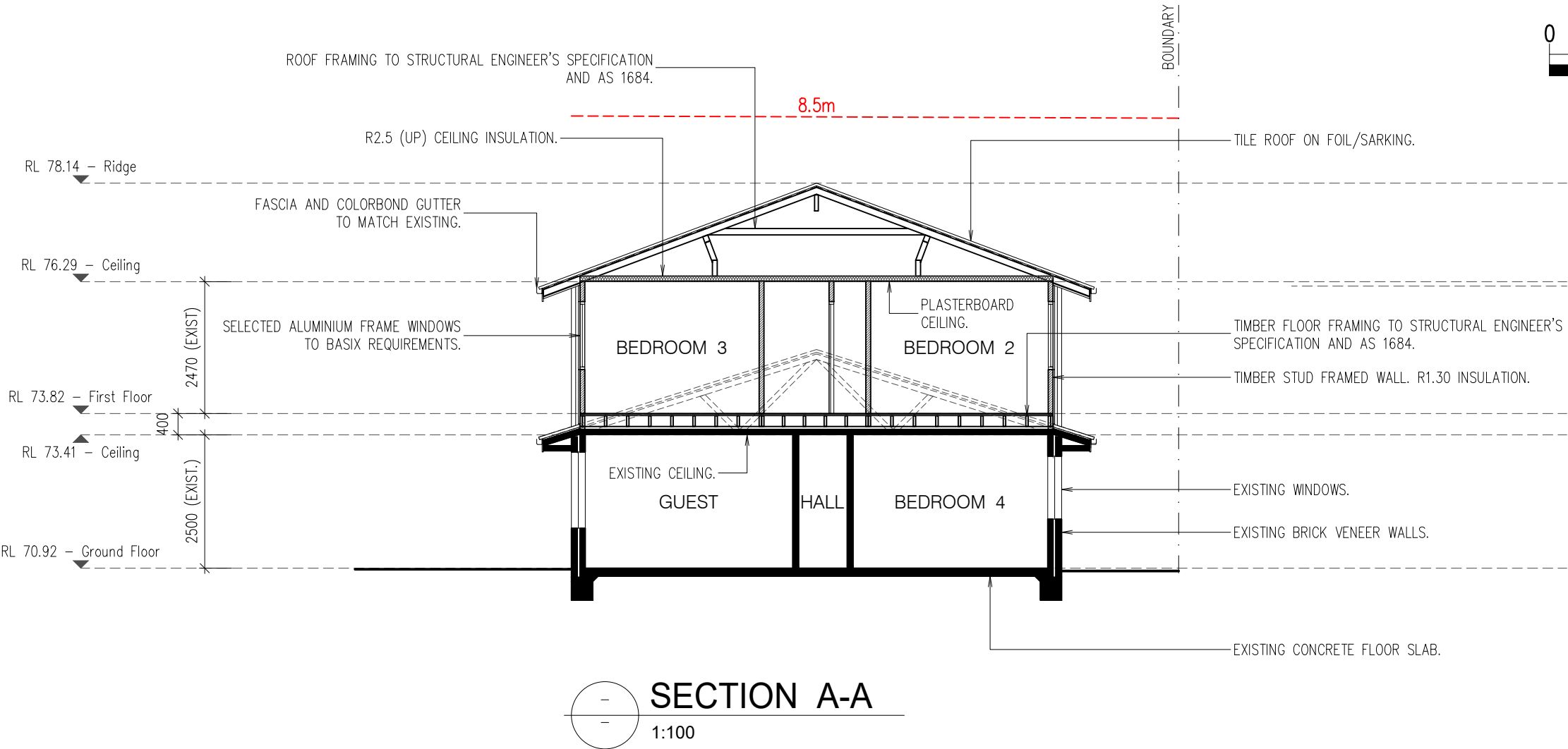
**THIS PLAN IS TO BE READ IN
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 THE CONDITIONS OF DEVELOPMENT
 CONSENT**

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No.6 BRISBANE PLACE, CROMER 2099
 PROPOSED ALTERATIONS AND ADDITIONS
 APPLICANT: C. ROSE & C. NELSON
PROPOSED NORTH AND SOUTH ELEVATIONS

SCALE 1:100 @ A3
 DATE JUNE 2021

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GENERAL NOTES

- 1. ALL DIMENSIONS ARE IN MILLIMETRES U.N.O. AND SHOULD BE VERIFIED ON SITE BY THE BUILDER WHO WILL BE RESPONSIBLE FOR THE ACCURATE SETTING OUT OF THE JOB. ANY DISCREPANCIES MUST BE RESOLVED PRIOR TO COMMENCEMENT OF WORK.
- 2. ALL CONSTRUCTION IS TO COMPLY WITH THE RELEVANT SAA BUILDING CODES AND TO THE LOCAL COUNCIL REQUIREMENTS AND OTHER AUTHORITIES CONCERNED.
- 3. ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES AND EASEMENTS ARE SUBJECT TO VERIFICATION BY A SITE SURVEY.
- 4. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED READINGS.
- 5. ALL TIMBER CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE 'NATIONAL TIMBER FRAMING CODE A.S.1684.
- 6. ROOF WATER AND SUB SOIL DRAINAGE TO BE DISPOSED OF IN THE APPROVED MANNER OR AS DIRECTED BY LOCAL INSPECTORS.
- 7. FINAL POSITION OF ALL DOWNPIPES TO BE DECIDED BY ROOF PLUMBER.
- 8. ANY STRUCTURAL DETAILS OR DESIGN IS TO BE SUPPLIED BY A STRUCTURAL ENGINEER.
- 9. ALL LEVELS ARE TO AUSTRALIAN HEIGHT DATUM.
- 10. ALL ELECTRICAL, POWER & LIGHT OUTLETS AS DETERMINED BY OWNER.
- 11. MAKE GOOD & REPAIR ALL EXISTING FINISHES AFFECTED BY NEW WORK. RE-USE EXISTING MATERIALS WHERE POSSIBLE.
- 12. ANY DETAILING IN ADDITION TO WHAT IS SUPPLIED ON THIS DRAWING SHALL BE RESOLVED BETWEEN THE OWNER & THE BUILDER.

BASIX COMMITMENTS
CERTIFICATE NUMBER A421953

LIGHTING
THE APPLICANT MUST ENSURE A MINIMUM OF 40% OF NEW OR ALTERED LIGHT FIXTURES ARE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS.

CONSTRUCTION
FLOOR ABOVE EXISTING DWELLING OR BUILDING: ADDITIONAL INSULATION REQUIRED – NIL
EXTERNAL WALL: FRAMED (WEATHERBOARD, FIBRO, METAL CLAD): ADDITIONAL INSULATION REQUIRED – R1.30 (OR R1.70 INCLUDING CONSTRUCTION)
FLAT CEILING, PITCHED ROOF: ADDITIONAL INSULATION REQUIRED – CEILING: R2.50 (UP), ROOF: FOIL/SARKING, MEDIUM (SOLAR ABSORPTANCE 0.475–0.70)

WINDOWS AND GLAZED DOORS
(SEE WINDOW AND DOOR SCHEDULE ON FLOOR PLANS)

BASIX COMMITMENTS

WINDOW AND DOOR SCHEDULE					
	ORIENT.	SIZE (H x W)	AREA (m2)	SHADING DEVICE	FRAME AND GLASS TYPE
W1	EAST	1280 x 1800	2.30	EAVE/PERGOLA 750mm	STANDARD ALUMUNIU, SINGLE CLEAR, (or U-value: 7.63, SHGC: 0.75)
W2	WEST	1280 x 1800	2.30	EAVE/PERGOLA 750mm	STANDARD ALUMUNIU, SINGLE CLEAR, (or U-value: 7.63, SHGC: 0.75)
W3	SOUTH	1000 x 700	0.70	NONE	STANDARD ALUMUNIU, SINGLE CLEAR, (or U-value: 7.63, SHGC: 0.75)
D1	NORTH	2100 x 2600	5.46	EAVE/PERGOLA 900mm	STANDARD ALUMUNIU, SINGLE CLEAR, (or U-value: 7.63, SHGC: 0.75)

WINDOW AND DOOR SCHEDULE



northern
beaches
council

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DA2021/0988

No.6 BRISBANE PLACE, CROMER 2099
PROPOSED ALTERATIONS AND ADDITIONS
APPLICANT: C. ROSE & C. NELSON
SECTION A-A

SCALE 1:100 @ A3
DATE JUNE 2021

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